

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 4 November 2021

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Local Planning Panel Meeting - 4 November 2021
REPORT: SLPP – Report No. 34
SUBJECT: DA2021.213- 6 HEYDE AVENUE STRATHFIELD- LOT: 3 DP: 1251201
DA NO. DA2021.213

Property:	6 Heyde Avenue STRATHFIELD Lot 3 in DP 1251201 DA 2021/213
Proposal:	Construction of a two (2) storey dwelling house with basement and associated landscape works.
Applicant:	B K Ko
Owner:	B K Ko
Date of lodgement:	20 August 2021
Notification period:	30 August to 14 September 2021
Submissions received:	Nil
Assessment officer:	M Rivera
Estimated cost of works:	\$1,100,000.00
Zoning:	R2 – Low Density Residential – SLEP 2012
Heritage:	Not a heritage item Not adjoining a heritage item Not within a heritage conservation area
Flood affected:	Yes
Is a Clause 4.6 Variation Proposed:	No
RECOMMENDATION OF OFFICER:	APPROVAL



Figure 1: Locality Plan showing subject site and surrounding context. The subject site is outlined in yellow.

DA2021.213- 6 Heyde Avenue Strathfield- Lot: 3 DP: 1251201 (Cont'd)

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the construction of a two (2) storey dwelling house with basement and associated landscape works.

Site and Locality

The site is identified as 6 Heyde Avenue, Strathfield and has a legal description of Lot 3 in DP 1251201. The site is a rectangular shaped parcel of land and is located on the eastern side of Heyde Avenue.

The site has a width of 18.5m, a depth of 30.49m and an overall site area of 564m².

The surrounding locality is low density residential in character and predominantly consists of multi-storey dwelling houses of varying design, scale and finishes. Most of the housing stock feature pitched roofing, brown/red brick or neutral rendering finishes and low masonry front fencing.

Strathfield Local Environmental Plan

The site is within the R2 – Low Density Residential zone under the provisions of Strathfield Local Environmental Plan 2012 (SLEP 2012) and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the SLEP 2012.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated Development Control Plan 2005 (SCDCP 2005).

Notification

The application was notified in accordance with Council's Community Participation Plan (CPP) from 30 August to 14 September 2021. No submissions were received during this period.

Issues

- Bulk and scale
- Front and rear setbacks of dwelling house

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, Development Application 2020/138 is recommended for approval subject to conditions of consent.

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REPORT IN FULL

Proposal

The application seeks Council approval for the construction of a two (2) storey dwelling house with basement and associated landscaping works. The proposal specifically involves the following elements:

- Construction of a dwelling house comprising:
 - Basement level containing two (2) car spaces and access to the parking, plant/services area, waste bin storage area and undercroft room for storage and stairwell leading to upper floors;
 - Ground floor containing home office, bedroom, bathroom, living room, combined lounge and dining room, home theatre, open plan kitchen with walk-in-pantry, laundry and outdoor alfresco area;
 - First floor containing master bedroom with walk-in-robe and ensuite, rumpus room, three (3) bedrooms, bathroom, ensuite and rear-facing balcony with planter boxes along its perimeter;
- External works surrounding the new dwelling including a new front masonry/metal palisade fence and landscaping works.

A Site Analysis Plan, Floor Plans, Elevations, Sections and Front Fence Elevation are illustrated in Figures 2 to 10 below.

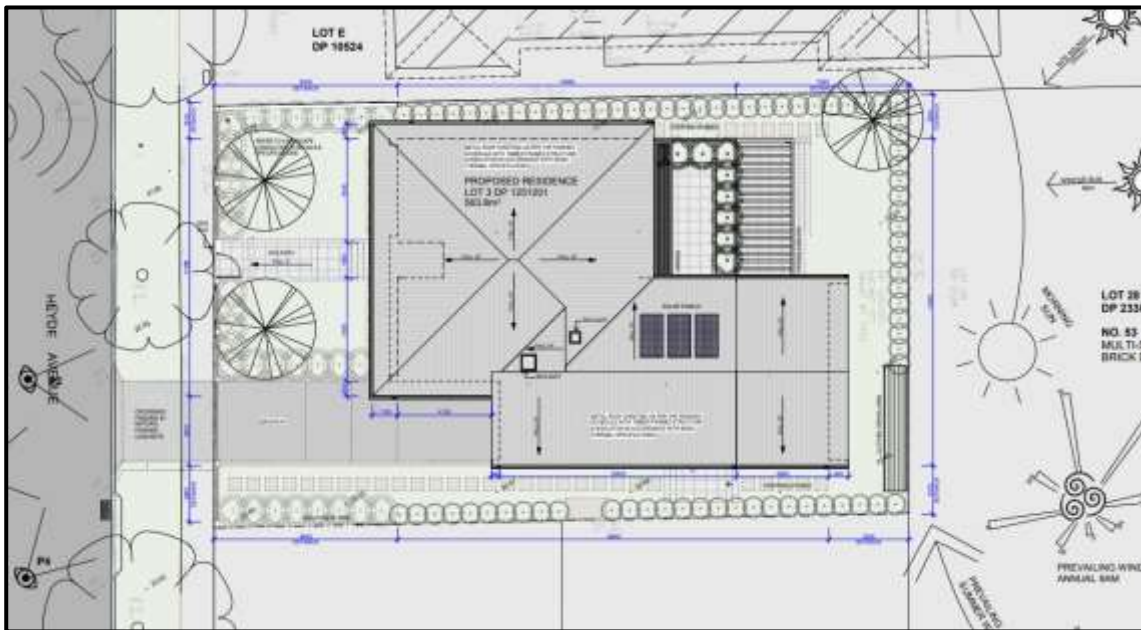


Figure 2: Site Analysis Plan

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Figure 3: Ground Floor and Basement Plans



Figure 4: First Floor Plan

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Figure 5: Front (West) Elevation



Figure 6: Rear (East) Elevation



Figure 7: South Elevation

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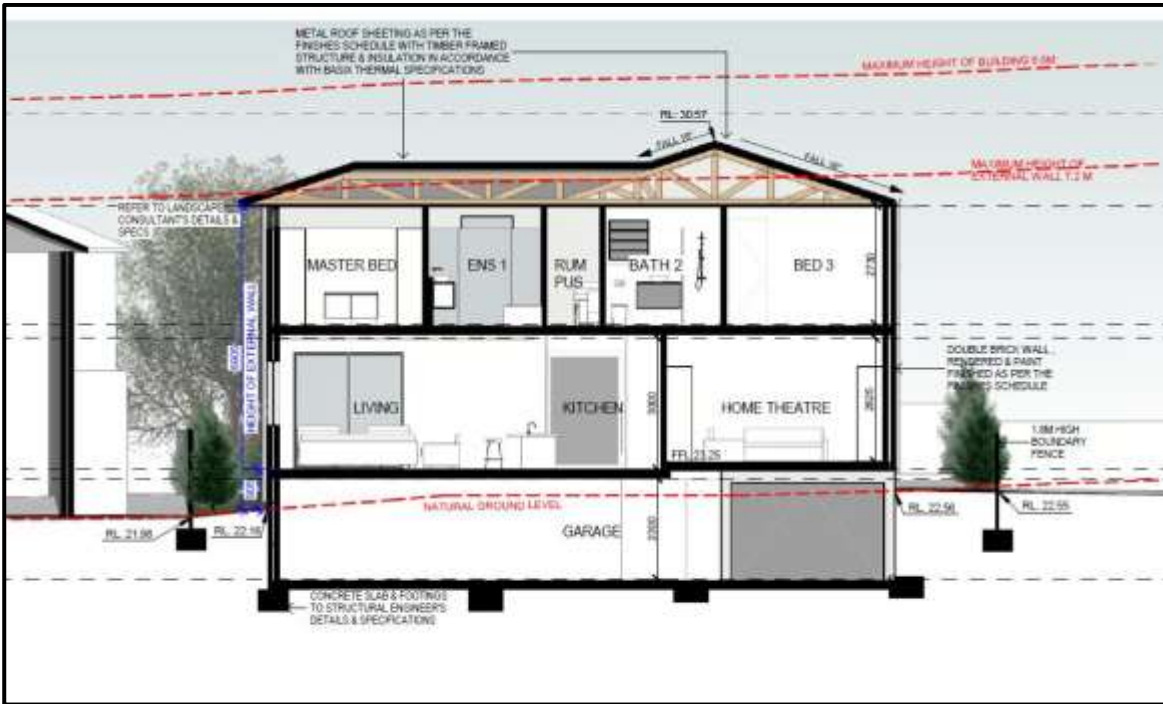


Figure 8: Cross Section



Figure 9: Long Section

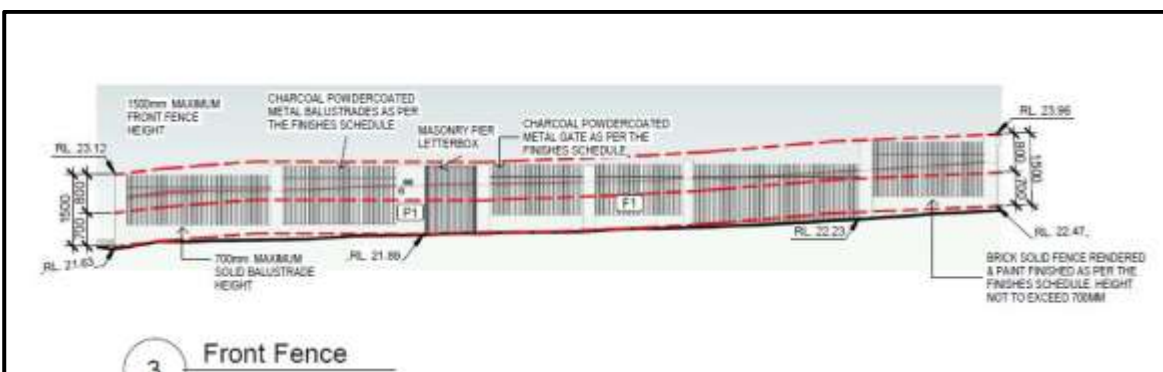


Figure 10: Front Fence Elevation

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Background

12 December 2020

Development application (DA2020/141) was refused by Council's Internal Development Assessment Panel (IDAP). This application was for the construction of a dwelling house that is of a similar design as the proposal. The reasons for refusal were as follows:

- i. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979 as it fails to meet the aims of the Strathfield Local Environmental Plan 2012 relating to achieving high quality urban form that reflects the existing and desired future character of the locality. The proposal fails to achieve a high quality urban design as its bulk, scale and overall design comprising a protruding basement and a three (3) storey appearance, are not reflective of the existing or desired future character of the surrounding locality.
- ii. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979 as it fails to meet the aims of the Strathfield Local Environmental Plan 2012 relating to promoting efficient and spatially appropriate use of land. The proposal represents an overdevelopment of the site and features a design that is excessive in bulk and scale, and is therefore unable to provide a suitable balance of building, hardscaped and soft landscaped elements.
- iii. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives for the maximum floor space under clauses 4.4(1)(a), (b) and (c) of the Strathfield Local Environmental Plan 2012. The proposal features a design, bulk and scale that is not in keeping with the built form character of the local area and does not maintain consistency with any existing and new residential development within the surrounding locality.
- iv. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives for flood planning under clauses 6.3(1)(a), (b) and (c) of the Strathfield Local Environmental Plan 2012. The proposal features a design comprising a flood barrier that is not an acceptable method of managing flood waters and therefore, is unable to minimise flood risk, facilitate development that is compatible with the site's flood affectation and is unable to avoid adverse impacts on flood behaviour.
- v. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives of Clause 2.1 (Architectural Design and Streetscape Presentation) of Part A of the Strathfield Consolidated Development Control Plan 2005. The proposal will result in an excessive built form that does not respect the predominant height, scale, character, type, form and architectural qualities of surrounding development. The overall design of the proposal presents poorly to the public domain and to adjoining residences. It does not provide a positive contribution to public

