

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 3 March 2022

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Local Planning Panel Meeting - 3 March 2022
REPORT: SLPP – Report No. 5
SUBJECT: S8.2-DA2021.151- 20 WENTWORTH STREET GREENACRE
 LOT 4 DP 36122
DA NO. S8.2-DA2021.151

SUMMARY

Proposal:	Section 8.2 Review of DA2021/151- Demolition of existing structures and construction of a dual occupancy with basement.
Applicant:	ZTA Group
Owner:	R Ibrahim & J Ibrahim
Date of lodgement:	6 December 2021
Notification period:	10 December 2021 – 10 January 2021
Submissions received:	Nil
Assessment officer:	L. Gibson
Estimated cost of works:	\$992,903.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No
Flood affected:	Yes
Is a Clause 4.6 variation proposed?	No
RECOMMENDATION OF OFFICER:	APPROVAL



Figure 1: Aerial view of subject site and surrounding context. Subject site outlined in yellow.

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the S8.2 review of DA2021/151 involving demolition of existing structures and construction of a dual occupancy with basement.

Site and Locality

The site is identified as 20 Wentworth Street, Greenacre and has a legal description of Lot 4 in DP 36122. The site is a regular shaped parcel of land and is located on the eastern side of Wentworth Street, south of the intersection of Wentworth St with Drone Street and north of Juno Parade. The site has a width of 16.765m, a side boundary length of 45.75m (north) and 45.755m (south) and an overall site area of 766.9m².

The subject site is located in a predominantly low-density residential area with Bellfrog Street industrial lands located immediately east of the site.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 10 December 2021 to 10 January 2021, where no submissions were received.

Issues

- Raised levels 1 metre above natural ground level
- Insufficient side setbacks
- Insufficient landscaping
- Excessive bulk, scale and massing; and overshadowing
- Privacy impacts

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning & Assessment Act 1979*, Development Application 2021/151 is recommended for refusal subject to the attached reasons of refusal.

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

REPORT IN FULL

Proposal

Council has received an application for the S8.2 review of DA2021/151 – demolition of existing structures and construction of a dual occupancy with a basement.

More specifically, the proposed development is comprised of:

Dwelling A

Basement level:

- Basement parking for two (2) vehicles with turntable
- Storage room and waste nook

Ground floor level:

- Open plan kitchen/living dining area with walk-in pantry
- Laundry
- Water closet
- Separate lounge area
- Front balcony
- Rear alfresco

First floor level:

- Four bedrooms including Master bed with WIR and ensuite
- Separate bathroom

Dwelling B

Basement level:

- Basement parking for two (2) vehicles with turntable
- Storage room and waste nook

Ground floor level:

- Open plan kitchen/living dining area
- Laundry
- Water closet
- Separate lounge area
- Front balcony
- Rear alfresco

First floor level:

- Four bedrooms including Master bed with ensuite
- Separate bathroom

External works:

- Associated landscaping and drainage works
- Front fence

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- Construction of 2 driveways

Refer to figures 2-6 below showing excerpts of submitted plans.



Figure 2: Photomontage of proposed dual occupancy development

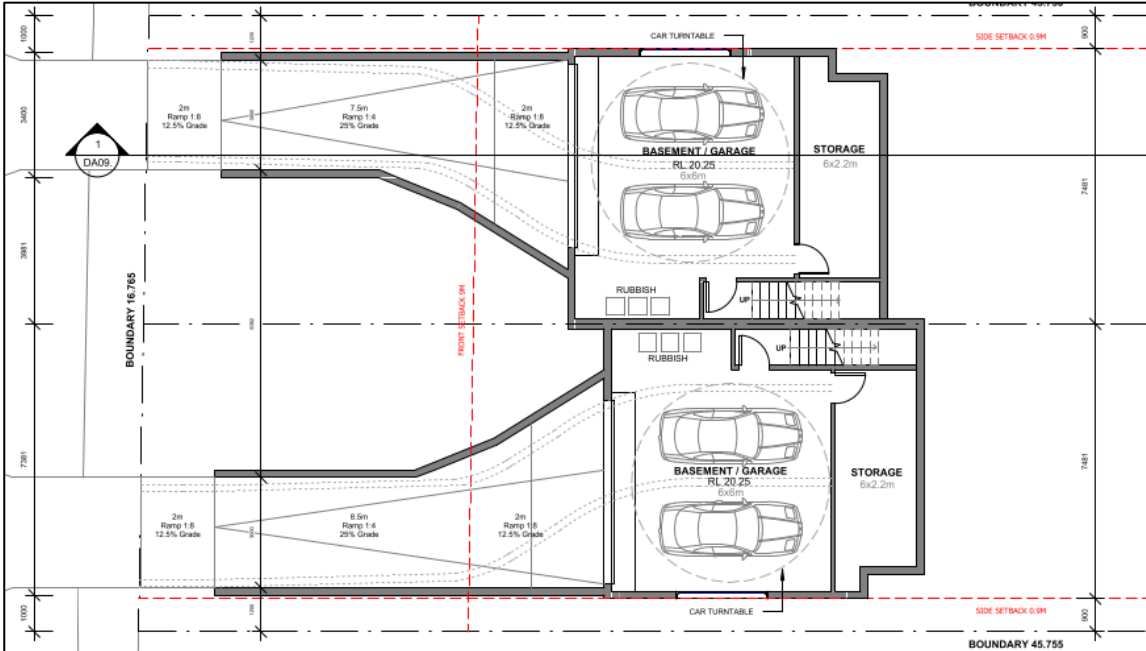


Figure 3: Basement plan

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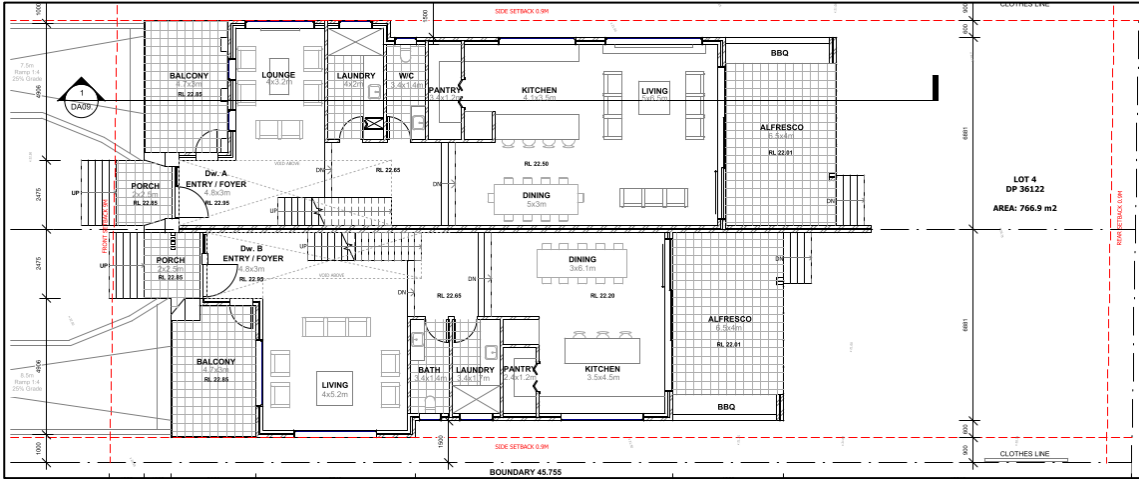


Figure 4: Ground Floor Plan

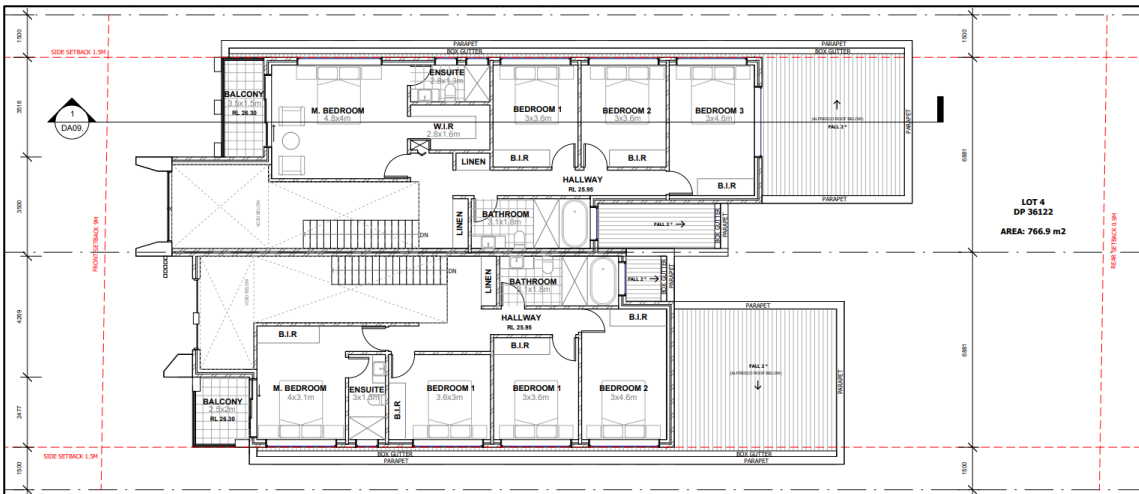


Figure 5: First Floor Plan

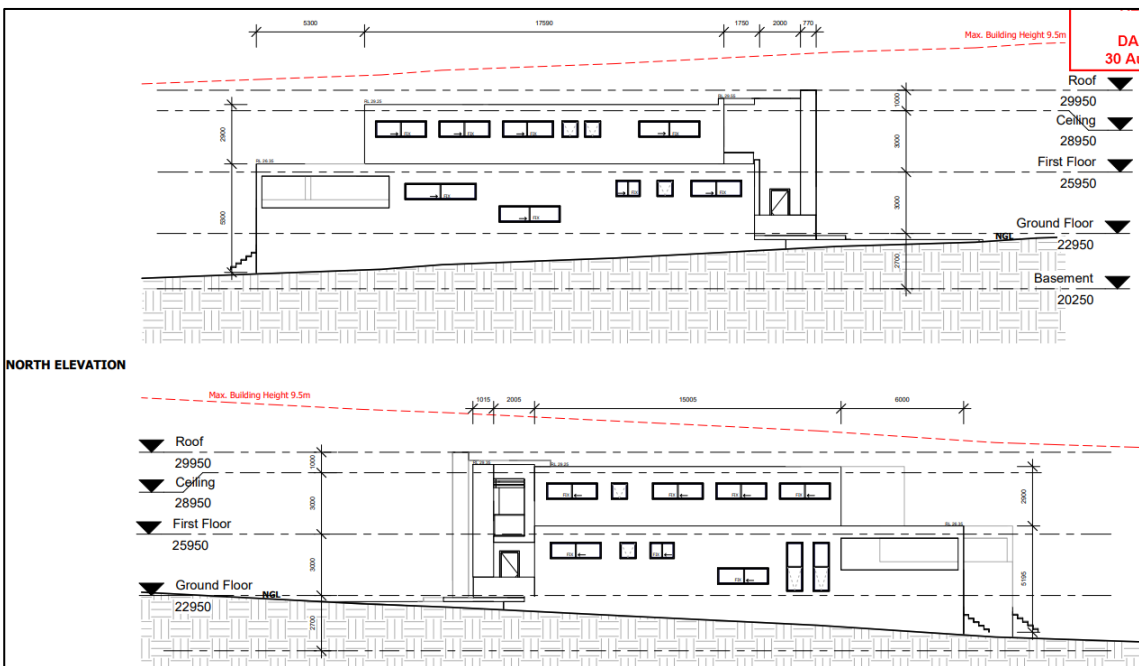


Figure 6: North and south elevation plans

The Site and Locality

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)

The site is identified as 20 Wentworth Street Greenacre and has a legal description of Lot 4 in DP 36122. The site is a regular shaped parcel of land and is located on the eastern side of Wentworth Street (southern end) between Drone Street to the north; Juno Parade to the south; and Hebe Street (refer to Figure 7 of existing dwelling).



Figure 7: Existing dwelling on subject site



Figure 8: Existing dwelling on rear of subject site

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)



Figure 9: Rear yard of subject site and immediately adjoining industrial site with boundary wall

The site has a width of 16.765m, side boundary lengths of 45.75m (north) and 45.755m (south) and an overall site area of 766.9m².

The locality surrounding the subject site contains a mixture of single-storey and two-storey dwellings to the west and the Bellfrog Street industrial area to the adjacent east.

The site slopes in a north-east direction and has a cross-fall of 2.3m or 2-3⁰ front of the site to the rear.

Existing development on the site comprises a single-storey weatherboard dwelling with attached carport separate rear garage and rendered masonry front fencing. Vehicular access is provided to the site via an existing driveway from Wentworth Street located on the southern boundary to an existing carport located within the front setback.

Development adjoining the subject site comprises a two-storey brick dwelling at 18 Wentworth Street with brick front fence (north); and a single-storey brick dwelling with pitched tiled roof and open ironwork fence at 22 Wentworth Street (south). Development to the rear of the subject site comprises a two-storey warehouse development.

The current streetscape is characterised by a mix of single-storey and two-storey dwellings (predominantly bare-brick) with pitched/hipped tiled roofs. Front fencing along the street comprises open construction masonry fences with decorative metal work as well as open metal fences. The locality surrounding the subject site contains a mixture of single-storey and two-storey dwellings to the west and the Bellfrog Street industrial area to the adjacent east.

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)

Background

8 October 2021

DA2021/151 was refused by the Strathfield Local Planning Panel (SLPP) at its meeting. The application was refused due to the following reasons:

Pursuant to Section 4.15 (1)(a)(i) of the Environmental Planning and Assessment Act 1979, the proposed development does not comply with the relevant environmental planning instruments in terms of the following:

- a) The proposal fails to satisfy the objectives of Clause 1.2(a) of the Strathfield Local Environmental Plan 2012 which seeks to achieve a high quality urban form. The proposal is an overdevelopment of the site that is excessive in bulk and scale, deficient in landscaped area and fails to demonstrate consistency and compatibility with existing and future desired development in the vicinity. The resultant urban form is considered disproportionate to the site area.
- b) The proposal fails to satisfy the objectives of Clause 1.2(b) of the Strathfield Local Environmental Plan 2012 which seeks to promote an efficient and spatial use of land. The proposal is an overdevelopment and is a poorly balanced design outcome.

Pursuant to Section 4.15 (1)(a)(iii) of the [Environmental Planning and Assessment Act 1979](#), the proposed development does not comply with the following sections of the Strathfield Consolidated Development Control Plan 2005 in terms of the following:

- a) The proposed development is considered unacceptable as it fails to meet the objectives of Clause 2.1 (Site Analysis and Design Principles) of Part B of the Strathfield Consolidated Development Control Plan 2005. The proposal will result in an excessive built form with bulk and scale that fails to complement the existing streetscape. The development has limited articulation, is disproportionate to the site dimensions and comprises a non-compliant front fence.
- b) The proposed development is considered unacceptable as it fails to meet the objectives of Clause 2.2 (Site Requirements) of Part B of the Strathfield Consolidated Development Control Plan

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-LOT 4 DP 36122 (Cont'd)

2005. The proposal fails to comply with minimum side setbacks and lacks adequate articulation to reduce bulk and scale, overshadowing and privacy impacts.

- c) The proposed development is considered unacceptable as it fails to meet the objectives of Clause 2.4 (Energy Efficiency and Water Conservation) of Part B of the Strathfield Consolidated Development Control Plan 2005. The proposal fails to provide sufficient solar access to habitable rooms or mitigate against overshadowing impacts to the adjoining property at 22A Wentworth Street.
- d) The proposed development is considered unacceptable as it fails to meet the objectives of Clause 2.5 (Streetscape and Building Orientation and Materials) Part B of the Strathfield Consolidated Development Control Plan 2005. The protrusion of the basement above natural ground level will result in a basement garage entry that will dominate the street frontage and the site frontage comprises a non-compliant front fence.
- e) The proposed development is considered unacceptable as it fails to meet the objectives of Clause 2.7 (Open Space and Landscaping) Part B of the Strathfield Consolidated Development Control Plan 2005. The proposed development poses a significant shortfall of landscaped area and cannot be supported.

Pursuant to Section 4.15 (1)(b) of the [Environmental Planning and Assessment Act 1979](#), the proposed development is likely to have an adverse impact on the following aspects of the environment:

- a) Streetscape impacts;
- b) Amenity of adjoining properties

Pursuant to Section 4.15 (1)(c) of the [Environmental Planning and Assessment Act 1979](#), the site is not considered suitable for the proposed development for the following reasons:

- (a) Lack of spatial distribution and excessive bulk and scale that presents poorly to public

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- domain and adjoining properties.
(b) Poorly balanced development outcome that will create an undesirable precedence and have unacceptable impacts.

Pursuant to Section 4.15 (1)(e) of the Environmental Planning and Assessment Act 1979, the proposed development is not considered to be in the public interest and is likely to set an undesirable precedent.

6 December 2021	The application was lodged with Council.
10 December 2021 – 10 January 2021	The application was placed on public notification.
15 December 2021	Site inspection was conducted by assessing officer.
21 December 2021	Correspondence sent to Applicant notifying that the application will be recommended for refusal based on current plans submitted to Council.
4 January 2022	Further correspondence with applicant regarding current proposal and request to revise the design via amended plans.
7 January 2022	Assessing Officer granted time to prepare amended plans and submit to Council for consideration.
25 January 2022	Amended plans submitted to Council.

Referrals – Internal and External

Development Engineer

The proposal was referred to Council's Development Engineer whom provided the following comments:

“From an engineering perspective, the concept plan is feasible and there are no objections to its approval...Based on Cooks River and Coxs Creek flood study the overland flow of stormwater of the 1 in 100yr ARI storm event is very minimal and there are no issues with the basement from engineering perspective.”

No further concerns were raised subject to conditions in the event of approval.

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Traffic Manager

Council's Traffic Manager provided the following comments:

All aspects of the off-street parking has been assessed against the AS2890 series and Council DCP.

Council DCP Part B Clause 2.9 sets out the objective as to ensure that access driveways and maneuvering areas are provided which are adequate for the convenience and safety of residents and visitors to the site. The proposal involves a steep driveway section of 25% gradient for 7.5m for each lot.

The revised Architectural Plans show a turn table that will accommodate two X B85 vehicles for each individual lot, which allows vehicles to enter and exit both development sites in a forward direction.

Comment- Geometric layout of the carpark and turning paths/turn table confirms that vehicles can enter and exit both lots in a forward direction.

No further concerns were raised subject to conditions in the event of approval.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
- (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy No 55 - Remediation of Land	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A revised BASIX Certificate was issued for each of the proposed dwellings. The commitments required by the BASIX Certificate have been satisfied.

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STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed provisions of clause 5.9 of SLEP 2012 relating to the preservation of trees and vegetation.

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposed development does not result in the removal or loss of any trees or vegetation subject to the provision of this SEPP.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent under the provisions of additional permitted uses in the SLEP 2012.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	Max 9.5m	7.45m	Yes
4.4 Floor Space Ratio	Max 0.575:1 (440.9m ²)	0.51:1 (391.6m ²)	Yes

Part 5 – Miscellaneous Provisions

Flood Planning

The subject site has been identified as being at or below the flood planning level. Council's Development Engineer has reviewed the application and stated that *"Based on Cooks River and Coxs Creek Flood Study the overland flow of stormwater of the 1 in 100 yr ADI storm event is very minimal"*.

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Accordingly, Council's Development Engineer has raised no issues with the proposal with regard and no additional planning measures are required in this regard.

The proposed development is considered to satisfy the objectives of this clause.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The depth of excavation has been limited to provide access to and from the basement. The proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability. The extent of excavation is such that the basement area will be contained to a maximum height of 1m above NGL for the site and is acceptable.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Part B - Dual Occupancy Housing			
Allotment Requirements:	Minimum lots size for dual occupancy 560m ²	Site area: 766.9m ²	Yes
Site Coverage:	65% or 498.5m ²	62.68% 480.7m ²	Yes

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Setbacks:			
Front:	9m	9m	Yes
Side: Dwelling A (north) Ground floor (900mm below 3m) Wall height 3m or more:	Walls at least 3m high:1.5m	900mm - 1.5m	No – refer to discussion
Side: Dwelling B (south) Ground floor (900mm below 3m) Wall height 3m or more:	1.5m	900mm - 1.5m	No – refer to discussion
Rear: Dwelling A Dwelling B	Minimum 3m for building walls greater than 3m in height	Min 9.7m Min 9.7m	Accepted Accepted
Site Requirements			
	45 degree building envelope height plane off side and rear boundaries.	Proposal extends beyond the horizontal 45° building envelope	No – see discussion
	No section of wall on side or rear boundary setback should be longer than 10 metres or 40% of the length of the boundary, whichever is lesser.	<u>Dwelling A</u> Ground floor: 16m First floor 17.42m <u>Dwelling B</u> Ground floor: 13.28m First floor: 14.9m	No – see discussion No – no see discussion
Landscaping			
Landscaping / Deep soil Provisions:	Minimum of 40% of the site area = 306.76m ² or 153.38m ² per dwelling	35% in total: Dwelling A: 122m ² Dwelling B: 143m ²	No – see discussion
Fencing			
Height (overall/piers): Solid Component:	1.5m (maximum) 0.9m	1.5m 450mm	Yes Yes
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m (Lot A) 3m (Lot B)	Yes Yes

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No. of Parking Spaces:	2 per dwelling	2 per dwelling	Yes
Basement:			
Basement protrusion:	1.0m	1.0m	Yes
Internal height:	Min. 2.2m	2.4 - 2.5m	Yes

Building Envelope

The proposal fails to numerically comply with the 45 degree horizontal building envelope and the minimum setback requirements under Section 2.2 of Part B of the SCDP 2005. Further, the development proposes a solid building wall (inclusive of alfresco wall) to a length of 17.42m (Dwelling A) and 14.9m (Dwelling B). The intent of these controls is to prevent the development from appearing overly bulky as viewed from the street and to prevent overshadowing and overlooking impacts on adjoining residents.

The proposed development is a contemporary scheme proposing a flat roof form with geometrically-shaped elements featuring a rendered and brick construction in neutral tones. The street demonstrates a range of architectural styles and is in a state of transition from single storey fibro and weatherboard cottages to two storey brick and rendered dwellings and new dual occupancy development.

The development has provided ample articulation through the use of varying heights and setbacks through the façade which has been further enhanced through incorporation of an array of building materials and colours including timber battens. The setbacks vary across the northern and southern side elevation from 900mm – 1.5m which assist in breaking the built form and achieving articulation. The façade incorporates an upper level balcony to each of the dwellings to assist in reducing the apparent bulk of the development and also creating additional articulation to the façade. Whilst the proposal results in large expanses of unbroken walls along the northern and southern elevations, the bulk has still been broken through the gradual stepping down in the height of the building and various setbacks applied across the side elevations on the ground floor (between 900mm – 1.5m). It is further noted that the rear alfresco wall has been included as part of this building length however, this portion of the building will only appear as single storey and thus will not result in any undue impacts to adjoining residents.

The figures below show evidence of new development in the street which incorporate a similar bulk, scale and height to that of the proposed development. The proposed rendered walls are also similar to that in the existing dwellings in the figures below and demonstrate that the proposal will integrate with existing and anticipated future development in the streetscape.

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Figure 10: New development at 16 and 18 Wentworth St, Greenacre



Figure 11: Contemporary style dwelling at 65 Wentworth Street, Greenacre

With regards overshadowing and overlooking, a more detailed assessment is undertaken further below. Overlooking is managed through the appropriate location and treatment of windows and openings along the side elevations of the development. The site's unfavourable east-west orientation results in an unavoidable degree of overshadowing and thus the provision of any recess bays along the side elevations (particularly to the south) would do very little to minimise this impact.

The overall building height has been reduced and side setbacks increased during this assessment process which has improved the visual separation between properties and improved solar access to the southern adjoining property. Having regard for the above, the development is therefore acceptable notwithstanding its numeric non-compliance with building envelope and solid building wall lengths.

Overshadowing

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A series of revised shadow diagrams were submitted to Council during the assessment process to demonstrate the impact of overshadowing to the southern adjoining property. The site is oriented east-west and overshadowing is therefore inevitable. The shadow moves east during the day demonstrating that the front portion of the southern adjoining dwelling and 2 north-facing windows will receive direct solar access from 3pm onwards. The diagrams also demonstrate that whilst the new development will result in overshadowing to the southern adjoining property, solar access will still continue to be provided to most of the front and rear yards of the adjoining site throughout the day. The proposal is therefore acceptable in this regard.

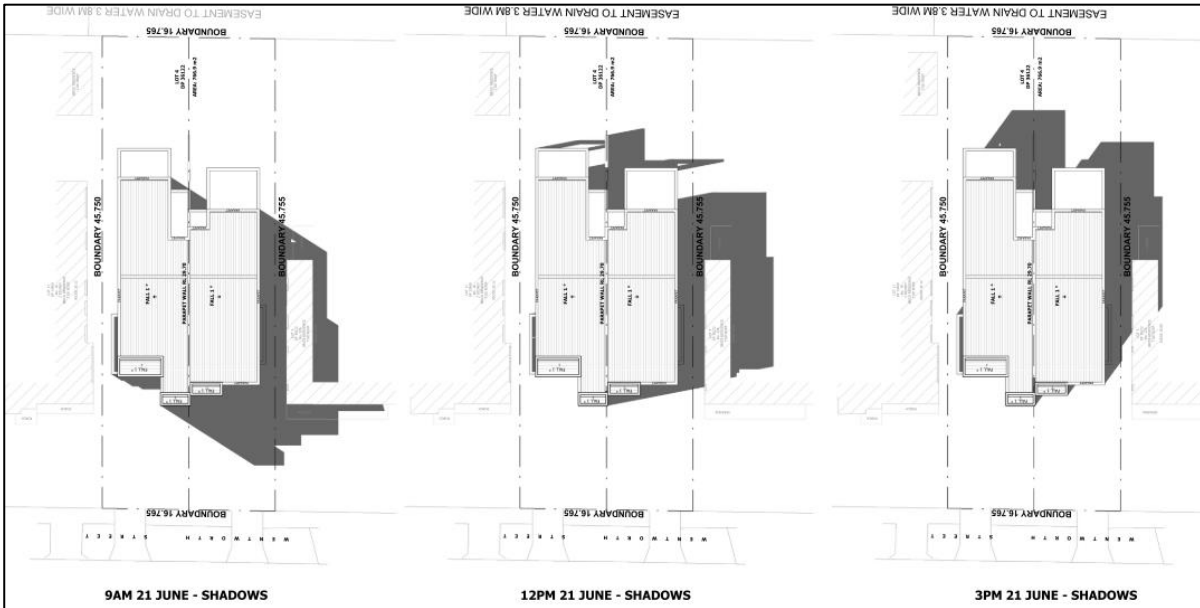


Figure 12: Shadow diagrams of proposed development

Landscaping and Open Space

Part B of the SCDPC 2005 requires a minimum landscaped area of 40% of the total site area or 153.4m² for each proposed new dwelling. The proposed development provides 35% (265m²) deep soil zone for the site whereby 122m² is allocated to Dwelling A and 143m² is allocated to Dwelling B. Whilst the proposal does not numerically comply with the minimum 40% requirements, the proposal provides landscaping that is suitable to the scale of the development and is provided in large consolidated parcels of land in the front and rear setbacks to maximise opportunities for meaningful landscaping to be provided. Additional landscaping has also been provided along the side setbacks of the site between the front property boundary and building line. Whilst not included in the above landscaping calculations, these additional landscaped areas will also assist in reducing the amount of hard stand surfaces and softening the appearance of the development from the street.

A condition of consent is also recommended to ensure a canopy tree with a minimum mature height of 7m is planted within the front setback of the site. This will enhance the appearance of the development as viewed from the street.

A landscape plan prepared by a Landscape Architect is also recommended to ensure the landscaping provided on the site is of high quality and suitable for the site.

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
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The alfresco areas to both dwelling A and B result in potential overlooking impacts to adjoining dwellings to the north and south. Whilst the finished floor height of the development has been reduced, the alfresco areas will still be raised a minimum 855mm above the ground. This is not considered a significant impact given the alfresco faces a solid boundary wall to the immediate east (refer back to Figure 9). The only properties affected are located to the immediate north and south. As such, a condition of consent is recommended for suitable privacy screening to be provided to the openings of each alfresco area (northern wall to dwelling A and southern wall to dwelling B) in order to mitigate overlooking impacts to properties.

Vehicular Access, Parking and Basements

Each dwelling is provided with a basement which provides for 2 separate car parking spaces and is accessed via separate driveway from Wentworth Street. A turntable has been provided in each basement to enable cars to enter and exit the site in a forward direction. The basement entrance and driveway is an appropriate width to enable cars to safely manoeuvre through the site. Overall, the proposal complies with the vehicle and parking requirements under Part B of the SCDCP 2005 and is acceptable in this regard.

Cut and fill

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005, in that the basement does not exceed the maximum 1m protrusion above natural ground level and the excavation has been confined to the building envelope.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

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PART I – Provision of Off-Street Parking (SCDCP 2005)

The proposed dual occupancy provides four (4) parking spaces (2 allocated to each dwelling) behind the building line as per the 3.1.1 *Parking Schedule* of Part I DCP controls.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: *The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development has been designed with consideration of its setting, site constraints and adjoining residential properties. The proposed development has been designed to address Council requirements with regard to reduction of the overall bulk, height and scale of the development in order to achieve a more compatible built form in the street.

The proposal demonstrates consistency and compatibility with the surrounding built and natural environment and is not considered to result in any negative social or economic impacts on the locality. The proposal is therefore supported in this regard.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its shape and size, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. No submissions were raised during this time.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

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STRATHFIELD DIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030 as follows:

Provision of Community Facilities	\$3,013.35
Provision of Major Open Space	\$13,709.83
Provision of Local Open Space	\$3,016.96
Provision Roads and traffic Management	\$0
Administration	\$259.00
TOTAL	\$20,000.00

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 8.2 and 8.3 of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/151 should be approved subject to conditions of consent.



Signed:

L. Gibson
Senior Planner

Date: 14 February 2022

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;
- I have reviewed the details of this development application and I also certify that Section 7.11 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed and concurred with.



Signed:

Patrick Santos
Planner

Date: 14 February 2022

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)

RECOMMENDATION

That Development Application No. S8.2-DA2021.151 for S8.2 Review Application for the demolition of existing structures and construction of a dual occupancy with basement at 20 Wentworth Street Greenacre be **APPROVED**, subject to the following conditions:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Basement Floor Plan	DA02	25 January 2022	D	ZTA Architects
Ground Floor Plan	DA03	25 January 2022	D	ZTA Architects
First Floor Plan	DA04	25 January 2022	D	ZTA Architects
Roof Plan	DA05	25 January 2022	D	ZTA Architects
Elevation Plan (North and South)	DA06	25 January 2022	D	ZTA Architects
Elevation Plan (East and West)	DA07	25 January 2022	D	ZTA Architects
Finishes Schedule	DA08	25 January 2022	D	ZTA Architects

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

Section Plan	DA09	25 January 2022	D	ZTA Architects
Streetscape Plan (Fence details)	DA10	25 January 2022	D	ZTA Architects
Demolition Plan	DA14	25 January 2022	D	ZTA Architects
Sediment Control Plan	DA15	25 January 2022	D	ZTA Architects
Stormwater Plans	D00 – D03	4 June 2021	A	ZTA Architects
BASIX Certificate	1212209S and 1212214S	Issued 15 June 2021		
Waste Management Plan				ZTA Architects

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES**4. Sydney Water – Tap in™**

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

5. Notice of Requirements for a Section 73 Certificate

A Notice of Requirements of what will eventually be required when issuing a Section 73 Compliance Certificate under the [Sydney Water Act 1994](#) must be obtained from Sydney Water Corporation. Application must be made through an authorised Water Servicing Co-ordinator. Please refer to the 'Plumbing, building and developing' section of the web site www.sydneywater.com.au then refer to 'Providers' under 'Developing' or telephone 13 20 92 for assistance.

Following application, a 'Notice of Requirements' will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Co-ordinator, as it can take some time to build water/sewer pipes and this may impact on other services and building, driveway or landscape design.

The Notice of requirements must be submitted prior to the commencement of work. A Section 73 Compliance Certificate will be required at the completion of development in accordance with further conditions.

6. Section 73 Compliance Certificate

A Section 73 Compliance Certificate under the [Sydney Water Act 1994](#) must be submitted to the PCA prior to the issue of the Occupation/Subdivision Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

7. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://longservice.force.com/bci/s/levy-calculator	\$ 3,475.00
Security Damage Deposit	\$12,200.00

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

Administration Fee for Damage Deposit	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94 Development Contributions - Roads and Traffic Management	\$ 0.00
Strathfield Section 94 Development Contributions – Local Open Space	\$ 3,016.96
Strathfield Section 94 Development Contributions – Major Open Space	\$ 13,709.83
Strathfield Section 94 Development Contributions – Community Facilities	\$ 3,013.35
Strathfield Section 94 Development Contributions - Administration	\$ 259.00
TOTAL CONTRIBUTIONS	\$20,000.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

The Section 7.11 contribution (s94) is imposed to ensure that the development makes adequate provision for the demand it generates for public amenities and public services within the area.

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council

- Prior to the release of the Construction Certificate.

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-LOT 4 DP 36122 (Cont'd)**

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

8. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Amendments made in red on approved plans	All changes made in red on the approved plans shall be updated and shown on the Construction Certificate plans.
Privacy Screen	A privacy screen shall be provided to the northern alfresco window opening and to the southern alfresco window opening. The screen is to comprise a material that cannot be seen through, such as translucent glazing. If louvres are to be used, they are to be fixed in a position that does not allow direct viewing of the adjoining properties.

9. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$12,200.00
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

10. Site Management Plan

Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

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-LOT 4 DP 36122 (Cont'd)**

11. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1212209S and 1212214S must be implemented on the plans lodged with the application for the Construction Certificate.

12. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

13. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

14. On Site Detention

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

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-LOT 4 DP 36122 (Cont'd)

(a) peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden,

(b) at Annual Recurrence Intervals of 2 years, 10 years and 100 years.

The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

15. Stormwater Drainage Plan Details

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

16. Landscape Plan

A detailed landscape plan, drawn to scale, by a qualified landscape architect or landscape designer, must be submitted prior to the issue of the Construction Certificate. The plan must include:

- (a) Location of existing and proposed structures, services and existing trees;
- (b) Details of earthworks including mounding and retaining walls and planter boxes;
- (c) Location of proposed plants and a plant schedule showing the plant symbol, botanical name/ common name; quantity; pot size/; and mature height x width.
- (d) Details showing provision of a minimum of **1 canopy tree planting within the front setback** capable of achieving a minimum mature height of 7m.
- (e) Details of planting procedure and maintenance;
- (f) Landscape specification;
- (g) Details of drainage and watering systems;
- (h) Details of garden edging and turf; and
- (i) Any required fencing, retaining walls and other structures not shown on other approved architectural and engineering plans.

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-LOT 4 DP 36122 (Cont'd)**

17. Allocation of Street Addresses

In the event of any future strata subdivision of the site, the street numbering must comply with AS/NZS 4819:2011 Rural and Urban Addressing & the NSW Addressing User Manual (Geographical Names Board of NSW) and Strathfield Council's requirements, the street addresses for the subject development must be allocated as follows:

Proposed Lot No.	Premises / Dwelling Number	Location within development	Proposed street address to comply with AS/NZS 4819:2011 and NSW Addressing Manual
Lot 1	1	Northern most dwelling	1/20 Wentworth Street, Greenacre
Lot 2	2	Southern most dwelling	2/20 Wentworth Street, Greenacre

Details indicating compliance with this condition must be shown on the plans lodged with any Construction Certificate for approval.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATON)

18. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

19. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.

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-LOT 4 DP 36122 (Cont'd)**

- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

20. Demolition Work Involving Asbestos Removal

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

21. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

22. Registered Surveyors Report - During Development Work

A report must be submitted to the PCA at each of the following applicable stages of construction:

- (a) Set out before commencing excavation.
- (b) Floor slabs or foundation wall, before formwork or commencing brickwork.
- (c) Completion of Foundation Walls - Before any construction of flooring, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans.
- (d) Completion of Floor Slab Formwork - Before pouring of concrete/walls construction, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans. In multi-storey buildings a further survey must be provided at each subsequent storey.
- (e) Completion of any Pool Formwork - Before concreting of pool shell, detailing the location of the pool relative to the adjacent boundaries and its height relative to the datum shown on the approved plans.
- (f) Completion of any Roof Framing - Before roof covered detailing eaves/gutter setback from boundaries.
- (g) Completion of all Work - Detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A final Check Survey must indicate the reduced level of the main ridge.

Work must not proceed beyond each stage until the PCA is satisfied that the height and location of the building is proceeding in accordance with the approved plans.

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-LOT 4 DP 36122 (Cont'd)

23. Utility Arrangements

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicants expense.

DURING CONSTRUCTION

24. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

25. Obstruction of Road or Footpath

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

26. Construction Management Plan

The owner/applicant is to ensure that the approved Construction Traffic management Plan is to be strictly complied with and kept on site at all times during construction works.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

27. BASIX Certificate

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

28. BASIX Compliance Certificate

A Compliance Certificate must be provided to the PCA regarding the implementation of all energy efficiency measures as detailed in the approved BASIX Certificate before any Occupation Certificate is issued.

**S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)**

29. Completion of Landscape Works

At the completion of all works, a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboricultural Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established.

30. Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

31. Restriction to User and Positive Covenant for On-Site Detention Facility

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, water sensitive urban design, surface flow path, finished pavement and ground levels etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and or 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

32. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

33. Maintenance Schedule – On-site Stormwater Management

A Maintenance Schedule for the proposed on-site stormwater management measures is to be prepared and submitted to Council. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

34. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

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-LOT 4 DP 36122 (Cont'd)**

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

35. Maintenance of Landscaping

All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

36. Entering & Exiting of Vehicles

All vehicles shall enter and exit the premises in a forward direction.

37. Greywater System

In order to conserve and re-use water, Council encourages all developments to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

38. Notice of Commencement

The applicant must give at least two days notice to the Council and the PCA of their intention to commence the erection of a building.