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- domain. The proposal will not ensure the public domain maintains an attractive and interesting setting.
- vi. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives of Clause 4.1 (Building Envelope) of Part A of the Strathfield Consolidated Development Control Plan 2005. The proposed dwelling is not compatible with the built form of the local area and comprises bulk, scale and height that are not relative to natural ground levels and are not responsive to the context and constraints of the site and to adjoining dwellings. The proposed third storey and additional basement protrusion significantly and unnecessarily contributes to the excess bulk and scale.
 - vii. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives of Clause 7.1 (Privacy) of Part A of the Strathfield Consolidated Development Control Plan 2005. The finished floor levels of the new dwelling are excessive and significantly elevated above the existing ground levels – resulting in adverse, unacceptable privacy impacts on neighbouring residences.
 - viii. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 as it fails to meet the objectives of Clause 10.1 (Water and Soil Management) of Part A of the Strathfield Consolidated Development Control Plan 2005. The proposal fails to comply with Council's Flooding Interim Flood Prone Land Policy and the proposed flood barrier is not considered an appropriate method for managing flood waters.
 - ix. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979 as it fails to comply with the control under Clause 8.2.3 (Basement) of Part A of the Strathfield Consolidated Development Control Plan 2005. The proposed basement level comprises a protrusion of more than 1m above ground level.
 - x. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(b) of the Environmental Planning and Assessment Act 1979 as it will result in unacceptable adverse impacts in terms of streetscape, visual amenity and privacy.
 - xi. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(c) of the Environmental Planning and Assessment Act 1979 as it fails to demonstrate that the subject site is suitable for the proposed built form.
 - xii. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(e) of the Environmental Planning and Assessment Act 1979. It is considered that in the circumstances of the case approval of the proposed development would set an undesirable precedent for similar bulky inappropriate development and it is therefore not in the public interest.

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26 February 2021	Development application (DA2020/141) became a Class 1 matter and the Land and Environment Court upheld the refusal decision.
20 May 2021	<p>A pre-development application (pre-DA) meeting was held with Council officers and the applicant and their architect with respect to discuss the reasons for refusal under DA2020/141 and a revised dwelling design.</p> <p>As a result of this meeting, a formal letter of response was issued by Council on 20 May 2021. The main points contained in this letter are as follows:</p> <ul style="list-style-type: none"> • Reasons for refusal; • Floor space ratio (FSR); • Basement; • Void (first floor); • Rear setback; • Front setback; • Architectural design and streetscape presentation; • Landscaping; • Flooding and stormwater; • Vehicular access and parking; and • Front fencing.
20 August 2021	The subject development application (DA2021/213) was lodged with Council, with the proposed design generally responding to the reasons for refusal under DA 2020/141 and the pre-DA letter (dated 20 May 2021).
30 August 2021	The application was placed on exhibition, with the last date for submissions being 14 September 2021. No submissions were received during this period.
8 October 2021	A site visit was undertaken by Council's assessment officer.
10 October 2021	A deferral letter was sent to the applicant raising an issue with regard to the void space. The applicant was advised that the proposed first floor void (over the lounge and dining room) is excessive and contributes to bulk and scale. This void must be deleted completely. Alternatively, the void is to be reduced in dimension and the maximum floor to ceiling height for this space must be 4.5-5.0m from natural ground level.
12 October 2021	The applicant lodged amended plans to resolve the void issue via the Planning Portal.

The Site and Locality

The subject site is legally described as Lot 3 in DP 1251201 and commonly known as No. 6 Heyde Avenue, Strathfield. The site is within the R2 – Low Density Residential zone, pursuant to the provisions of SLEP 2012. It is a rectangular allotment, located on the eastern side of Heyde Avenue (refer to Figure 11). The site has a width of 18.5m, a depth of 30.49m and an overall site area of 564m². The land is relatively flat – with a slight fall of 0.17m to the rear (eastern) boundary.

The site is currently vacant (refer to Figure 11). The site benefits from vehicular access via an existing crossing on the southern side of the front boundary, off Heyde Avenue.

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The surrounding locality is low density residential in character and predominantly consists of multi-storey dwelling houses of varying design, scale and finishes. Most of the housing stock feature pitched roofing, brown/red bricks or neutral rendering finishes and low masonry front fencing (refer to Figures 12 and 13).



Figure 11. View of subject site from Heyde Avenue



Figure 12. Streetscape – eastern side of Heyde Avenue (same side as subject site)

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Figure 13. Streetscape – western side of Heyde Avenue

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The site is surrounded by the following properties:

- Adjoining the southern boundary: dwelling houses at No. 55 and 57 Oxford Road, Strathfield;
- Adjoining the northern boundary: dwelling house at No. 4 Heyde Avenue, Strathfield (refer to Figure 14);
- Adjoining the eastern (rear) boundary: a dwelling house at No. 182 Albert Road, Strathfield; and
- South of the site and across the road: a dwelling house at No. 3 Heyde Avenue, Strathfield (refer to Figure 15).



Figure 14. Dwelling house at No. 4 Heyde Avenue

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Figure 15. Dwelling house at No. 3 Heyde Avenue

Referrals

INTERNAL

Development Engineer Comments

Council's Development Engineer confirmed objections to the final design of the proposal due to the following matter:

"I have referred to the development application referenced above and reviewed the stormwater drainage concept plan prepared by Kozarovski & Partners Engineers issue 1 drawing no. C-3633-01 dated 11.08.2021. The subject site has a natural fall to the front and disposal by means of gravity is attainable hence enabling the applicant to submit a compliant design. The provision of water sensitive urban design is not required as the site is less than 2000m². OSD provision is not required as the site cumulative imperviousness is less than 65% of total site area. The site discharges to the street kerb and gutter by means of a gravity pipe via the boundary pit. Roof runoff drains into below ground rainwater tank in accordance with BASIX requirements by gravity means via downpipes. Overflow from the tank charges to the boundary pit. Proposed basement drains into pump well by gravity means via subsoil drainage and grated trench drain. Rising main from the pump well connects to the boundary pit. From an engineering perspective, concept plan is feasible and there are no objections to its approval subject to conditions."

Council's Development Engineer raised no concerns or objections with the proposed development, subject to the imposition of conditions.

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Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15(1) of the *Environmental Planning and Assessment Act 1979*.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy No 55 - Remediation of Land	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP 55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed provisions of clause 5.9 of SLEP 2012 relating to the preservation of trees and vegetation.

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposed development does not result in the removal or loss of any trees or vegetation subject to the provision of this SEPP. The aims and objectives outlined within the SEPP are considered to be satisfied.

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Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012 and is consistent with the aims of this plan.

Part 2 – Permitted or Prohibited Development**Clause 2.1 – Land Use Zones**

The subject site is zoned R2 – Low Density Residential and the proposal, being a dwelling house, is a permissible form of development with Council's consent. The proposal is considered to be a form of development that meets the objectives of this zone.

Part 4 – Principal Development Standards

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of Building	Max. 9.5m	8.3m	Yes

	Objectives	Complies
(a)	<i>To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area</i>	Yes
(b)	<i>To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area</i>	Yes
(c)	<i>To achieve a diversity of small and large development options.</i>	Yes

Comments: The proposed development demonstrates full compliance with the maximum building height provision and congruence with the objectives of this development standard. At the highest point, the proposal reaches a height of 8.3m measured from natural ground level, which is well below the maximum limit.

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor Space Ratio	Max. 0.625:1 (352.375m ²)	0.6:1 (337m ²)	Yes

	Objectives	Complies
(a)	<i>To ensure that dwellings are in keeping with the built form character of the local area</i>	Yes
(b)	<i>To provide consistency in the bulk and scale of new dwellings in residential areas</i>	Yes
(c)	<i>To minimise the impact of new development on the amenity of adjoining properties</i>	Yes
(d)	<i>To minimise the impact of development on heritage conservation areas and heritage items</i>	N/A
(e)	<i>In relation to Strathfield Town Centre:</i> i. <i>to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and</i> ii. <i>to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development</i>	N/A
(f)	<i>In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor</i>	N/A

Comments: The proposed development demonstrates full compliance with the maximum floor space ratio (FSR) provision and achieves the corresponding objectives under Clause 4.4. The bulk

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and scale of the new dwelling is considered to be in keeping with the built form character of other residential buildings within the streetscape and surrounding locality.

Part 5 – Miscellaneous Provisions**Flood Planning**

The subject site has been identified as being at or below the flood planning level. The application has been reviewed by Council's Development Engineer who has advised that subject to suitable conditions, the development is considered compatible with the flood hazard of the land, will not result in significant adverse effects on flood behaviour or environment and is not likely to result in unsustainable social and economic loss. The proposed development is considered to satisfy the objectives of this clause.

Part 6 – Additional Local Provisions**Acid Sulfate Soils**

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The extent of excavation has been limited to the footprint required to accommodate the minimum parking requirements, storage and access to and from the basement. The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls and relevant Australian Standards and all ancillary works have been limited to what is required to provide access to and from the basement. The proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

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The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005 (SCDCP 2005). The following comments are made with respect to the proposal in relation to the objectives and controls contained within Part A – Dwelling Houses, Part H – Waste Management and Part I – Provision of Off-Street Parking.

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Floor Space Ratio:	0.625:1 (352.375m ²)	0.6:1 (337m ²)	Yes.
Heights: Floor to ceiling heights:	3.0m	2.7-3m (GF/FF) 4.43m (lounge/din.)	Yes. No – acceptable on merit.
Height to underside of eaves:	7.2m	7.2m	Yes.
Basement height above NGL:	1.0m	0.9m	Yes.
Number of Storeys/Levels:	2	2	Yes.
Setbacks: Front:	9m	8m (GF) 8m (FF)	Yes – see below.
Side:	1.2m (min)	1.6m (North)	Yes.
Side:	1.2m (min)	2.14m (South)	Yes.
Combined Side Setback:	3.7m (20%)	3.74m (17%)	Yes.
Rear:	6m	3.5m (GF) 3.5m (FF void)	No – acceptable on merit.
Landscaping			
Landscaping/Deep soil Provisions:	38.5% (217.063m ²) (min)	43.3% (244.14m ²)	Yes.
Front landscaped area	50% of front setback	>50%	Yes.
Private Open Space Area:	10m ²	>10m ²	Yes.
Minimum dimension:	3m	>3m	Yes.
Fencing			
Height (overall/piers):	1.5m (max)	1.5m	Yes.
Solid Component:	0.7m	0.7m	Yes.
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	3 hours to habitable windows and to 50% of POS	Yes.
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Yes.
Vehicular Crossing:	1	1 crossing	Yes.
Driveway setback – side:	0.5m	2m	Yes.
No. of Parking Spaces:	2	2 spaces	Yes.

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Basement:			
Basement protrusion:	Less than 1.0m	0.9m	Yes.
Basement ramp/driveway	3.5m	3.5m	Yes.
Internal height:	2.2m (min)	2.3m	Yes.

Floor to Ceiling Height – first floor void

The initial design of the proposal featured a floor to ceiling height of the combined lounge and dining room of 6.2m. In response to Council's concerns, the applicant provided a final scheme with a reduced floor to ceiling height of 4.43m. Whilst this is above the maximum floor to ceiling height control under the SCDPC 2005, the variation is considered to have merit given that the void space provides adequate amenity for future occupants and the roof section of this space has been minimised and distinguished from the upper roof of the house. It is noted that the non-compliant portion relates to the combined lounge and dining room only – the remainder of the dwelling house complies with the control. In addition, the entire dwelling house is well below the maximum height provision under the SLEP 2012 and complies with the maximum height to the underside of eaves requirement under the SCDPC 2005. The excess floor to ceiling height will not result in additional or unreasonable overshadowing, amenity or privacy impacts. A condition can be imposed to ensure the void space is to function accordingly throughout the life of the new dwelling house.

Front Setback

The proposed development fails to comply with the numerical control of 9m (min) as stated in Subclause 1 in Clause 4.2.3.1 (Street Setbacks) under Part A of SCDPC 2005. Whilst the numerical control is 9m (min) the DCP also states that:

Despite Subclause 1 above, a primary street setback of less than 9m maybe considered where:

- a) The predominant front setback in the street is less than 9m;*
- b) The proposed setback is not less than the setback of the existing dwelling; or*
- c) The proposed setback would not conflict with the character of the existing streetscape.*

It is noted that the average front setback within the immediate vicinity is calculated at 7m given the following minimum front building lines of:

- No. 4 Heyde Avenue = 6.44m;
- No. 3 Heyde Avenue = 6.76m; and
- No. 5 Heyde Avenue = 8.15m.

The proposed front setback of 8m; whilst less than the required 9m, is acceptable given that this setback is consistent with the prevailing front setbacks and development pattern of housing within the immediate streetscape. It is noted that Heyde Avenue is a short street and only comprises the houses listed above and four (4) other houses.

Rear Setback

The new dwelling is proposed to have a reduced rear setback of 3.5m – which relates to the combined lounge and dining room. It is noted that this setback was required in order to support the driveway design with crest as well as facilitate a basement level that has minimal protrusion.

In light of the above and the unique context of the site in relation to neighbouring residences, the reduced setback of 3.5m is considered a reasonable and acceptable outcome. The proposed variation will generate an acceptable level of impacts (including visual, amenity, overshadowing, bulk and scale, etc.) It is further noted that the bulk and scale of the respective area has been

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minimised by the applicant through a reduced floor to ceiling height – ensuring some visual interruption and relief is provided.

Heyde Avenue is a short street and the subject site backs onto the side of a lot fronting Oxford road. Additionally, the site is a relatively shallow lot. Lastly, the proposed setback is greater than 3.5m for around 50% of the building – ensuring sufficient modulation of the rear elevation is incorporated.

Building Envelope

The proposed development satisfies the objectives and controls within the development control plan relevant to:

- Building scale, height and floor space ratio
- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge

Architectural Form

The proposal will provide a new house in Heyde Avenue that features a prominent and distinct, dark-coloured pitched roof contrasted by white rendered brick walls and numerous glazing treatments contained within a well-balanced and articulated façade. The architectural expression of the proposal ties-in with the variable and traditional styles occurring within streetscape. Further, the proposal is appropriately balanced with soft landscaping treatments surrounding the building. The design, bulk and scale of the proposed development demonstrate consistency and compatibility with other built forms along Heyde Avenue and the surrounding area and is considered proportionate to the area and dimensions of the subject site.

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDPC 2005. The development is considered to enhance the existing streetscape, adequate areas for deep soil planting have been provided. Two (2) trees (*Elaeocarpus reticulatus* – Blueberry Ash) are proposed in the front yard and one tree (*Elaeocarpus eumundi* - Eumundi Quandong) is proposed in the rear yard. A number of perimeter garden beds and formalised garden beds are also proposed outside the building. The front garden beds are considered appropriate and complimentary outcome that softens and frames the built form and ensures that the overall scheme ties-in with the garden setting of the streetscape.

Fencing

The proposed front fencing features a maximum height of 1.5m with 0.7m tall solid masonry components. The scale of the new fence satisfies the relevant objectives and controls within SCDPC 2005.

This fence is to be construction of masonry brick and metal palisades – ensuring its materiality and form will be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

Solar Access

The proposal is able to comply with the minimum period of 3 hours of solar access between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private

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open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDCP 2005.

Privacy

The proposed development generally complies with the relevant requirements with regard to providing appropriate building separation and privacy to both future occupants and neighbouring properties.

Windows

The proposed windows of the new dwelling are offset from adjoining dwellings where required. The windows on the first floor are predominantly off bedrooms and bathrooms, which are considered low activity spaces.

Rumpus room and rear balcony

The only opening featured in the first floor rumpus room is a glass sliding door, which will be used to access the rear balcony. Screening planting within 1m wide planter boxes along the balcony perimeter as well as a privacy screen installed across the northern elevation of the balcony will minimise overlooking and privacy impacts. Conditions are recommended to modify and specify the proposed plantings within the balcony planter boxes are plant species that reach a mature height of at least 1m and that any new plantings comprise of mature specimens that are at least 0.8m in height.

Vehicular Access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. (The basement has been kept to less than 1m above natural ground level, does not extend beyond the ground floor above, has been designed so that vehicles can enter and exit in a forward direction and maintains a minimum internal height of 2.2m.

Cut and Fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduced site disturbance. Existing trees and shrubs have been retained where possible and ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

PART H – WASTE MANAGEMENT

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

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PART I – CAR PARKING

The proposed vehicular parking and access for the new dwelling is considered to demonstrate compliance with the relevant controls and objectives under Part I in relation to car parking for dwelling houses.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: *The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does not involve the demolition of a building.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. No submissions were received during notification period.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the *Environmental Planning and Assessment Act 1979* relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

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STRATHFIELD INDIRECT DEVELOPMENT CONTRIBUTIONS PLAN

Section 7.12 (previously Section 94A) of the *Environmental Planning and Assessment Act 1979* relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. Section 7.12 of the *Environmental Planning and Assessment Act 1979* reads as follows:

“A consent authority may impose, as a condition of development consent, a requirement that the applicant pay a levy of the percentage, authorised by a contributions plan, of the proposed cost of carrying out the development.”

The proposed development has a value of greater as \$100,000. In order to provide additional public facilities and infrastructure to meet the demand created by development, the proposed development will attract Section 7.12 Indirect Contributions in accordance with the Strathfield Indirect Development Contributions Plan (3 September 2010). This contribution is based on the proposed cost of works for the development and has been calculated at 1% of \$1,100,000 (the estimated cost of development identified in the development application). Therefore, the Section 94 Indirect Contributions for the proposed development is **\$11,000.00**.

If granted approval, the above Section 7.11 contributions will apply to the proposed development.

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/213 should be approved subject to imposition of conditions.



Signed:

Miguel Rivera
Senior Planner

Date: 14 October 2021

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed and concurred with.

Signed:

Date: 21 October 2021

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Joseph Gillies
Senior Planner

RECOMMENDATION

Following detailed assessment it is considered that Development Application No. 2021/213 should be **APPROVED** subject to the following conditions.

Reasons for Conditions

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1 Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Analysis Plan	01	Aug 2021	4	Derek Raithby Architecture
Ground Floor Plan / Lower Ground Floor Plan	02	Oct 2021	6	Derek Raithby Architecture
First Floor / Roof Plan	03	Oct 2021	6	Derek Raithby Architecture
Elevations	04	Oct 2021	6	Derek Raithby Architecture
Sections	05	Oct 2021	6	Derek Raithby Architecture
Site Management Plan	09	Aug 2021	1	Derek Raithby Architecture
Finishes Schedule	12	Aug 2021	2	Derek Raithby Architecture
Driveway Profile	14	Aug 2021	2	Derek Raithby Architecture
Window and Door Schedule	17	Oct 2021	3	Derek Raithby Architecture
Stormwater Drainage Plan	C-3633-01	11 Aug 2021	1	Pavel Kozarovski
Hardscape Plan	LPDA 22-014/1	10 Aug 2021	E	Conzept Landscape Architects
Landscape Plan	LPDA 22-014/2	10 Aug 2021	E	Conzept Landscape Architects

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Landscape Plan	LPDA 22-014/3	10 Aug 2021	E	Conzept Landscape Architects
Details	LPDA 22-014/4	10 Aug 2021	E	Conzept Landscape Architects
Specifications	LPDA 22-014/5	10 Aug 2021	E	Conzept Landscape Architects
Flood Assessment Report	-	24 Aug 2021	-	Kozarovski and Partners
Waste Management Plan	-	15 Aug 2021	-	Bonita Ko
BASIX Certificate	Cert No. 1048924S_03	8 Aug 2021	-	Greenview Consulting Pty Ltd

2 Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the Roads Act 1993 and/or Section 68 of the Local Government Act 1993 for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided

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to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3 Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the Roads Act 1993 prior to the commencement of those works.

To apply for approval, complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES**4 Sydney Water – Tap in™**

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE**5 Fees to be Paid**

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	

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Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$ 3,850.00
Security Damage Deposit	\$ 15,000.00
Tree Bond	\$ 3,050.00
Administration Fee for Damage Deposit	\$ 130.00
Administration Fee for Tree Bond	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$ 11,000.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the current Development Contributions Plans may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

6 Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Plantings within the planter boxes of first floor balcony.	All plantings proposed for the balcony planter boxes must be plant species that reach a mature height of at least 1m and any new plantings must comprise of mature specimens that are at least 0.8m in height. The design of planter boxes and landscaping treatments of these planter boxes must
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prevent/minimise overlooking from the balcony and rumpus room area.

7 Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

(a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$15,000.00.

(b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00

(c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

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At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

8 Tree Bond

A tree bond of \$3,050.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

9 Site Management Plan

Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

10 BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the

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application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1048924S_03 must be implemented on the plans lodged with the application for the Construction Certificate.

11 Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with Managing Urban Stormwater – Soils and Construction (Blue Book) produced by Landcom 2004.

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

12 Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

Full details shall accompany the application for the Construction Certificate.

13 Compliance with Flood Study

The development shall be designed to conform to the recommendations and conclusions of the submitted flood assessment report prepared by Kozarovski & Partners dated 14 January 2021.

This shall include, but not be limited to, any recommendations for the following:

- (a) Minimum floor levels
- (b) Protection of the basement from inundation of surface waters

Evidence from professional engineer that specialises in hydraulic engineering that all design requirements have been adhered to shall be submitted with the Construction Certificate application.

14 Pump-Out System Design for Stormwater Disposal

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

- (a) The pump system shall consist of two pumps, connected in parallel, with each pump

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being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;

- (b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- (c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

15 Stormwater Drainage Plan Details

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

16 Structural Details

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the PCA.

17 Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

18 Landscape Plans

All landscape works shall be carried out in accordance with the approved landscape plans. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

19 Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, public reserves or on neighbouring properties.

20 Tree Protection and Retention

The following trees shall be retained and protected:

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Brush Box Lophostemon confertus	– Road reserve, immediately in front of the site and below overhead wires.	4m

Details of the trees to be retained must be included on the Construction Certificate plans.

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General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

21 Dial Before Your Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

DURING CONSTRUCTION

22 Site Sign – Soil & Erosion Control Measures

Prior to the commencement of works (including demolition and excavation), a durable site sign, issued by Council in conjunction with this consent, must be erected in a prominent location on site. The site sign warns of the penalties which apply to pollution, storing materials on road or footpath and breaches of the conditions relating to erosion and sediment controls. The sign must remain in a prominent location on site up until the completion of all site and building works.