39. Appointment of a PCA

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

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-LOT 4 DP 36122 (Cont'd)

40. Notification of Critical Stage Inspections

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

41. Critical Stage Inspections

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

42. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out.

43. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

44. Clause 97A – BASIX Commitments

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

45. Clause 98 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

46. Clause 98A – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

47. Clause 98B – Home Building Act 1989

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

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-LOT 4 DP 36122 (Cont'd)

48. Clause 98E – Protection & Support of Adjoining Premises

If the development involves excavation that extends below the level of the base of the footings of a building on adjoining land, this prescribed condition requires the person who benefits from the development consent to protect and support the adjoining premises and where necessary underpin the adjoining premises to prevent any damage.

END CONDITIONS

ADVISORY NOTES

1. Review of Determination

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

2. Appeal Rights

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

3. Lapsing of Consent

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

4. Access to NSW Legislations (Acts, Regulations and Planning Instruments)

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

5. Long Service Levy

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)

6. Disability Discrimination Act

This application has been assessed in accordance with the [Environmental Planning and Assessment Act 1979](#). No guarantee is given that the proposal complies with the [Disability Discrimination Act 1992](#). The applicant is responsible to ensure compliance with this and other anti-discrimination legislation. The [Disability Discrimination Act 1992](#) covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which refers to AS1428.1-Design for Access and Mobility.

7. Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (eg. Year/DA DA2021/151) and reference this condition number (e.g. Condition 23)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

8. Site Safety Fencing

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

9. SYDNEY WATER SECTION 73 CERTIFICATES

The Section 73 Certificate must be a separate certificate that relates specifically to this development consent. For example, if the development consent relates to the subdivision of the land, a Section 73 Certificate for the construction of the building that is subject to a different development consent will not suffice.

10. Electricity Supply

This development may need a connection to the Ausgrid network which may require the network to be extended or its capacity augmented. You are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services) for further details and information on lodging your application to connect to the network.

S8.2-DA2021.151- 20 Wentworth Street Greenacre
-LOT 4 DP 36122 (Cont'd)

11. Australia Post – Letter Box Size and Location

The size and location of letterboxes servicing the development are to comply with the requirements and standard of Australia Post (see attached link:
https://auspost.com.au/content/dam/auspost_corp/media/documents/Appendix-02.pdf)

ATTACHMENTS

1. [↓](#) Architectural Plans

RESIDENTIAL DEVELOPMENT - DUAL OCCUPANCY

DA SUBMISSION

20 WENTWORTH ST, GREENACRE

PROJECT NO. 21401

Strathfield Municipal Council DCP & LEP Compliance Table

No.	DRAWING NAME
DA_00.	COVER SHEET
DA_01.	SITE PLAN & ANALYSIS
DA_02.	BASEMENT PLAN
DA_03.	GROUND FLOOR PLAN
DA_04.	FIRST FLOOR PLAN
DA_05.	ROOF PLAN
DA_06.	ELEVATIONS
DA_07.	ELEVATIONS
DA_08.	FINISHES SCHEDULE
DA_09.	SECTION
DA_10.	STREETSCAPE
DA_11.	SHADOW DIAGRAMS
DA_12.	SHADOW DIAGRAMS
DA_14.	DEMOLITION PLAN
DA_15.	SEDIMENT CONTROL PLAN
DA_16.	BASIX DWELLING A
DA_17.	BASIX DWELLING B
DA_18.	FSR CALCULATIONS
DA_19.	LANDSCAPE CALCULATIONS

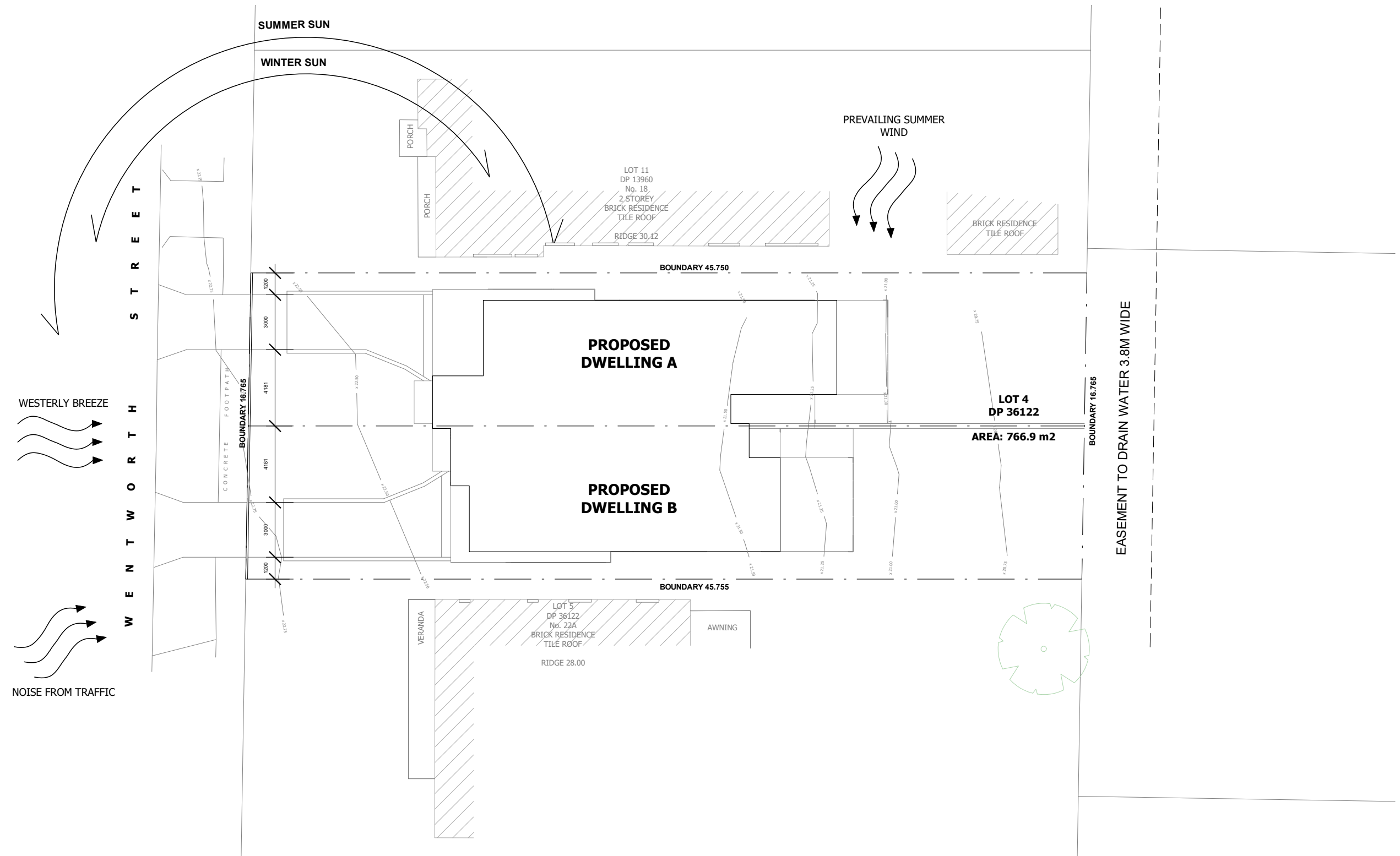
REQUIREMENTS	PROVIDED	COMPLIANCE
Land Zoning: R2 - Low Density Residential		
Site Area: 766.9 m ²		
FSR (m²): 383.45 m ² Permissible (0.5:1)	Dw A: Ground Floor - 113.3m ² First Floor - 84.7m ² Dw B: Ground Floor - 95.2m ² First Floor - 76.3m ² Total FSR - 369.5 m ²	Compliant
Front Setback: 9m	Dw A - 11m Dw B - 12m	Compliant
Rear Setback: 0.9m - Less than 3m Wall Height 1.5m - Greater than 3m Wall Height	Dw A: Ground Floor - 14.8m First Floor - 13.6m Dw B: Ground Floor - 16.6m First Floor - 16.6m	Compliant
Side Setbacks: 0.9m - Less than 3m Wall Height 1.5m - Greater than 3m Wall Height	GF - 0.9m, 1.5m FF - 1.5m	Compliant
Maximum Building Height: 9.5m	Dw A - 7.8 m Dw B - 7.6 m	Compliant
Minimum Street Frontage Landscape: A landscape strip of 1m width to be provided between driveway and boundary fence.	Provided.	Compliant
Total Minimum Landscape: 40% of the site area. 306.8m ² required.	Dw A - 143.4m ² Dw B - 163.4m ² Total: 331.4m ²	Compliant
Private Open Space: Minimum area of 40m ² and minimum 4m width.	Dw A - 90.8m ² Dw B - 105.6m ²	Compliant



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CONSULTANTS	NOTE	ISSUE	DATE	PURPOSE OF ISSUE	PROJECT	STATUS	DRAWING NO.	ISSUE	DRAWN BY
		A	23.06.21	DA SUBMISSION	20 WENTWORTH ST, GREENACRE	PRELIMINARY	DA00	D	ES
		B	24.08.21	DA AMENDMENTS		STAGE	SCALE	JOB NO.	CHECKED BY
		C	18.11.21	DA AMENDMENTS	CLIENT	DA	NTS	20401	RZ
		D	25.01.21	S8.2 REVIEW	-		DATE	DRAWING TITLE	
							25 JANUARY 2022	COVER PAGE	



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
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ISSUE	DATE	PURPOSE OF ISSUE
A	23.06.21	DA SUBMISSION
B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
D	25.01.22	S8.2 REVIEW

PROJECT
20 WENTWORTH ST, GREENACRE
CLIENT
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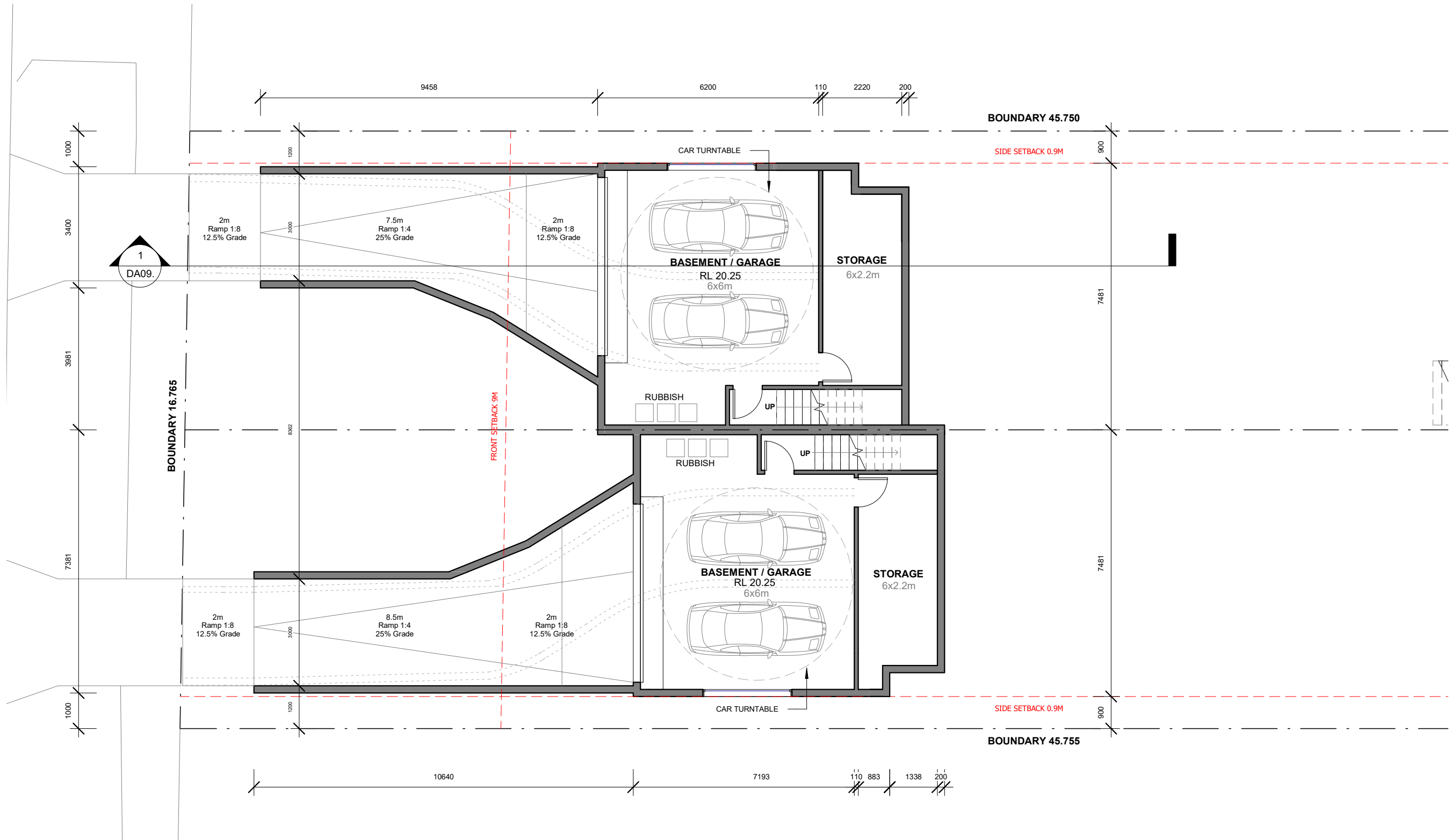
STATUS
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STAGE
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SCALE
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25 JANUARY 2022

ISSUE	DRAWN BY
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20401	RZ
DRAWING TITLE	
SITE PLAN & ANALYSIS	



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B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
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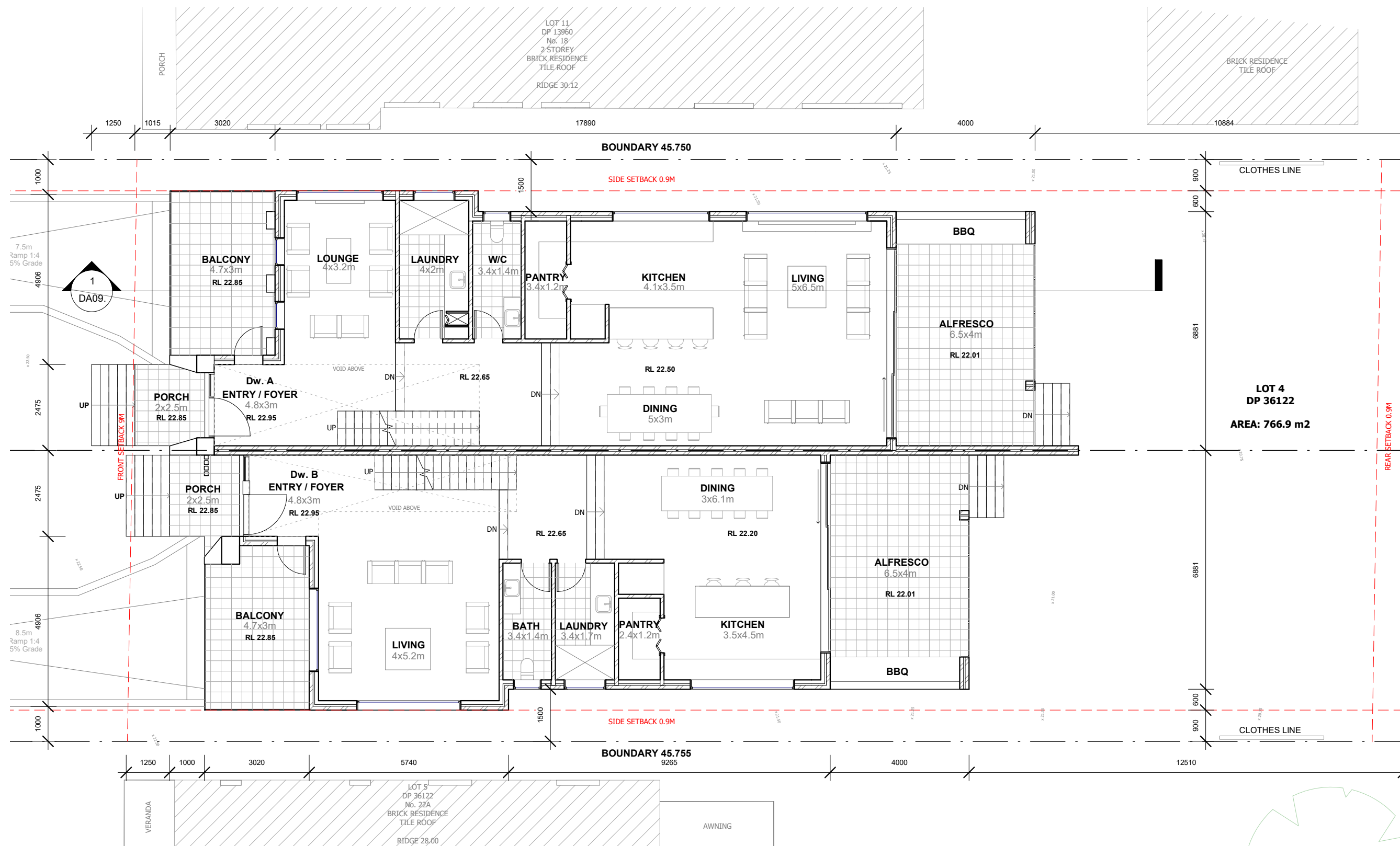
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CLIENT
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DATE
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ISSUE	DRAWN BY
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20401	RZ
DRAWING TITLE	
GROUND FLOOR	



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ISSUE	DATE	PURPOSE OF ISSUE
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D	25.01.22	S8.2 REVIEW

PROJECT	CLIENT
20 WENTWORTH ST, GREENACRE	-

STATUS	STAGE
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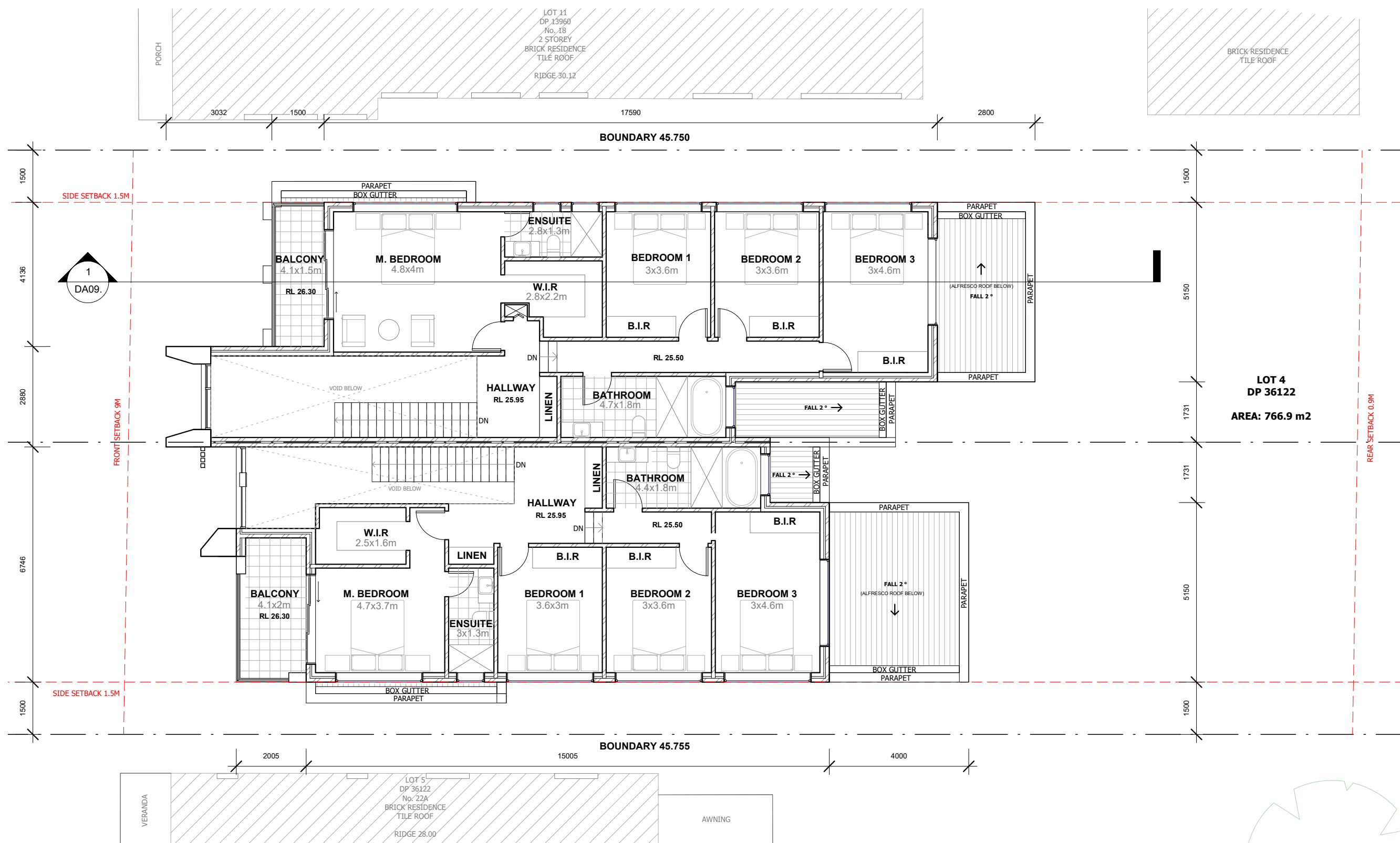
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ISSUE	JOB NO.	DRAWING TITLE
D	20401	GROUND FLOOR

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C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

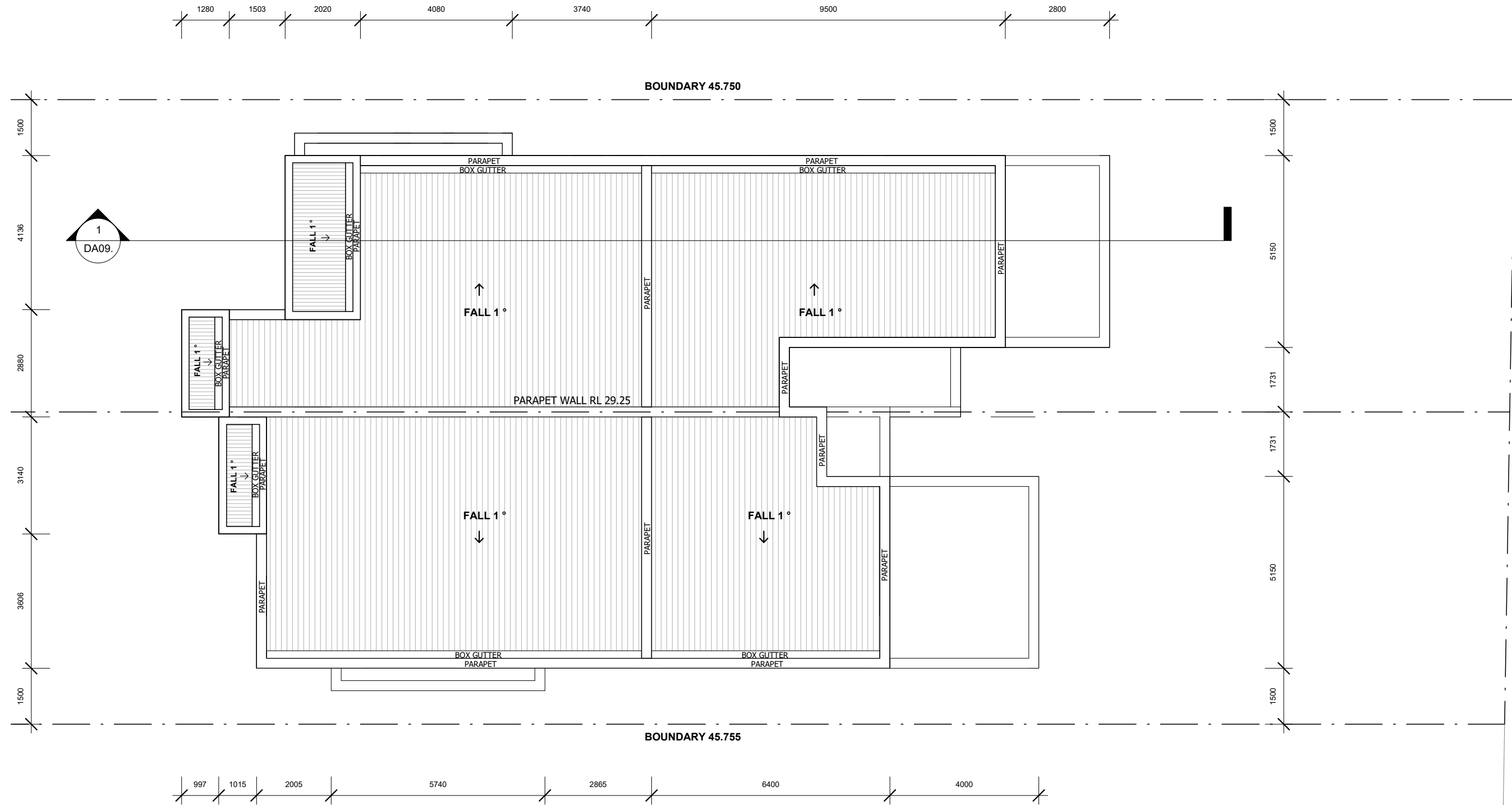
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 DATE 25 JANUARY 2022

ISSUE **D**
 JOB NO. 20401
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 CHECKED BY **RZ**

STATUS PRELIMINARY
 STAGE DA



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D	25.01.21	S8.2 REVIEW

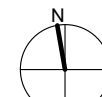
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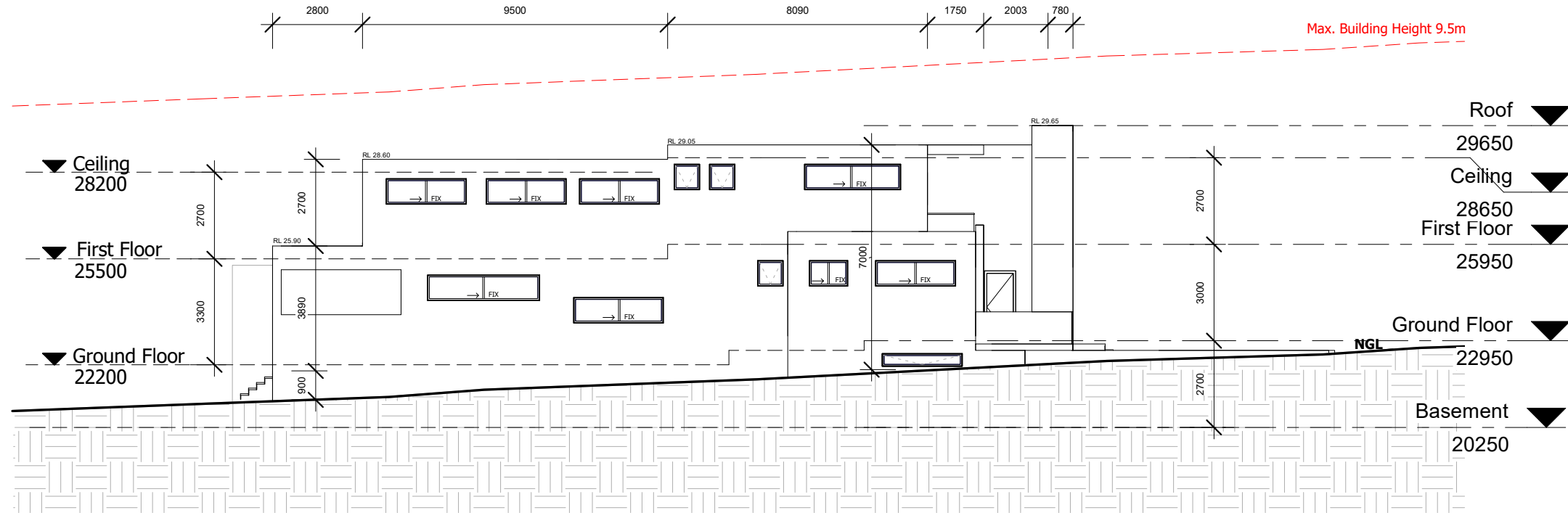
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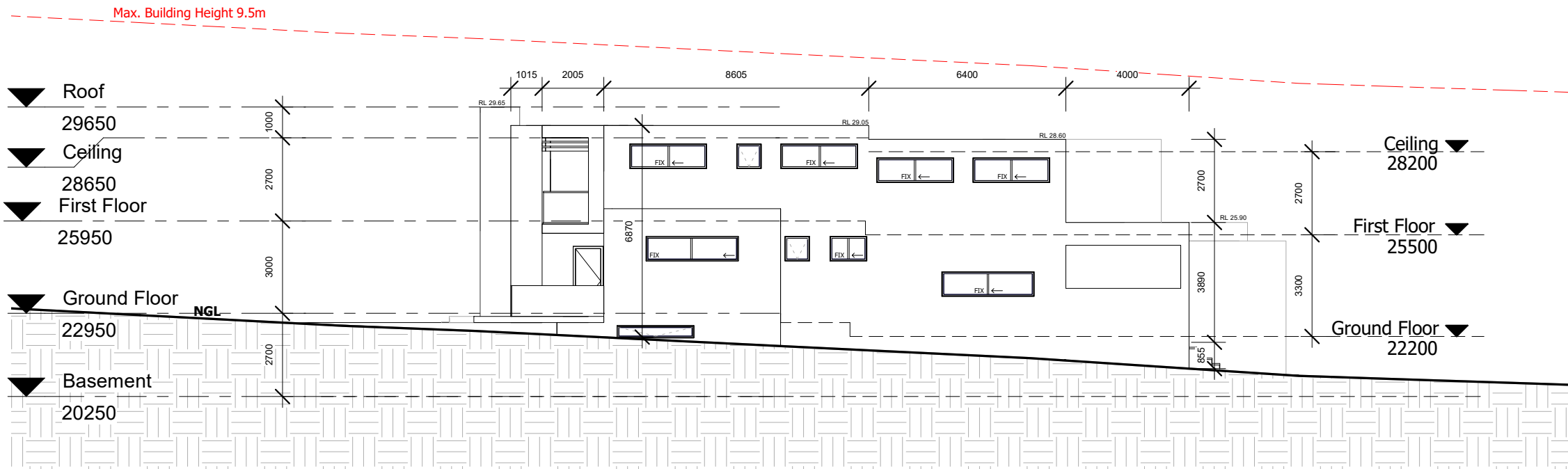
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20401
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ROOF PLAN

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NORTH ELEVATION



SOUTH ELEVATION



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PROJECT
**20 WENTWORTH ST,
GREENACRE**

CLIENT
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STATUS
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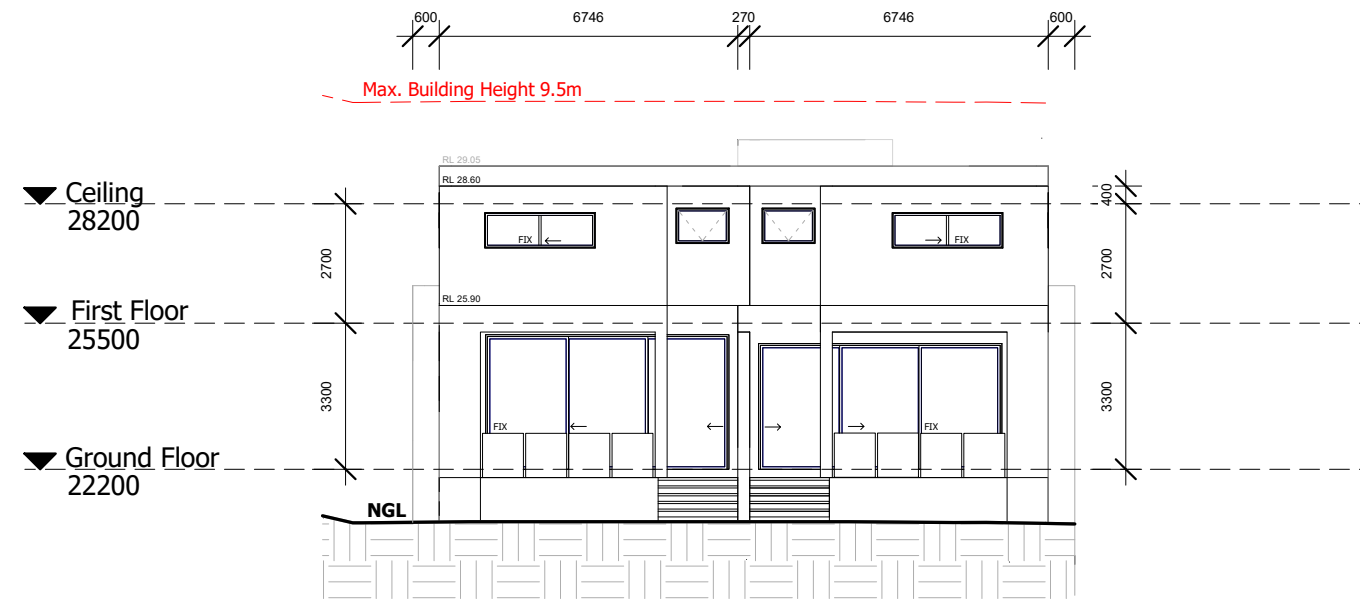
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JOB NO.
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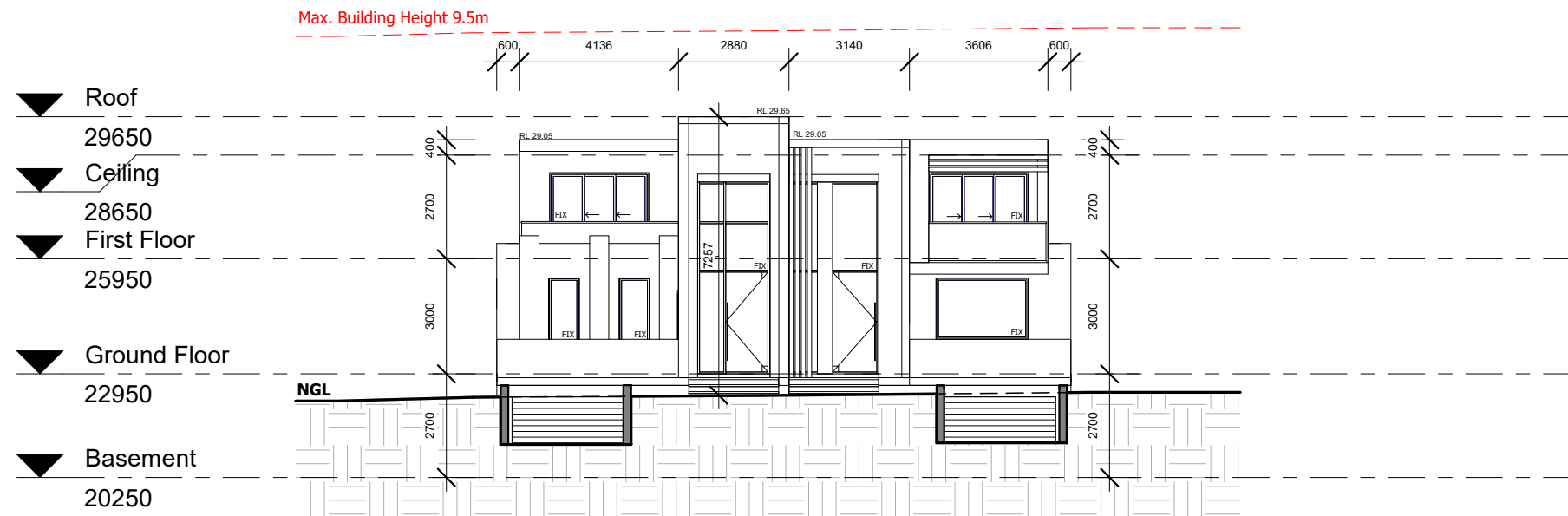
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ELEVATION

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EAST ELEVATION



WEST ELEVATION

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ISSUE	DATE	PURPOSE OF ISSUE
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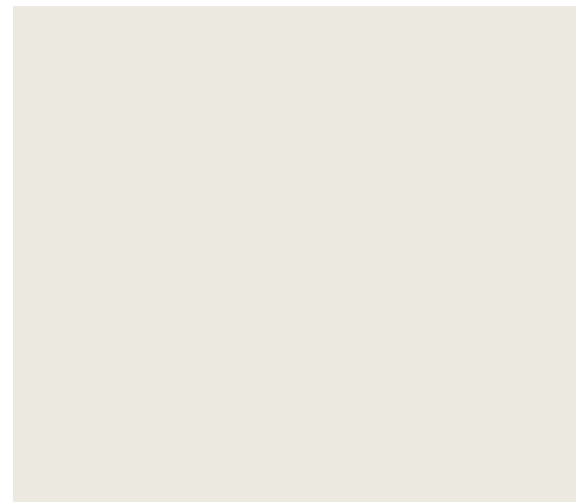
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25 JANUARY 2022	ELEVATION	

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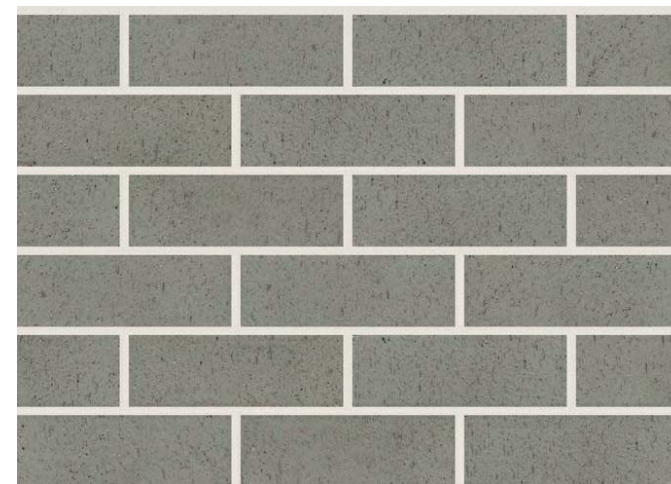
R1 WHISPER WHITE DULUX, OR SIMILAR