23 Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on

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Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

24 Ground Levels and Retaining Walls

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

25 Obstruction of Road or Footpath

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the Roads Act 1993 and/or under Section 68 of the Local Government Act 1993. Penalty infringement Notices may be issued for any offences and severe penalties apply.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE**26 BASIX Certificate**

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

27 Completion of Landscape Works

The approved landscape works have identified that the side setback area between the dwelling and boundary be nominated as landscaped area to ensure compliance with the minimum landscape area requirements. In this regard, this area shall be maintained as landscaped area and can only be used for growing plants, grasses and trees and cannot include any building, structure or hard paving (including rainwater tanks, air-conditioning units of ground mounted hot water systems). (delete if not applicable)

At the completion of all works, a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboricultural Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established. (delete if not applicable – only use for dual occ's and above)

28 Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

29 Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

30 Works as Executed and Certification of Stormwater Works

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Prior to the issue of an Occupation Certificate, the PCA must ensure that the stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards. A works-as-executed drainage plan and certification must be forwarded to the PCA and Council, from a professional engineer specialising in hydraulic engineering.

This Plan and Certification shall confirm that the design and construction of the stormwater drainage system satisfies the conditions of development consent and the Construction Certificate stormwater design details approved by the PCA.

The works-as-executed drainage plan must be prepared by a professional engineer specialising in hydraulic engineering in conjunction with a Registered Surveyor and must include the following details (as applicable):

- (a) The location of any detention basin/s with finished surface levels;
- (b) Finished site contours at 0.2 metre intervals (if applicable)
- (c) Volume of storage available in any detention areas;
- (d) The location, diameter, gradient and material (i.e. PVC, RC etc.) of all stormwater pipes;
- (e) The orifice size/s (if applicable);
- (f) Details of any infiltration/absorption systems; and (if applicable);
- (g) Details of any pumping systems installed (including wet well volumes) (if applicable).

31 Requirements Prior to the Issue of the Occupation Certificate

The following shall be completed and or submitted to the PCA prior to the issue of the Occupation Certificate:

- (a) All the stormwater/drainage works shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.
- (b) The internal driveway construction works, together with the provision for all services (conduits and pipes laid) shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.
- (c) Construct any new vehicle crossings required.
- (d) Replace all redundant vehicle crossing laybacks with kerb and guttering, and replace redundant concrete with turf.
- (e) Work as Executed Plans prepared by a Chartered Professional Engineer or a Registered Surveyor when all the site engineering works are complete shall be submitted to the PCA prior to the issue of the Occupation Certificate.

32 Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications. Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications. The work must be completed before the issue of an Occupation Certificate.

33 Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;

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- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)**34 Maintenance of Landscaping**

All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

35 Entering & Exiting of Vehicles

All vehicles shall enter and exit the premises in a forward direction.

36 Greywater System

In order to conserve and re-use water, Council encourages all developments for new dwelling houses to incorporate a greywater reuse system. The system can incorporate a greywater diversion device or a domestic greywater treatment system. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

37 Voids

All areas shown as voids on the approved plans must remain voids for the life of the development.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979**38 Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

39 Appointment of a PCA

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.
If the work is not going to be undertaken by an Owner - Builder, the applicant must:
- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the Home Building Act 1989) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and

DA2021.213- 6 Heyde Avenue Strathfield- Lot: 3 DP: 1251201 (Cont'd)

- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

40 Notification of Critical Stage Inspections

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

41 Critical Stage Inspections

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the Environmental Planning and Assessment Regulation 2000.

42 Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS**43 Clause 97A – BASIX Commitments**

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

44 Clause 98 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the Home Building Act 1989 relates, there is a requirement for a contract of insurance to be in force before any work commences.

45 Clause 98A – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

46 Clause 98B – Home Building Act 1989

If the development involves residential building work under the Home Building Act 1989, no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the Home Building Act 1989.

47 Clause 98E – Protection & Support of Adjoining Premises

If the development involves excavation that extends below the level of the base of the footings of a building on adjoining land, this prescribed condition requires the person who

DA2021.213- 6 Heyde Avenue Strathfield- Lot: 3 DP: 1251201 (Cont'd)

benefits from the development consent to protect and support the adjoining premises and where necessary underpin the adjoining premises to prevent any damage.

ATTACHMENTS

1. Architectural Plans
2. BASIX Certificate
3. Flood Impact Statement
4. Landscape Plan
5. Stormwater Plan
6. Waste Management Plan

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DA2021.213
DATE 20 August 2021



RESIDENTIAL DEVELOPMENT

6 HEYDE AVE, STRATHFIELD NSW 2135



Street Directory (www.street-directory.com.au)



Street Directory (www.street-directory.com.au)



Aerial Photograph (maps.six.nsw.gov.au)



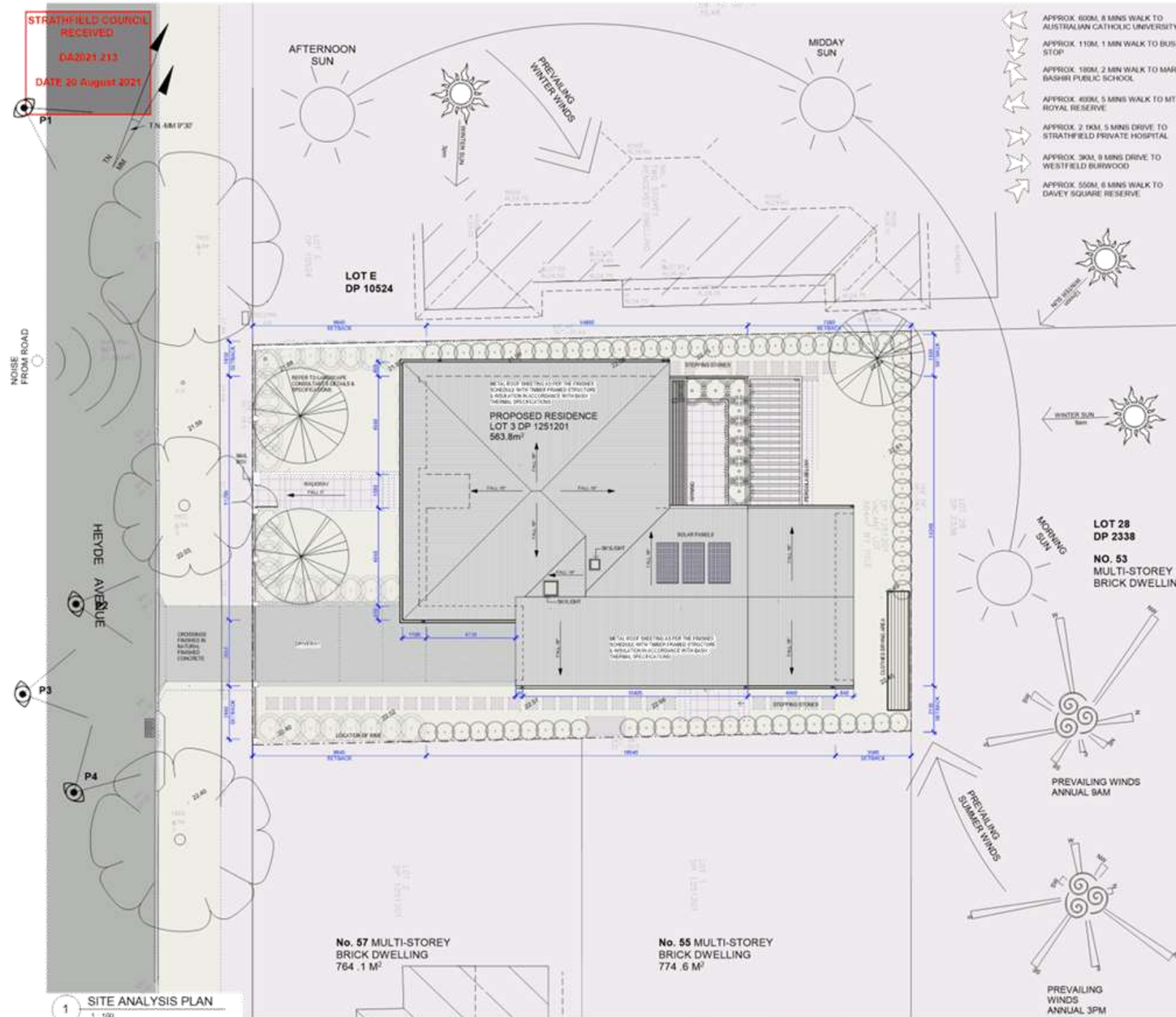
Aerial Photograph (maps.six.nsw.gov.au)



ARTIST IMPRESSION

DRAWING LIST

NO.	SHEET NAME	REV.
00	Cover Page	4
01	Site Analysis Plan	4
02	Ground Floor/ Lower Ground Floor Plan	5
03	First Floor/ Roof Plan	4
04	Elevations	5
05	Sections	5
06	GFA Diagram	3
07	Height Plan Diagram - 1m Above NGL	3
08	Landscape Diagram	3
09	Site Management Plan	1
10	Shadow Diagram 21st June 1/2	2
11	Shadow Diagram 21st June 2/2	2
12	Finishes Schedule	2
13	Photomontage	2
14	Driveway Profile	2
15	Sectional Comparison with Adjoining Properties	2
16	Streetscape Elevation	2
17	Window and Door Schedule	2



Maximum Floor Space Ratio (n:1)

0.25	0.55
0.30	0.60
0.35	0.65
0.40	0.70
0.45	0.75
0.50	0.80
0.55	0.85
0.60	0.90
0.65	0.95
0.70	1.00
0.75	1.05
0.80	1.10
0.85	1.15
0.90	1.20
0.95	1.25
1.00	1.30
1.05	1.35
1.10	1.40
1.15	1.45
1.20	1.50

Zone

BT	Neighbourhood Centre
LC	Local Centre
CC	Commercial Core
MU	Mixed Use
EC	Enterprise Corridor
BP	Business Park
ECV	Environmental Conservation
GI	General Industrial
LGI	Light Industrial
LR	Low Density Residential
MDR	Medium Density Residential
HR	High Density Residential
PR	Public Recreation
PRC	Private Recreation
SA	Special Activities
INF	Infrastructure

Acid Sulphate Soils

C2	Class 2
C3	Class 3
C4	Class 4
C5	Class 5

Heritage

CA	Conservation Area - General
IG	Item - General

LEP

Minimum Lot Size (sq m)

K	560
U	1000
Z	20000

Maximum Building Height (m)

A	0
G	9.5
L	11
M	12
N1	13
N2	14
O	16
P1	17
P2	18



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Project
 Residential Development
 6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE
 Site Analysis Plan