R2 MONUMENT DULUX, OR SIMILAR



R3 SHALE GREY DULUX, OR SIMILAR



FB PGH BRICKS - BOTANICALS COLLECTION, JUNIPER, OR SIMILAR



PRIVACY SCREENS - TIMBER BATTENS



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PROJECT
**20 WENTWORTH ST,
GREENACRE**

CLIENT
-

STATUS
PRELIMINARY

STAGE
DA

DRAWING NO.
DA08

SCALE
NTS

DATE
25 JANUARY 2022

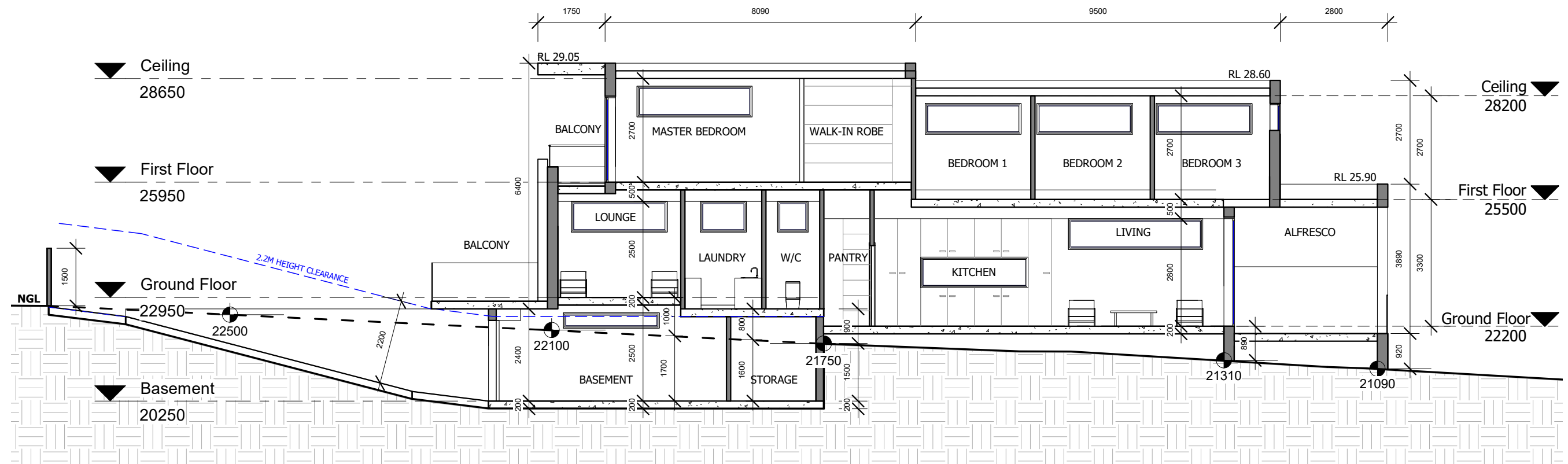
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JOB NO.
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DRAWING TITLE
FINISHES SCHEDULE

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ISSUE DATE PURPOSE OF ISSUE

A	23.06.21	DA SUBMISSION
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C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

PROJECT
**20 WENTWORTH ST,
GREENACRE**

CLIENT

STATUS
PRELIMINARY

STAGE
DA

DRAWING NO.
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SCALE
1:100 (A3)

DATE
25 JANUARY 2022

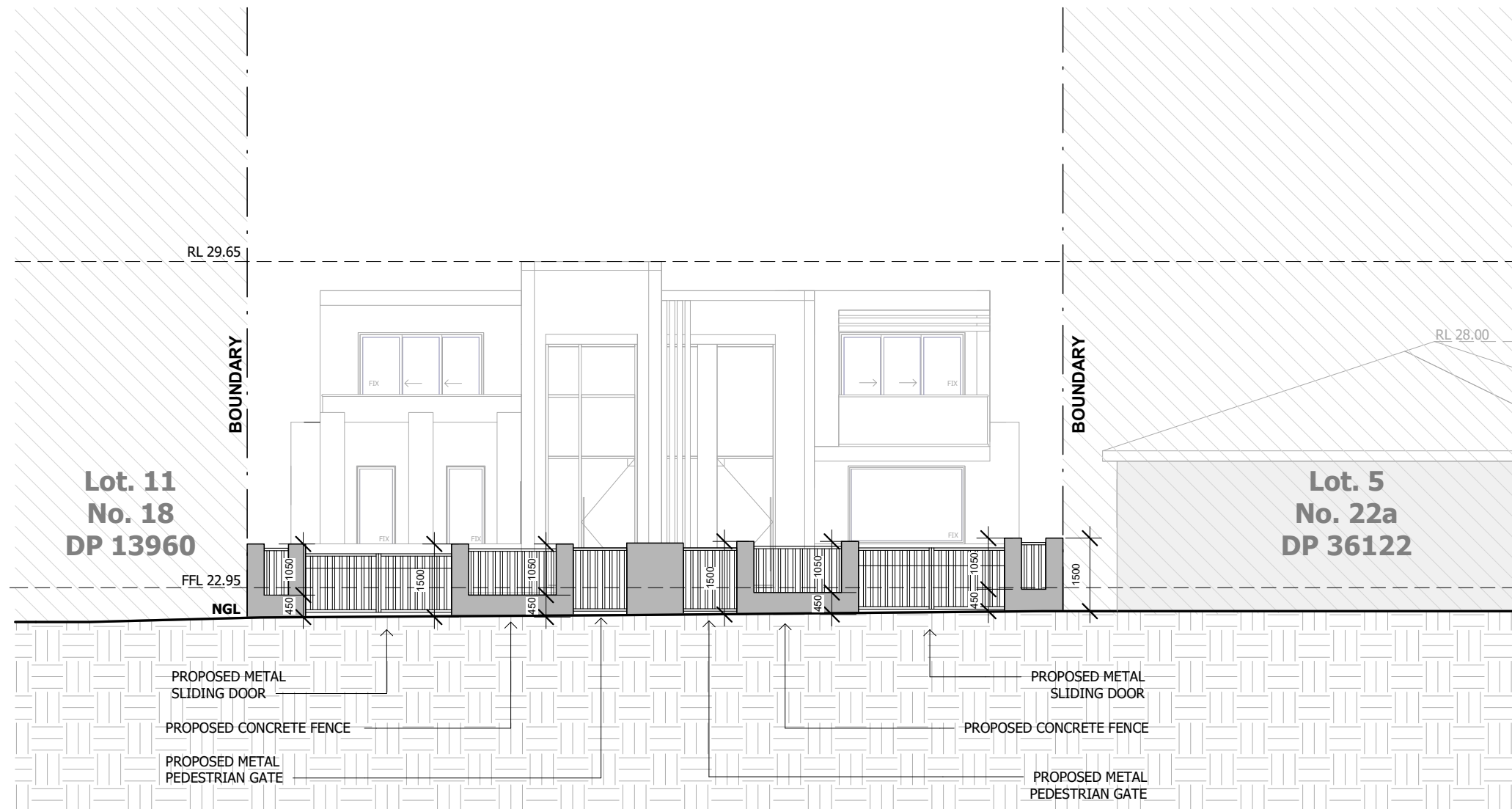
ISSUE
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JOB NO.
20401

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SECTION

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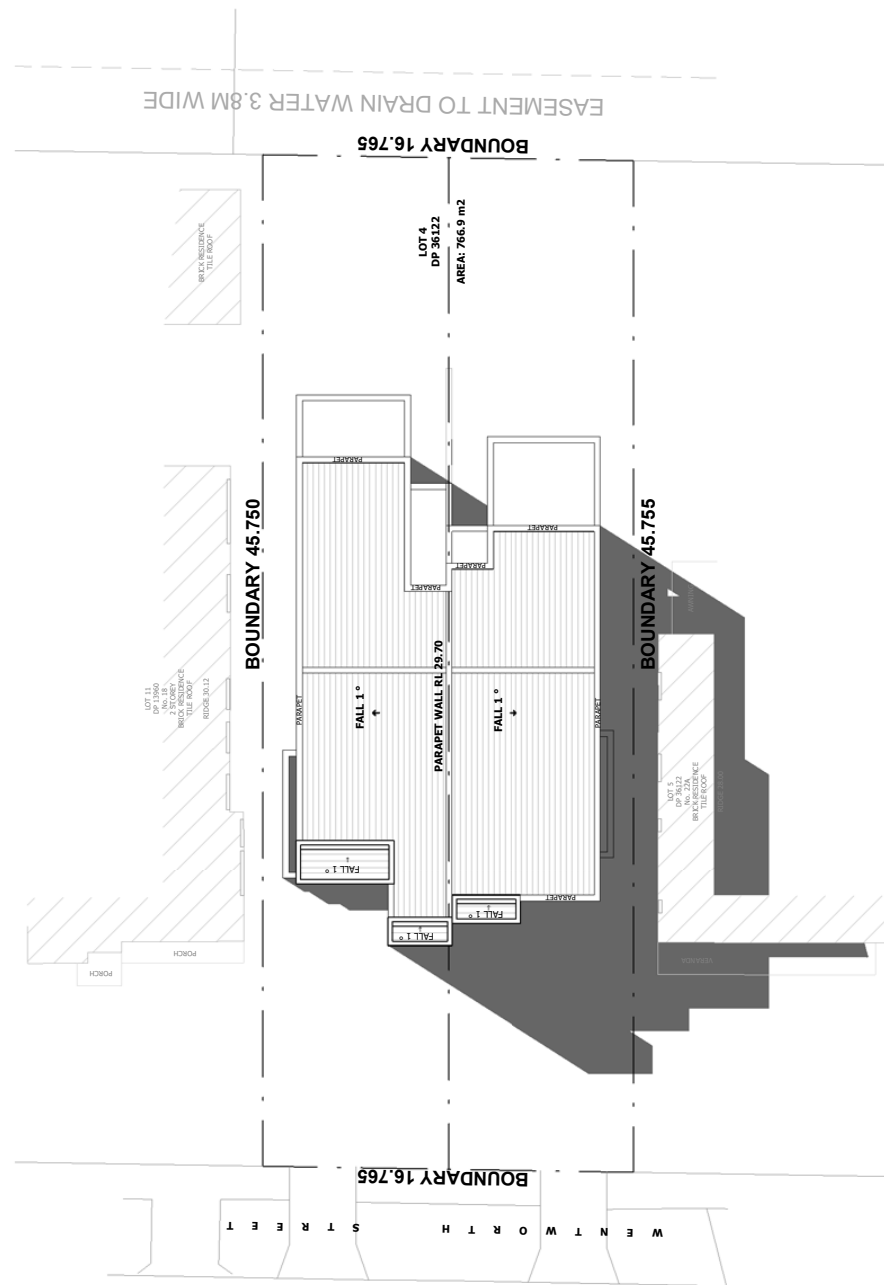
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B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

PROJECT
20 WENTWORTH ST, GREENACRE
CLIENT
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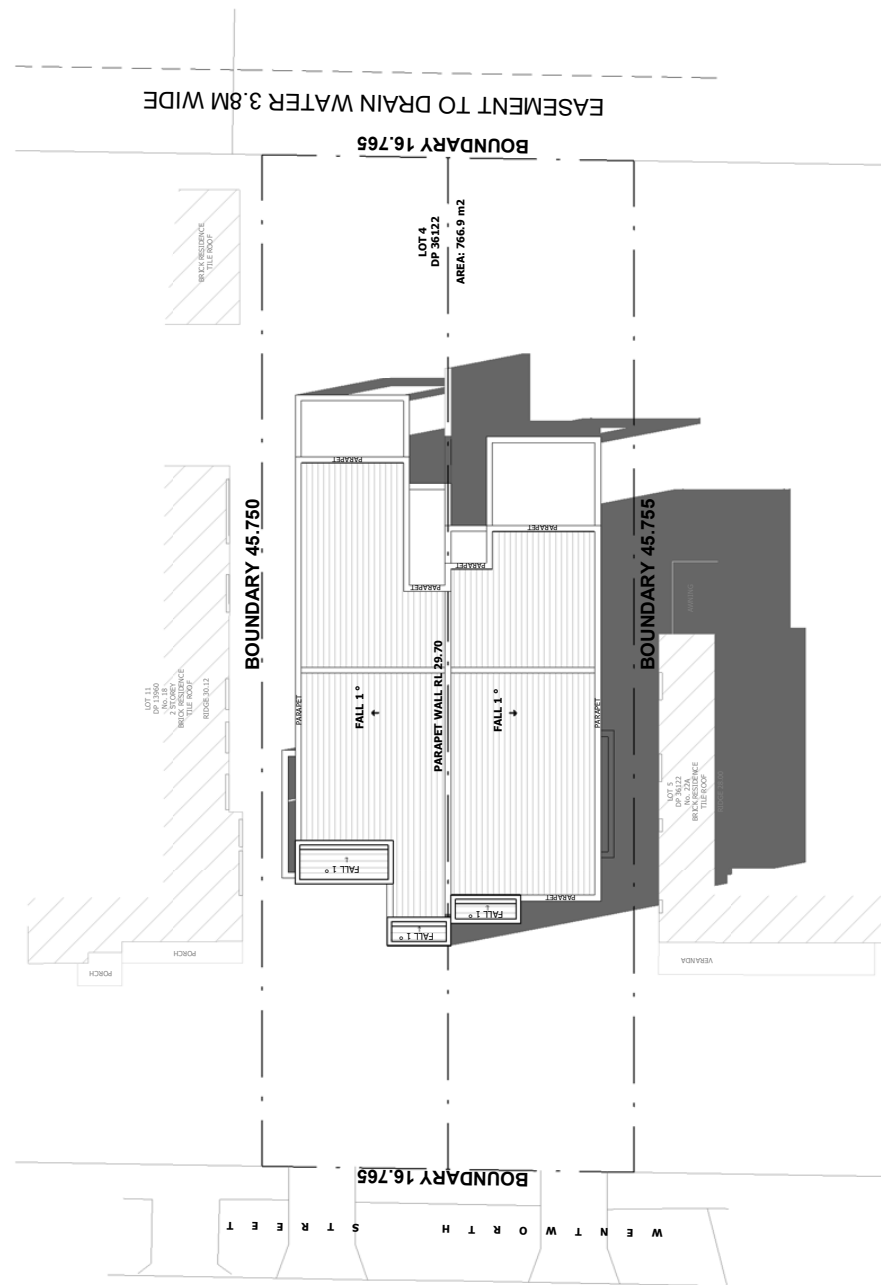
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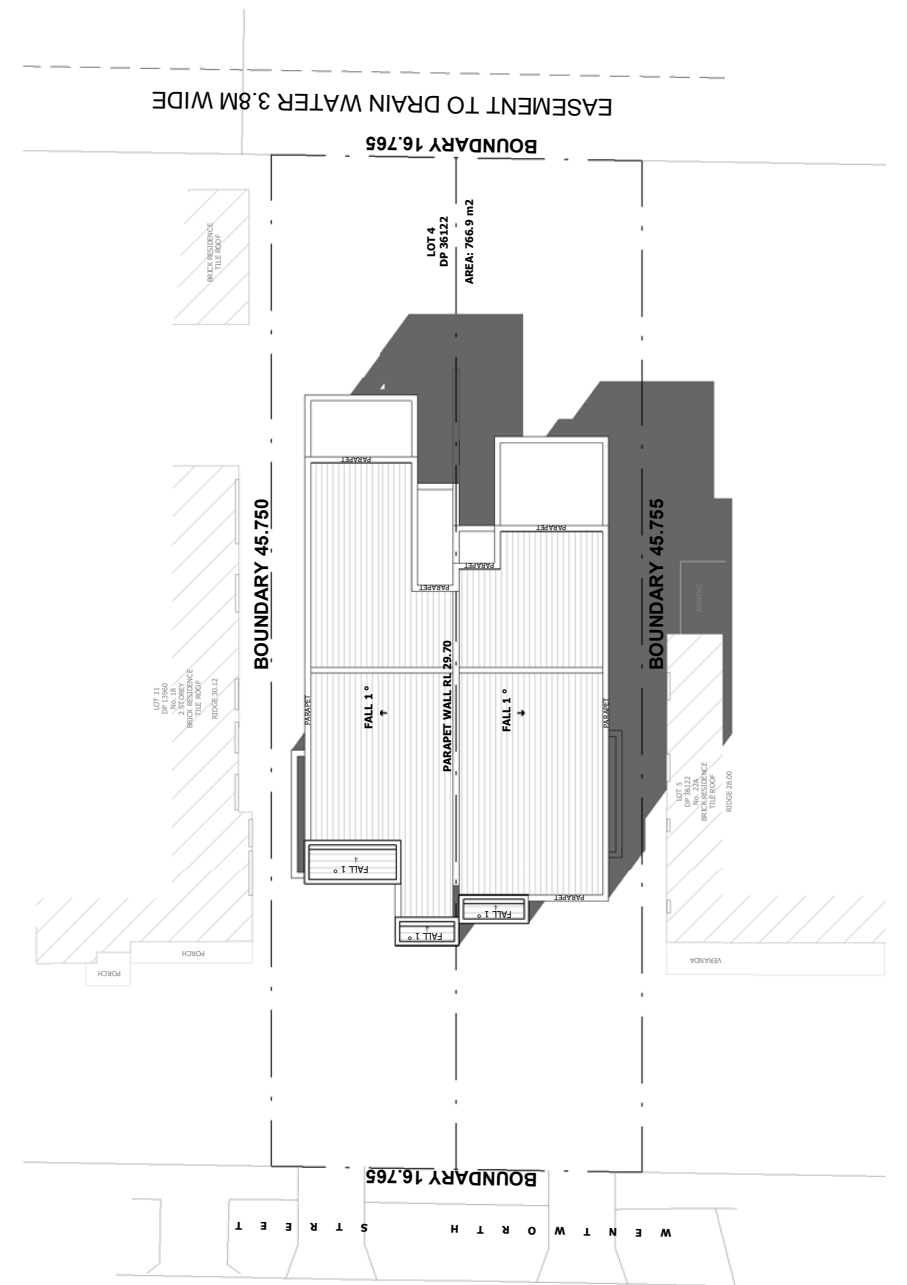
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20401	RZ
DRAWING TITLE	
STREETSCAPE	



9AM 21 JUNE - SHADOWS



12PM 21 JUNE - SHADOWS



3PM 21 JUNE - SHADOWS

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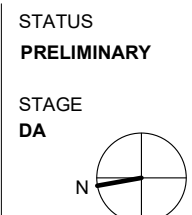
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ISSUE	DATE	PURPOSE OF ISSUE
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PROJECT	CLIENT
20 WENTWORTH ST, GREENACRE	-

STATUS	STAGE
PRELIMINARY	DA

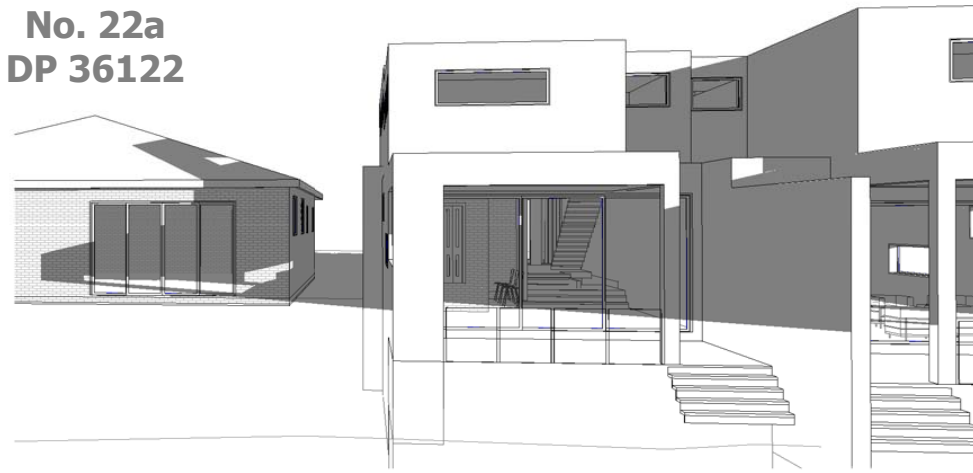


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ISSUE	JOB NO.	DRAWING TITLE
D	20401	SHADOW DIAGRAMS

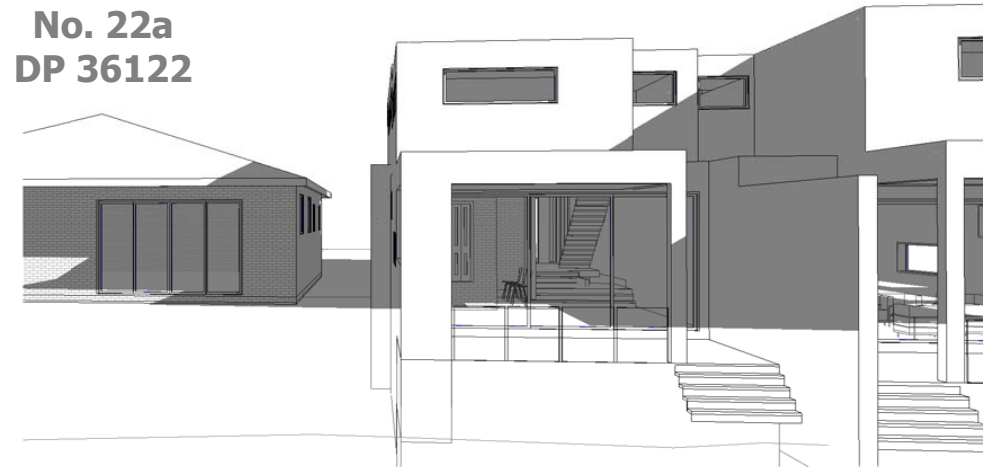
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Lot. 5
No. 22a
DP 36122



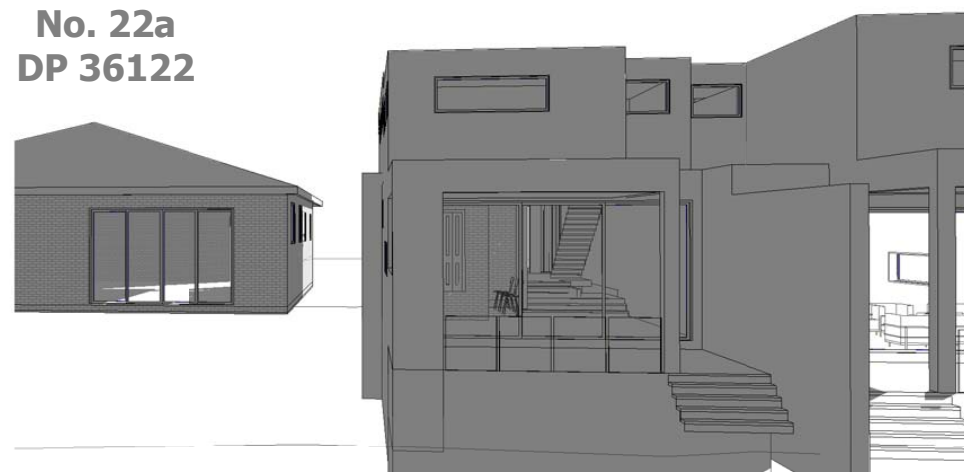
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Lot. 5
No. 22a
DP 36122



12PM 21 JUNE - SHADOWS

Lot. 5
No. 22a
DP 36122



3PM 21 JUNE - SHADOWS



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PROJECT
**20 WENTWORTH ST,
GREENACRE**

CLIENT
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STATUS
PRELIMINARY

STAGE
DA

DRAWING NO.
DA12

SCALE
NTS

DATE
25 JANUARY 2022

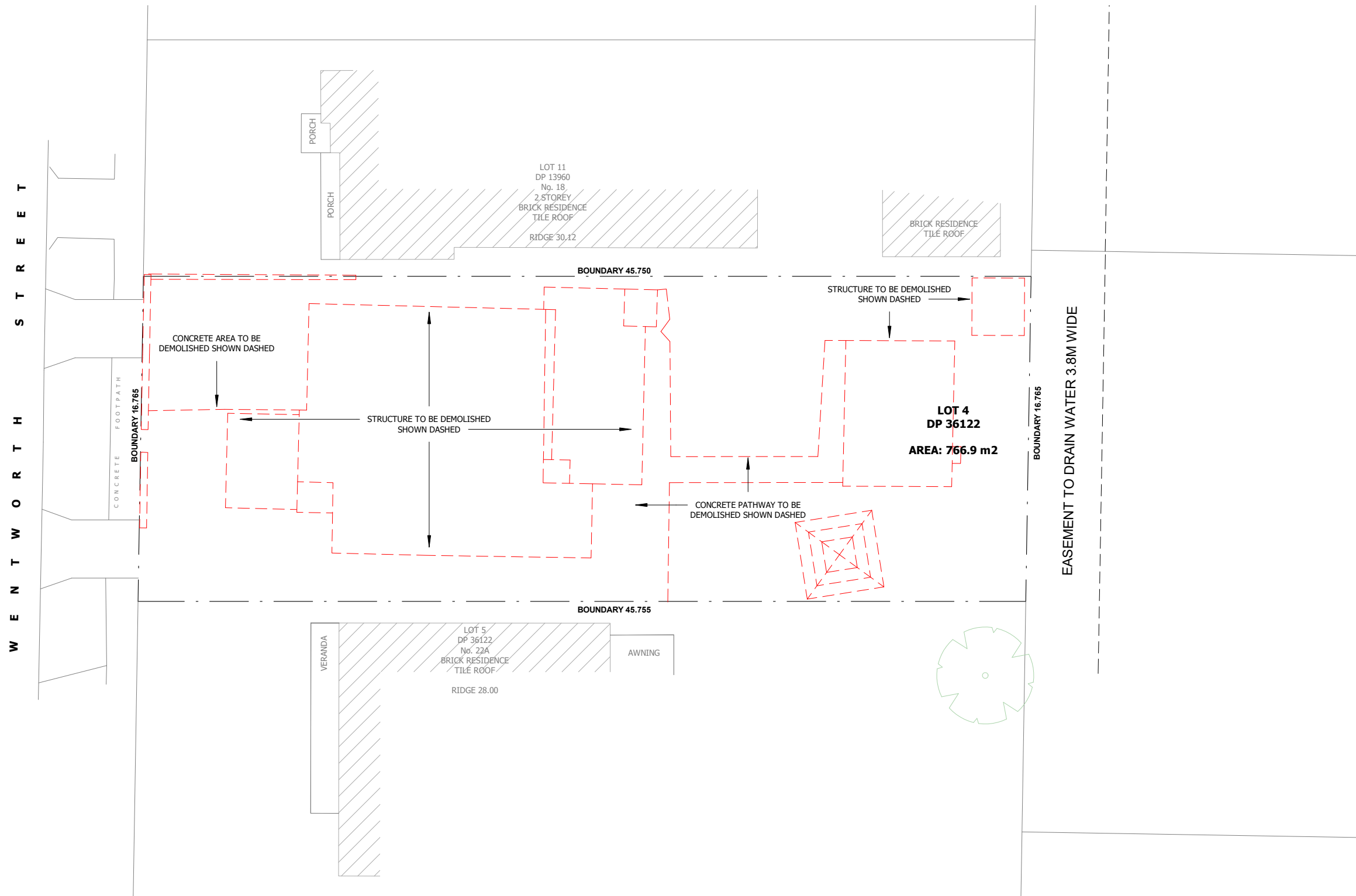
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JOB NO.
20401

DRAWING TITLE
SHADOW DIAGRAMS

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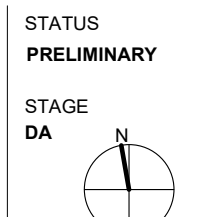
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CONSULTANTS	NOTE

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D	25.01.22	S8.2 REVIEW

PROJECT	CLIENT
20 WENTWORTH ST, GREENACRE	-

STATUS	STAGE
PRELIMINARY	DA

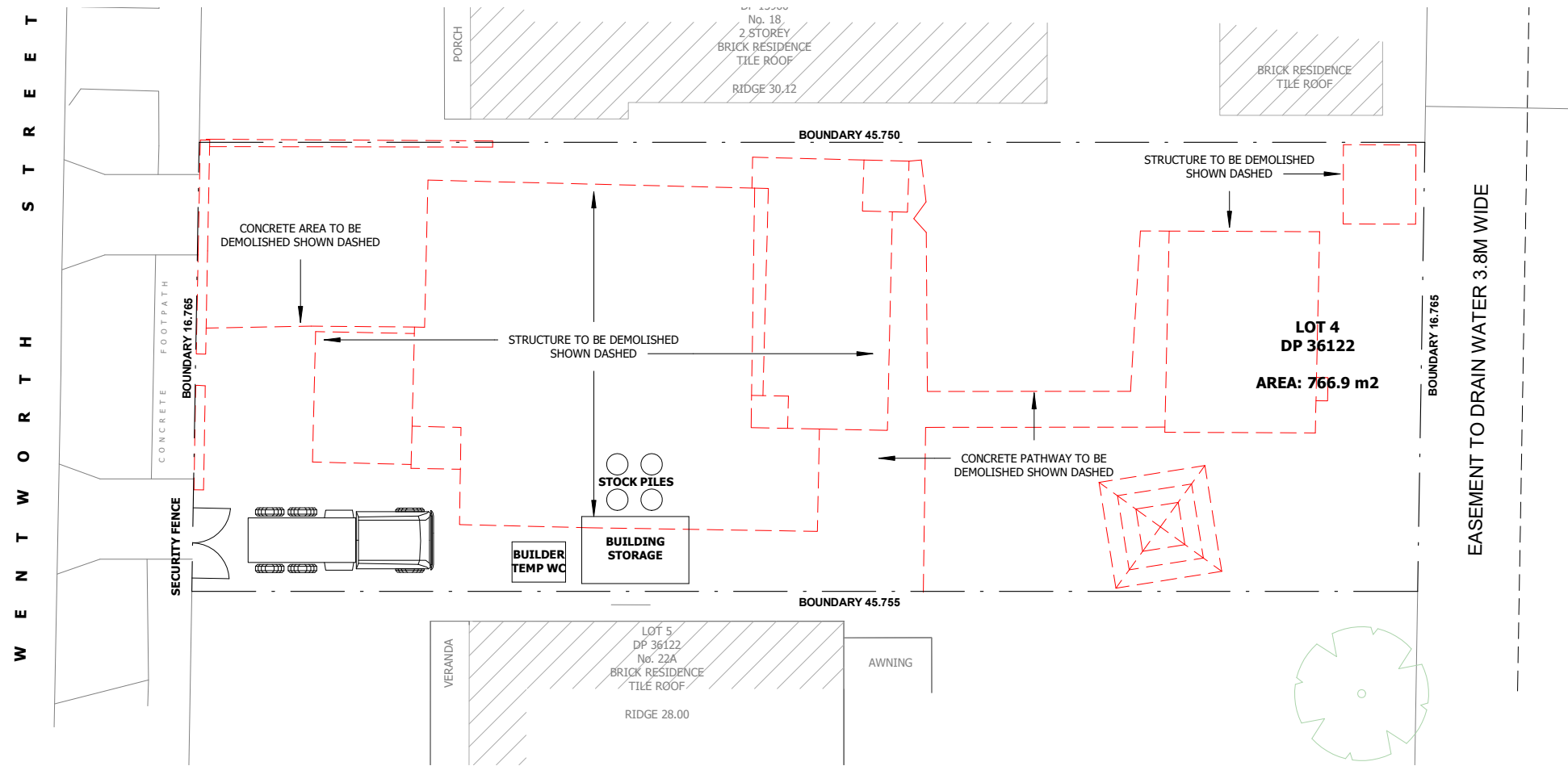


DRAWING NO.	SCALE	DATE
DA14	1:200 (A3)	25 JANUARY 2022

ISSUE	JOB NO.	DRAWING TITLE
D	20401	DEMOLITION PLAN

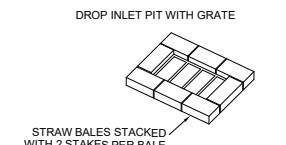
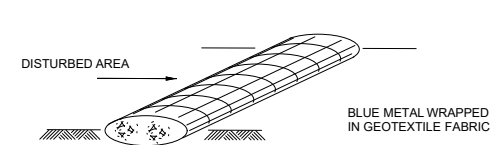
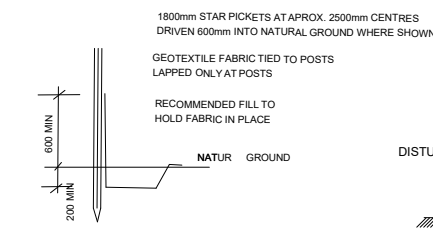
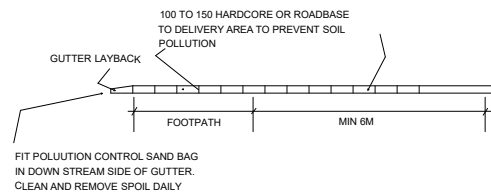
DRAWN BY
ES

CHECKED BY
RZ



SOIL AND WATER MANAGEMENT NOTES

01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
02. MINIMISE DISTURBED AREAS
03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
05. ROADS AND FOOTPATHS TO BE SWEEPED DAILY AND KEPT CLEAN AT ALL TIMES
06. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCILS' REQUIREMENTS.
07. NOT WITHSTANDING DETAILS SHOWN, IT IS THE SITE MANAGERS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERSACT.
08. ALL BARE SOIL AREAS ARE TO BE PROTECTED FROM EROSION BY TEMPORARY MEASURES AND RE-VEGETATED
09. THE DOWNHILL BOUNDARY OF THE SITE IS TO BE PROTECTED BY HAY BALES OR A FILTER FABRIC FENCE DURING CONSTRUCTION AS SHOWN IN THE ATTACHED DETAILS.
10. THE STREET DRAINAGE PIT LOCATED DOWNHILL OF THE SITE SHALL BE PROTECTED FROM SEDIMENT WITH HAY BALES.
11. A SINGLE CONSTRUCTION ENTRANCE SHALL BE ESTABLISHED IN THE MANNER SHOWN IN THE ATTACHED DETAILS.
12. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL AND STRUCTURAL ENGINEERING DOCUMENTS. ANY DISCREPANCIES SHALL BE REPORTED BY THE BUILDER TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE ITEM.
13. IF IN DOUBT, ASK THE SUPERINTENDENT WHO SHALL CONSULT THE DESIGNER.



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CONSULTANTS

NOTE

ISSUE	DATE	PURPOSE OF ISSUE
A	23.06.21	DA SUBMISSION
B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

PROJECT	STATUS
20 WENTWORTH ST, GREENACRE	PRELIMINARY
CLIENT	STAGE DA

DRAWING NO.	ISSUE	DRAWN BY
DA15	D	ES
SCALE	JOB NO.	CHECKED BY
1:200 (A3)	20401	RZ
DATE	DRAWING TITLE	
25 JANUARY 2022	SEDIMENT CONTROL PLAN	

ASIX Certificate
g Sustainability Index www.basix.nsw.gov.au

le Dwelling

le number: 12122095

le confirms that the proposed development will meet the NSW's requirements for sustainability, if it is built in accordance with the terms set out below. Terms used in this certificate, or in the commitments, meaning given by the document entitled "BASIX Definitions" dated 20 published by the Department. This document is available at www.basix.nsw.gov.au

Issue: Tuesday, 15 June 2021
le, this certificate must be lodged within 3 months of the date of issue.

Planning, Industry & Environment

Project summary		
Project name	20 Wentworth - Dwelling A	
Street address	20 Wentworth Street Greenacre 2190	
Local Government Area	Strathfield Municipal Council	
Plan type and plan number	Deposited Plan 36122	
Lot no.	4	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	43	Target 40
Thermal Comfort	Pass	Target Pass
Energy	60	Target 50

Certificate Prepared by	
Name / Company Name:	msconult
ABN (if applicable):	3196363657

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 1/10

Description of project

Project address		Assessor details and thermal loads	
Project name	20 Wentworth - Dwelling A	Assessor number	N/A
Street address	20 Wentworth Street Greenacre 2190	Certificate number	N/A
Local Government Area	Strathfield Municipal Council	Climate zone	N/A
Plan type and plan number	Deposited Plan 36122	Area adjusted cooling load (MJ/m ² /year)	N/A
Lot no.	4	Area adjusted heating load (MJ/m ² /year)	N/A
Section no.	-	Ceiling fan in at least one bedroom	N/A
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	N/A
No. of bedrooms	4	Project score	
Site details		Water	43 Target 40
Site area (m ²)	364	Thermal Comfort	Pass Target Pass
Floor area (m ²)	160	Energy	60 Target 50
Conditioned floor area (m ²)	180.0		
Unconditioned floor area (m ²)	15.0		
Total area of garden and lawn (m ²)	135		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 2/10

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 122 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- all toilets in the development.		✓	✓
- the cold water tap that supplies each clothes washer in the development.		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 3/10

Thermal Comfort Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
General Features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain first level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications	
Floor - concrete slab on ground, 65 square metres	nil		
Floor - above habitable rooms or mezzanine, 65 square metres, concrete	nil		
Floor - suspended floor above garage, concrete	nil		
external wall - cavity brick	0.50 (or 1.17 excluding construction)		
internal wall shared with garage - cavity brick wall	nil		
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.5 (g), roof: foil backed blanket (75 mm)	framed, medium (solar absorbance 0.475-0.70)	

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 4/10

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
East facing					
W03	600	2000	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W06	700	1200	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W19	600	600	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W21	600	2500	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W25	600	2500	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W22	2000	2000	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W20	600	2500	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W18	600	600	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W14	600	600	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W27	700	1200	aluminium, single, clear	slat overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
South facing					
W15	1200	800	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W17	1200	600	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W23	1200	1500	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W02	1200	800	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W16	1200	1500	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W02	1200	800	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed
W16	1200	1500	aluminium, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed fuel heater. Energy rating: 5 star		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: gas fixed fuel heater. Energy rating: 5 star		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof. Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
- at least 4 of the bedrooms / study;		✓	✓
- at least 3 of the living / dining rooms;		✓	✓
- the kitchen;		✓	✓

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 5/10

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Energy Commitments	Show on DA plans	Show on CCODC plans & specs	Certifier check
Panel lighting			
applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
applicant must install a window and/or skylight in 3 bathroom(s)/bath(s) in the development for natural lighting.	✓	✓	✓
Renewable energy			
applicant must install a photovoltaic system with the capacity to generate at least 0.5 peak kilowatts of electricity as part of the project. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Hot			
applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX rules.		✓	✓
applicant must install a feed outdoor clothes drying line as part of the development.		✓	✓
applicant must install a feed indoor or sheltered clothes drying line as part of the development.		✓	✓

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Comments identified with a 📄 in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Comments identified with a 📄 in the "Show on CCODC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Comments identified with a 📄 in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate/other interim or final) for the development may be issued.	