Date: MAR 2021 **Drawing No.:**
Scale: 1:100 @A1 (841x594mm) **01**

Project No.: D1909
Drawn/Checked: RB / DR

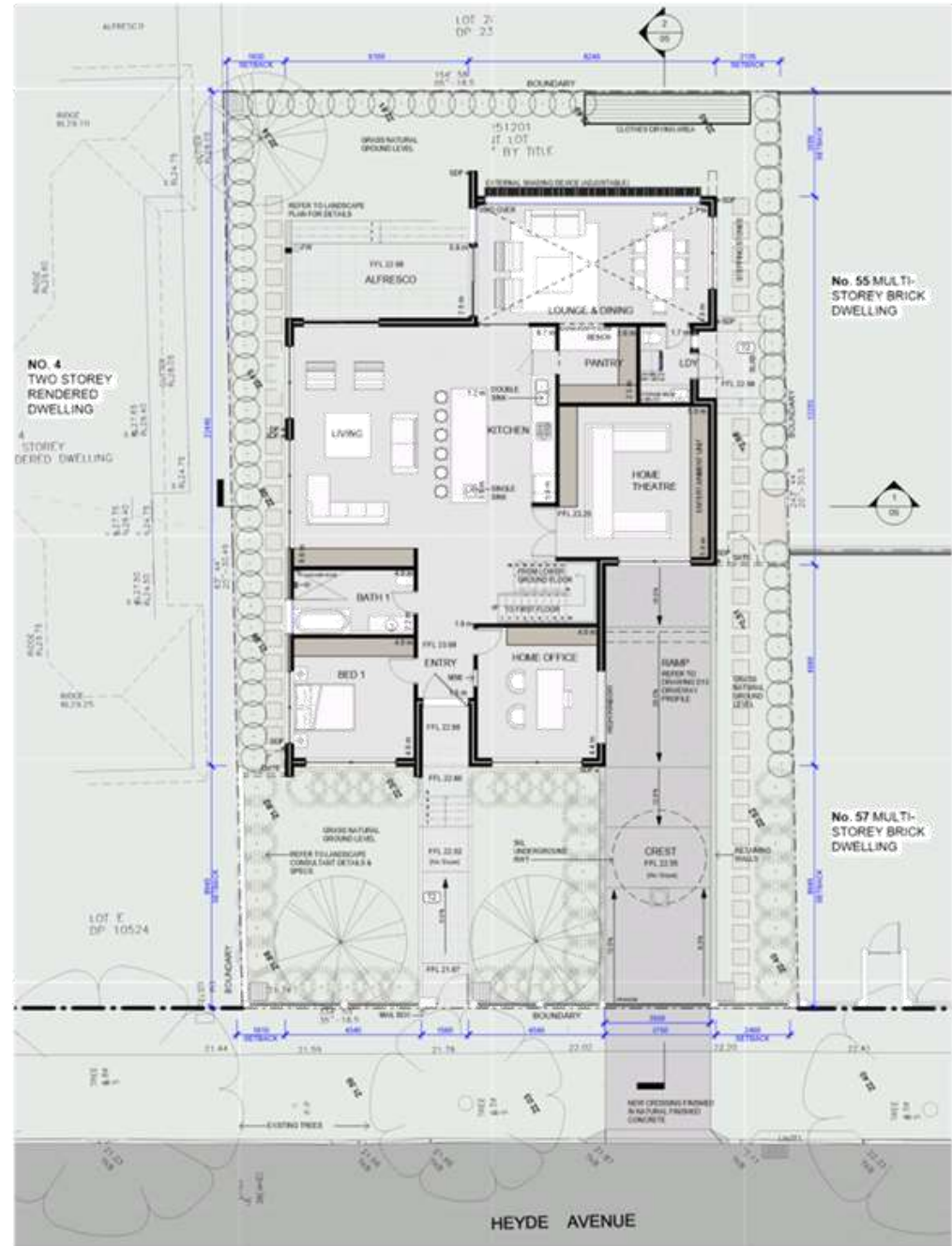
A1 ORIGINAL SIZE

1 SITE ANALYSIS PLAN
 1:100



**STRATHFIELD COUNCIL
RECEIVED**

**DADA2021/213
12 October 2021**



1 GROUND FLOOR
1:100

Symbol	Type	Description
C1	WALL FINISH	BRICKS CONCRETE TO MATCH EXISTING
C3	FLOOR FINISH	POURED CONCRETE
F1	WIND FINISH	CONCRETE/PAINTED METAL CLADDING
P1	WALL FINISH	BRICKS CONCRETE TO MATCH EXISTING
P2	WALL FINISH	BRICKS CONCRETE TO MATCH EXISTING
P3	WALL FINISH	BRICKS CONCRETE TO MATCH EXISTING
P8	WALL FINISH	BRICKS CONCRETE TO MATCH EXISTING
RE	WALL FINISH	CONCRETE TO MATCH EXISTING
ST	FLOOR FINISH	STONE TILING AS PER DETAIL
T1	FLOOR FINISH	STONE TILE
T2	FLOOR FINISH	STONE TILE
T3	FLOOR FINISH	STONE TILE
T8	FLOOR FINISH	STONE TILE
T9	FLOOR FINISH	STONE TILE
W1	WIND FINISH	CONCRETE TO MATCH EXISTING

GENERAL NOTES

MSB WALL FINISH TO MATCH EXISTING

DP ROOF FINISH TO MATCH EXISTING

RF ROOF FINISH TO MATCH EXISTING

EE EXISTING

EO EXISTING

FP FINISHED FLOOR FINISH TO MATCH EXISTING

FW FINISHED FLOOR FINISH TO MATCH EXISTING

FFL FINISHED FLOOR FINISH TO MATCH EXISTING

WALLS, WINDOWS & DOORS

ALL WALLS TO BE FINISHED TO MATCH EXISTING

ALL WINDOWS TO BE FINISHED TO MATCH EXISTING

ALL DOORS TO BE FINISHED TO MATCH EXISTING

FINISHES LEGEND

BASIC NOTES

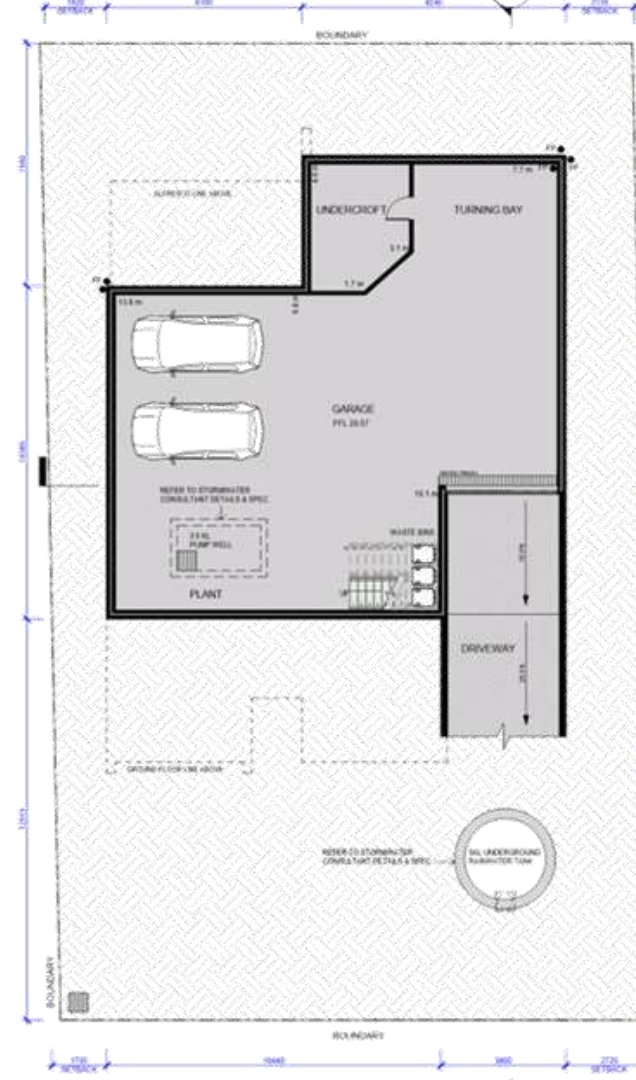
REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS

THE APPLICANT MUST INSTALL A WATER SAVING SYSTEM WITH A MINIMUM FLOW RATE OF 1.5 LITRE PER MINUTE AND A MINIMUM FLOW RATE OF 1.5 LITRE PER MINUTE IN ALL TOILETS AND SHOWER BAYS.

THE APPLICANT MUST INSTALL A TAP WATER SYSTEM WITH A MINIMUM FLOW RATE OF 1.5 LITRE PER MINUTE IN ALL TOILETS AND SHOWER BAYS.

THE APPLICANT MUST INSTALL A TAP WATER SYSTEM WITH A MINIMUM FLOW RATE OF 1.5 LITRE PER MINUTE IN ALL TOILETS AND SHOWER BAYS.

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2 LOWER GROUND
1:100

PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005

4.3.1 SETBACKS

4.3.1.1 SETBACKS

4.3.1.2 SETBACKS

4.3.1.3 SETBACKS

4.3.2 SIDE AND REAR SETBACKS

4.3.2.1 SIDE AND REAR SETBACKS

4.3.2.2 SIDE AND REAR SETBACKS

4.3.3 GARAGES, CARPORTS AND CAR SPACES

4.3.3.1 GARAGES, CARPORTS AND CAR SPACES

4.3.3.2 GARAGES, CARPORTS AND CAR SPACES

Client
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RESIDENTIAL DEVELOPMENT
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE
Ground Floor Lower Ground Floor Plan

DATE: MAR 2021 **DRAWING NO.**: 02
SCALE: 1:100/50/1:100/50
PROJECT NO.: D1909
CHECKED BY: J.D. **DATE**: 12/10/21



1 West Elevation (Heyde Ave)
1:100



2 East Elevation
1:100



3 North Elevation
1:100



4 South Elevation
1:100

ALL WINDOWS AND SLIDING DOORS TO HAVE CHARCOAL POWDER COATED FRAMES AS PER THE FINISHES SCHEDULE

PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2008

2.2.4 ARCHITECTURAL DETAILING, INCLUDING ROOF FORM, MATERIALS AND COLOURS

ROOF FORM:

1. THE PROPOSED ROOF DESIGN MUST BE SIMILAR IN PITCH, MATERIALS AND COLOUR TO ROOFS IN THE IMMEDIATE STREETSCAPE. ROOF FORMS SHOULD COMPLEMENT, BUT NOT NECESSARILY REPLICATE THE PREDOMINANT FORM IN THE LOCALITY.
2. THE PROPOSED ROOF FORM SHALL MAINTAIN THE APPEARANCE OF BRICK AND GABLE OF THE BUILDING AND BE TREATED AS AN INTEGRAL ARCHITECTURAL ELEMENT IN THE STREET FRONT FLOOR ADDITIONS MUST COMPLEMENT THE ARCHITECTURAL STYLE OF THE GROUND FLOOR AND WHERE POSSIBLE PERMIT THE EXISTING ROOF FORM. GUTTERS AND RIDGE TO BE BUSHY-DESIGNED. A FINISH MUST BE SPECIFIED. THE HEIGHT OF THE RIDGE IS TO BE KEPT TO THE MINIMUM HEIGHT REQUIRED TO ENSURE ADEQUATE SCREENING OF THE PROPOSED FLAT OR LOW PITCH GULLY ROOF.
3. ROOF STRUCTURES MUST BE DESIGNED SO THAT ROOF INSTALLATIONS INCLUDING SOLAR ENERGY PANELS, TELECOMMUNICATIONS FACILITIES, AND OTHER TYPES OF APPLIANCE ARE NOT VISIBLE FROM THE PUBLIC DOMAIN AND ARE INTEGRATED INTO THE DESIGN OF THE DEVELOPMENT.

MATERIALS:

1. MATERIALS MUST BE COMPATIBLE WITH THE EXISTING DWELLING HOUSE IN THE CASE OF ALTERATIONS AND ADDITIONS, AND COMPATIBLE WITH ADJOINING DWELLINGS AND THE STREETSCAPE IN TERMS OF TONE, FORM AND COLOUR.
2. A MONOTONE PALETTE WITH WALLS AND THROUGHOUT PALETTE FOR ROOFS SHOULD BE USED WHERE THEY ARE EXISTING IN THE IMMEDIATE STREETSCAPE. ALTERNATIVE MATERIALS MAY BE CONSIDERED AS ARCHITECTURALLY APPROPRIATE TO THE STYLE OF THE DWELLING AND THE LOCALITY IN SOME CIRCUMSTANCES.
3. HIGHLY REFLECTIVE MATERIALS ARE NOT ACCEPTABLE FOR ROOF OR WALL CLADDING. NEW BUILDINGS AND FACIES MUST NOT RESULT IN GLARE THAT CAUSES DISCOMFORT OR THREATEN THE SAFETY OF PEDESTRIANS OR DRIVERS. 3. REDUCED REFLECTIVITY MUST BE ACHIEVED BY THE EFFECTS OF POTENTIAL GLARE FROM THE PROPOSED NEW DEVELOPMENT ON ADJOINING DWELLINGS MUST BE MITIGATED BY USE OF GLAZING.
4. NEW DEVELOPMENT MUST INCORPORATE COLOUR SCHEMES THAT HAVE A HARMONIOUS RELATIONSHIP WITH THE PRELIMINARY COLOURS OF THE PRELIMINARY COLOURS OF THE STREET.
5. THE COLOURS OF GARAGES, WINDOW FRAMES, VENTILATION AND JOINTS MUST BE COORDINATED WITH THE COLOURS OF THE BUILDING AND MUST BE INTEGRATED HARMONIOUSLY WITH THE EXISTING DESIGN OF THE BUILDING.

FINISHES LEGEND

Symbol	Type	Description
C1	WALL FINISH	SPRINKLED CONCRETE TO MATCH SECTION
C3	FLOOR FINISH	POURED CONCRETE
F1	FLOOR FINISH	CONCRETE WITH POLISHED METAL FLOOR
P1	WALL FINISH	POWDER COATED ALUMINIUM WINDOW FRAMES
P2	WALL FINISH	POWDER COATED ALUMINIUM WINDOW FRAMES
P3	WALL FINISH	POWDER COATED ALUMINIUM WINDOW FRAMES
P8	WALL FINISH	POWDER COATED ALUMINIUM WINDOW FRAMES
RS	ROOF FINISH	CONCRETE ROOF WITH GUTTERS
S1	WALL FINISH	SPRINKLED CONCRETE TO MATCH SECTION
T1	FLOOR FINISH	SPRINKLED CONCRETE TO MATCH SECTION
T2	FLOOR FINISH	SPRINKLED CONCRETE TO MATCH SECTION
T3	FLOOR FINISH	SPRINKLED CONCRETE TO MATCH SECTION
T81	WALL FINISH	SPRINKLED CONCRETE TO MATCH SECTION
T82	WALL FINISH	SPRINKLED CONCRETE TO MATCH SECTION
W1	WALL FINISH	SPRINKLED CONCRETE TO MATCH SECTION

BASIC NOTES

REFER TO CERTIFICATE FOR COMPLETE DETAILS & REQUIREMENTS

THE APPLICANT MUST OBTAIN A PERMIT UNDER THE LOCAL GOVERNMENT ACT 1995 (NSW) FOR THE DEVELOPMENT OF THE SITE.

THE APPLICANT MUST INSTALL AN UNDERGROUND WATER SUPPLY SYSTEM WITH A MINIMUM OF 1.5 METRES IN ALL DIRECTIONS IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM OF 1.5 METRES IN ALL DIRECTIONS IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL A WATER SUPPLY SYSTEM WITH A MINIMUM OF 1.5 METRES IN ALL DIRECTIONS IN THE DEVELOPMENT.

ROOFING

THE APPLICANT MUST INSTALL A ROOFING SYSTEM OF AT LEAST 400 LITRES ON THE SITE. THE ROOFING SYSTEM MUST BE COMPATIBLE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS AND STANDARDS.

THE APPLICANT MUST COMPARE THE SUBMITTER'S TOILET FLUSHING SYSTEM WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS AND STANDARDS.

THE APPLICANT MUST COMPARE THE SUBMITTER'S WATER SUPPLY SYSTEM WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS AND STANDARDS.

THE APPLICANT MUST COMPARE THE SUBMITTER'S WATER SUPPLY SYSTEM WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATIONS AND STANDARDS.

WATER SUPPLY

THE APPLICANT MUST INSTALL THE FOLLOWING WATER SUPPLY SYSTEM IN THE DEVELOPMENT: ON A SYSTEM WITH A WATER SUPPLY OF AT LEAST 400 LITRES ON THE SITE.

COOLING SYSTEM

THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM ON A SYSTEM WITH A WATER SUPPLY OF AT LEAST 400 LITRES ON THE SITE.

HEATING SYSTEM

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM ON A SYSTEM WITH A WATER SUPPLY OF AT LEAST 400 LITRES ON THE SITE.

WATERLAIN

THE APPLICANT MUST INSTALL THE FOLLOWING WATERLAIN SYSTEM IN THE DEVELOPMENT: AT LEAST 1 WATERLAIN IN EACH OF THE FOLLOWING AREAS: ON ROOF, OPERATOR CONTROL, MANUAL SWITCH CONTROL, OPERATOR CONTROL, MANUAL SWITCH CONTROL, OPERATOR CONTROL, MANUAL SWITCH CONTROL.

WATERLAIN

THE APPLICANT MUST INSTALL THE FOLLOWING WATERLAIN SYSTEM IN THE DEVELOPMENT: AT LEAST 1 WATERLAIN IN EACH OF THE FOLLOWING AREAS: ON ROOF, OPERATOR CONTROL, MANUAL SWITCH CONTROL, OPERATOR CONTROL, MANUAL SWITCH CONTROL.

WATERLAIN

THE APPLICANT MUST INSTALL THE FOLLOWING WATERLAIN SYSTEM IN THE DEVELOPMENT: AT LEAST 1 WATERLAIN IN EACH OF THE FOLLOWING AREAS: ON ROOF, OPERATOR CONTROL, MANUAL SWITCH CONTROL, OPERATOR CONTROL, MANUAL SWITCH CONTROL.



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Project: RESIDENTIAL DEVELOPMENT
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE: Elevations

Date: MAR 2021 Drawing No: 1:100BAY 1:100BAY3

Scale: 1:100BAY 1:100BAY3

Project No: D1909

Client/Sheet: 88 / DR

04

STRATHFIELD COUNCIL RECEIVED

DADA2021/213

12 October 2021



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A1 ORIGINAL SIZE



1 Section 1
1:100



2 Section 2
1:100



3 Front Fence
1:100

**STRATHFIELD COUNCIL
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**DADA2021/213
12 October 2021**

PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005

5.2.4 FRONT FENCING
Fencing forward of the building line (including the building line to a secondary street boundary or a corner wall) shall not exceed a height of 1.5m. In those cases, a solid fence shall not exceed a height of 0.7m above natural ground level and may be topped by an additional maximum 0.8m high open timber picket, wrought iron, post-and-rail or similar element. Brick piers over 5m in height are permitted to support the decorative elements, provided they are equally spaced along the street and do not exceed a height of 1.5m. Where the predominant height of fencing in the street is higher, the solid fence component shall not exceed a height of 1m.

WALLS, WINDOWS & DOORS

- ALL UNPAINTED OR OIL-BASED PAINTS TO BE FINISHED TO THE FINISHED SCHEDULE SPECIFICATIONS
- ALL INTERIOR WALLS TO BE FINISHED TO THE FINISHED SCHEDULE SPECIFICATIONS
- ALL INTERIOR WALLS TO BE FINISHED TO THE FINISHED SCHEDULE SPECIFICATIONS
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GENERAL NOTES

- MSB WALL TO CONCRETE
- DP SKINNY
- SOP REINFORCED
- RW RETURN WALL
- EX EXISTING
- EQ EQUAL
- FF SUB SOIL FINISH
- FW FLOOR FINISH
- RWT RAIN WATER TRAY

FINISHES LEGEND

Symbol	Type	Description
C1	WALL FINISH	BRICKWORK TO FINISH TO SPECIFICATION
C2	WALL FINISH	CONCRETE TO FINISH TO SPECIFICATION
F1	FLOOR FINISH	CONCRETE TO FINISH TO SPECIFICATION
P1	PAINT FINISH	INTERIOR WALLS TO FINISH TO SPECIFICATION
P2	PAINT FINISH	INTERIOR WALLS TO FINISH TO SPECIFICATION
P3	PAINT FINISH	INTERIOR WALLS TO FINISH TO SPECIFICATION
P4	PAINT FINISH	INTERIOR WALLS TO FINISH TO SPECIFICATION
R1	ROOF FINISH	CONCRETE TO FINISH TO SPECIFICATION
S1	SKINNY	SKINNY TO FINISH TO SPECIFICATION
T1	TILING	TILING TO FINISH TO SPECIFICATION
T2	TILING	TILING TO FINISH TO SPECIFICATION
T3	TILING	TILING TO FINISH TO SPECIFICATION
TB1	TILING	TILING TO FINISH TO SPECIFICATION
TB2	TILING	TILING TO FINISH TO SPECIFICATION
W1	WATER	WATER TO FINISH TO SPECIFICATION

PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005

4.2.2 MAXIMUM HEIGHT
1. THE MAXIMUM HEIGHT OF BUILDINGS SHALL BE ACCORDING WITH THE GROUND HEIGHT OF BUILDING SET 0.15 METRES.
2. THE MAXIMUM HEIGHT TO THE TOP OF VARIETY FOR PLANT ADJACENT TO BUILDINGS SHALL BE 2.0 METRES.
3. THE MAXIMUM HEIGHT OF THE EXTERNAL WALL FROM THE EXISTING GROUND LEVEL TO THE UNFINISHED CEILING LEVEL.
4. THE MAXIMUM INTERNAL FLOOR TO CEILING HEIGHT IS TO BE 4.0 METRES FOR ANY RESIDENTIAL LEVEL.
5. THE MAXIMUM HEIGHT OF OUTBUILDINGS, DETACHED GARAGES AND CARPORTS IS TO BE 2.0 TO THE HIGHEST POINT ON THE ROOF ABOVE NATURAL GROUND LEVEL.
6. DETACHED HOUSES AND ANY AUXILIARY STRUCTURES ARE TO BE NO MORE THAN TWO STOREYS HIGH.
7. THE BUILDING HEIGHT SHALL BE MEASURED TO THE GRADIENT OF THE GROUND AT THE POINT OF MEASUREMENT AND NOT TO THE HIGHEST POINT OF THE BUILDING.
8. IN RELATION TO THE HEIGHT OF A BUILDING IN METRES, THE VERTICAL DISTANCE FROM GROUND LEVEL TO THE HIGHEST POINT OF THE BUILDING OR BUILDING TO THE FINISHED LEVEL OF A BUILDING - THE VERTICAL DISTANCE FROM THE AUSTRALIAN HEIGHT DATUM TO THE HIGHEST POINT OF THE BUILDING INCLUDING PLANT AND LIGHT OVERHANGS, BUT EXCLUDING COMMUNICATION DEVICES, ANTENNAS, SATELLITE DISHES, AIR-CONDITIONERS, CHIMNEYS, FLUES AND THE LIKE THE HEIGHT IS MEASURED TO THE EXISTING GROUND LEVEL, DIRECTLY BELOW THE POINT OF MEASUREMENT, OR WHERE THE EXISTING GROUND LEVEL SLOPES UP, THE HEIGHT SHALL BE MEASURED TO THE EXISTING GROUND LEVEL AND SHALL FOLLOW THE HORIZONTALITY OF THE SITE. WHERE THERE IS A SIGNIFICANT SLOPE ON THE SITE, THE BUILDING MAY HAVE TO BE STAYED TO STAY WITHIN THE HEIGHT LIMITS AND MUST NOT EXCEED ANY THREE RESIDENTIAL LEVELS AT ANY POINT.