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 9/10

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / (DAR)NSA_3_17_0 Certificate No: 12122095 Tuesday, 15 June 2021 page 10/10

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CONSULTANTS	NOTE	ISSUE	DATE	PURPOSE OF ISSUE	PROJECT	STATUS	DRAWING NO.	ISSUE	DRAWN BY
		A	23.06.21	DA SUBMISSION	20 WENTWORTH ST, GREENACRE	PRELIMINARY	DA16	D	ES
		B	24.08.21	DA AMENDMENTS		STAGE DA	SCALE NTS	JOB NO. 20401	CHECKED BY RZ
		C	18.11.21	DA AMENDMENTS	CLIENT -		DATE 25 JANUARY 2022	DRAWING TITLE BASIX - DWELLING A	
		D	25.01.21	S8.2 REVIEW					

ASIX Certificate
g Sustainability Index www.basix.nsw.gov.au

le Dwelling

id number: 1212145

ificates confirms that the proposed development will meet the NSW water requirements for sustainability, if it is built in accordance with the terms set out below. Terms used in this certificate, or in the commitments, a meaning given by the document entitled "BASIX Definitions" dated 200 published by the Department. This document is available at www.basix.nsw.gov.au.

Issue: Tuesday, 15 June 2021
id, this certificate must be lodged within 3 months of the date of issue.

Planning, Industry & Environment

Project summary		
Project name	20 Wentworth - Dwelling B	
Street address	20 Wentworth Street Greenacre 2190	
Local Government Area	Strathfield Municipal Council	
Plan type and plan number	Deposited Plan 36122	
Lot no.	4	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	43	Target 40
Thermal Comfort	Pass	Target Pass
Energy	60	Target 50

Certificate Prepared by	
Name / Company Name:	msconsult
ABN (if applicable):	31963963807

Description of project

Project address		Assessor details and thermal loads	
Project name	20 Wentworth - Dwelling B	Assessor number	918
Street address	20 Wentworth Street Greenacre 2190	Certificate number	918
Local Government Area	Strathfield Municipal Council	Climate zone	918
Plan type and plan number	Deposited Plan 36122	Area adjusted cooling load (MJ/m ² /year)	918
Lot no.	4	Area adjusted heating load (MJ/m ² /year)	918
Section no.	-	Cooling fan in at least one bedroom	918
Project type	separate dwelling house	Cooling fan in at least one living room or other conditioned area	918
Site details		Project score	
Site area (m ²)	364	Water	43 Target 40
Floor area (m ²)	160	Thermal Comfort	Pass Target Pass
Conditioned floor area (m ²)	180.0	Energy	60 Target 50
Unconditioned floor area (m ²)	15.0		
Total area of garden and lawn (m ²)	135		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on COCCDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 l/min + spray force and/or coverage levels) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 122 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- all toilets in the development		✓	✓
- the cold water tap that supplies each clothes washer in the development		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on COCCDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floors, walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction			
Construction	Additional insulation required (R-value)	Other specifications	
Floor - concrete slab on ground, 80 square metres	nil		
Floor - above habitable rooms or mezzanine, 65 square metres, concrete	nil		
Floor - suspended floor above garage, concrete	nil		
External wall - cavity brick	0.50 (per 1.17 including construction)		
Internal wall shared with garage - cavity brick wall	nil		
Ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.5 (up), roof: full backed blanket (75 mm)	framed, medium (solar absorbance 0.475-0.75)	

Thermal Comfort Commitments	Show on DA plans	Show on COCCDC plans & specs	Certifier check		
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the fixtures listed in the table. Relevant overhang specifications must be submitted for each window and glazed door. Venting may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓		
Shading requirements must also be satisfied in relation to each window and glazed door.	✓	✓	✓		
or the following glass and frame types, the certifier check can be performed by visual inspection.	✓	✓	✓		
- Aluminium single clear					
- Aluminium double (air) clear					
- Tempered/Catreglass single clear					
tempered/Catreglass double (air) clear					
Windowed door no.					
Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)		
W15	1200	800	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W18	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W27	700	1200	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W20	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W22	2500	2000	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W21	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W19	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W24	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W23	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W25	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
South facing					
W21	1200	1500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W20	1200	800	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W17	1200	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched

Windowed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overhatching
East facing					
W26	700	1200	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W18	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W27	700	1200	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W20	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W22	2500	2000	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W21	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W19	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W24	600	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W23	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W25	600	2500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
South facing					
W21	1200	1500	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W20	1200	800	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W17	1200	600	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched

Windowed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overhatching
W15	1200	800	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched
W19	1200	1000	aluminum, single, clear	solid overhang 2000 mm, 350 mm above head of window or glazed door	not overhatched

Energy Commitments	Show on DA plans	Show on COCCDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: 5 star.	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: 5 star.	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fired fluid heater. Energy rating: 5 star.	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: gas fired fluid heater. Energy rating: 5 star.	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or LED lamps:			
- at least 4 of the bedrooms / study;	✓	✓	✓
- at least 3 of the living / dining rooms;	✓	✓	✓
- the kitchen;	✓	✓	✓

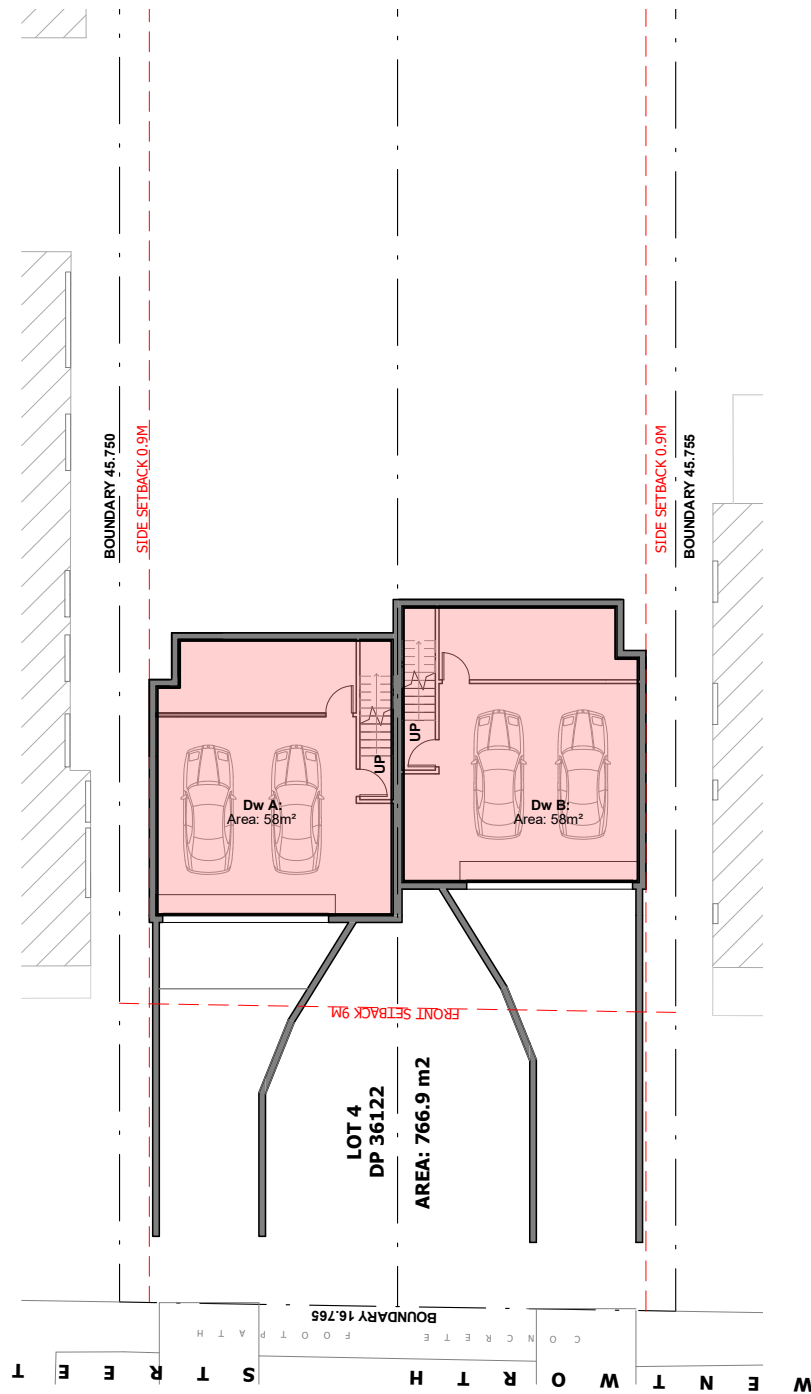
Energy Commitments	Show on DA plans	Show on COCCDC plans & specs	Certifier check
Water			
applicant must install a window and/or skylight in the kitchen for natural lighting	✓	✓	✓
applicant must install a window and/or skylight in 3 bathrooms/toilets in the development for natural lighting	✓	✓	✓
Renewable energy			
applicant must install a photovoltaic system with the capacity to generate at least 0.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Water			
applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	✓	✓	✓
applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX plans.	✓	✓	✓
applicant must install a fixed outdoor clothes drying line as part of the development.	✓	✓	✓
applicant must install a fixed indoor or sheltered clothes drying line as part of the development.	✓	✓	✓

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on COCCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

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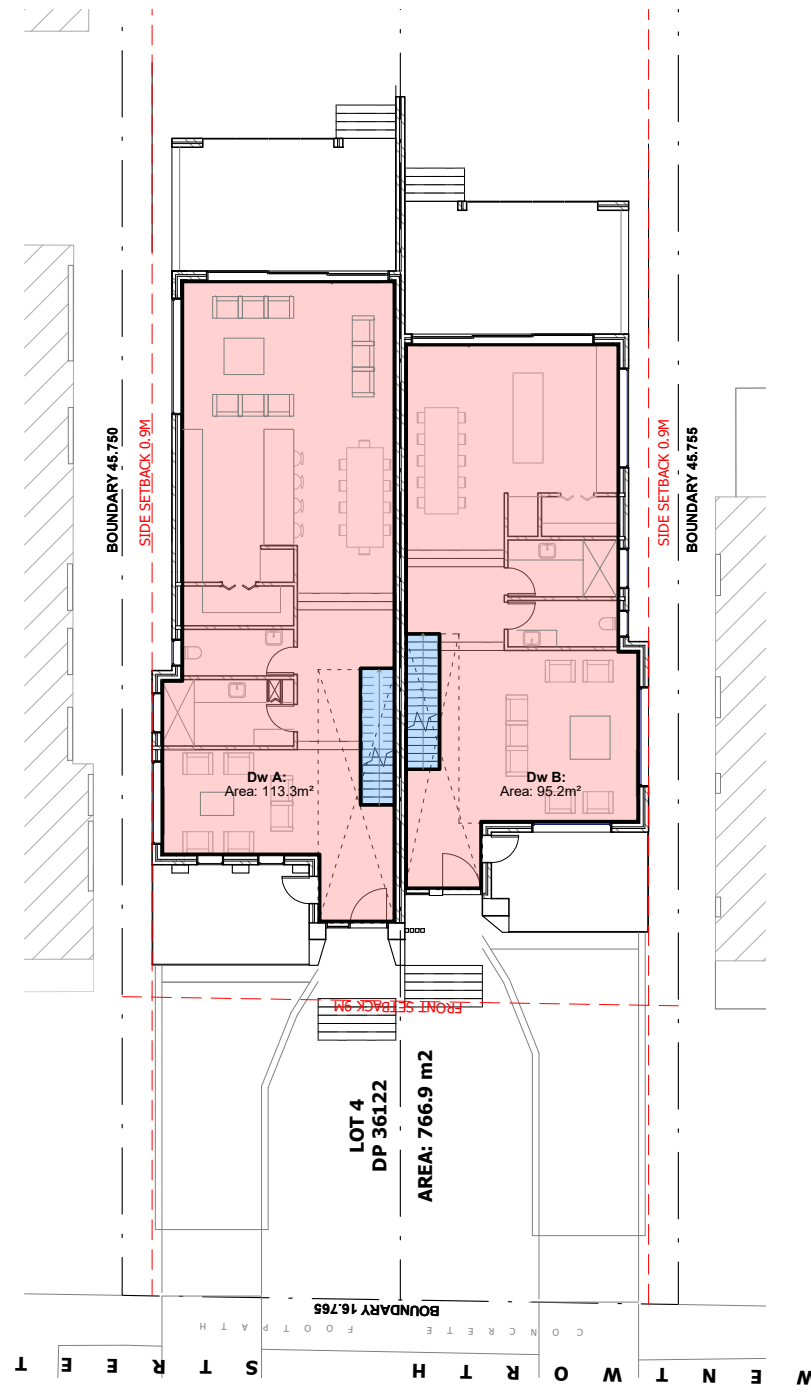
zta architects
architecture / urban design / interior design

CONSULTANTS	NOTE	ISSUE	DATE	PURPOSE OF ISSUE	PROJECT	STATUS	DRAWING NO.	ISSUE	DRAWN BY
		A	23.06.21	DA SUBMISSION	20 WENTWORTH ST, GREENACRE	PRELIMINARY	DA17	D	ES
		B	24.08.21	DA AMENDMENTS		STAGE DA	SCALE NTS	JOB NO. 20401	CHECKED BY RZ
		C	18.11.21	DA AMENDMENTS	CLIENT -		DATE 25 JANUARY 2022	DRAWING TITLE BASIX - DWELLING B	
		D	25.01.21	S8.2 REVIEW					



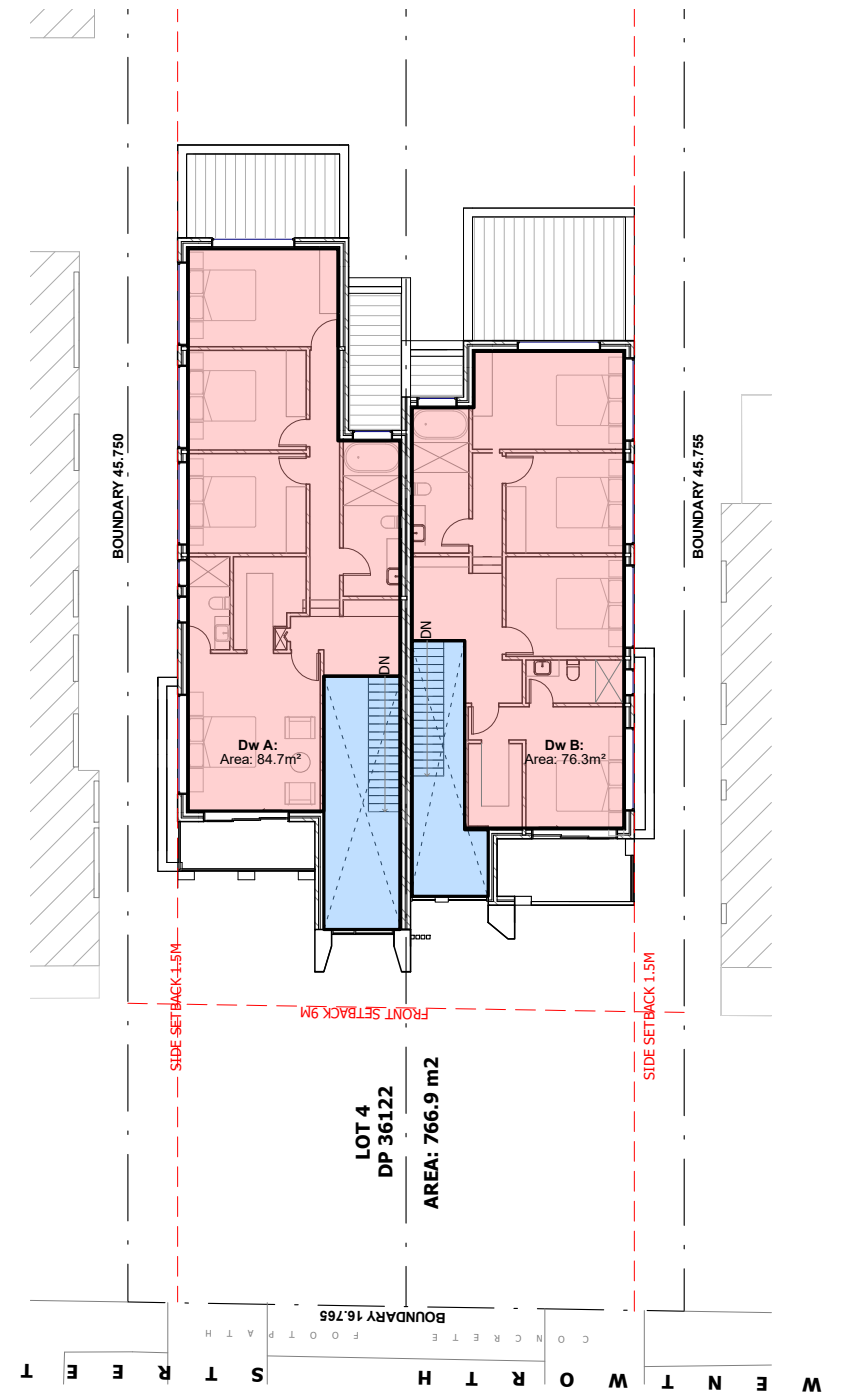
FSR CALCULATIONS - BASEMENT
(NOT INCLUDED IN FSR CALCULATIONS)

	Dwelling A	Dwelling B
Area:	58 m ²	58 m ²
FSR:	58 m ²	58 m ²
VOID:	0 m ²	0 m ²
Total Area:	Area: 116 m ²	



FSR CALCULATIONS - GROUND FLOOR

	Dwelling A	Dwelling B
Area:	113.3 m ²	95.2 m ²
FSR:	113.3 m ²	95.2 m ²
VOID:	4 m ²	4 m ²
Total Area:	Area: 208.5 m ²	



FSR CALCULATIONS - FIRST FLOOR

	Dwelling A	Dwelling B
Area:	84.7 m ²	76.3 m ²
FSR:	84.7 m ²	76.3 m ²
VOID:	17.5 m ²	13.5 m ²
Total Area:	Area: 161 m ²	

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CONSULTANTS

NOTE

ISSUE **DATE** **PURPOSE OF ISSUE**

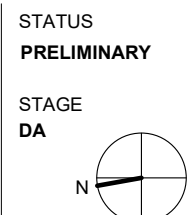
A	23.06.21	DA SUBMISSION
B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

PROJECT
20 WENTWORTH ST,
GREENACRE

CLIENT
-

STATUS
PRELIMINARY

STAGE
DA



DRAWING NO.
DA18

SCALE
1:200 (A3)

DATE
25 JANUARY 2022

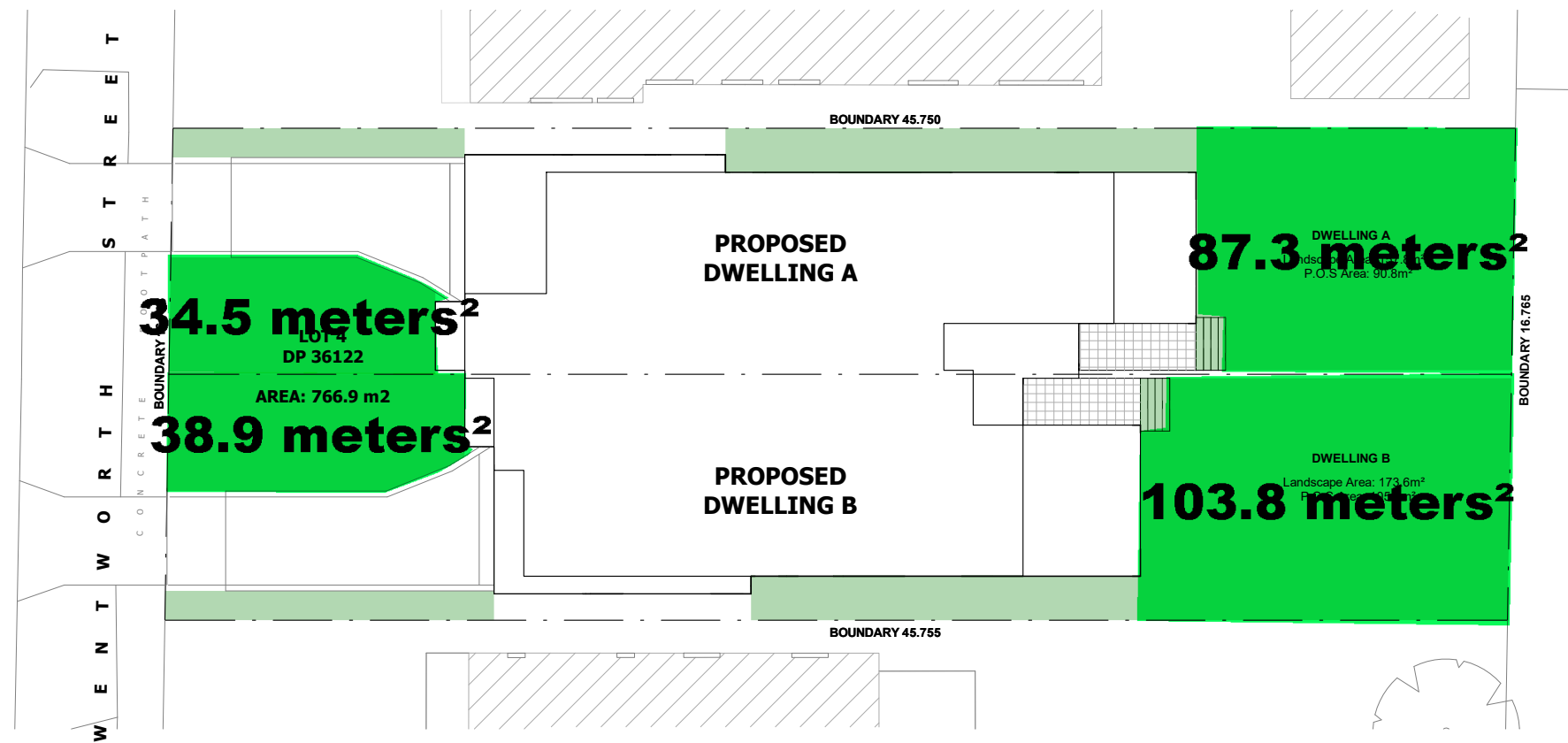
ISSUE
D

JOB NO.
20401

DRAWING TITLE
FSR CALCULATIONS

DRAWN BY
ES

CHECKED BY
RZ



LANDSCAPE CALCULATIONS

	Dwelling A	Dwelling B
Landscape Area	157.8 m ²	173.6 m ²
Total Area:	Area: 331.4m²	

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NOTE

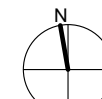
ISSUE	DATE	PURPOSE OF ISSUE
A	23.06.21	DA SUBMISSION
B	24.08.21	DA AMENDMENTS
C	18.11.21	DA AMENDMENTS
D	25.01.21	S8.2 REVIEW

PROJECT
**20 WENTWORTH ST,
GREENACRE**

CLIENT
-

STATUS
PRELIMINARY

STAGE
DA



DRAWING NO.
DA19

SCALE
1:200 (A3)

DATE
25 JANUARY 2022

ISSUE
D

JOB NO.
20401

DRAWING TITLE
FSR CALCULATIONS

DRAWN BY
ES

CHECKED BY
RZ

TO: Strathfield Local Planning Panel Meeting - 3 March 2022
REPORT: SLPP – Report No. 6
SUBJECT: DA2021.302- 12 MOUNT STREET STRATHFIELD
 LOT: 12 DP: 5836
DA NO. DA2021.302

SUMMARY

Proposal:	Demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping.
Applicant:	Texco Architecture
Owner:	Thi Nhu Quynh
Date of lodgement:	15 November 2021
Notification period:	19 November 2021 to 3 December 2021
Submissions received:	One
Assessment officer:	P Santos
Estimated cost of works:	\$1,188,945.00
Zoning:	R2-Low Density Residential - SLEP 2012
Flood affected:	Yes
Is a Clause 4.6 variation proposed?	No (FSR - 20.2% variation)
RECOMMENDATION OF OFFICER:	REFUSAL

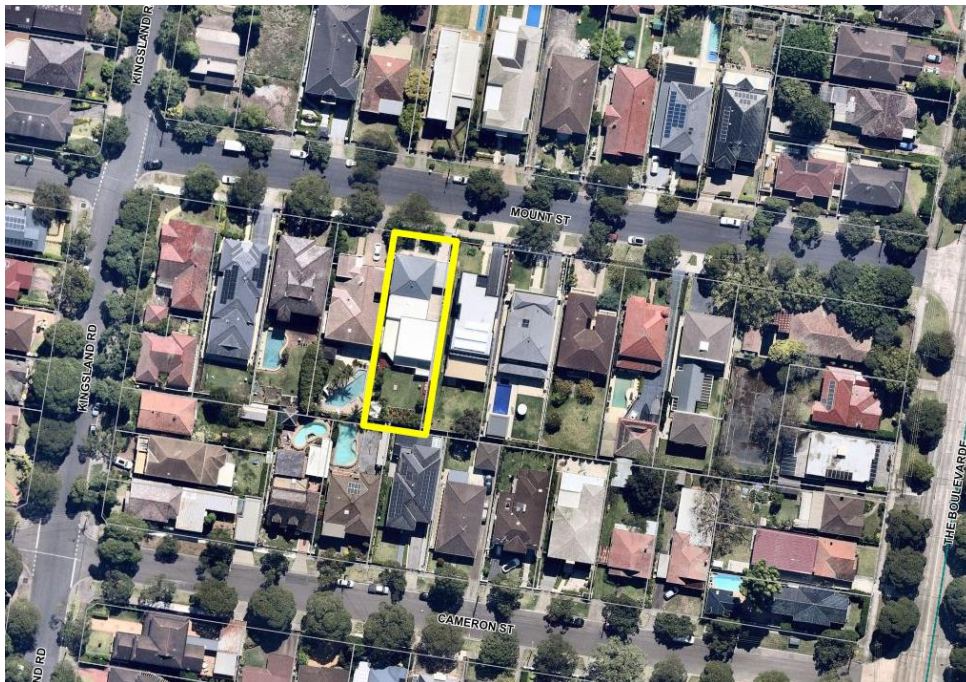


Figure 1. Aerial imagery of the subject site (outlined in yellow) and the immediate locality.

EXECUTIVE SUMMARY

The development application is referred to the Strathfield Local Planning Panel ('SLPP') for consideration on 3 March 2022. The proposal involves a contravention of the floor space ratio development standard (Clause 4.4C) of the Strathfield Local Environmental Plan 2012 that is more than 10 (20.2% variation).

Proposal

Development consent is being sought for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping.

Site and Locality

The subject site is legally described as Lot 12 DP 5836 and commonly known as 12 Mount Street, Strathfield. It is located off the southern side of Mount Street, between its intersection with The Boulevarde and Kingsland Road.

The is rectangular in shape and has a frontage width of 15.24m, average depth of 50.29m and an area of 766.42m².

The current streetscape is characterised by single and two-storey dwellings providing a uniform setback to the street, landscaped front gardens and mature street tree canopies. Higher front fencing (approximately 1.8m) is apparent along the street.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal's FSR of 0.69:1 (529.7m²) contravenes the floor space ratio development standard of 0.575:1 (440.68m²) by 89m² (20.2% variation). No Clause 4.6 variation statement was provided to Council.

Development Control Plan

The proposed development does not satisfy the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 19 November 2021 to 3 December 2021, where one submission was received raising the following concerns:

- Side boundary fencing, and
- Visual and acoustic privacy.

Issues

- Excessive GFA, resulting to non-compliant FSR,
- No Clause 4.6 variation statement,
- Three-storey dwelling house,
- Inadequate landscaping, and
- Alfresco and balconies raising visual privacy concerns.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning & Assessment Act 1979*, development application 2021/302 is recommended for refusal subject to attached reasons of refusal.

REPORT IN FULL

Proposal

Council has received an application for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping. More specifically, the proposal involves the following:

Basement

A 292.56m² basement that has –

- Two parking spaces,
- Bathroom,
- Bicycle storage area,
- Garbage room,
- Mechanical/vacuum equipment,
- Pool equipment,
- General house storage, and
- A/C plant room.

Ground Floor

A split-level ground floor that has –

- A formal lounge/living area,
- Attached elevated courtyard alfresco,
- Bedroom with ensuite,
- Laundry,
- Powder room,
- Open-plan kitchen, dining and living,
- Attached butler's kitchen and walk-in cool room, and
- Attached rear alfresco.

First Floor

- Four bedrooms with ensuites, three of which have attached balconies.

Ancillary and External Works

- Demolition of existing dwelling, outbuilding and four trees,
- Swimming pool with attached Jacuzzi/spa,
- New outbuilding with sauna and bathroom, and
- Ancillary landscaping.

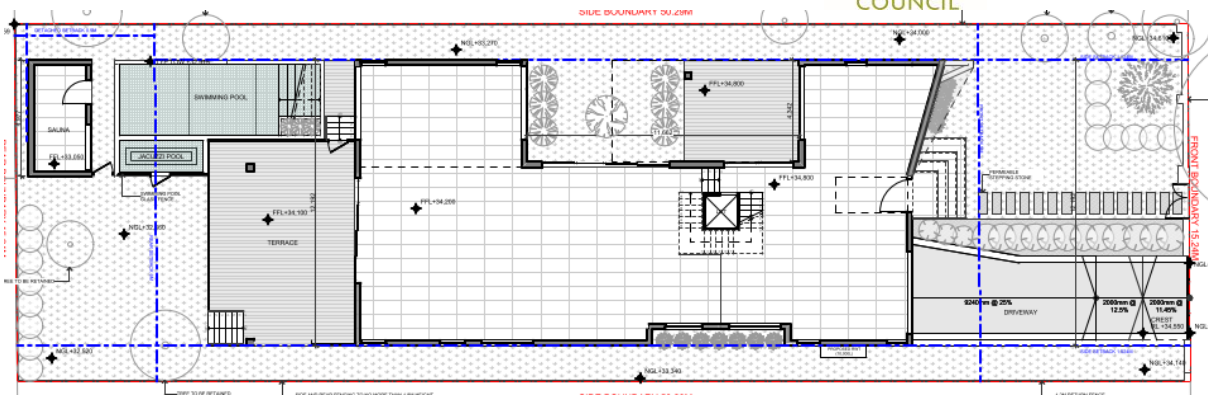


Figure 2. Extract of the site plan.

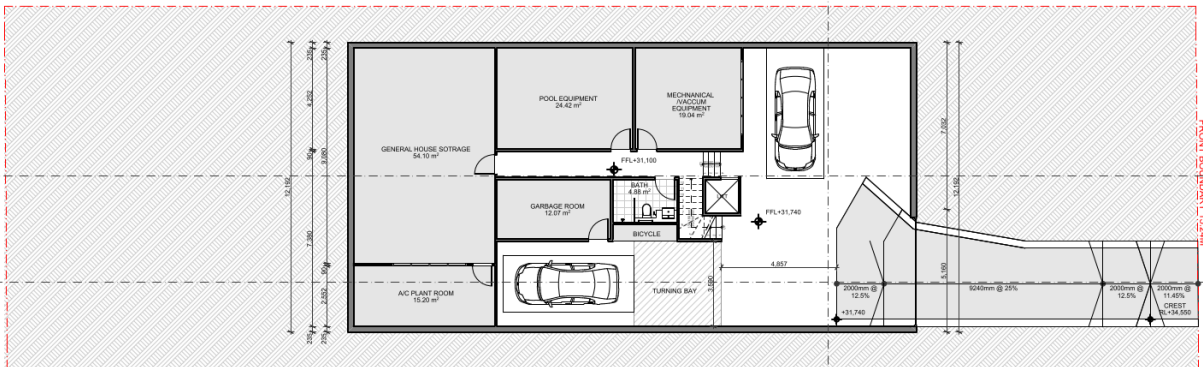


Figure 3. Extract of the proposed basement plan.

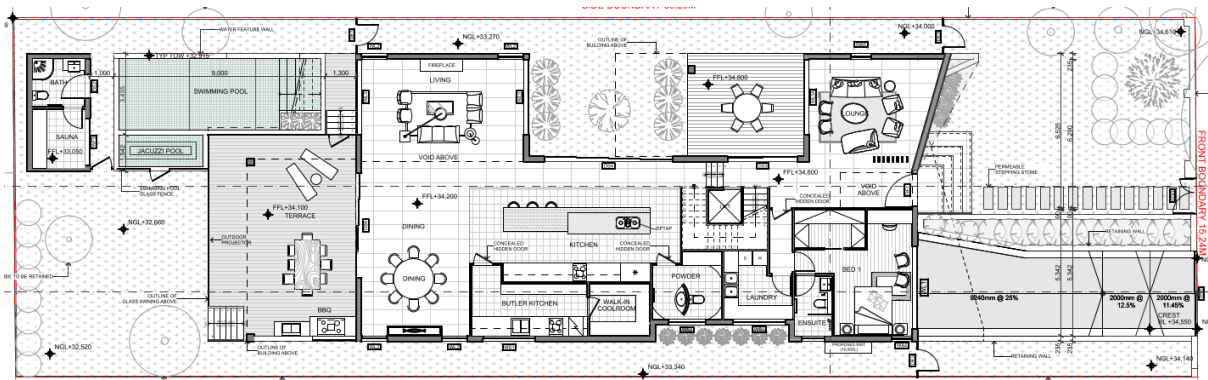


Figure 4. Extract of the proposed ground floor plan.

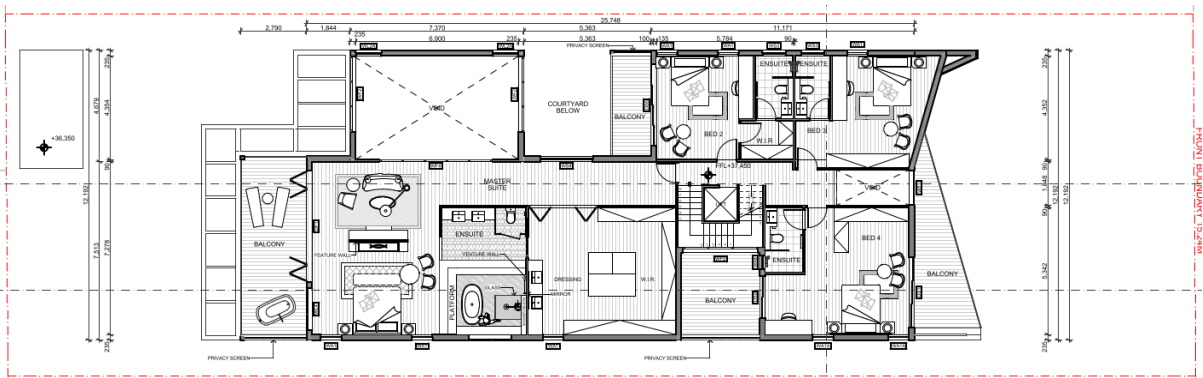


Figure 5. Extract of the proposed first floor plan.



Figure 6. Extract of the northern (front) elevation.

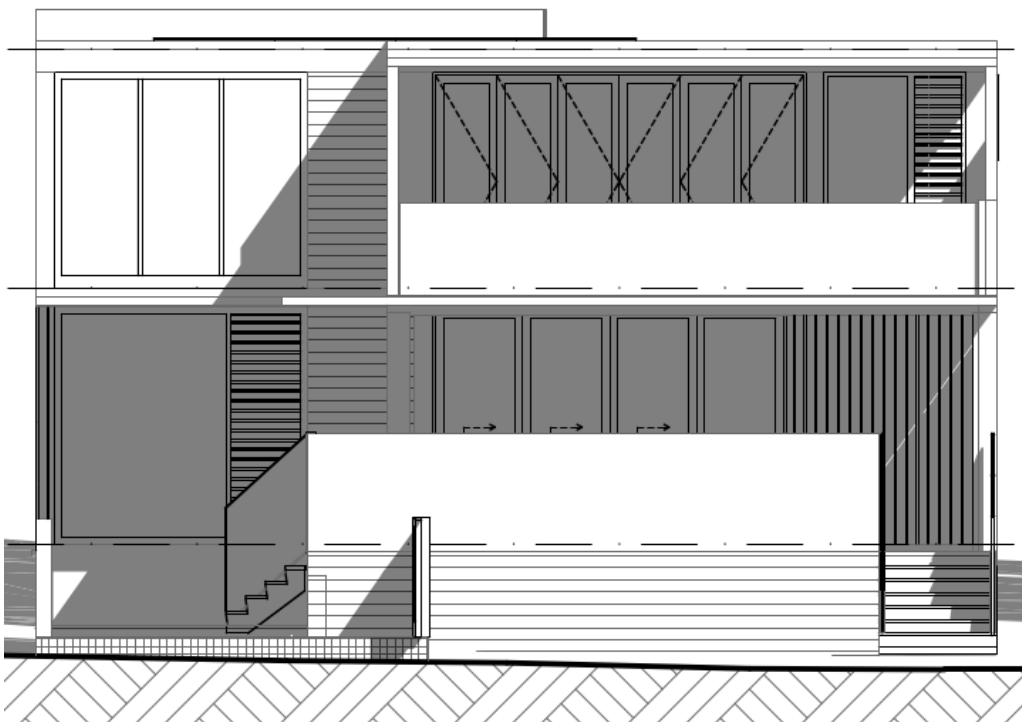


Figure 7. Extract of the southern (rear) elevation.