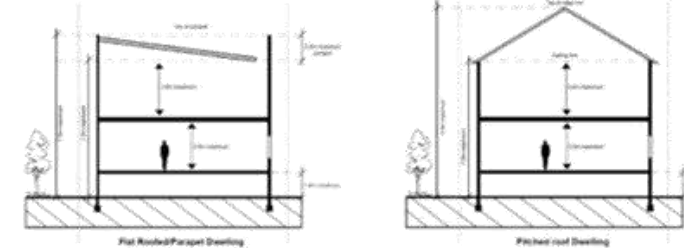


FIGURE 4.2 - MAXIMUM HEIGHT CONTROLS FOR DETACHED DWELLINGS

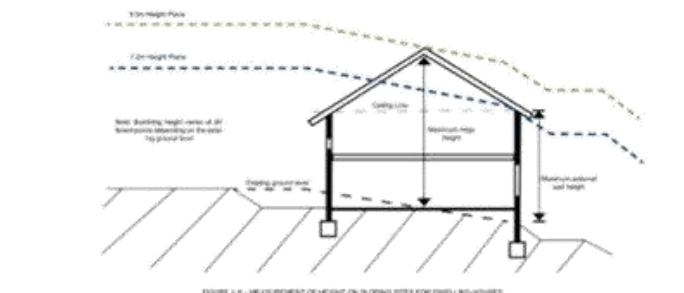


FIGURE 4.3 - MEASUREMENT OF HEIGHT ON SLOPING SITE FOR DETACHED DWELLINGS

BASIX NOTES

REFER TO SPECIFICATIONS FOR COMPLETE DETAILS & REQUIREMENTS

THERMAL SPECIFICATIONS
1. U-VALUES: UNPAINTED BRICKWORK TO FINISH TO SPECIFICATION
2. U-VALUES: UNPAINTED BRICKWORK TO FINISH TO SPECIFICATION
3. U-VALUES: UNPAINTED BRICKWORK TO FINISH TO SPECIFICATION
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9. U-VALUES: UNPAINTED BRICKWORK TO FINISH TO SPECIFICATION
10. U-VALUES: UNPAINTED BRICKWORK TO FINISH TO SPECIFICATION

WATER
• THE APPLICANT MUST
• PLAN APPROPRIATE LOW WATER USE SCHEDULES OF VEGETATION THROUGHOUT THE AREA OF LAND SPECIFIED FOR THE DEVELOPING
• INSTALL DRAINAGE SYSTEMS WITH A MINIMUM 1% FALL
• INSTALL TOILET FLUSHING SYSTEM WITH A MINIMUM 1% FALL
• INSTALL TOILET FLUSHING SYSTEM WITH A MINIMUM 1% FALL
• INSTALL TOILET FLUSHING SYSTEM WITH A MINIMUM 1% FALL

ENERGY
THE APPLICANT MUST
• INSTALL ROOF RATED SYSTEM AS SPECIFIED
• VENTILATION SYSTEM FOR AT LEAST ONE BATHROOM AND THE KITCHEN AND LAUNDRY, ACCORDING TO SPECIFICATIONS
• COOLING AND HEATING SYSTEMS ACCORDING TO TABLE 1
• INSULATE FLUOIDS AS A PRIMARY FORM OF ARTIFICIAL VENTILATION FOR EACH ROOM
• ENSURE THAT EACH BATHROOM AND THE KITCHEN IS FITTED WITH A WINDOW AND/OR SLIDING
• INSTALL PHOTOVOLTAIC SYSTEM TO GENERATE AT LEAST 1% OF THE ELECTRICITY AND CONNECT IT TO THE DEVELOPER'S ELECTRICAL SYSTEM

Rev.	Date	Description	By
1	10/11/20	ISSUE FOR PERMIT	UK
2	10/11/20	ISSUE FOR PERMIT	UK
3	10/11/20	ISSUE FOR PERMIT	UK
4	10/11/20	ISSUE FOR PERMIT	UK
5	10/11/20	ISSUE FOR PERMIT	UK
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10	10/11/20	ISSUE FOR PERMIT	UK

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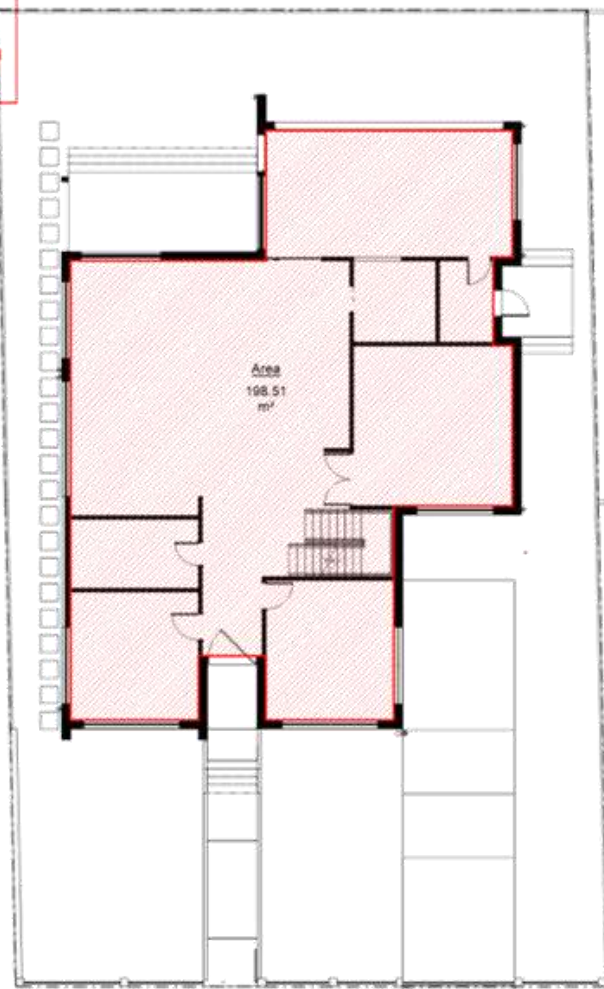
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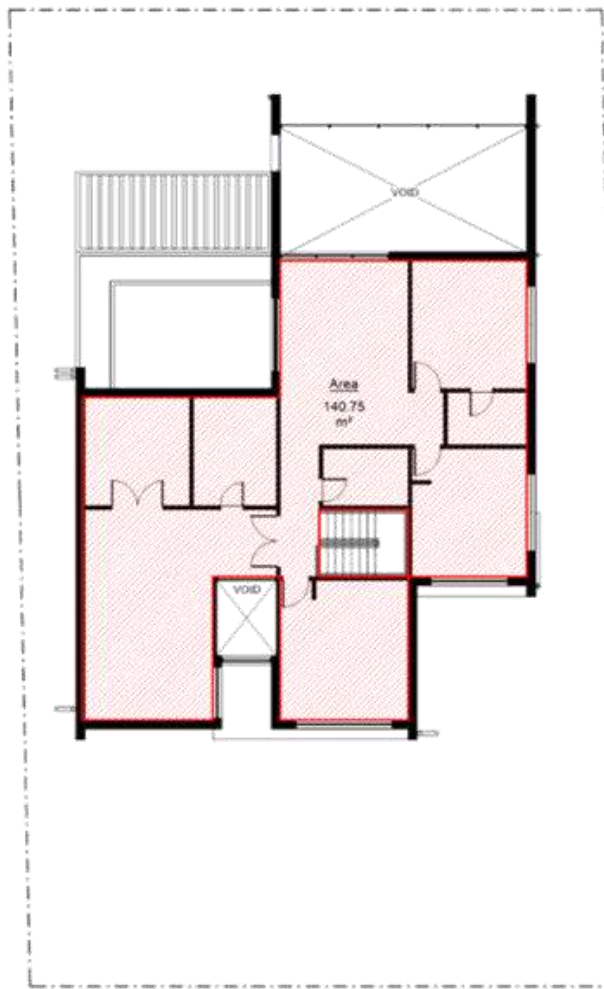
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DR SUBMITTED

STRATHFIELD COUNCIL
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DA2021.213
DATE 20 August 2021



1 GROUND FLOOR
1:100



2 FIRST FLOOR
1:100

- Zone**
- B1 Neighbourhood Centre
 - B2 Local Centre
 - B3 Commercial Core
 - B4 Mixed Use
 - B5 Enterprise Corridor
 - B7 Business Park
 - E2 Environmental Conservation
 - IN1 General Industrial
 - IN2 Light Industrial
 - R2 Low Density Residential
 - R3 Medium Density Residential
 - R4 High Density Residential
 - RE1 Public Recreation
 - RE2 Private Recreation
 - SP1 Special Activities
 - SP2 Infrastructure

- Maximum Floor Space Ratio (n:1)**
- G 0.85
 - L 0.9
 - N 1
 - P 1.2
 - C 1.35
 - R1 1.4
 - R2 1.45
 - S1 1.5
 - S2 1.65
 - S3 1.8
 - T 2
 - TR 2.5
 - S 3
 - SV 3.5
 - X1 4
 - X2 4.2
 - Z 5



Strathfield Local Environmental Plan 2012

4.4. EXCEPTIONS TO FLOOR SPACE RATIO (ZONE R2) DESPITE CLAUSE 4.4 THE MAXIMUM FLOOR SPACE RATIO FOR A RESIDENTIAL LOT BEING IN ZONE R2 LOW DENSITY RESIDENTIAL WITH AN AREA SPECIFIED IN COLUMN 1 OF THE TABLE TO THIS CLAUSE, IS THE FLOOR SPACE RATIO SPECIFIED OPPOSITE THAT LOT IN COLUMN 2 OF THE TABLE

COLUMN 1	COLUMN 2
LOT AREA (sqm)	FLOOR SPACE RATIO
< 110	0.85
110-150	0.9
150-200	1.0
200-250	1.1
250-300	1.2
300-350	1.3
350-400	1.4
400-450	1.5
450-500	1.6
500-550	1.7
550-600	1.8
600-650	1.9
650-700	2.0
700-750	2.1
750-800	2.2
800-850	2.3
850-900	2.4
900-950	2.5
950-1000	2.6

NOTE:
IN ACCORDANCE WITH CLIP 2015 'GROSS FLOOR AREA' MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR AND INCLUDES:
(A) REMEDIATION ROOMS IN A BASEMENT OR ATTIC AND
(B) THE AREA OF A BEZZANINE AND
(C) ANY SHOP, RESTROOM, GREEN AND THE LIKE IN A BASEMENT OR ATTIC BUT EXCLUDES:
(D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND E) ANY BASEMENT OR STORAGE, AND
(F) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
(G) PLANT ROOMS, LIFT COVERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING, AND
(H) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO TRUCK CAR PARKING), AND
(I) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO TRUCKS) AND
(J) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
(K) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

NOTE: IN THE CASE OF DWELLING HOUSES, FLOOR SPACE RATIO CALCULATIONS SHOULD BE INCLUSIVE OF VERTICAL CIRCULATION AREAS (STAIRS, LIFTS ETC), VOIDS AND OUTBUILDINGS.