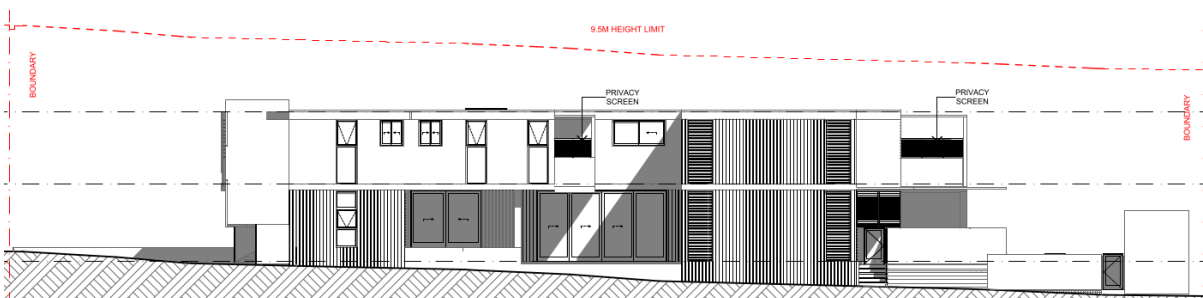


Figure 8. Extract of the western elevation.

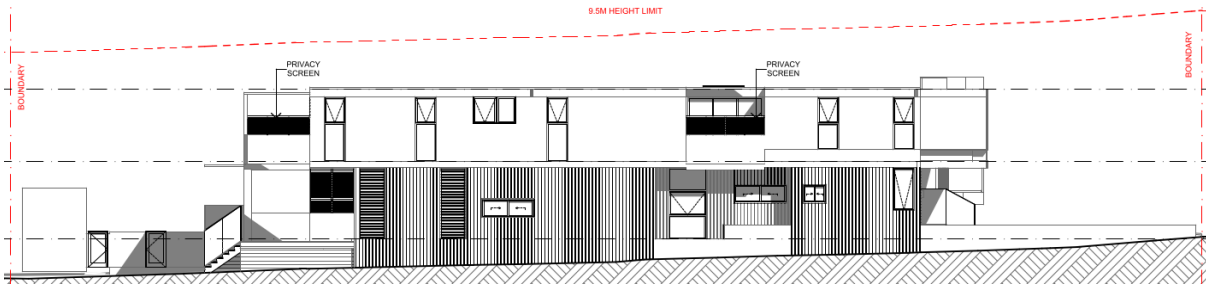


Figure 9. Extract of the eastern elevation.

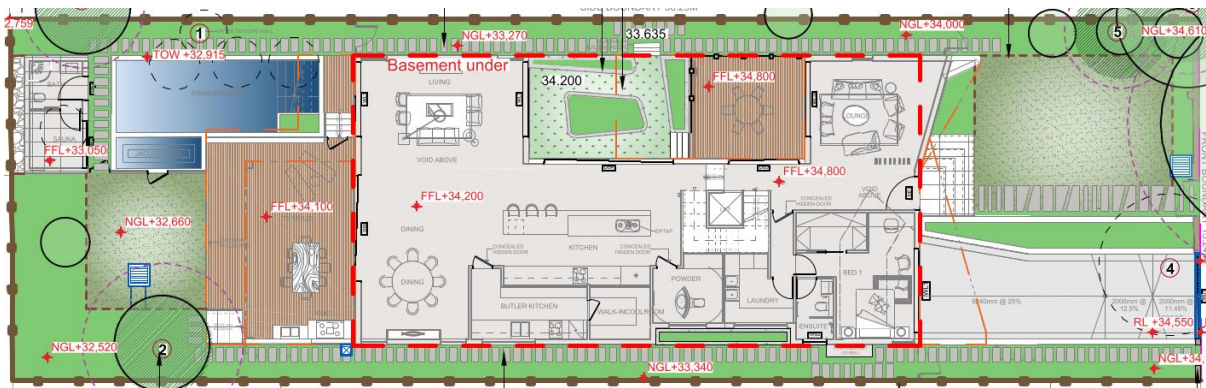


Figure 10. Extract of the landscape plan.

The Site and Locality

The subject site is legally described as Lot 12 DP 5836 and commonly known as 12 Mount Street, Strathfield. It is located off the southern side of Mount Street, between its intersection with The Boulevard and Kingsland Road.

The site is rectangular in shape and has a frontage width of 15.24m, average depth of 50.29m and an area of 766.42m².

The site falls to the rear with a fall of about 1.8m across the site.

The site is currently occupied by a split-level dwelling house, one-storey at the front and two at the rear.

The current streetscape is characterised by single and two-storey dwellings providing a uniform setback to the street, landscaped front gardens and mature street tree canopies. Higher front fencing (approximately 1.8m) is apparent along the street



Figure 11. Front of the subject site.

Background

- 15 November 2021 The subject development application was lodged.
- 19 November 2021 The DA was put on public exhibition until 3 December 2021. Council received one submission during this period. Details of the submission is further discussed in the public submissions section of this report.
- 16 December 2021 Council's Planner carried out a site visit.

Referrals – Internal and External

Trees

The application was referred to Council's Tree Management Coordinator, who offered no objection to the proposed development subject to the imposition of conditions, should the development be supported.

Stormwater

The application was referred to Council's Executive Manager of Urban Services, who offered no objection to the proposed development.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy No 55 - Remediation of Land	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed provisions of clause 5.9 of SLEP 2012 relating to the preservation of trees and vegetation.

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal was referred to Council’s Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees, should the development application be supported. For completeness, no objection was raised to the removal of a tree on the site subject to replacement planting.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	7.13m	Yes
4.4C Exceptions to Floor Space Ratio (Zone R2)	0.575:1 (440.68m ²)	0.69:1 (529.7m ²)	No (20.2% variation)

Floor Space Ratio

The proposed development involves a non-compliant FSR of 0.69:1 (529.7m²), 89m² (20.2% variation) more than the maximum permitted on the site – 0.575:1 (440.68m²).

The property has been identified as flood affected and has nominated the following habitable and non-habitable levels:

- upper ground floor – RL 34.8m AHD,
- lower ground floor – RL 34.1m AHD, and
- non-habitable finished floor level – RL33.0m AHD.

This has consequently resulted in the basement being raised more than 1m above the existing ground levels (EGL). Specifically, the ground floor has a split RL of 34.2 and 34.8, both of which are more than a meter above the EGL. Further, the laundry and bedroom 1 are raised 1.36m and 1.28m above the EGL, respectively. The open-plan living area at the rear is raised by 1.1m above EGL.

The proposed basement does not satisfy the definition of a basement in the SLEP 2012 -

“basement means the space of a building where the floor level of that space is predominantly below ground level (existing) and where the floor level of the storey immediately above is less than 1 metre above ground level (existing).”

With the recommended levels indicated in the flood impact assessment report being more than a metre above the EGL on the site, this raises a concern about the viability of the development of a dwelling with a basement.

As a result of the basement height non-compliance, some areas of the proposed ‘basement’ are to be counted upon for the purpose of gross floor area, contributing to the excessive GFA that exceeds the maximum permitted floor area by 89m². Despite the non-compliance, no Clause 4.6 variation statement was submitted to Council to justify the contravention of the FSR development standard.

As the proposal is for the construction of a new dwelling house and the land has no steep slopes or other environmental restrictions that can be accepted as a reason to permit a development standard contravention, no Clause 4.6 statement was requested from the applicant. Requesting for a variation statement whilst knowing that there will be no acceptable planning merit to permit such departure from a development standard is onerous.

Further to the above, no additional information or any amendment to the submitted documents was requested. Due to the grave non-compliances with the FSR development standard and development controls (i.e. 3-storey dwelling, basement height, parking manoeuvring, visual privacy concerns due to elevated alfresco areas and balconies, inadequate landscaping) requesting for any amendment to the design is considered unnecessary. The proposal involves an excessively large basement with parking spaces that would require its deletion from the plans to satisfy Clause

4.4C (FSR) of the SLEP 2012 and the acceptable flood levels and would mean a complete overhaul of the design that would be a substantially new development from the lodged application.

It is noted that Council is not mandated to request additional information. Similar with all DAs, Compliance with the Council's development standards and controls should have been taken into consideration prior to the lodgement of the development application.

With the non-compliant FSR and no Clause 4.6 variation statement submitted to Council, the application cannot be supported and is recommended for refusal.

Part 5 – Miscellaneous Provisions

Flood Planning

The subject site has been identified as being at or below the flood planning level. A Flood Impact Assessment Report was submitted as part of the application. The report stipulated the following flood levels of RL 34.8m AHD and RL 34.1m AHD to be acceptable habitable floor levels. The proposal has applied an RL 34.8m AHD for the upper ground floor and an RL of 34.2m AHD for the lower ground floor of the dwelling.

The levels proposed satisfy the minimum floor level considered to be suitable and safe in the event of flooding and thus satisfy the flood planning provisions under this clause. Notwithstanding this, the raised floor levels result in the development's exceedance beyond the maximum permitted floor space requirements and is not supported.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, development consent under the provisions of this section is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The proposed basement entails rooms that are considered to be unreasonable in size and that excavation has not been kept to the minimum. For clarity, the basement plan shows a proposed 54.1m² general storage room, 24.42m² pool equipment room, 19m² mechanical/vacuum equipment room, 15.20m² A/C plant room and a 12m² garbage room. In addition to the proposed rooms, there are some areas of the basement that is considered to be not serving a real purpose but only exacerbates the potential impact it may have in the environment, such as the vacant space to the north-west beside the proposed vehicle parking space. The rooms and the extra spaces in the basement are considered unreasonable and unnecessary and as such, are not supportable.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Heights:			
Floor to ceiling heights:	3.0m	3m	Yes
Parapet height:	0.8m	0.5m	Yes
Overall height for flat roof dwelling:	7.8m	7.6m	Yes
Basement height above NGL:	1.0m	1.1m-1.36m	No (36% variation)
Number of Storeys/Levels:	2	3	No
Setbacks:			
Front:	9m	9m	Yes
Side:	1.2m (min)	1.5m	Yes
Side:	1.2m (min)	1.5m	Yes
Combined Side Setback:	3m (20%)	3m	Yes
Rear:	6m	8.2m	Yes
Landscaping			
Landscaping/Deepsoil Provisions:	43% (329.55m ²)	26.2% (200.8m ²)	No (39% variation)
Fencing			
Height (overall/piers):	1.5m (maximum)	1.5m	Yes
Solid Component:	0.7m	0.7m	Yes
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	3hrs to habitable windows and to 50% of POS	Yes
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Yes
Vehicular Crossing:	1	1	Yes
Driveway setback – side:	0.5m	1.75m	Yes
No. of Parking Spaces:	2	2	Yes
Basement:			
Basement protrusion:	Less than 1.0m	1.36m	No (36% variation)
Basement ramp/driveway	3.5m	3.76m	No (7.4% variation)

Internal height:	2.2m	2.85m	Yes
Ancillary Development			
OUTBUILDINGS			
Area:	40m ²	10m ²	Yes
Height:	3.5m	3.7m	No (5.7% variation)
Side/Rear setback:	0.5m	0.5m	Yes
SWIMMING POOL			
Side/Rear Setback	1.0m	1m	Yes

Basement / Number of Storeys

As previously discussed, the proposal results in construction of a three-storey dwelling given the artificially raised nature of the basement level. This does not satisfy the development control of Council requiring dwelling houses to be limited to two-stories. The additional third level results in additional floor area that contributes to the exceedance beyond what is permitted on the site. This consequently results in a built-form that is unreasonably out of scale, bulk and character with the existing or future development envisaged for the site and the immediate locality.

Landscaping

The proposed development involves a landscaped area of 26.2% (200.8m²), which is significantly less than what is required by the development controls. The DCP requires 43% (329.55m²) of the site to be landscaped. Note that Council considers the following when calculating landscaping, in accordance with the SLEP 2012 and SCDCP 2005.

Landscaped area means a part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area.

Building, structure and hard paved areas include dwelling and ancillary structures, vehicular driveways and manoeuvring areas, stairways, side setback areas between the boundary and house (paved or unpaved) that are 1.5 metres or less in width, unenclosed ground level pedestrian terraces or walkways, swimming pools, covered awnings, tennis courts (except natural grass courts), outbuildings, sheds, BBQs, gazebos, rainwater tanks and the like.

The submitted landscape plan prepared by Conzept Landscape Architects, revision B, dated 11/11/2021, demonstrates some areas have been included in the calculation of landscaping on the site which should not have been (i.e. pavers, planter boxes with slab underneath, etc). As such, the proposed landscaping does not satisfy the minimum requirements of Council and is therefore not supportable.

Privacy

The proposed development involves features that raise visual privacy concerns. In particular, the raised alfresco areas proposed to the lounge and dining area as well as the first floor balconies result in overlooking to adjoining neighbours particularly to the west and south of the site.

Both alfresco proposed will be raised by about a meter or more from the EGL (RL 34.2 and RL 34.8), resulting in unnecessary visual privacy concerns that can be alleviated by lowering it down close to the ground. Note that as per the flood report provided, the non-habitable floor level can be as low as RL33m AHD.

In addition to the above, the proposal involves four balconies, three of which raise concerns in regards to visual privacy. The western balcony off bedroom 2, while it directly fronts the courtyard and has a privacy screen on the western elevation, at an angle, has an unobstructed view towards the western neighbour's backyard. The eastern balcony is not supportable as Council does not permit a balcony that faces the side boundary. Despite it having a privacy screen, it is not considered as a permanent solution. The rear balcony is excessively over than the permitted 1m x 2m sizing requirements of the DCP and is therefore not supportable. Overall, the proposed alfresco areas and balconies as previously mentioned are considered excessive and result in direct overlooking into adjoining properties and is not acceptable.

Taking the above into consideration, the proposed development is not supportable in this regard.

Vehicular Access and Parking

The proposed development involves two parking spaces situated within the 'basement'. Based on the proposed layout of the basement, there is insufficient room to enable each car to manoeuvre within this level and safely enter and exit the site in a forward direction. A swept paths illustration was provided to Council as part of application demonstrating that the vehicles will be able to enter and exit in a forward direction and satisfy the Australian Standards.

The provided swept paths, in particular the one shown in Figure 13 below, demonstrate that the proposed layout of the basement is incapable to satisfy the requirement of Council for vehicles to enter and exit the site in a forward direction.

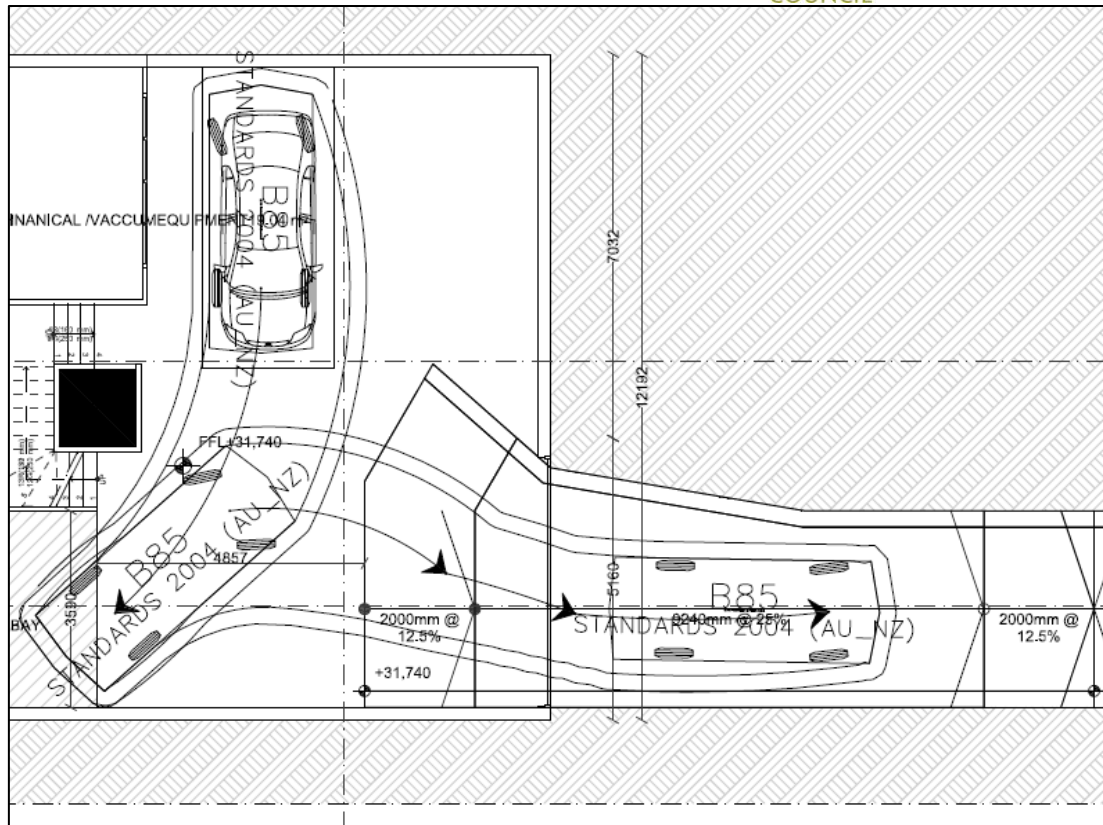


Figure 12. Illustration of a vehicle entering the basement in a forward direction and then reversing into the allocated north-western parking space.

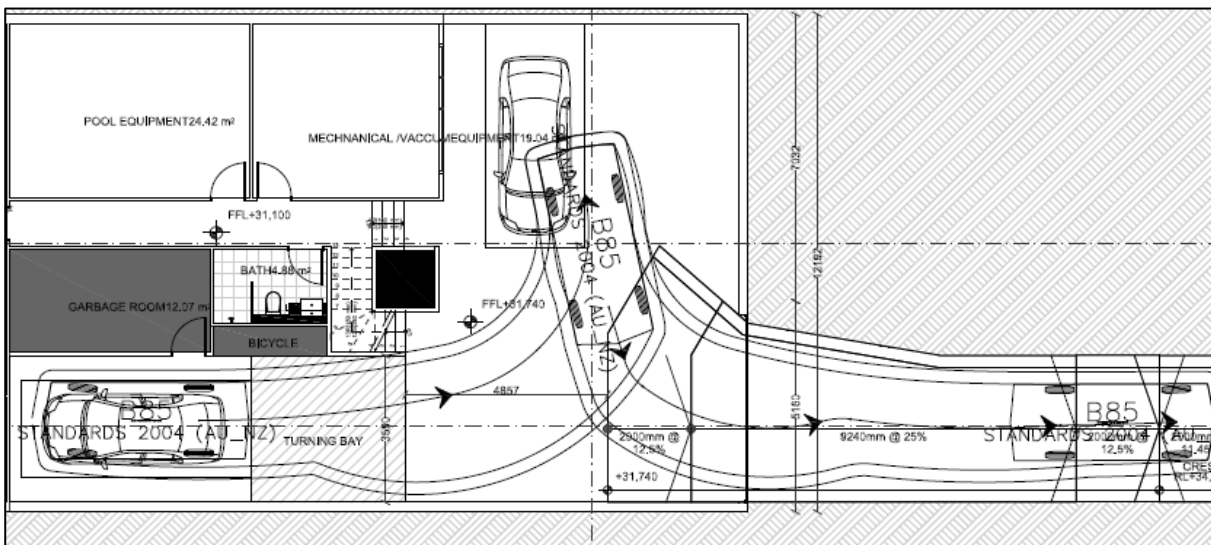


Figure 13. Illustration of a vehicle exiting the basement in a forward direction with the swept paths encroaching onto the other car's parking space.

The proposal is not supportable and the application is recommended to be refused.

Cut and fill

The proposed development is not considered to satisfy the relevant objectives and controls of the SDCDP 2005, in that the need for cut and fill has not been kept to a minimum.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURES

Outbuildings

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 complying with the setbacks and floor space controls, apart from the height. The proposed development includes a 3.7m high outbuilding above natural ground level. This exceeds the Council requirement of a height that is no more than 3.5m. Nevertheless, the proposed height variation is considered minimal and there is no adverse amenity impact envisaged to occur because of to the proposal. As such, the proposed variation to the outbuilding height is acceptable in this regard.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen panting if required. Should the application be supported, conditions of consent are imposed to ensure that the pool pump equipment is located in a sound proof enclosure and the swimming pool fence/enclosure will comply with the swimming pools act and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

(iv) *Any matters prescribed by the regulations, that apply to the land to which the development application relates,*

The requirements of Australian Standard *AS2601–1991: The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development involves the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*

The proposed development is not of a scale and character that is in keeping with other developments being constructed in the locality. The proposed development is considered to be an undesirable precedent that will negatively impact the existing and desired built-form of the locality and poses great adverse amenity concerns to neighbouring properties.

(c) the suitability of the site for the development,

The scale and design of the proposed development is considered not suitable for the site having regard to its size and shape, how it responds to the topography of the site and the environmental restrictions application to the site. The proposal will have significant visual privacy concerns, when supported, to adjoining residential developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. One submission was received, raising the following concerns:

1. Side Fencing

A concern was raised regarding a neighbouring property suspecting that the fencing will be replaced and should the proposal be supported, the colour and material should match the existing dividing fence and that the cost incurred by any replacement of this existing dividing fence should be borne entirely by the applicant.

It is noted that neither the application form nor the Statement of Environmental Effects indicate that the fencing surrounding the property is part of the proposal. As such, with its exclusion from the proposal descriptions, it is taken that the fencing does not form part of the application.

Further to the above, any considerations about the dividing fence in relation to who is responsible with the materials and costs are covered by the *Dividing Fences Act 1991 No 72*.

2. Visual and Acoustic Privacy

Concerns were raised regarding the potential visual and acoustic privacy concerns that may arise from the subject site due to the development proposed. These concerns have been considered in the assessment section of this report and are significant considerations to the recommendation of the application resulting to a refusal.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division). Nevertheless, with the proposal not supported and recommended for refusal, no contributions will be imposed to be levied.

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15(1) of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/302 should be refused in accordance with the reasons of refusal.



Signed:

Date: 27 January 2022

P Santos
Development Assessment Planner

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position.
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are not applicable to this application.

Report and recommendations have been peer reviewed and concurred with.



Signed:

Date: 15 February 2022

L Gibson
Senior Planner

RECOMMENDATION

That Development Application No. DA2021.302 for Demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping at 12 Mount Street Strathfield be **REFUSED**, subject for the following reasons:

Under Section 4.16(1)(b) of the Environmental Planning and Assessment Act 1979, this development application is recommended to be **REFUSED** for the following reasons:

1. Pursuant to Clause 4.6(3) of the Strathfield Local Environmental Plan 2012 which prohibits Council to grant consent on development that contravenes a development standard unless an adequate written variation statement has been considered. No Clause 4.6 variation statement was submitted to Council. Council considers that there is no sufficient environmental planning ground to justify the excessive gross floor area proposed. As a result, no request for a Clause 4.6 variation statement was made by Council.

The habitable flood levels that are more than 1m from the existing ground level demonstrate that the site is incapable of accommodating a basement level development as it will not satisfy the definition of a basement in the SLEP 2012.

2. Pursuant to Section 4.15 (1)(a)(i) of the [Environmental Planning and Assessment Act 1979](#), the proposed development does not comply with the relevant environmental planning instruments in terms of the following:
 - a) The proposal fails to satisfy the objectives of Clause 1.2(a) of the Strathfield Local Environmental Plan 2012 (SLEP 2012) which seeks to achieve a high quality urban form. The proposed development is an overdevelopment of the site with an excessive gross floor area that contributes to the excessive bulk and scale. It fails to demonstrate consistency and compatibility with the existing and desired future development in the locality.
 - b) The proposal fails to satisfy the objectives of Clause 1.2(h) of the SLEP 2012 which seeks to minimise the risk to the community by restricting incompatible developments in lands subject to flooding. The site is flood-affected and has habitable flood levels of RL 34.1m AHD and 34.8m AHD, both over 1m from the existing ground level, essentially disallowing the development of a basement.
 - c) The proposal fails to satisfy the objectives of Clause 4.4(1)(a) and (b) of the SLEP 2012 which seek to ensure that dwellings are in keeping with the built form character of the local area and provide consistency in the bulk and scale of new dwellings. The proposed development involves excessive gross floor area of 529.7m² that exceeds the maximum GFA permitted on the site (440.68m²) by 89.02m², resulting to a built form that is not consistent with the existing and future developments within the immediate vicinity.
 - d) The proposal fails to satisfy Clause 4.4C of the SLEP 2012 which limits the allowable FSR on the site to 0.575:1 (440.68m²). The proposal involves a FSR of 0.69:1 (529.7m²), which presents an excessive 20.2% variation.
 - e) The proposal fails to satisfy Clause 6.2(3)(h) of the SLEP 2012 which requires the consent authority to consider any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development. Council considers that the proposed development was not designed with minimising the extent of necessary excavation in mind. The number of generously-sized rooms with questionable use as a storage or plant room and unnecessary spaces in the proposed basement are considered unreasonable and unwarranted.
3. Pursuant to Section 4.15 (1)(a)(iii) of the [Environmental Planning and Assessment Act 1979](#), the proposed development does not comply with the following sections of the Strathfield Consolidated Development Control Plan 2005 in terms of the following:
 - a) The proposal fails to satisfy Clause 4.2.2(7) of Part A of the Strathfield Consolidated Development Control Plan 2005 (SCDCP 2005) which requires a dwelling house and any ancillary structures to be no more than two-storey high. The proposed development, with the proposed basement having a floor level above that is over 1m from the existing ground, does not satisfy the definition of a basement in the Strathfield Local Environmental Plan 2012, and is therefore considered another storey. In total, the proposed development involves a three-storey dwelling house, which is not permissible.
 - b) The proposal fails to satisfy Clause 5.2.1(1) of Part A of the Strathfield Consolidated Development Control Plan 2005 (SCDCP 2005) which requires

43% (329.55m²) of the site to be landscaped. The proposed development involves a landscaped area of 26.2% (200.8m²) which contravenes the required landscaping by 39% (128.75²).

- c) The proposal fails to satisfy Clause 7.2.3(1), (2) and (3) of Part A of the SCDCP 2005 which considers visual privacy concerns that may arise from elevated decks, verandahs and balconies. The proposed development, on the ground floor, involves alfresco that have levels that are 1m (western alfresco) and 1.3m (rear alfresco) from the existing ground level and permit overlooking onto neighbouring properties. The first floor is comprised of three balconies, including two that are close to the side boundaries. The western balcony off Bedroom 2, despite having a privacy screen, has an unobstructed view to the south-west, onto the western neighbour's private open space. The eastern balcony off Bedroom 4 and the rear balcony off the master bedroom are both considered significant in size. The eastern balcony is not supported due to its unwarranted size and faces the side boundary. The rear balcony is excessive in size which encourages longer use of the structure, which could potentially raise the opportunity to overlook onto adjoining properties' private open spaces.
 - d) The proposal fails to satisfy Clause 8.2.3(8) of the SCDCP 2005 which requires the design of the basement to allow vehicles enter and exit the basement in a forward direction. The proposed development does not demonstrate that the two vehicles that will be parked in the proposed basement will have adequate space to manoeuvre and be able to go in and out in a forward manner.
 - e) The proposal fails to satisfy the objectives of Clause 9.1(A) of Part A of the SCDCP 2005 which seeks to minimise cut and fill to reduce site disturbance. The proposed development comprises unreasonably sized storage and plant rooms and unnecessary extra spaces in the basement that contribute to the excessive extent of the proposed excavation.
4. Pursuant to Section 4.15(1)(b) of the [Environmental Planning and Assessment Act 1979](#), the proposed development is likely to have an adverse impact on the following aspects of the environment:
- a) Built form (i.e. bulk and scale),
 - b) Visual privacy,
 - c) Inadequate landscaped area, and
 - d) Excessive amount of excavation.
5. (Pursuant to Section 4.15 (1)(c) of the [Environmental Planning and Assessment Act 1979](#), the site is not considered suitable for the proposed development for the following reasons:
- a) The site is flood-affected which has habitable flood levels that are more than 1m than the existing ground level, rendering the development of a basement not feasible.
 - b) The three-storey dwelling house development nature of the proposal is not a built-form that would be permitted on the site.

6. Pursuant to Section 4.15 (1)(e) of the [Environmental Planning and Assessment Act 1979](#), the proposed development is not considered to be in the public interest and is likely to set an undesirable precedent. The proposed development involving a three-storey built form, excessive gross floor area with inadequate landscaping and unreasonable basement size will have a detrimental impact to the existing and desired future built and environmental character of the area.

ATTACHMENTS

1. [↓](#) Architectural Plans
2. [↓](#) Landscape Plan

RECEIVED

DA2021.302

DATE 15 November 2021

Subset ID and Name	DRAWING No.	DESCRIPTION
0 GENERAL	A001	COVER PAGE
0 GENERAL	A002	BASIX COMMITMENTS
0 GENERAL	A003	SURVEY
0 GENERAL	A004	DEMOLITION PLAN
0 GENERAL	A005	SITE PLAN - GROUND FLOOR
0 GENERAL	A006	SITE PLAN - FIRST FLOOR
0 GENERAL	A007	GFA CALCULATION
0 GENERAL	A008	LANDSCAPE & P.O.S CALCULATION
0 GENERAL	A010	SHADOW DIAGRAM
1 PLANS	A101	BASEMENT GA PLAN
1 PLANS	A102	GROUND FLOOR GA PLAN
1 PLANS	A103	FIRST FLOOR GA PLAN
1 PLANS	A104	ROOF LEVEL GA PLAN
2 ELEVATION	A201	NORTH & WEST ELEVATION
2 ELEVATION	A202	SOUTH ELEVATION & EAST ELEVATION
2 ELEVATION	A203	FRONT FENCE ELEVATION
3 SECTION	A301	SECTION AA & SECTION BB
3 SECTION	A302	SECTION CC
4 SCHEDULE	A401	DOOR SCHEDULE
4 SCHEDULE	A402	WINDOW SCHEDULE
4 SCHEDULE	A403	MATERIAL SCHEDULE
5 NOTIFICATION	A501	NOTIFICATION PLANS
5 NOTIFICATION	A502	NOTIFICATION ELEVATIONS



**12 MOUNT STREET STRATHFIELD NSW 2135
SINGLE DWELLING WITH SWIMMING POOL**

**SITE AREA: 766.44m²
PROPOSED FSR: 0.575: 1
PROPOSED GFA: 440.06m²**

BASIX Certificate

RECEIVED
 Single Dwelling
 DA2021.302

TE 15 November 2021
 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have been defined in the BASIX Definitions published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
 Date of issue: Wednesday, 10 November 2021
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	12 Mount Street, Strathfield	
Street address	12 Mount Street Strathfield 2135	
Local Government Area	Strathfield Municipal Council	
Plan type and plan number	deposited 5836	
Lot no.	12	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	52	Target 50

Certificate Prepared by	
Name / Company Name:	AENEC - Office: 02 9994 8906
ABN (if applicable):	32612556377

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 60 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 250 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Swimming pool			

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 40 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	
Outdoor Spa			
The spa must not have a volume greater than 7 kilolitres.	✓	✓	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study;		✓	✓
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Water			
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): solar (gas boosted)		✓	
The applicant must install a timer for the spa pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 5.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Nationwide House Energy Rating Scheme
 NatHERS Certificate No. NEESEAC6IP
 Generated on 5 Nov 2021 using FirstRate5: 5.3.1a (3.21)

5.2
 The more stars, the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

62.7 MJ/m²
 Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

Property
 Address: 12 Mount Street, Strathfield, NSW, 2135
 Lot/DP: 12/5836
 NCC Class*: Class 1a
 Type: New Home

Plans
 Main plan: 2132 / Rev A, 1/11/2021
 Prepared by: TEXCO DESIGN

Construction and environment	Exposure type	Thermal performance
Assessed floor area (m ²): 407.7	suburban	Heating: 39.7 MJ/m ²
Conditioned*: 407.7	NatHERS climate zone: 56 Mascot AMO	Cooling: 23 MJ/m ²
Unconditioned*: 270.3		
Total: 678		
Garage: 123.2		

Accredited assessor
 Name: Dimitri Harakidas
 Business name: AENEC
 Email: info@aenec.com.au
 Phone: 0416316204
 Accreditation No.: HERA10042
 Assessor Accrediting Organisation: HERA
 Declaration of interest: Declaration completed: no conflicts

Verification
 To verify this certificate, scan the QR code or visit <https://www.fr5.com.au/QRCode/assessing/Public/NEESEAC6IP> when using either link, ensure you are visiting www.fr5.com.au

National Construction Code (NCC) requirements
 The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in 3.12.0 and 3.12.5 of the NCC Volume One.
 In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board standards) are available at www.abcb.gov.au. State and territory variations and additions to the NCC may also apply.

CAUTION – ALL OF THE ITEMS BELOW MUST BE ADHERED TO FOR NATHERS TO BE VALID

NOTES:
 1. ALL DOWNLIGHTS TO BE:
 a. APPROVED NON-VENTILATED
 b. WITH FIRE-RATED COVER/SHIELD TO ALLOW CONTINUOUS INSULATION LED TYPE, IF HALOGEN LIGHT ARE TO BE INSTALLED THIS CERTIFICATION IS NOT VALID
 2. ALL VENTS AND WALL OPENINGS INSTALLED TO BE "THE SEALED" TYPE
 3. ALL INSULATION IS TO BE INSTALLED IN ACCORDANCE NCC PART 3.12.1.1
 a. CREATION OF CONTINUOUS THERMAL BARRIER
 b. COMPLIANCE WITH AS4855
 c. MAINTAINING THICKNESS OF BULK INSULATION AND AIR GAPS FOR REFLECTIVE INSULATION
 4. BUILDING SEALING AS PER NCC PART 3.12.3
 a. WEATHER SEALS AND DRAFT EXCLUDERS
 b. DRAFT STOPPER CAPS
 5. SERVICES AS PER NCC PART 3.12.5
 a. INSULATION OF SERVICES, PIPING AND DUCTWORK

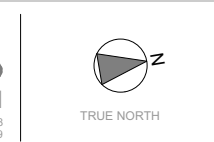
NOTE
 The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Texco Design Pty Ltd and is to be used only for work when authorised in writing by Texco Design Pty Ltd.
 All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site.
 All documents here within are subject to Australian Copyright Laws.

Project Partners
 Refer to consultant documentation when directed

- Builder	- #Builder
- Planning Consultant	- #Planning Consultant
- Structural Engineer	- #Structural Engineer
- Mechanical Engineer	- #Mechanical Engineer
- Hydraulic Engineer	- #Hydraulic Engineer
- Fire Engineer	- #Fire Engineer
- Fire Service	- #Fire Service
- Electrical Engineer	- #Electrical Engineer
- Landscape Designer	- #Landscape Consultant
- Traffic Engineer	- #Traffic Engineer
- Surveyor Consultant	- #Surveyor

RevID	Issue Date	Approved by	Rev. Note
01	28/10/2021	TZ	ISSUE FOR REVIEW
A	1/11/2021	TZ	ISSUE FOR DA

Project Designer



Drawn | Checked
 Revision Date: 1/11/2021
 Project NO: 2132
 Project Status: DA

Client: QUYNH
 Site: 12 MOUNT STREET STRATHFIELD NSW 2135
 Climate Zone: 5
 Wind Region: A

PAPER
A3
 1:1.06

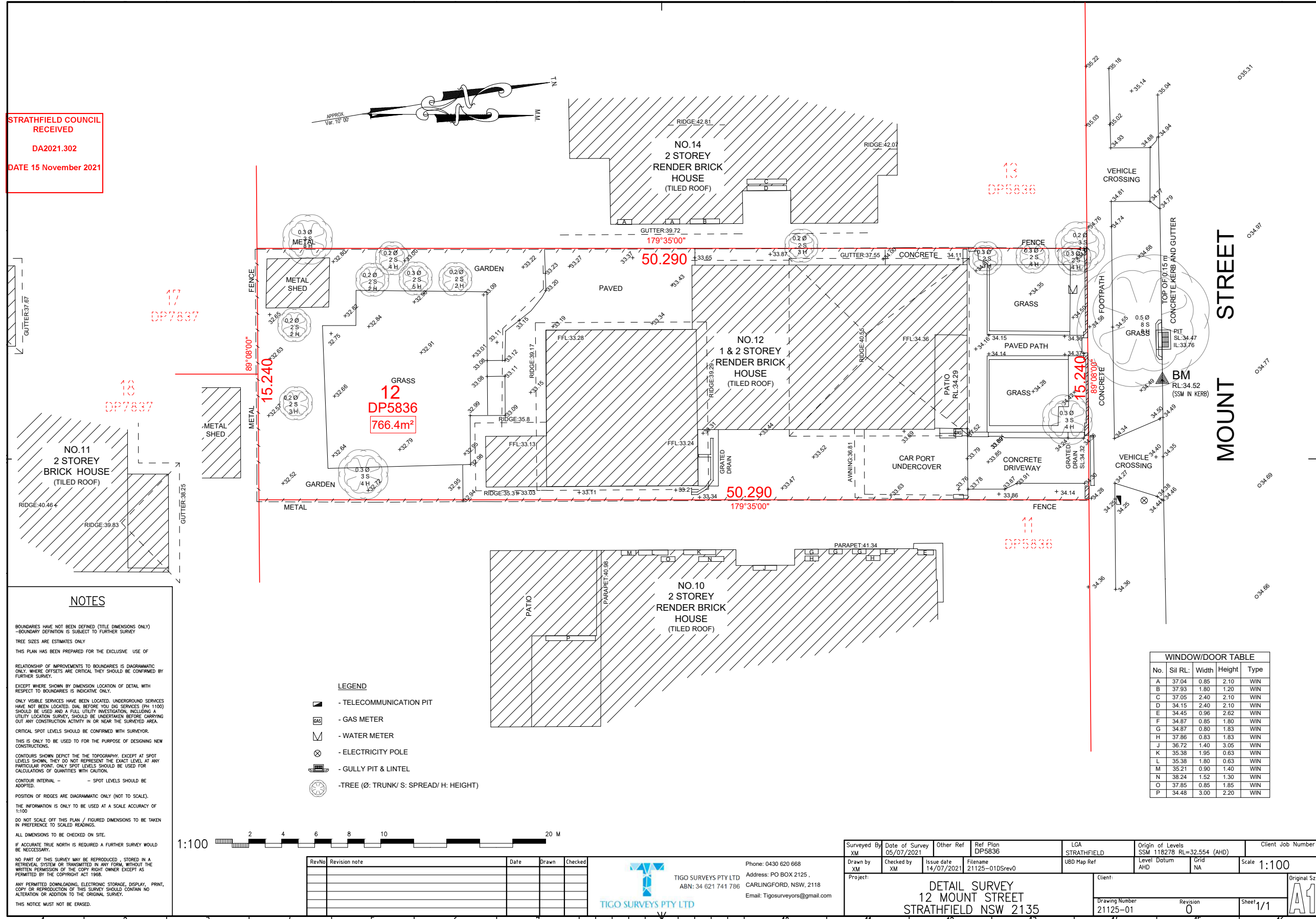
DRAWING TITLE :
 GENERAL
BASIX COMMITMENTS

PROJECT NAME :
12 MOUNT STREET STRATHFIELD

REVISION NO.
A

DRAWING NO.
A002

STRATHFIELD COUNCIL
RECEIVED
DA2021.302
DATE 15 November 2021



NOTES

BOUNDARIES HAVE NOT BEEN DEFINED (TITLE DIMENSIONS ONLY)
-BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY

TREE SIZES ARE ESTIMATES ONLY

THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.

ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (PH 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.

CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.

THIS IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

CONTOUR INTERVAL - - SPOT LEVELS SHOULD BE ADOPTED.

POSITION OF RIDGES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100

DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.

ALL DIMENSIONS TO BE CHECKED ON SITE.

IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

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- LEGEND**
- TELECOMMUNICATION PIT
 - GAS METER
 - WATER METER
 - ELECTRICITY POLE
 - GULLY PIT & LINTEL
 - TREE (Ø: TRUNK/ S: SPREAD/ H: HEIGHT)

WINDOW/DOOR TABLE				
No.	Sil RL:	Width	Height	Type
A	37.04	0.85	2.10	WIN
B	37.93	1.60	1.20	WIN
C	37.05	2.40	2.10	WIN
D	34.15	2.40	2.10	WIN
E	34.45	0.96	2.62	WIN
F	34.87	0.85	1.80	WIN
G	34.87	0.80	1.83	WIN
H	37.86	0.83	1.83	WIN
J	36.72	1.40	3.05	WIN
K	35.38	1.95	0.63	WIN
L	35.38	1.80	0.63	WIN
M	35.21	0.90	1.40	WIN
N	38.24	1.52	1.30	WIN
O	37.85	0.85	1.85	WIN
P	34.48	3.00	2.20	WIN

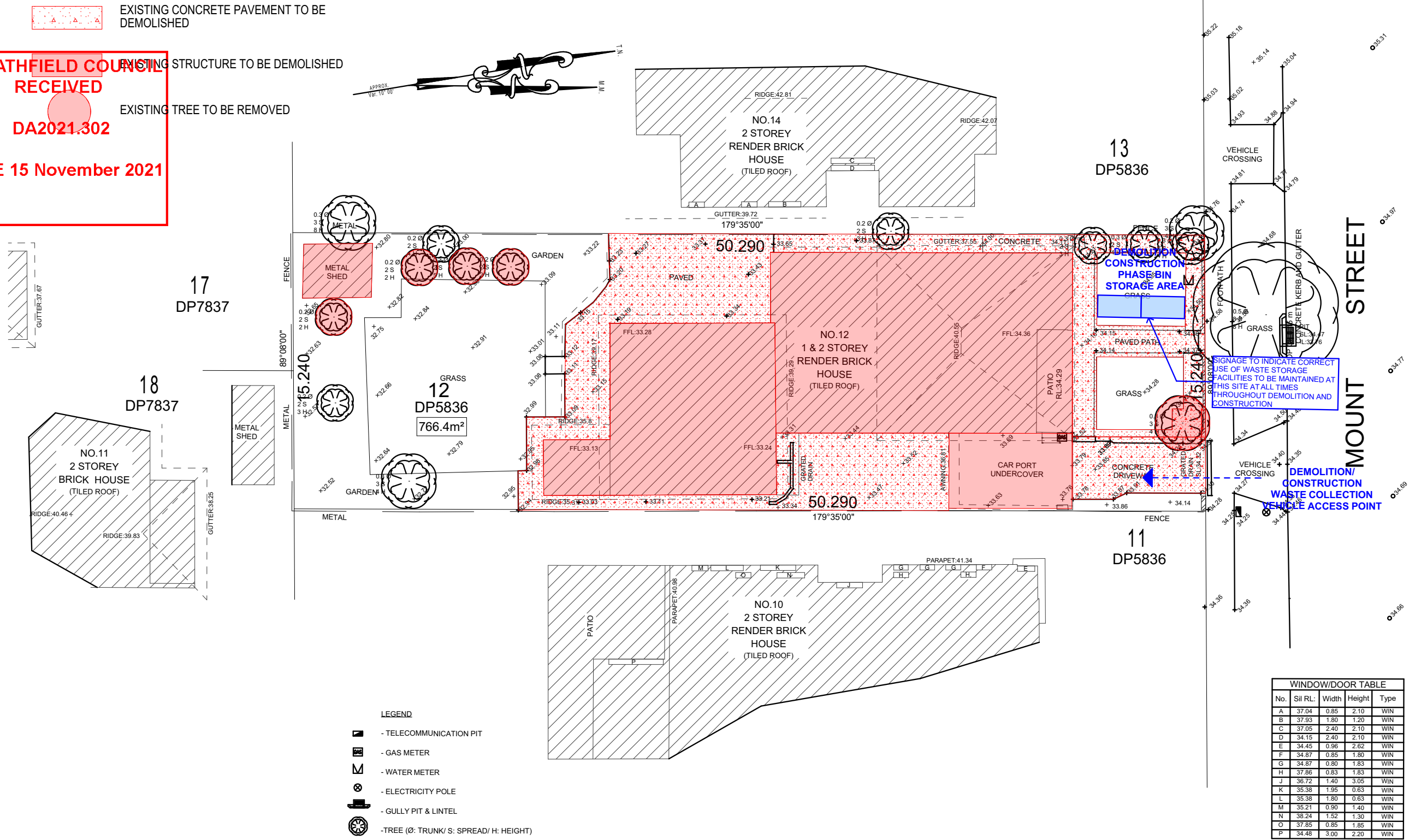


RevNo	Revision note	Date	Drawn	Checked

TIGO SURVEYS PTY LTD
ABN: 34 621 741 786
Phone: 0430 620 668
Address: PO BOX 2125,
CARLINGFORD, NSW, 2118
Email: Tigosurveyors@gmail.com

Surveyed By XM	Date of Survey 05/07/2021	Other Ref	Ref Plan DP5836	LGA STRATHFIELD	Origin of Levels SSM 118278 RL=32.554 (AHD)	Client Job Number
Drawn by XM	Checked by XM	Issue date 14/07/2021	Filename 21125-01DSrev0	UBD Map Ref	Level Datum AHD	Grid NA
Project: DETAIL SURVEY 12 MOUNT STREET STRATHFIELD NSW 2135				Client:	Scale 1:100	Original Sz A1
Drawing Number 21125-01		Revision 0	Sheet 1/1			

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DA2021.302
DATE 15 November 2021



WINDOW/DOOR TABLE				
No.	Sill RL:	Width	Height	Type
A	37.04	0.85	2.10	WIN
B	37.93	1.80	1.20	WIN
C	37.05	2.40	2.10	WIN
D	34.15	2.40	2.10	WIN
E	34.45	0.96	2.62	WIN
F	34.67	0.85	1.80	WIN
G	34.87	0.80	1.83	WIN
H	37.86	0.83	1.83	WIN
J	36.72	1.40	3.05	WIN
K	35.38	1.95	0.63	WIN
L	35.38	1.80	0.63	WIN
M	35.21	0.90	1.40	WIN
N	38.24	1.52	1.30	WIN
O	37.85	0.85	1.85	WIN
P	34.48	3.00	2.20	WIN

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Project Partners
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- Planning Consultant	- #Planning Consultant
- Structural Engineer	- #Structural Engineer
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- Hydraulic Engineer	- #Hydraulic Engineer
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- Traffic Engineer	- #Traffic Engineer
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RevID	Issue Date	Approved by	Rev. Note
01	7/09/2021	TZ	ISSUE FOR REVIEW
02	28/10/2021	TZ	ISSUE FOR REVIEW
A	1/11/2021	TZ	ISSUE FOR DA

Project Designer

 Texco Design
 Nom Arch: NSW ARB 11348
 P: +61 449 904 889
 E: office@texcodesign.com.au

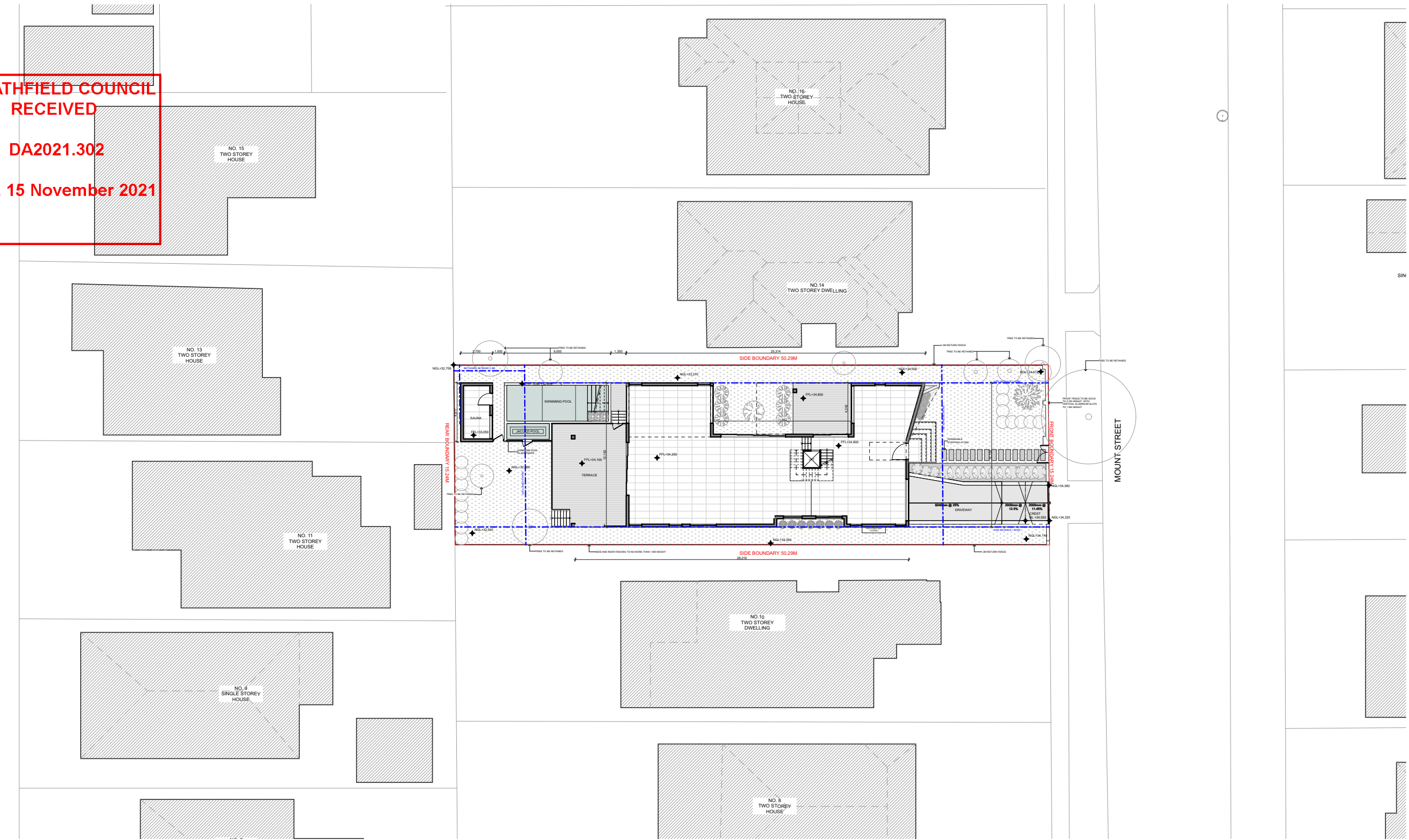
Drawn | Checked
 Revision Date: 1/11/2021
 Project NO: 2132
 Project Status: DA
 Client: QUYNH
 Site: 12 MOUNT STREET STRATHFIELD NSW 2135
 Climate Zone: 5
 Wind Region: A

PAPER
A3
 1:200

DRAWING TITLE:
 GENERAL
DEMOLITION PLAN
 PROJECT NAME:
12 MOUNT STREET STRATHFIELD

REVISION NO.
A
 DRAWING NO.
A004

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SITE PLAN - GROUND FLOOR
1:300

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Project Designer



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E: office@texcodesign.com.au

Drawn | Checked | TZ | JC |
Revision Date: 1/11/2021
Project NO: 2132
Project Status: DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER
A3
1:300

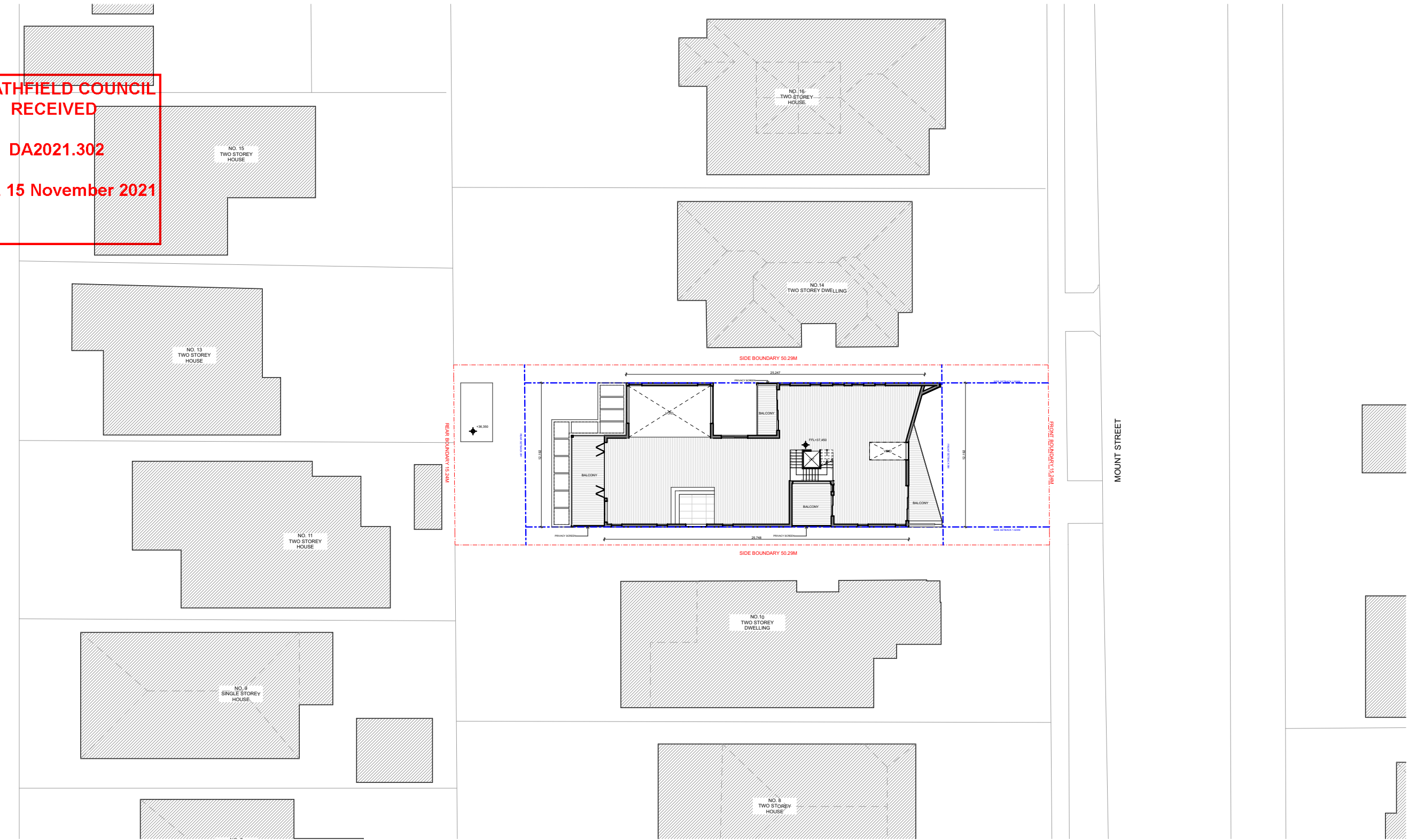
DRAWING TITLE :
GENERAL
SITE PLAN - GROUND FLOOR

PROJECT NAME :
12 MOUNT STREET
STRATHFIELD

REVISION NO.
A

DRAWING NO.
A005

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DATE 15 November 2021



SITE PLAN - FIRST FLOOR
1:300

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A	11/11/2021	TZ	ISSUE FOR DA

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Revision Date: 1/11/2021
Project NO. 2132
Project Status DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

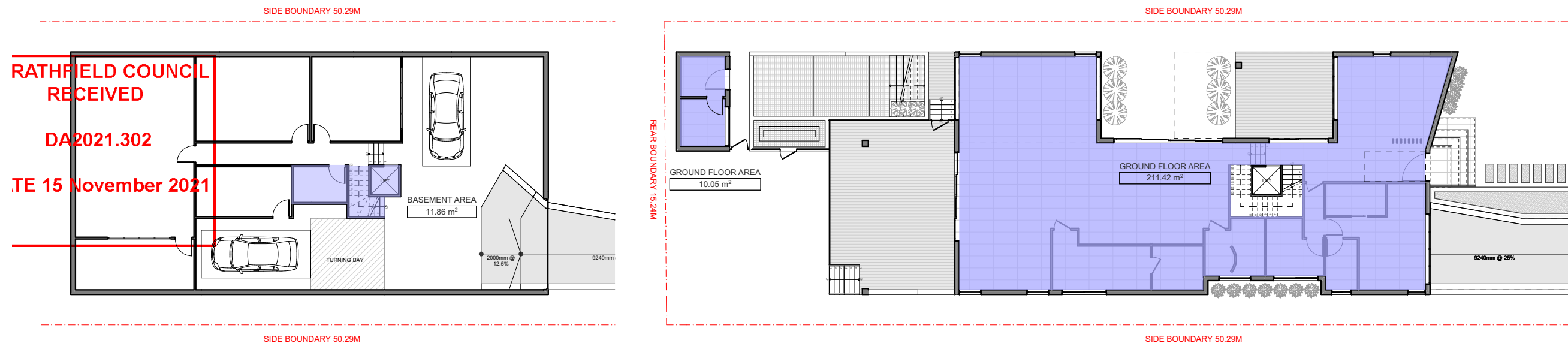
PAPER **A3**
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DRAWING TITLE :
GENERAL
SITE PLAN - FIRST FLOOR

PROJECT NAME :
12 MOUNT STREET STRATHFIELD

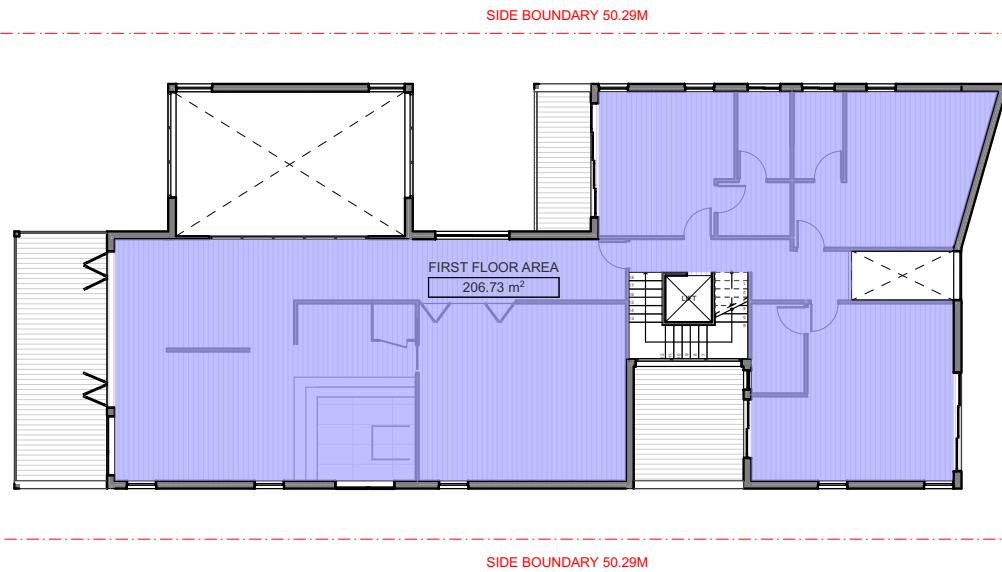
REVISION NO.
A

DRAWING NO.
A006



BASEMENT 1:200

GROUND FLOOR 1:200



FIRST FLOOR 1:200

GFA CALCULATION	
FLOOR	MEASURED AREA
BASEMENT AREA	11.86
FIRST FLOOR AREA	206.73
GROUND FLOOR AREA	10.05
GROUND FLOOR AREA	211.42
	440.06 m²

SITE AREA: 766.44 SQM
 PERMISSIBLE FSR: 0.575:1
 PERMISSIBLE GFA: 440.70SQM
 PROPOSED FSR: : 0.575:1
 PROPOSED GFA: 440.06 m²

GFA CALCULATION

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Project Designer

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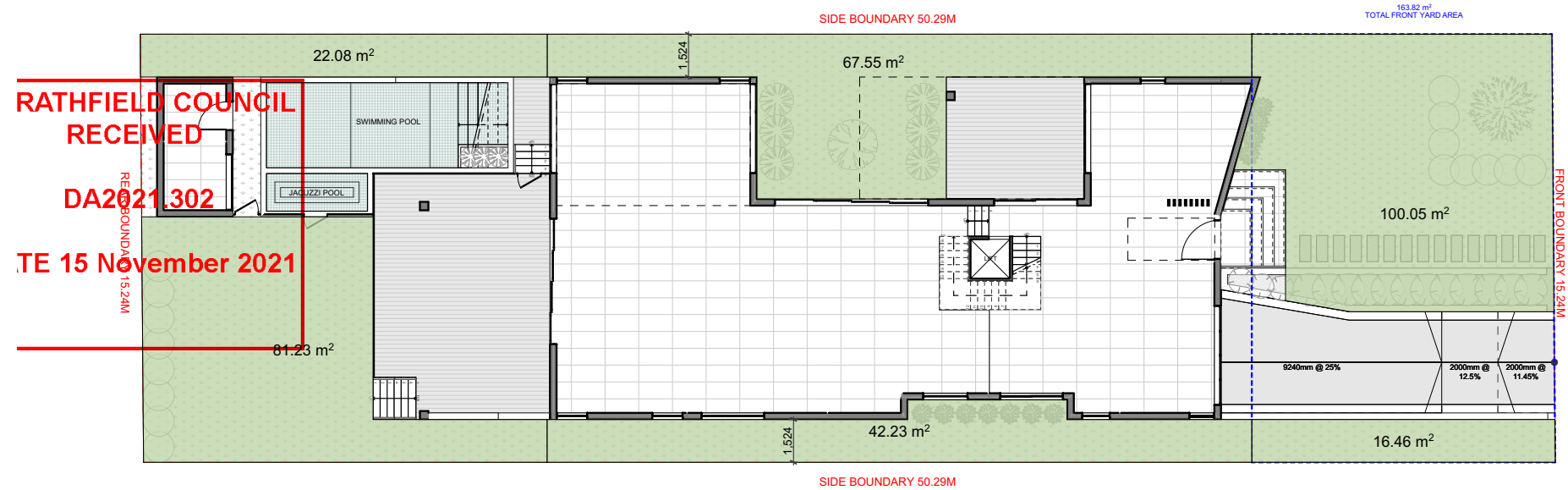


Drawn | Checked | TZ | JC |
 Revision Date: 1/11/2021
 Project NO. 2132
 Project Status DA
 Client QUYNH
 Site: 12 MOUNT STREET STRATHFIELD NSW 2135
 Climate Zone 5
 Wind Region A

PAPER A3
 1:200, 1:1

DRAWING TITLE :
 GENERAL
 GFA CALCULATION
 PROJECT NAME :
 12 MOUNT STREET
 STRATHFIELD

REVISION NO.
 A
 DRAWING NO.
 A007



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DATE 15 November 2021

SITE AREA: 766.44 SQM
REQUIRED LANDSCAPE AREA: 43% = 329.56 SQM
PROPOSED LANDSCAPE AREA: 329.6 SQM

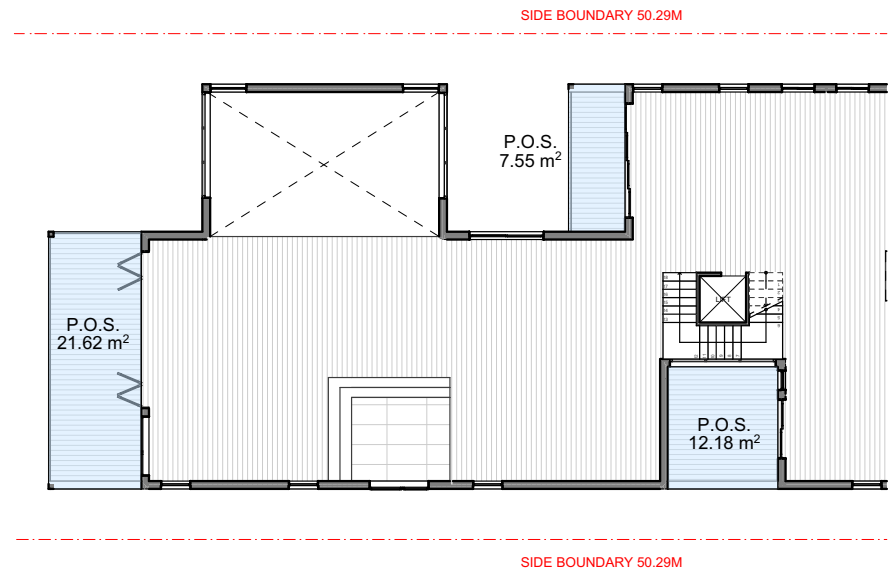
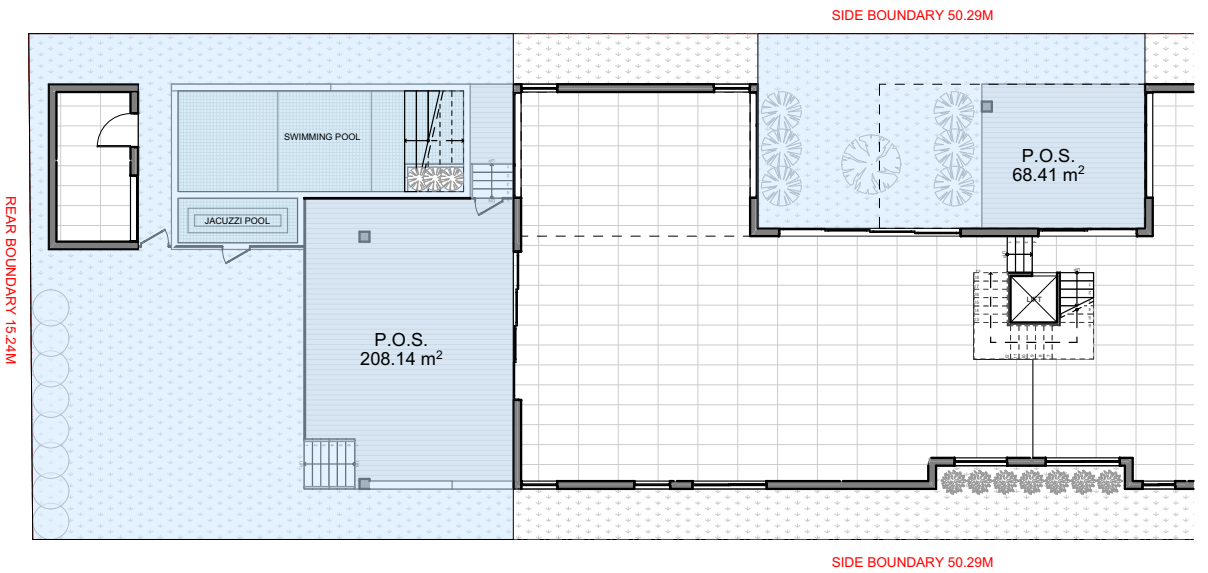
REQUIRED 50% OF THE MINIMUM LANDSCAPED AREA SHOULD BE LOCATED BEHIND THE BUILDING LINE TO THE REAR BOUNDARY: 164.78 SQM
PROPOSED LANDSCAPED AREA AT THE REAR: 213.09SQM @64.6%

REQUIRED 50% OF THE FRONT YARD SHOULD BE MAINTAINED AS DEEP SOIL SOFT LANDSCAPING = 81.91SQM
PROPOSED FRONT YARD TOTAL AREA: 163.82SQM
PROPOSED FRONT YARD LANDSCAPED AREA: 116.51 SQM = 71.1%

LANDSCAPE CALCULATION

0.
-

GROUND FLOOR
1:200



SITE AREA: 766.44 SQM
REQUIRED P.O.S. AREA: 10 SQM
PROPOSED P.O.S. AREA: 317.9 SQM

P.O.S. CALCULATION

0.
-

GROUND FLOOR
1:200

1.
-

FIRST FLOOR
1:200

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 E: office@texcodesign.com.au

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 Nom Arch: NSW ARB 11348
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 Revision Date: 1/11/2021
 Project NO: 2132
 Project Status: DA

Client: QUYNH
 Site: 12 MOUNT STREET STRATHFIELD NSW 2135
 Climate Zone: 5
 Wind Region: A

PAPER
A3
 1:200

DRAWING TITLE:
 GENERAL
LANDSCAPE & P.O.S. CALCULATION

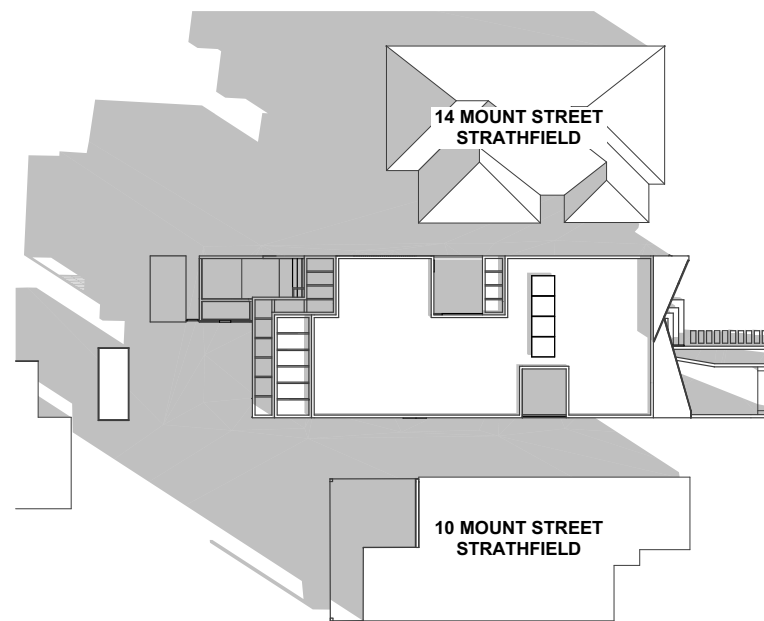
PROJECT NAME:
12 MOUNT STREET STRATHFIELD

REVISION NO. A
DRAWING NO. A008

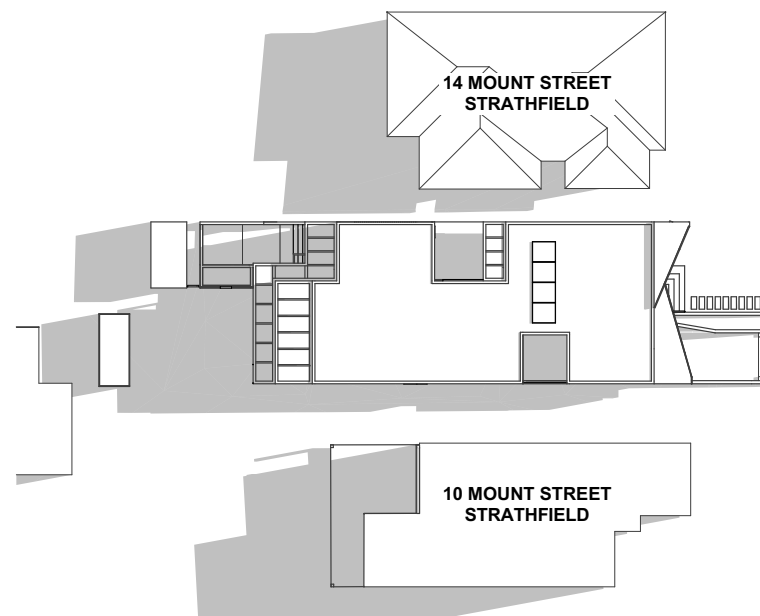
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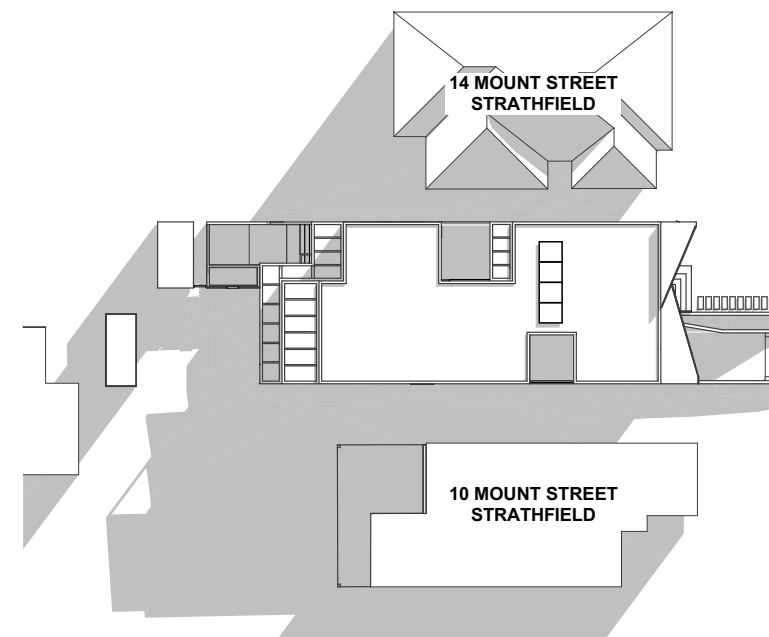
DATE 15 November 2021



SD01 SHADOW DIAGRAM - 21 JUNE 9:00AM 1:500



SD02 SHADOW DIAGRAM - 21 JUNE 12:00PM 1:500



SD03 SHADOW DIAGRAM - 21 JUNE 3:00PM 1:500

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01	28/10/2021	TZ	ISSUE FOR REVIEW
A	11/11/2021	TZ	ISSUE FOR DA

Project Designer



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Revision Date: 1/11/2021
Project NO. 2132
Project Status DA
Client QUYNH
Site 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER A3 1:500

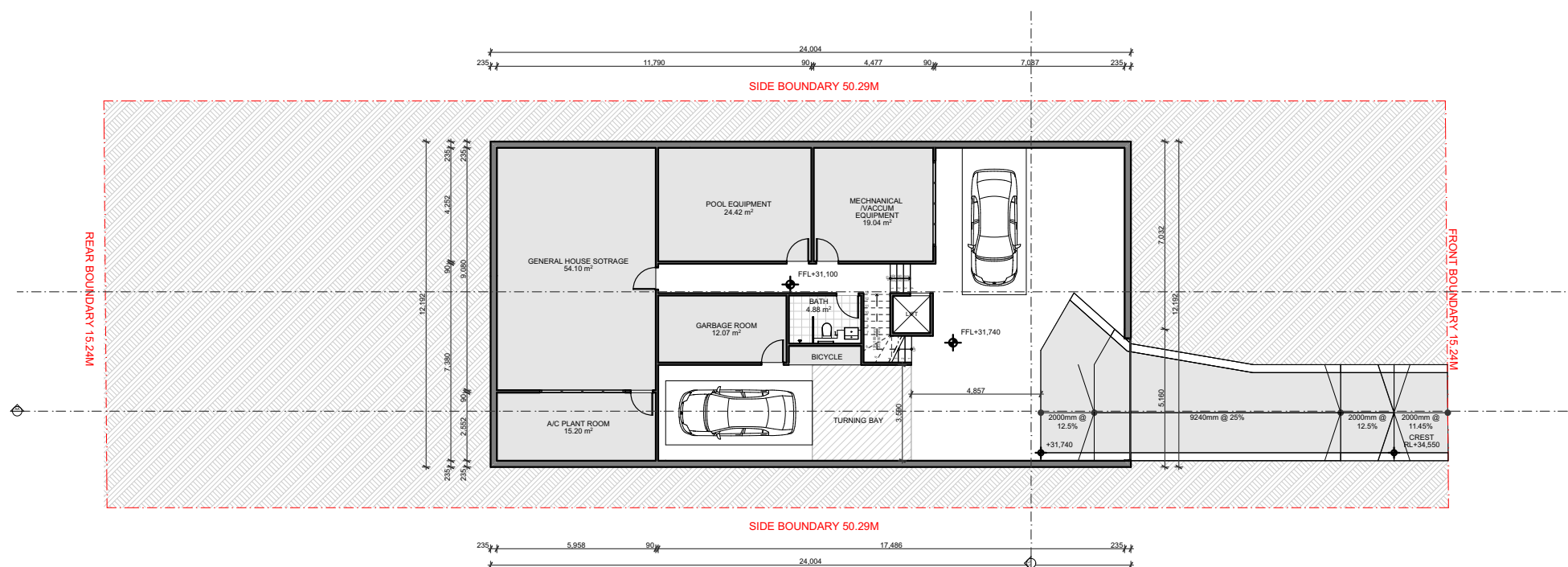
DRAWING TITLE : GENERAL SHADOW DIAGRAM
PROJECT NAME : 12 MOUNT STREET STRATHFIELD

REVISION NO. A
DRAWING NO. A010

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BASEMENT

1:200

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TRUE NORTH

Drawn | Checked
Revision Date: 1/11/2021
Project NO. 2132
Project Status DA
Client QUYNH
Site 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

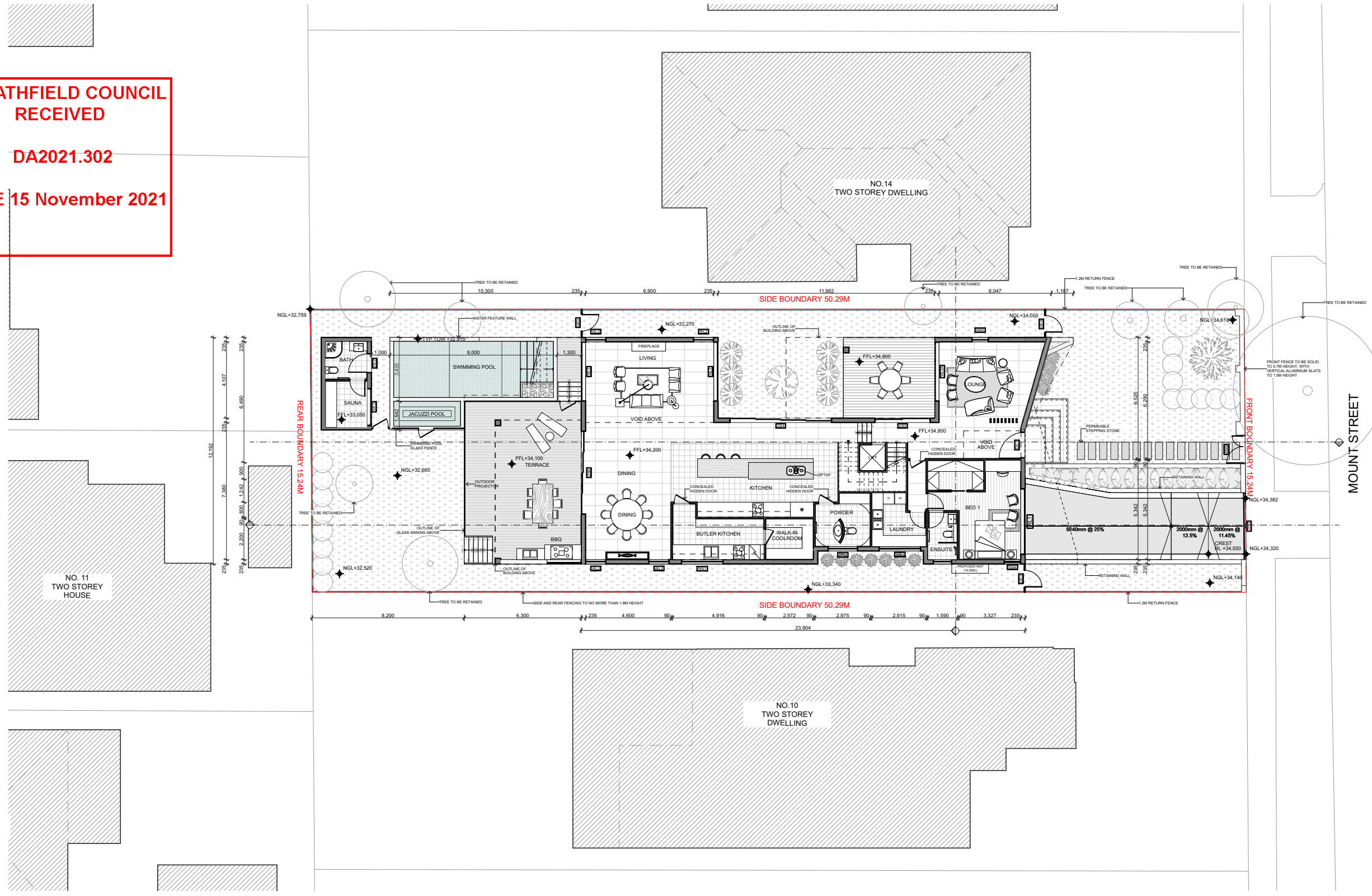
DRAWING TITLE :
PLANS
BASEMENT GA PLAN
PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
A
DRAWING NO.
A101

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GROUND FLOOR

1:200

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Project Designer

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Revision Date: 1/11/2021
Project NO: 2132
Project Status: DA
Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER: **A3**
1:200

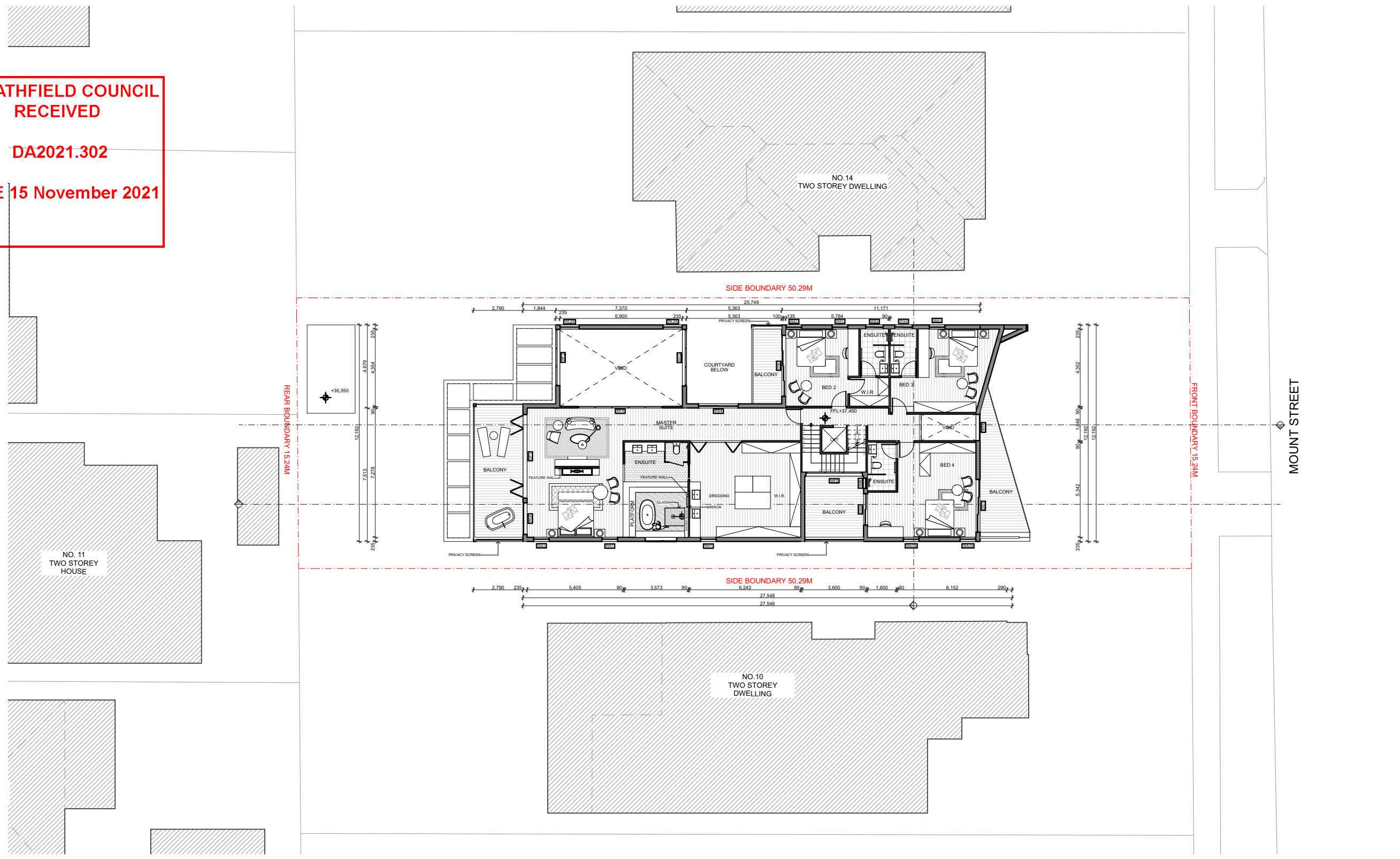
DRAWING TITLE :
PLANS
GROUND FLOOR GA PLAN
PROJECT NAME :
12 MOUNT STREET STRATHFIELD

REVISION NO.
A
DRAWING NO.
A102

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FIRST FLOOR
1:200

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- #Planning Consultant
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Project Designer

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Drawn | Checked
Revision Date: 1/11/2021
Project NO. 2132
Project Status DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

DRAWING TITLE :
PLANS
FIRST FLOOR GA PLAN

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
A

DRAWING NO.
A103

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A	1/11/2021	TZ	ISSUE FOR DA

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Revision Date: 1/11/2021
Project NO. 2132
Project Status DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER **A3**
1:200

DRAWING TITLE :
PLANS
ROOF LEVEL GA PLAN

PROJECT NAME :
12 MOUNT STREET STRATHFIELD

REVISION NO.
A

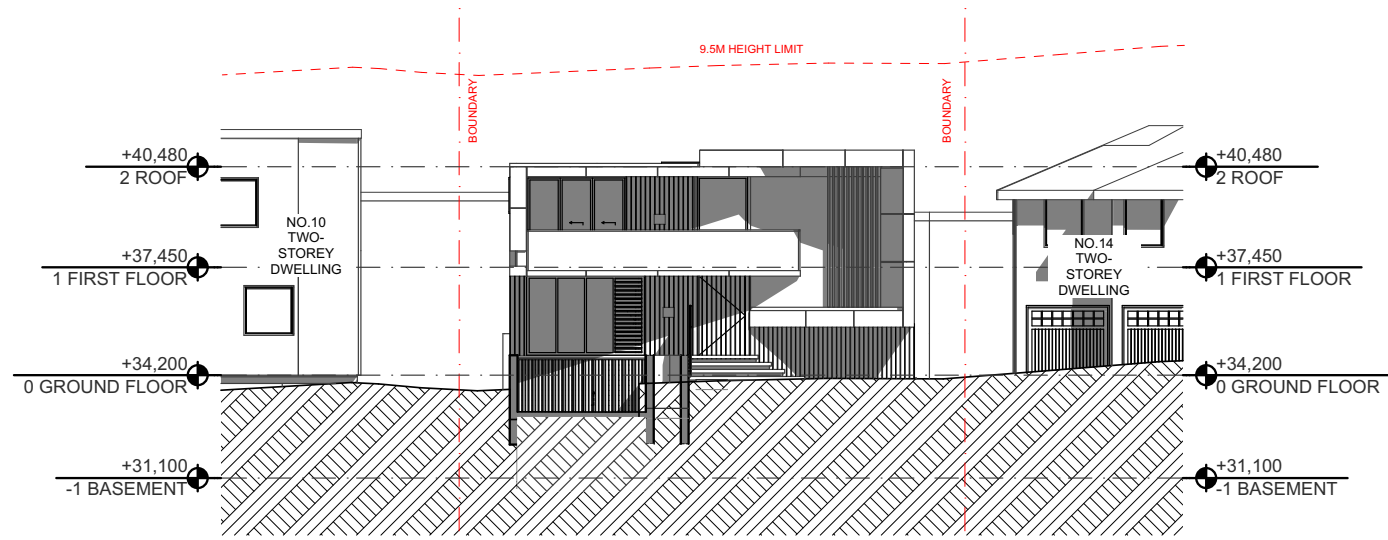
DRAWING NO.
A104

**ROOF
1:200**

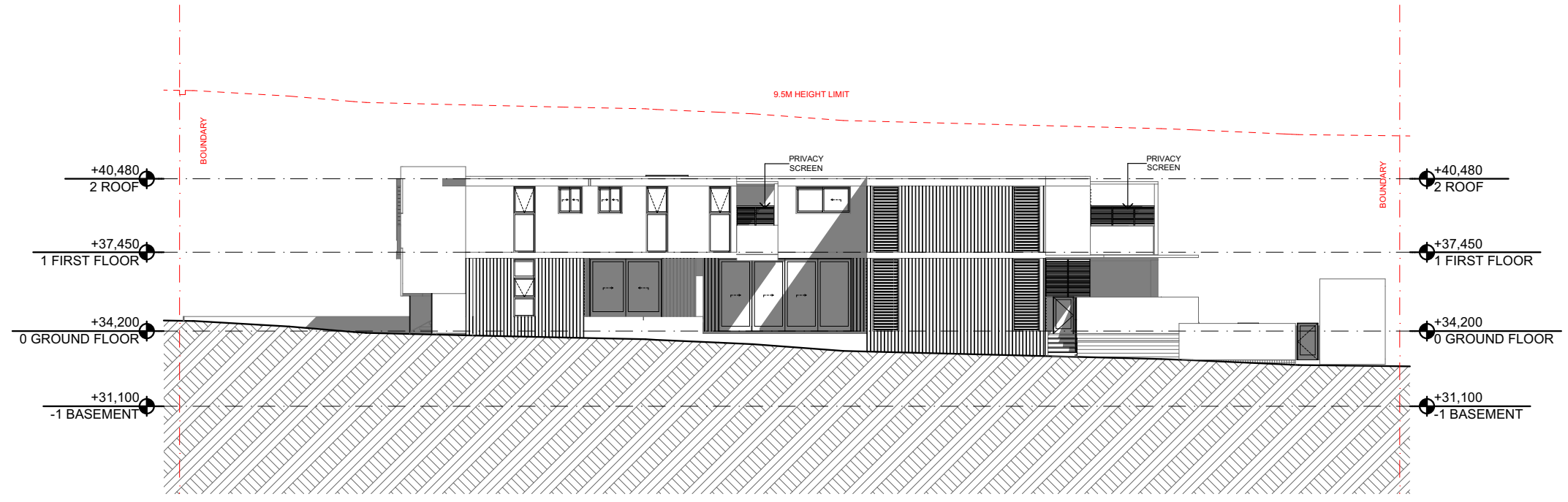
**RATHFIELD COUNCIL
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DA2021.302

DATE 15 November 2021



E01 NORTH ELEVATION (FRONT) 1:200



E04 WEST ELEVATION 1:200

NOTE
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- Traffic Engineer	- #Traffic Engineer
- Surveyor Consultant	- #Surveyor

RevID	Issue Date	Approved by	Rev. Note
01	7/09/2021	TZ	ISSUE FOR REVIEW
A	11/10/2021	TZ	ISSUE FOR DA

Project Designer



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P: +61 449 984 889

E: office@texcodesign.com.au

Drawn | Checked | TZ | JC |
Revision Date: 1/11/2021
Project NO. 2132
Project Status DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER A3 1:200

DRAWING TITLE : ELEVATION NORTH & WEST ELEVATION

PROJECT NAME : 12 MOUNT STREET STRATHFIELD

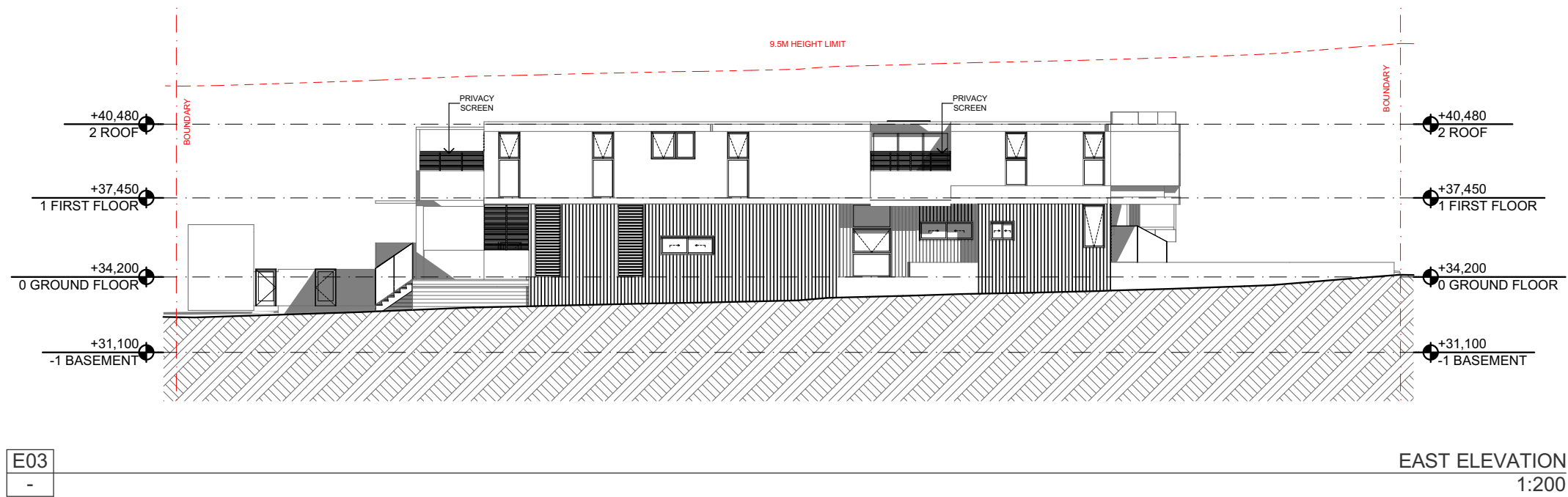
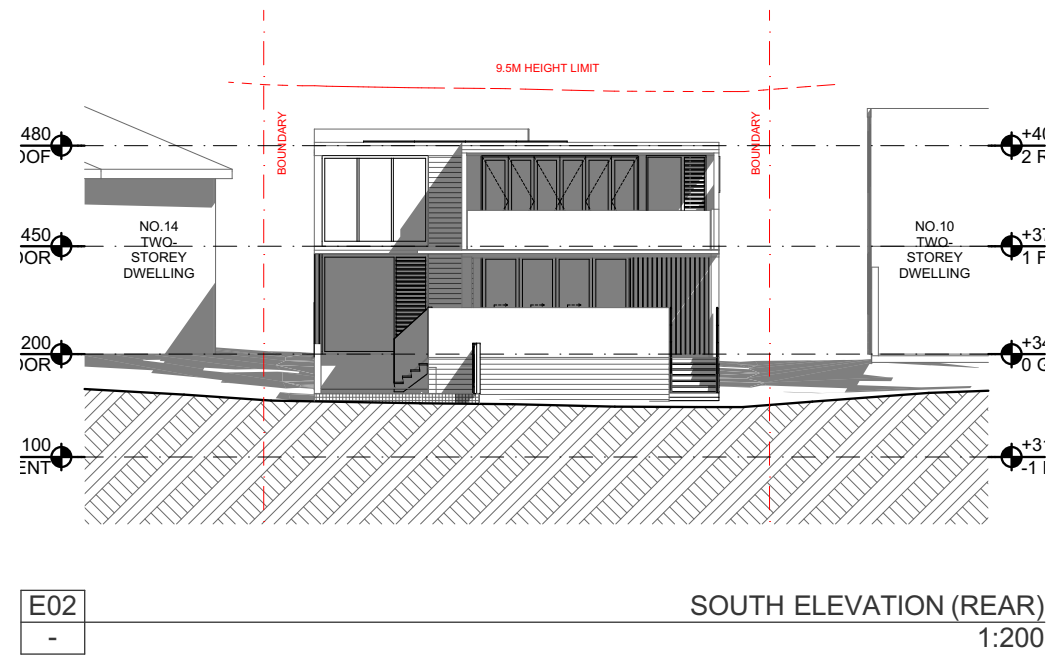
REVISION NO. A

DRAWING NO. A201

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Project Designer



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Revision Date: 1/11/2021
Project NO: 2132
Project Status: DA
Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER: A3
1:200

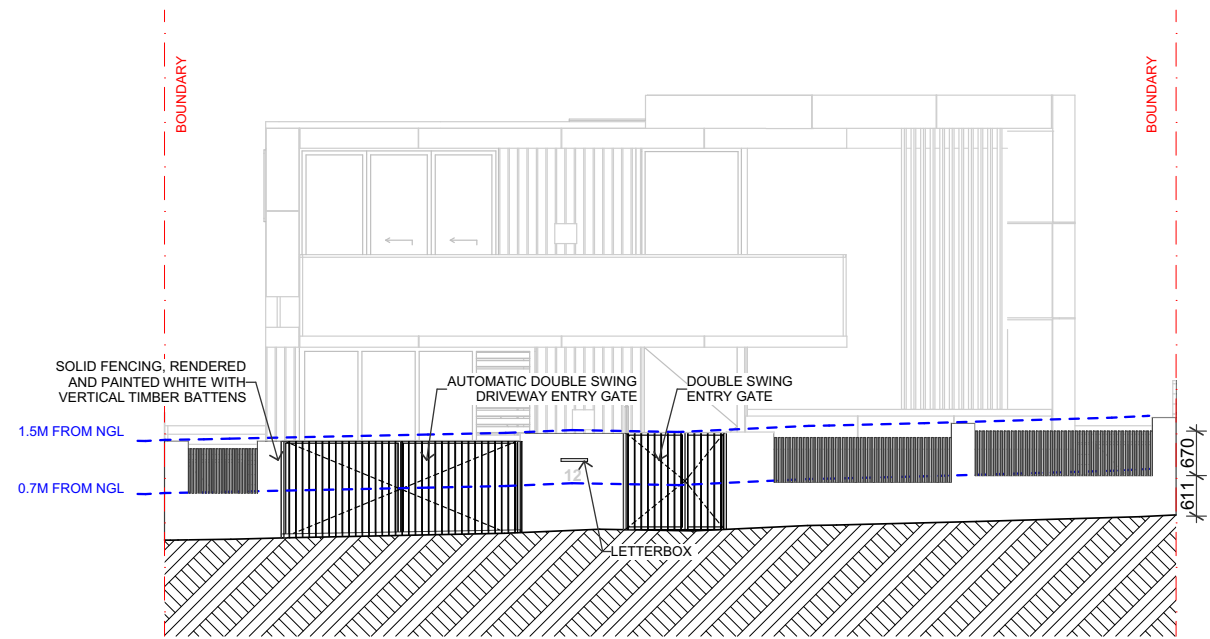
DRAWING TITLE: ELEVATION SOUTH ELEVATION & EAST ELEVATION
PROJECT NAME: 12 MOUNT STREET STRATHFIELD

REVISION NO. A
DRAWING NO. A202

**RATHFIELD COUNCIL
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DA2021.302

DATE 15 November 2021



E-04
-

FRONT FENCE ELEVATION
1:100

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Project Designer



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Drawn | Checked | TZ | JC |
Revision Date: 1/11/2021
Project NO. 2132
Project Status DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER **A3**
1:100

DRAWING TITLE :
ELEVATION
FRONT FENCE ELEVATION

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

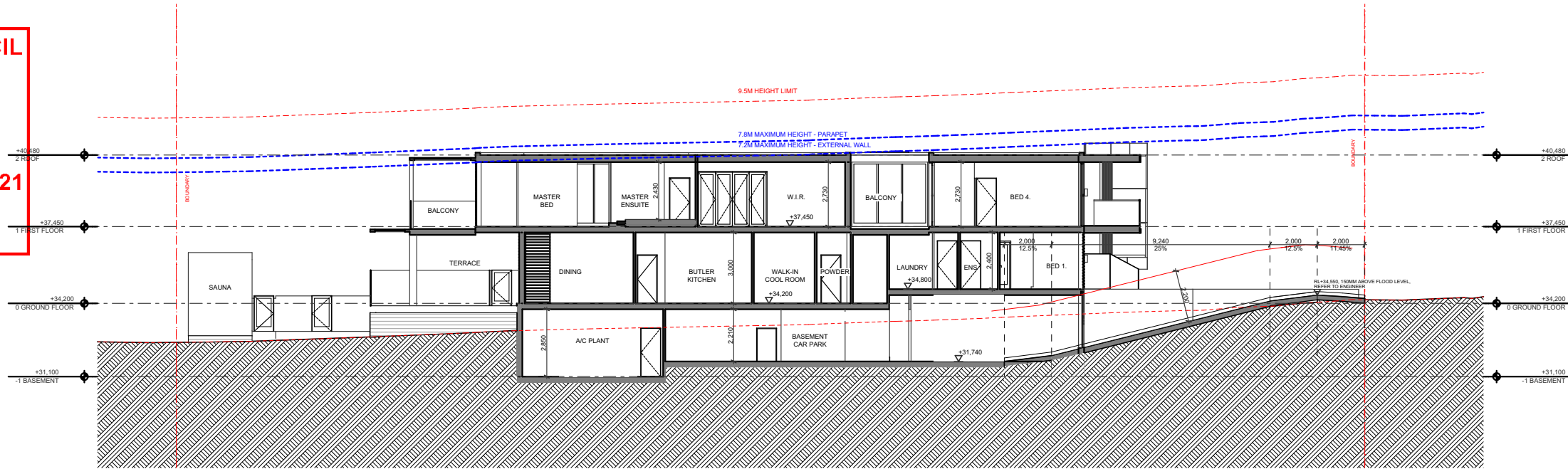
REVISION NO.
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DRAWING NO.
A203

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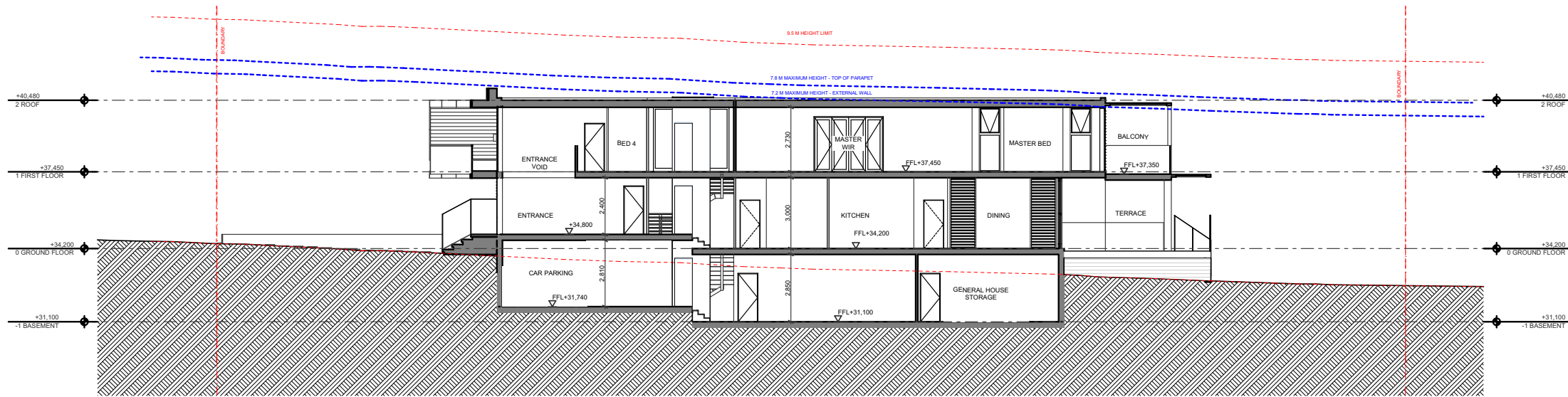
DA2021.302

TE 15 November 2021



S06

SECTION AA
1:200



S06

SECTION BB
1:200


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- Traffic Engineer	#Traffic Engineer
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02	28/10/2021	TZ	ISSUE FOR REVIEW
A	1/11/2021	TZ	ISSUE FOR DA

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Revision Date: 1/11/2021
Project NO: 2132
Project Status: DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER
A3
1:200

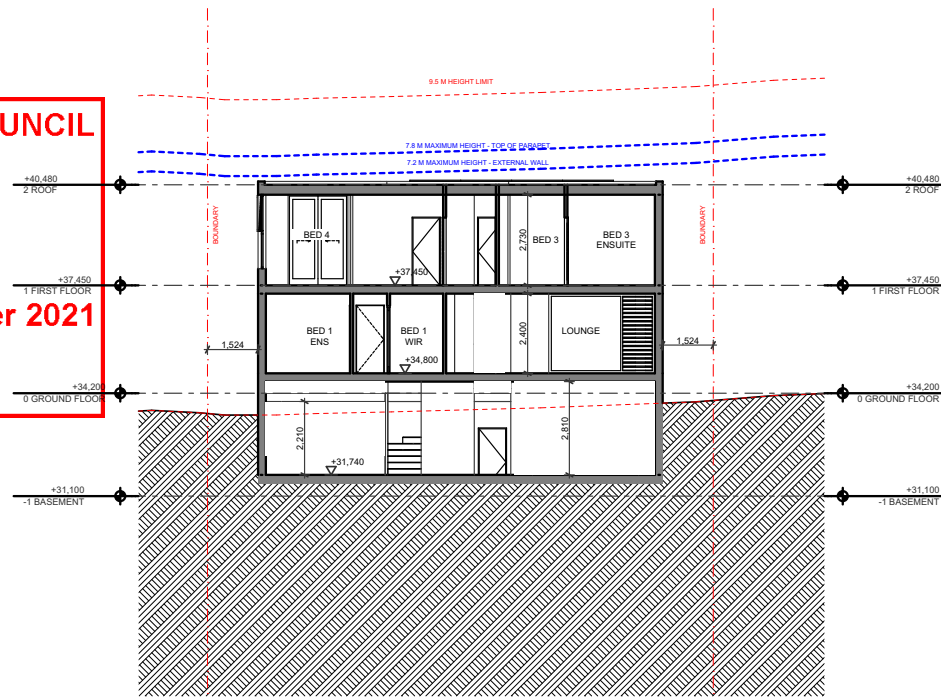
DRAWING TITLE:
SECTION AA & SECTION BB
PROJECT NAME:
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
A
DRAWING NO.
A301

**RATHFIELD COUNCIL
RECEIVED**

DA2021.302

DATE 15 November 2021



S08
-

SECTION CC
1:200

NOTE
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- Fire Service
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RevID	Issue Date	Approved by	Rev. Note
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A	1/11/2021	TZ	ISSUE FOR DA

Project Designer



Drawn | Checked | TZ | JC |
Revision Date: 1/11/2021
Project NO. 2132
Project Status DA
Client QUYNH
Site 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

DRAWING TITLE :
SECTION CC
PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
A
DRAWING NO.
A302

DOOR LIST											
ID	DE1	DE2	DE3	DF1	DF2	DG1	DG2	DG3	DG4	D11	
TYPE	CONCEALED ENTRY DOOR	SAUNA ENTRY DOOR	SIDE ENTRY GATE	BIFOLD DOOR	INTERNAL WIR BIFOLD DOOR	GARAGE ROLLER SHUTTER/TILT-UP DOOR	DRIVEWAY ENTRY GATE	PEDESTRIAN ENTRY GATE	SWIMMING POOL FENCE GATE	INTERNAL DOOR	
NOMINAL W x H	1,400x2,383	1,000x2,985	900x1,800	4,745x2,730	2,940x2,340	4,600x2,380	3,600x1,450	1,550x1,450	820x1,500	820x2,040	
PLAN											
ELEVATION											
QUANTITY	1	1	3	1	1	1	1	1	3	23	
PERFORMANCE SOLUTION											
ACOUSTIC DETAILS											

RATHFIELD COUNCIL RECEIVED
PLAN DA2021.302
DATE 15 November 2021

DOOR LIST									
ID	DI2	DP1	DS1	DS2	DS3	DS4	DS5	DS6	
TYPE	INTERNAL SHOWER GLASS DOOR	INTERNAL POCKET DOOR	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR	
NOMINAL W x H	720x2,040	900x2,040	3,000x2,730	1,800x2,730	3,000x2,400	5,500x3,000	3,470x2,730	4,500x3,000	
PLAN									
ELEVATION									
QUANTITY	1	2	1	1	1	1	1	1	
PERFORMANCE SOLUTION									
ACOUSTIC DETAILS									

<p>NOTE The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Texco Design Pty Ltd and is to be used only for work when authorized in writing by Texco Design Pty Ltd.</p> <p>All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.</p> <p>All documents here within are subject to Australian Copyright Laws.</p>	<p>Project Partners Refer to consultant documentation when directed</p> <table border="0"> <tr> <td>- Builder</td> <td>- #Builder</td> </tr> <tr> <td>- Planning Consultant</td> <td>- #Planning Consultant</td> </tr> <tr> <td>- Structural Engineer</td> <td>- #Structural Engineer</td> </tr> <tr> <td>- Mechanical Engineer</td> <td>- #Mechanical Engineer</td> </tr> <tr> <td>- Hydraulic Engineer</td> <td>- #Hydraulic Engineer</td> </tr> <tr> <td>- Fire Engineer</td> <td>- #Fire Engineer</td> </tr> <tr> <td>- Fire Service</td> <td>- #Fire Service</td> </tr> <tr> <td>- Electrical Engineer</td> <td>- #Electrical Engineer</td> </tr> <tr> <td>- Landscape Designer</td> <td>- #Landscape Consultant</td> </tr> <tr> <td>- Traffic Engineer</td> <td>- #Traffic Engineer</td> </tr> <tr> <td>- Surveyor Consultant</td> <td>- #Surveyor</td> </tr> </table>	- Builder	- #Builder	- Planning Consultant	- #Planning Consultant	- Structural Engineer	- #Structural Engineer	- Mechanical Engineer	- #Mechanical Engineer	- Hydraulic Engineer	- #Hydraulic Engineer	- Fire Engineer	- #Fire Engineer	- Fire Service	- #Fire Service	- Electrical Engineer	- #Electrical Engineer	- Landscape Designer	- #Landscape Consultant	- Traffic Engineer	- #Traffic Engineer	- Surveyor Consultant	- #Surveyor	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>RevID</th> <th>Issue Date</th> <th>Approved by</th> <th>Rev. Note</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>28/10/2021</td> <td>TZ</td> <td>ISSUE FOR REVIEW</td> </tr> <tr> <td>A</td> <td>1/11/2021</td> <td>TZ</td> <td>ISSUE FOR DA</td> </tr> </tbody> </table>	RevID	Issue Date	Approved by	Rev. Note	01	28/10/2021	TZ	ISSUE FOR REVIEW	A	1/11/2021	TZ	ISSUE FOR DA	<p>Project Designer</p> <div style="text-align: center;"> TEXCO DESIGN <small>Nom Arch: NSW ARB 11348 P: +61 449 904 889</small> </div> <p>E: office@texcodesign.com.au</p>	<div style="text-align: center;"> TRUE NORTH </div>	<p>Drawn Checked TZ JC Revision Date: 1/11/2021 Project NO. 2132 Project Status DA</p> <p>Client: QUYNH Site: 12 MOUNT STREET STRATHFIELD NSW 2135 Climate Zone 5 Wind Region A</p>	<p>PAPER A3 1:1</p>	<p>DRAWING TITLE : SCHEDULE DOOR SCHEDULE</p> <p>PROJECT NAME : 12 MOUNT STREET STRATHFIELD</p>	<p>REVISION NO. A</p> <p>DRAWING NO. A401</p>
- Builder	- #Builder																																									
- Planning Consultant	- #Planning Consultant																																									
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01	28/10/2021	TZ	ISSUE FOR REVIEW																																							
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WINDOW LIST

ID	WA1	WA1A	WA2	WA3	WA4	WA5	WA6	WF1	WF2	WF3	WF4
TYPE	AWNING WINDOW WITH FIXED OBSCURE GLAZING BELOW	AWNING WINDOW WITH FIXED GLAZING BELOW	OBSCURE AWNING WINDOW WITH FIXED OBSCURE GLAZING	OBSCURE AWNING WINDOW WITH FIXED TOP AND BOTTOM OBSCURE GLAZING	AWNING WINDOW	AWNING WINDOW WITH FIXED TOP AND BOTTOM GLAZING	AWNING OBSCURE WINDOW	FIXED ENTRY HIGH LEVEL WINDOW	FIXED WINDOW	FIXED SAUNA WINDOW	INTERNAL FIXED WINDOW
NOMINAL W x H	900x2,730	900x2,230	1,800x1,130	1,600x3,000	900x1,800	900x2,400	600x600	1,500x2,730	3,200x2,730	2,000x3,000	4,800x2,730
W/D Nominal Sill Height	0	0	1,600	0	600	0	2,130	0	0	0	0
PLAN											
ELEVATION											
QUANTITY	6	2	1	1	1	1	1	1	3	1	1
FRAME COLOUR / MATERIAL	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM		BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM
NOTE											

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DATE 15 November 2021

WINDOW LIST

ID	WF5	WF5	WL1	WL2	WL2A	WL3	WL3A	WL4	WS1	WS2	WS3
TYPE	INTERNAL FIXED WINDOW	INTERNAL FIXED WINDOW	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW	LOUVRE GLAZING WINDOW	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	SLIDING WINDOW	SLIDING OBSCURE WINDOW	SLIDING OBSCURE WINDOW
NOMINAL W x H	3,200x2,040	3,200x2,040	3,550x2,400	1,100x3,000	1,100x2,730	3,200x3,000	3,200x2,400	1,800x2,730	2,250x800	1,000x800	1,000x1,130
W/D Nominal Sill Height	0	640	0	0	0	0	0	0	900	900	1,600
PLAN											
ELEVATION											
QUANTITY	1	1	1	4	2	2	1	1	2	1	2
FRAME COLOUR / MATERIAL	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM
NOTE											

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Project Designer



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Drawn | Checked | TZ | JC |
 Revision Date: 1/11/2021
 Project NO: 2132
 Project Status: DA

Client: QUYNH
 Site: 12 MOUNT STREET STRATHFIELD NSW 2135
 Climate Zone: 5
 Wind Region: A

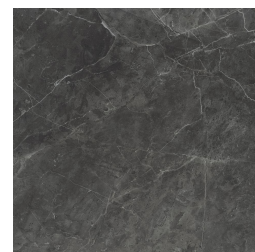
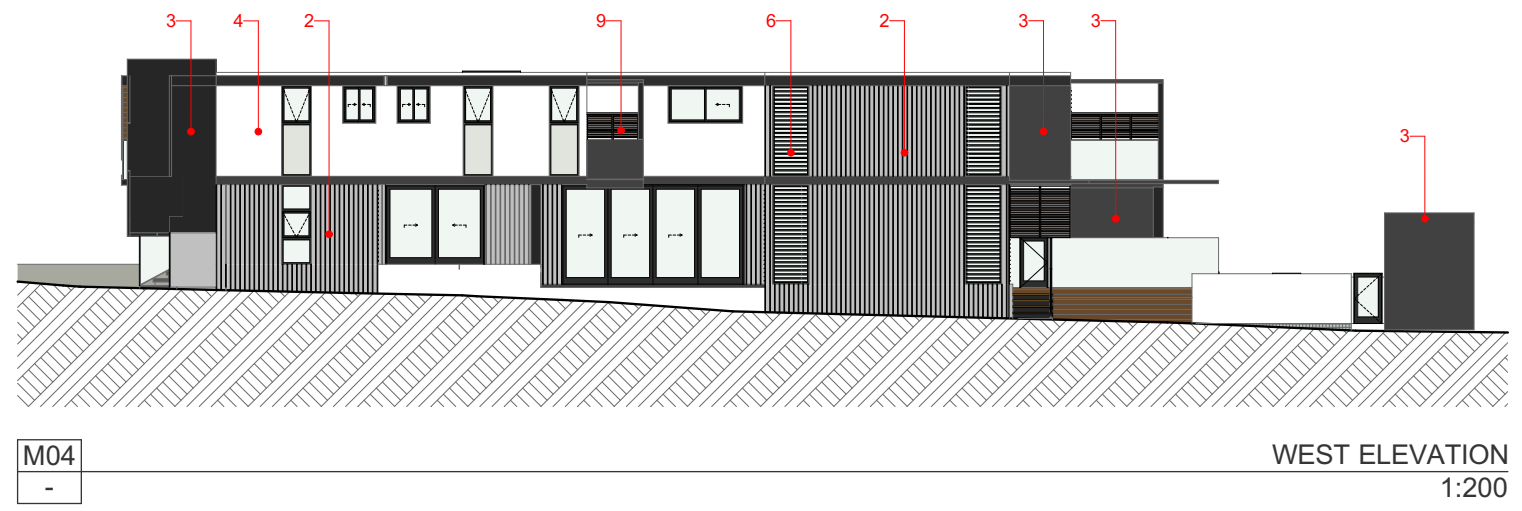
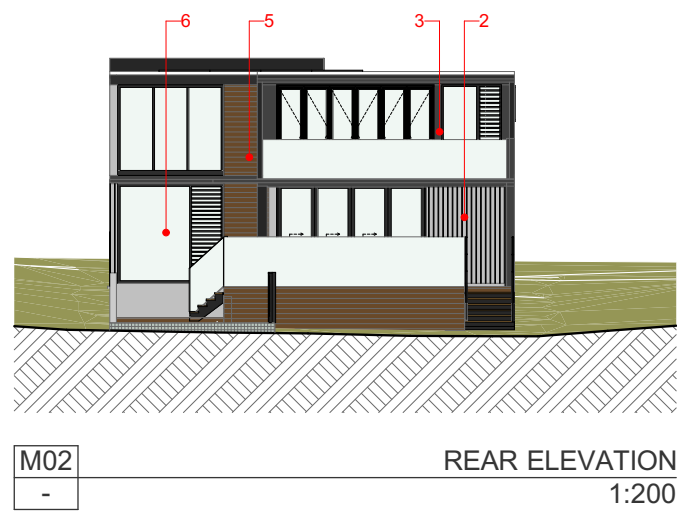
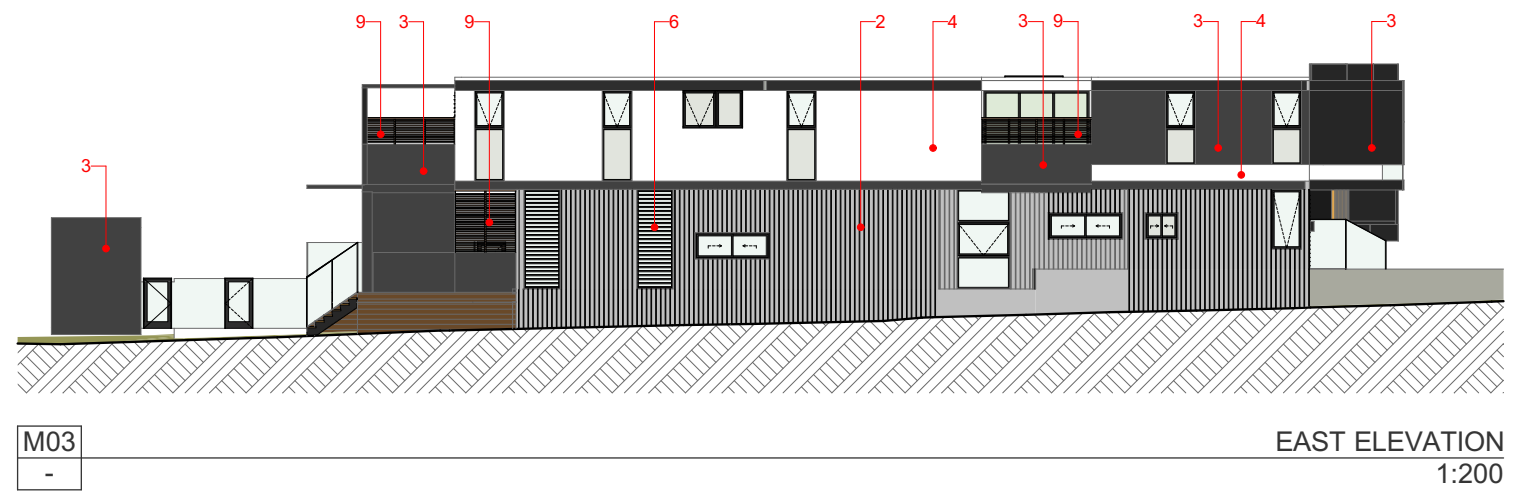
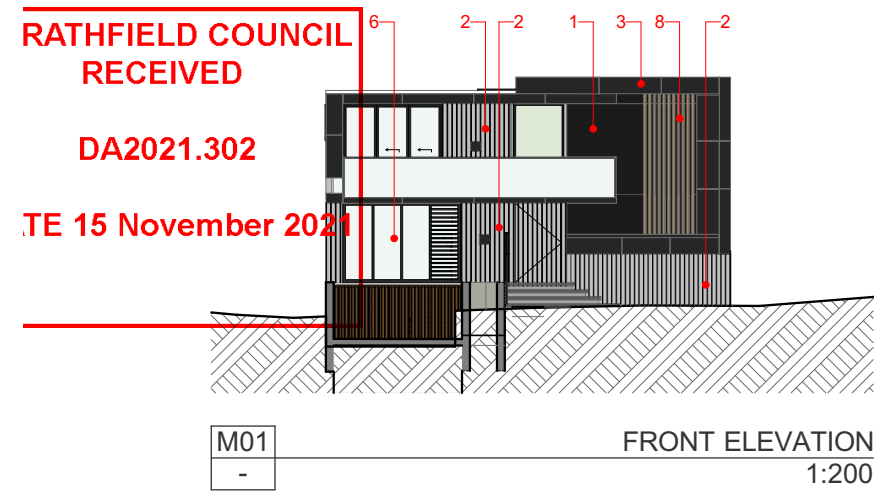
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DRAWING TITLE :
 SCHEDULE
 WINDOW SCHEDULE

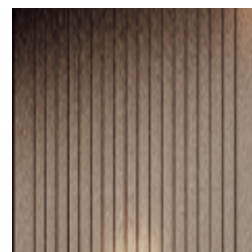
PROJECT NAME :
 12 MOUNT STREET
 STRATHFIELD

REVISION NO.
A

DRAWING NO.
A402



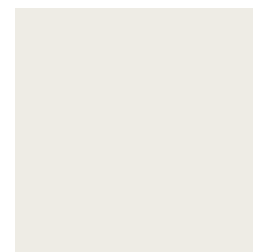
1. MARBLE-LOOK CLADDING - CALACATTA GREY COLOUR OR SIMILAR



2. FIBRE CEMENT CLADDING - STONE LOOK GREY COLOUR OR SIMILAR



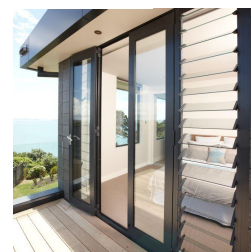
3. FC SHEET - DARK GREY COLOUR OR SIMILAR



4. RENDER & PAINT - WHITE COLOUR OR SIMILAR



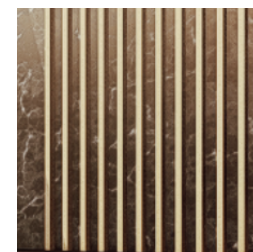
5. TIMBER LOOK CLADDING



6. ALUMINIUM WINDOW - DARK COLOUR OR SIMILAR



7. FEATURE MOSAIC TILES OR SIMILAR



8. METAL LOUVRES CHAMPAGNE GOLD COLOUR OR SIMILAR



9. TIMBER SCREEN/ LOUVRES - LIGHT BROWN COLOUR OR SIMILAR

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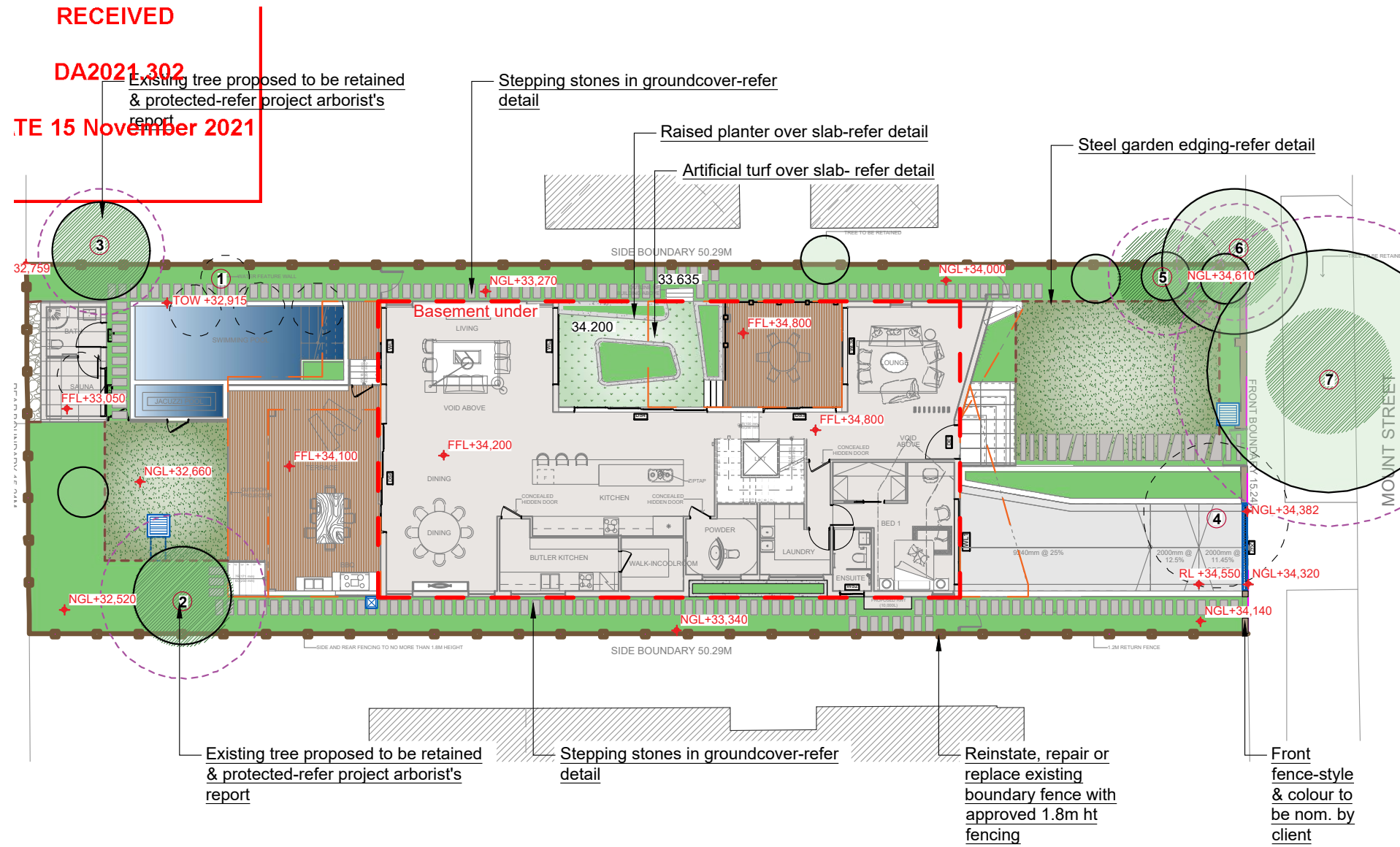
Drawn | Checked | TZ | JC |
Revision Date: 1/11/2021
Project NO: 2132
Project Status: DA

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER: A3
1:4.92, 1:10.99, 1:4.58

DRAWING TITLE: SCHEDULE MATERIAL SCHEDULE
PROJECT NAME: 12 MOUNT STREET STRATHFIELD

REVISION NO. A
DRAWING NO. A403



LOCATION PLAN

Scale: NTS



LANDSCAPE CALCULATIONS

-REFER ARCHITECTURAL DRAWING NO. A008

SITE AREA: 766.44m²

REQUIRED LANDSCAPE AREA: 329.56m² (43%)

PROPOSED LANDSCAPE AREA: 329.6m² (43%)

REQUIRED 50% OF THE MINIMUM LANDSCAPED AREA SHOULD BE LOCATED BEHIND THE BUILDING LINE TO THE REAR BOUNDARY: 164.78m²

PROPOSED LANDSCAPED AREA AT THE REAR: 213.09m² (64.6%)

REQUIRED 50% OF THE FRONT YARD SHOULD BE MAINTAINED AS DEEP SOIL SOFT LANDSCAPING = 81.91m²

PROPOSED FRONT YARD TOTAL AREA: 163.82m²

PROPOSED FRONT YARD LANDSCAPED AREA: 116.51m² (71.1%)

HARDSCAPE ITEMS

- Steel garden edging - refer detail
- Garden bed - refer landscape design plan
- Turf area - refer detail
- Artificial turf area - refer detail
- Stepping stones in groundcover - refer detail
- Decorative gravel to be nom. by client
- Retaining / raised planter wall - refer detail
- 1.8m Gate and fence - colour and style to be nom. by client
- Safety balustrade- colour and style to be nom. by client
- Front fence- colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected
- Trees Protection zone
- Structural root zone

TREE SURVEY

Existing Trees based on Arborists Report by Liam Strachan prepared on 25.10.21

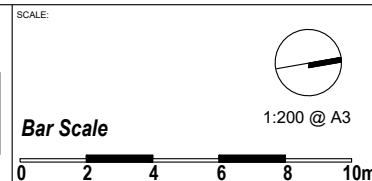
No.#	Species	Size (Ht x Sp)	Condition	Action
1	Macadamia tetraphylla	6x2	Good	Remove
2	Mangifera indica	6x4	Fair	Retain & protect
3	Syagrus romanzoffiana	8x4	Good	Retain & protect
4	Fraxinus giffithii	6x6	Good	Remove
5	Prunus species	5x2	Fair	Retain & protect
6	Murraya paniculata	5x6	Good	Retain & protect
7	Lophostemon confertus	12x10	Fair	Retain & protect

DRAWING SCHEDULE

SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	B
/2	LANDSCAPE PLAN	B
/3	DETAILS	B
/4	DETAILS	B
/5	DESIGN INTENT IMAGES	B
/6	SPECIFICATION	B

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REV	DATE	NOTATION/AMENDMENT
A	03.11.2021	Preliminary plan prepared for review
B	11.11.2021	Issued for DA

COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUING



TITLE: HARDSCAPE PLAN
 PROPOSED RESIDENTIAL DEVELOPMENT
 12 MOUNT STREET
 STRATHFIELD

DWG No:	LPDA 22 - 168 / 1
DATE:	NOV 2021
DRAWN:	K.Z
CHECKED:	R.F

LEGEND & SCHEDULE

RECEIVED
DA 2021 302
15 November 2021

NOTES:
 1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY THE LANDSCAPE CONTRACTOR.
 2. ANY PLANTING TO BE REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH THE ABOVE QUANTITIES.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS.
 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

- Botanical Name:** *Magnolia 'Little Gem'*
Common Name: Magnolia Little Gem (Exotic)
Pot size: 75Lt
Mature H x S: 4.5m x 1.5-2m
Qty Required: 3
- Botanical Name:** *Waterhousia floribunda*
Common Name: Weeping Lilly Pilly (Native)
Pot size: 75Lt
Mature H x S: 10m x 6m
Qty Required: 1
- Botanical Name:** *Acer palmatum 'Ariadne'*
Common Name: Japanese maple (Exotic)
Pot size: 75Lt
Mature H x S: 3m x 4m
Qty Required: 1

SHRUBS AND HEDGES

- Botanical Name:** *Buxus japonica*
Common Name: Japanese box (Native)
Pot size: 200mm
Mature H x S: 1m x 0.7m
Qty Required: 8
- Botanical Name:** *Syzygium australe 'Pinnacle'*
Common Name: Pinnacle Lilly Pilly (Native)
Pot size: 300mm
Mature H x S: 6-8m x 1-1.5m
Qty Required: 86
- Botanical Name:** *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 13
- Botanical Name:** *Correa alba*
Common Name: White Correa (Exotic)
Pot size: 200mm
Mature H x S: 1-1.5m x 1-1.5m
Qty Required: 3
- Botanical Name:** *Lavandula dentata*
Common Name: French Lavender (Exotic)
Pot size: 200mm
Mature H x S: 1m x 0.8m
Qty Required: 5

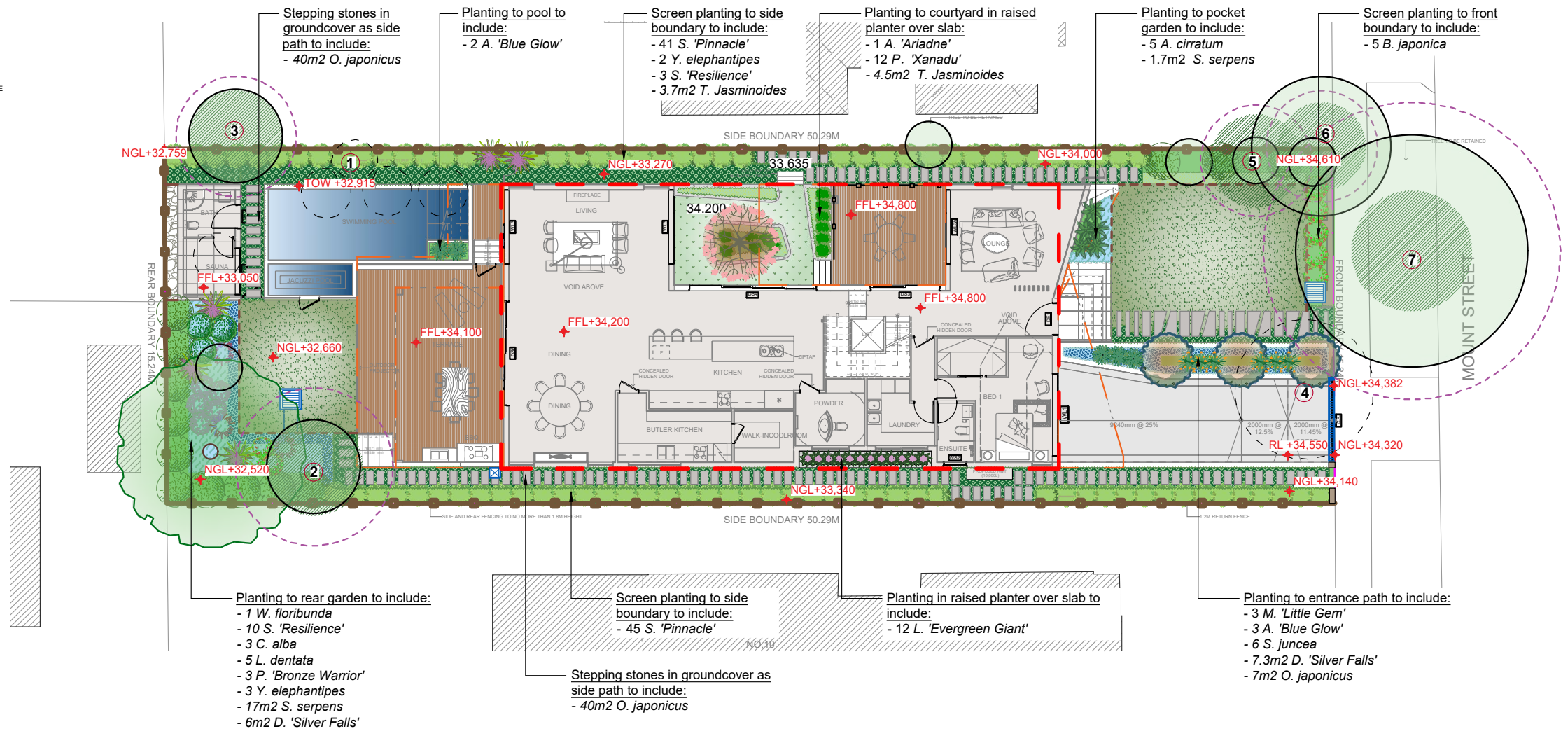
ACCENT PLANTS

- Botanical Name:** *Agave 'Blue Glow'*
Common Name: Blue Glow Agave (Exotic)
Pot size: 200mm
Mature H x S: 0.6m x 0.75m
Qty Required: 5
- Botanical Name:** *Strelitzia juncea*
Common Name: Rush-leaved Strelitzia (Exotic)
Pot size: 200mm
Mature H x S: 1.5m x 1m
Qty Required: 6
- Botanical Name:** *Yucca elephantipes*
Common Name: Spineless Yucca (Exotic)
Pot size: 300mm
Mature H x S: 3m x 0.9m
Qty Required: 5
- Botanical Name:** *Philodendron 'Xanadu'*
Common Name: Xanadu Plant (Exotic)
Pot size: 200mm
Mature H x S: 0.7m x 0.7m
Qty Required: 12

- Botanical Name:** *Phormium tenax 'Bronze Warrior'*
Common Name: BW New Zealand Flax (Native)
Pot size: 300mm
Mature H x S: 1.5m x 0.9m
Qty Required: 3
- Botanical Name:** *Arthropodium cirratum*
Common Name: New Zealand Rock Lily (Native)
Pot size: 150mm
Mature H x S: 0.8m x 1m
Qty Required: 5

GRASSES / GROUNDCOVERS

- Botanical Name:** *Ophiopogon japonicus*
Common Name: Mondo grass (Exotic)
Pot size: 140mm
Mature H x S: 0.2m x 0.2m
Qty Required: 9/m2 (80m2 total)
- Botanical Name:** *Senecio serpens*
Common Name: Blue Chalk sticks (Exotic)
Pot size: 140mm
Mature H x S: 0.2m x 0.4m
Qty Required: 5/m2 (18.7m2 total)
- Botanical Name:** *Trachelospermum Jasminoides*
Common Name: Star Jasmine (Exotic)
Pot size: 140mm
Mature H x S: 0.3m x 0.6m
Qty Required: 5/m2 (8.2m2 total)
- Botanical Name:** *Dichondra argentea 'Silver Falls'*
Common Name: Silver Falls Dichondra (Exotic)
Pot size: 140mm
Mature H x S: 0.15m x spreading
Qty Required: 9/m2 (13.3m2 total)
- Botanical Name:** *Liriope muscarii 'Evergreen Giant'*
Common Name: Giant Lily Turf (Exotic)
Pot size: 150mm
Mature H x S: 0.7m x 0.65m
Qty Required: 12



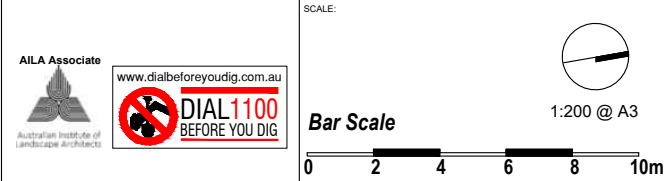
LANDSCAPE PLAN NOTES

DRAINAGE PITS AND DRAINAGE LINES SHOULD BE LOCATED WITHIN GARDEN AREAS TO ALLOW FOR SITE DRAINAGE WHILE MINIMISING IMPACT ON THE PROPOSED PLANTING SCHEME. WHERE POSSIBLE, PITS AND LINWORK SHOULD BE LOCATED AT THE EDGE OF LANDSCAPE STRIPS TO AVOID PRECLUDING PLANTING CENTRALLY IN GARDEN AREAS. WHERE PITS AND LINWORK OCCUR WITHIN GARDEN BEDS, THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID DAMAGING STORM WATER WHEN PLANTING SHRUBS AND TREES. LANDSCAPE CONTRACTORS SHALL NOT ALTER THE FORM OF SWALES DESIGNED TO DIRECT OVERLAND FLOW.

AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS, FOR FUTURE MAINTENANCE.

(acceptable for BASIX planting).
 The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.
 DA approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.

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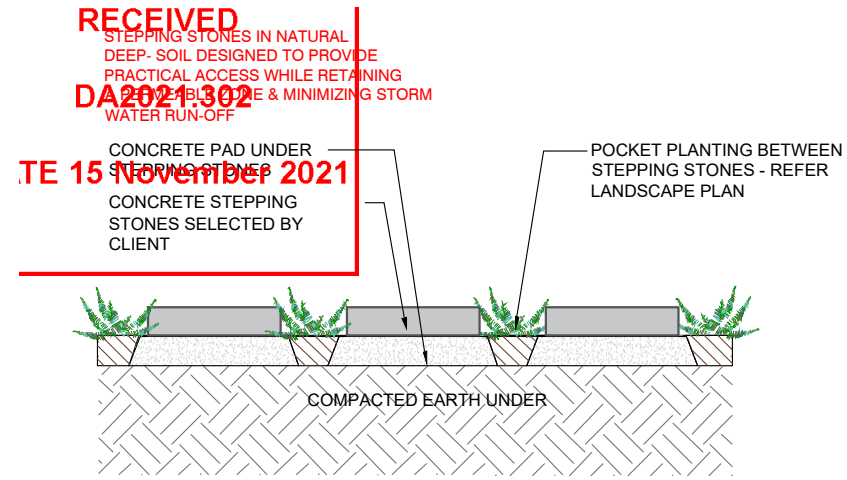


REV	DATE	NOTATION/AMENDMENT
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B	11.11.2021	Issued for DA

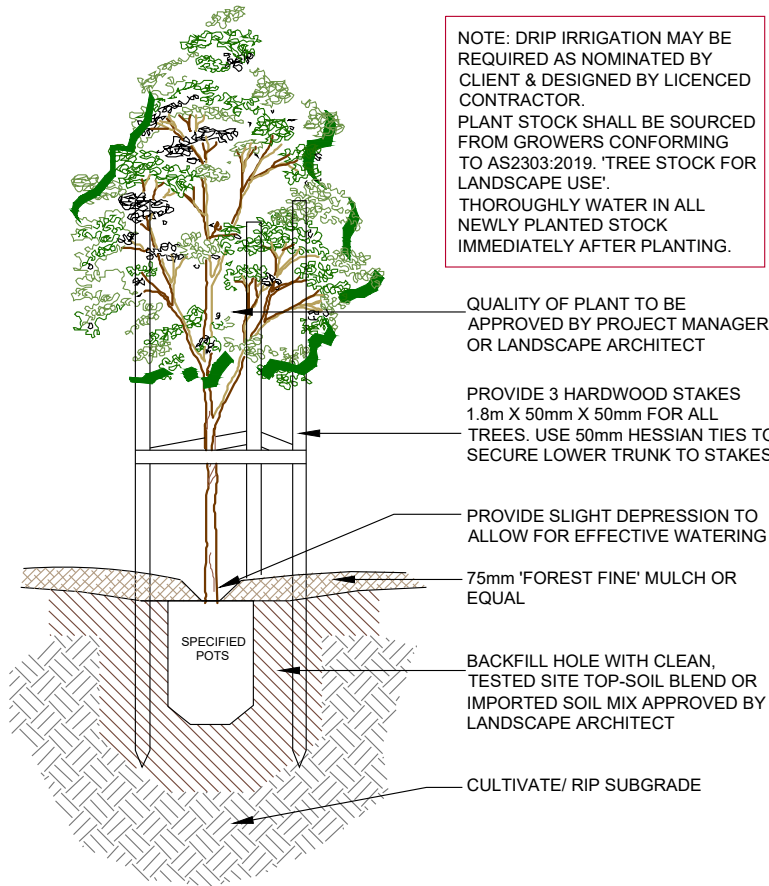
COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE R



TITLE:	LANDSCAPE PLAN	DWG No:	LPDA 22 - 168 / 2
	PROPOSED RESIDENTIAL DEVELOPMENT	DATE:	NOV 2021
	12 MOUNT STREET STRATHFIELD	DRAWN:	K.Z
		CHECKED:	R.F

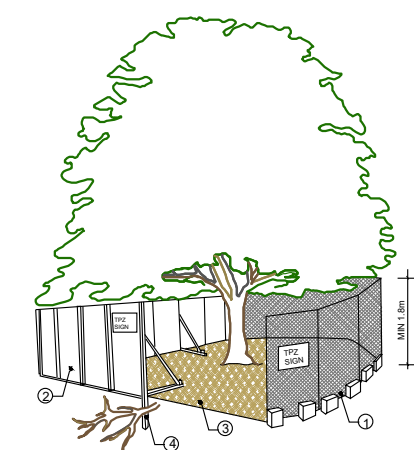


STEPPING STONES IN GROUNDCOVER PLANTING
SCALE 1:10



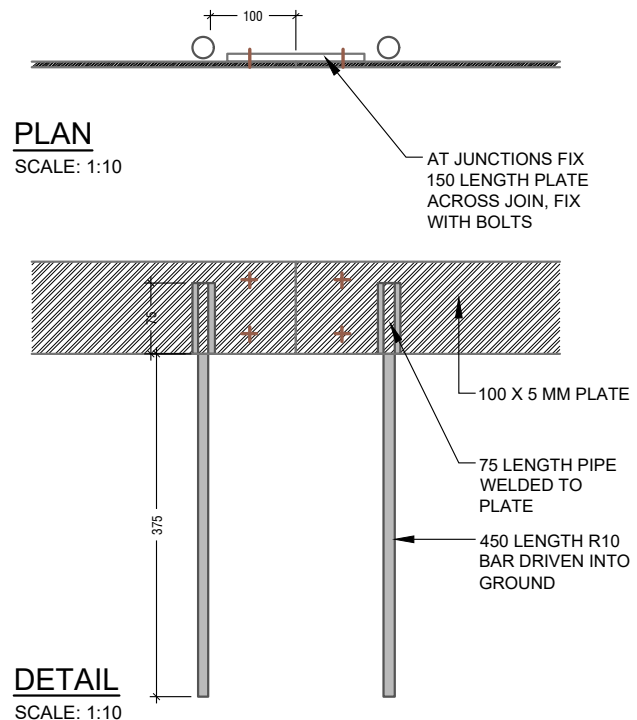
TREE PLANTING DETAIL
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)

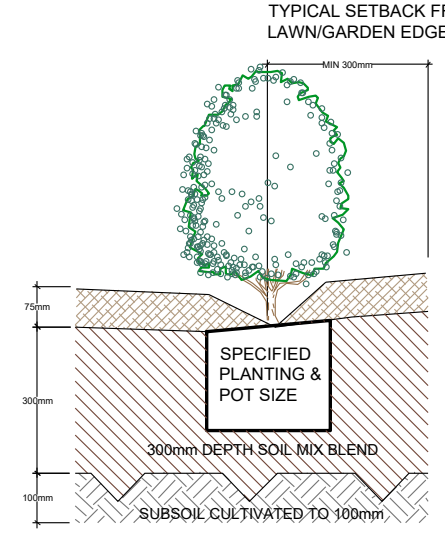


PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

TREE PROTECTION ZONE
N.T.S



STEEL EDGE DETAIL
SCALE: 1:10

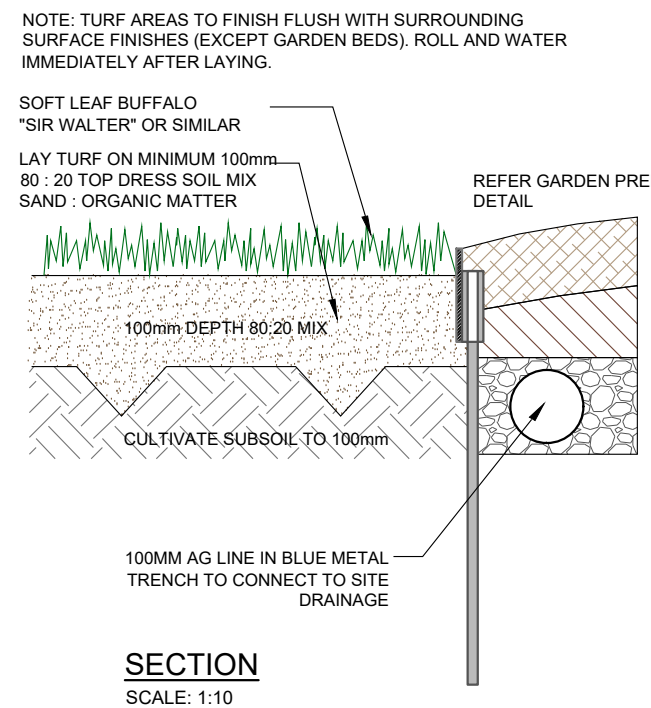


NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

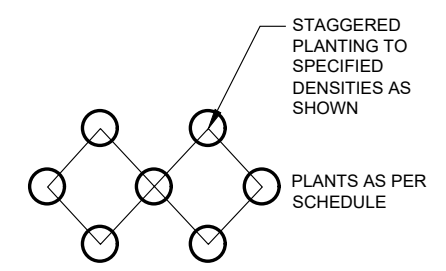
75mm DEPTH "FOREST FINE" MULCH OR EQUIVALENT

SOIL MIX:
50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL
SCALE 1:10



SECTION
SCALE: 1:10



MASS PLANTING SETOUT
N.T.S

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REV	DATE	NOTATION/AMENDMENT
A	03.11.2021	Preliminary plan prepared for review
B	11.11.2021	Issued for DA

COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE B

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Conzept
Landscape Architects
Phone: 9922 5312
Suite 101, 506 Miller St
CAMMERAY NSW 2062

TITLE: DETAILS
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET STRATHFIELD

DWG No:	LPDA 22 - 168 / 3
DATE:	NOV 2021
DRAWN:	K.Z
CHECKED:	R.F

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PLANT PALETTE
DATE 15 November 2021



Waterhousia floribunda



Magnolia 'Little Gem'



Acer palmatum 'Ariadne'



Yucca elephantipes



Mixed grass



Dichondra argentea 'Silver Falls'



Strelitzia juncea



Senecio serpens



Agave 'Blue Glow'



Phormium tenax 'Bronze Warrior'



Philodendron 'Xanadu'



Syzygium 'Resilience'



Lavandula dentata



Topiary: Lavandula & Correa & Buxus

SAMPLE IMAGES



Stepping stones in turf



Stepping stones in groundcovers



Corten steel garden edging

IMAGES ARE FOR DESIGN INTENT ONLY, FINAL PLANTING SPECIES & PRODUCTS MAY VARY, AS DETERMINED BY COUNCIL APPROVAL. PROPRIETARY ITEMS REFER TO MANUFACTURER'S SPECIFICATION. IMAGES FROM VARIOUS SOURCES.

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SCALE:

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CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE B



TITLE: DESIGN INTENT IMAGES
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET
STRATHFIELD

DWG No:	LPDA 22 - 168 / 5
DATE:	NOV 2021
DRAWN:	K.Z
CHECKED:	R.F

RECEIVED

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

TE 15 November 2021

- The following general conditions should be considered prior to the commencement of landscape works:
- The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the project.
 - All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
 - Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.
 - All outdoor lighting specified by architect or client to be installed by qualified electrician
 - Anomalies that occur in these plans should be brought to our immediate attention.
 - Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stookpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix complies with AS 4454-2012 Composts, soil conditioners and mulches. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported soil. All mixes are to comply with AS4419-2003 Soils for Landscaping and garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing

All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

- Mass Planting Beds - 300mm below existing levels with specified imported soil mix.
- Turf areas - 100mm below finished surface level.

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.
 - Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm
- Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
- Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.
- Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2019 Tree stock for landscape use. Certification that trees have been grown to AS2303:2018 guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303:2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch for general planter bed shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm screenings or similar.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel garden edging

Where is required, the Contractor shall install Steel garden edging as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

g) Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here.

Existing Conditions such as street trees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

f) Drainage pit

Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme, where possible, pits and linework should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas. where pits and linework occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. landscape contractors shall not alter the form of swales designed to direct overland flow.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

- Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be set out as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be brought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 235.

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or building contractual arrangements. An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas on terraces, over slabs and in Communal Open Spaces.

The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Strathfield Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.
- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.
- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty:

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be either

- 6 months beginning from the approved completion of the specified construction work (Practical Completion)
- or as agreed to in the landscape contractors contractual obligations.
- or as specified by Council in the Determination.

A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

- Watering all planting and lawn areas / irrigation maintenance.
- Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance.
- Replacement of damaged, stolen or unhealthy plants.
- Make good areas of soil subsidence or erosion.
- Topping up of mulched areas.
- Spray / treatment for insect and disease control.
- Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter
- Adjusting ties to Stakes
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale to that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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Australian Institute of Landscape Architects
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SCALE:

REV	DATE	NOTATION/AMENDMENT
A	03.11.2021	Preliminary plan prepared for review
B	11.11.2021	Issued for DA

COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE B

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CAMMERAY NSW 2062

TITLE:	SPECIFICATION	DWG No:	LPDA 22 - 168 / 6
	PROPOSED RESIDENTIAL DEVELOPMENT 12 MOUNT STREET STRATHFIELD	DATE:	NOV 2021
DRAWN:	K.Z	CHECKED:	R.F