AREA CALCULATION - GROSS FLOOR AREA				
SITE AREA	Proposed Area	FGR	REQ. FGR	PASS
383.00 m²	339.26 m²	0.89	1.45	PASS

MAXIMUM GROSS FLOOR AREA = 552.1 + 339.26 m²
PROPOSED GROSS FLOOR AREA = 339.26 m²

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1	08/21	FOR TENDERS	ML
2	02/21	FOR CLIENT	ML
3	02/21	FOR CLIENT	ML
4	02/21	FOR CLIENT	ML

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DRAWING TITLE: OFA Diagram

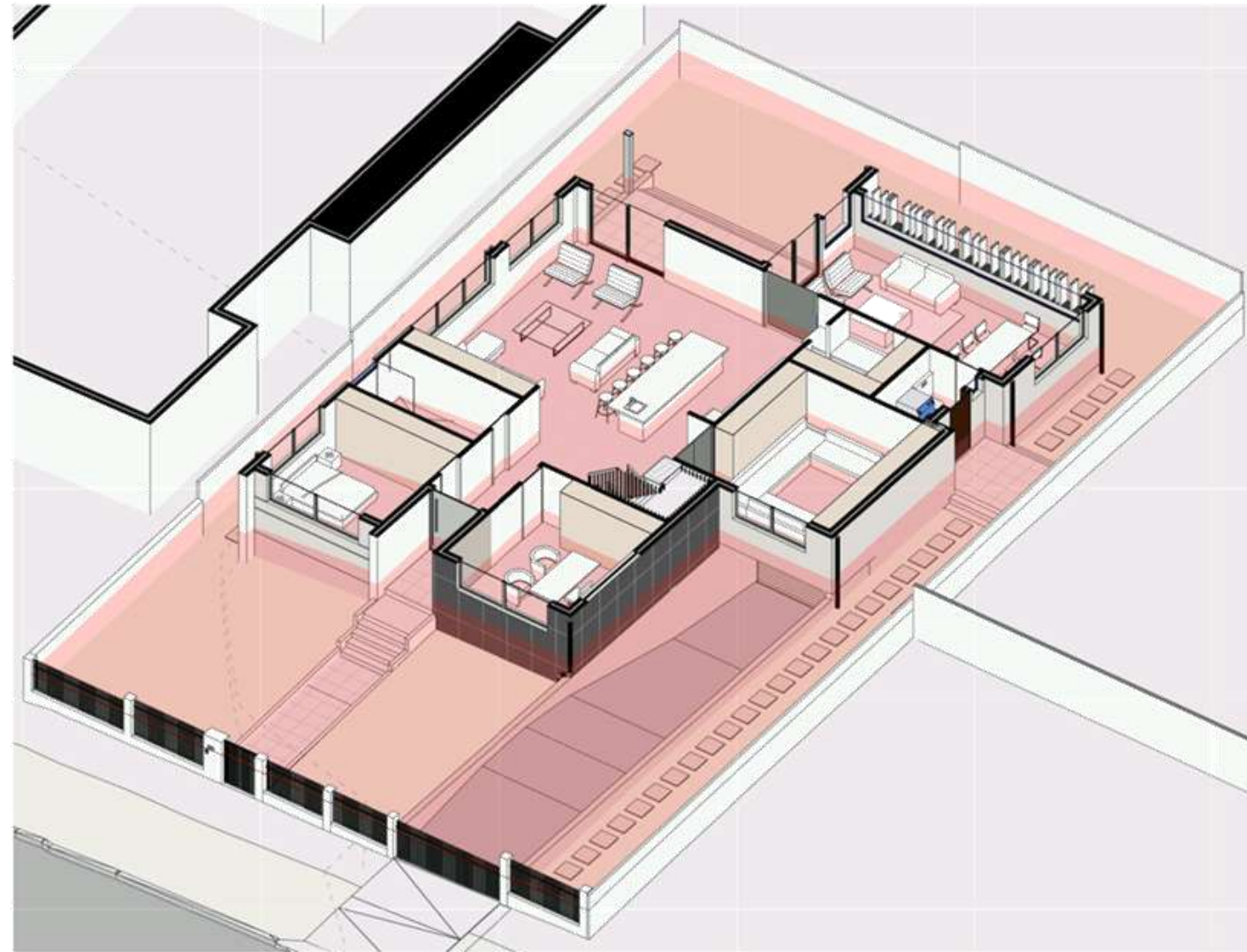
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A1 ORIGINAL SIZE



1 GROUND LEVEL PERSPECTIVE

LEGEND:
TOPography 1m ABOVE NATURAL GROUND LEVEL

Rev.	Date	Description	By
1	08/21	FOR SUBMISSION	SA
2	08/21	FOR DA REFRESH	SB
3	08/21	FOR LANSKY WORK TO CLIENT	SB

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DRAWING TITLE:
Height Plan Diagram - 1m Above NGL

Date: MAR 2021 Drawing No:
Scale: 1:75@A1 1:10@A3
Project No: D1909
Drawn/Checked: SB / DR

07

DEREK RAITHBY ARCHITECTURE

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A1 ORIGINAL SIZE



PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005

5.2 Controls

5.2.1 LANDSCAPED AREA

7. THE MINIMUM LANDSCAPED AREA REQUIRED ON EACH LOT IS INDICATED IN TABLE A.3 BELOW.

AREA OF SITE	MINIMUM LANDSCAPED AREA
200-500M ²	25%
501-600M ²	30.5%
601-700M ²	41.5%
701-750M ²	43%
751-1000M ²	45%

NOTE: IN ACCORDANCE WITH SLEEP 2012, "LANDSCAPED AREA" MEANS A PART OF A SITE USED FOR GROWING PLANTS, GRASSES AND TREES, BUT DOES NOT INCLUDE ANY BUILDING, STRUCTURE OR HARD PAVED AREA.

1. BUILDING, STRUCTURE AND HARD PAVED AREAS INCLUDE DWELLING AND ANCILLARY STRUCTURES, VEHICULAR DRIVEWAYS AND MANOEUVRING AREAS, STAIRWAYS, SIDE SETBACK AREAS BETWEEN THE BOUNDARY AND HOUSE (PAVED OR UNPAVED) THAT ARE 1.5 METRES OR LESS IN WIDTH, (ENCOMPASSING GROUND LEVEL TERRACES, TERRACES OR WALKWAYS), SWIMMING POOLS, COVERED AVENUES, TENNIS COURTS (EXCEPT NATURAL GRASS COURTS), OUTBUILDINGS, SHEDS, BENCH, GAZEBOS, RAINWATER TANKS AND THE LIKE.

2. AT LEAST 50% OF THE MINIMUM LANDSCAPED AREA SHOULD BE LOCATED BEHIND THE BUILDING LINE TO THE REAR BOUNDARY.

3. AT LEAST 50% OF THE FRONT YARD SHOULD BE MAINTAINED AS DEEP SOIL, SOFT LANDSCAPING.

4. THE AMOUNT OF HARD SURFACE AREA (IN THE FORM OF CONCRETE, TERRAZZO, STONE PAVING AND BITUMEN) SHALL BE MINIMISED TO REDUCE RUNOFF AND TO MAINTAIN THE FREEDLAND EARLY TWENTIETH CENTURY GARDEN CHARACTER. RUNOFF FROM HARD SURFACES IS TO BE DIRECTED TO PERMEABLE SURFACES, SUCH AS GARDEN BEDS.

5. PLANTING AREAS SHALL INCLUDE A MIX OF LOW LYING SHRUBS, MEDIUM HIGH SHRUBS AND CANOPY TREES IN LOCATIONS WHERE THEY WOULD SOFTEN THE BUILT FORM.

6. THE DESIGN AND QUALITY OF FRONT GARDENS MUST RESPOND TO THE CHARACTER OF THE STREET AND SURROUNDING AREA AND CONTRIBUTE TO THE GARDEN CHARACTER OF STRATHFIELD.

7. WHERE THE LANDSCAPE PATTERNS IN THE PREVAILING STREETSCAPE AND SURROUNDING LOCALITY IS DEFINABLE, THIS QUALITY IS TO BE RETAINED AND REINFORCED, PARTICULARLY IN RELATION TO HERITAGE, STRAN AND HERITAGE CONSERVATION AREAS.

8. IN RELATION TO CONSERVATION AND ENERGY EFFICIENCY, PLANT SPECIES MUST BE RETAINED, SELECTED AND PLANTED TO:

- SHADE BUILDINGS AND SHADERS;
- REDUCE GLARE FROM HARD SURFACES;
- PROTECT BUILDINGS AGAINST WINDING, SUCH AS IN COOLER MONTHS;
- COOL AND CURRENTS CHANNELLED INTO THE DWELLING IN SUMMER; AND
- ACT AS WINDBREAKERS WHERE DESIRABLE.

5.2.2 PRIVATE OPEN SPACE

NOTE: IN ACCORDANCE WITH SLEEP 2012, "PRIVATE OPEN SPACE" MEANS AN AREA EXTERNAL TO A BUILDING INCLUDING AN AREA OF LAND, TERRACE, BALCONY OR DECK THAT IS USED FOR PRIVATE OUTDOOR PURPOSES AS AN ALTERNATIVE TO THE USE OF THE BUILDING.

PRIVATE OPEN SPACE DOES NOT INCLUDE NON-RESIDENTIAL STRUCTURES SUCH AS GARAGES, TOOL SHEDS, SWIMMING POOLS, DISHWASHERS, CAR SPACES, GYMNASIUMS AND PATIOWAYS.

1. PRIVATE OPEN SPACE IS TO BE PROVIDED IN A SINGLE PARCELS RATHER THAN A FRAGMENTED SPACE AND SHALL BE DIRECTLY ACCESSIBLE FROM INTERNAL LIVING AREAS OF THE DWELLING.

2. THE PRINCIPAL PRIVATE OPEN SPACE AREA SHOULD BE GENERALLY LEVEL AND MAY BE IN THE FORM OF A DECK, PATIO, TERRACE OR PAVED AREA. THE PRINCIPAL PRIVATE OPEN SPACE MUST INCLUDE A DEEP SOIL AREA COMPLIANT WITH THE MINIMUM LANDSCAPED AREA.

3. FOR TERRACES AND DECKS TO BE INCLUDED IN CALCULATIONS OF AREAS FOR PRIVATE OPEN SPACE, THEY MUST BE OF A COMBINE SIZE AT LEAST 1000mm x 1000mm OR WIDER BEING AT LEAST 300mm AND BE DIRECTLY ACCESSIBLE FROM AN INTERNAL LIVING AREA OF THE DWELLING. TO BE INCLUDED IN A CALCULATION OF PRIVATE OPEN SPACE, DECKS CANNOT BE LOCATED MORE THAN 500mm ABOVE NATURAL GROUND LEVELS.

4. AREAS WITHIN SETBACK ARE NOT TO BE INCLUDED AS PRIVATE OPEN SPACE UNLESS THEY HAVE A MINIMUM WIDTH OF 3m.

5. THE PRINCIPAL PRIVATE OPEN SPACE IS TO BE LOCATED AT THE REAR OF THE PROPERTY.

Area Schedule (Landscape)			
Proposed Landscape Area	Site Area	Proposed %	DCC REQ.
644.14M ²	1962.0M ²	33.3	34% (36.5%)

POS

LANDSCAPE DIAGRAM LEGEND

<p>HARD LANDSCAPING</p> <p>The amount of hard surface area (in the form of concrete/stone/paving and bitumen) shall be minimised to reduce run-off and to maintain the prevailing early twentieth century garden character. Run-off from hard surfaces is to be directed to permeable surfaces, such as garden beds.</p>	<p>SITE COVERAGE</p> <p>In accordance with SLEEP 2012, "site coverage" means the proportion of a site area covered by buildings. However, the following are not included for the purpose of calculating site coverage:</p> <ul style="list-style-type: none"> (a) any basement; (b) any part of an awning that is outside the outer walls of a building and that adjoins the street frontage or other site boundary; (c) any tower; (d) unenclosed balconies, decks, pergolas and the like. 	<p>LANDSCAPED AREA</p> <p>In accordance with SLEEP 2012, "landscaped area" means a part of a site used for growing plants, grasses and trees, but does not include any building, structure or hard paved area (including structures and hard paved areas, including terraces, patios, decks, and car spaces), swimming pools, covered awnings, tennis courts, outbuildings, sheds, BBQs, gazebos, carports, decks and the like.</p>	<p>REQUIREMENT</p> <p>Site Area 501 - 600m² - Minimum 30.5% Landscaped Area</p>
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1 GROUND FLOOR
1:500
HEYDE AVENUE

Rev.	Date	Description	By
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DRAWING TITLE: Landscape Diagram

Date:	MAR 2021	Drawing No.	
Scale:	1:1000/1:1000/AS	Part No.	08
Drawn/Checked:	AB / DB		



A1 ORIGINAL SIZE

Rev.	Date	Description	By
1	08/21	ISSUE FOR SUBMISSION	VA
2	08/21	ISSUE FOR SUBMISSION	VA

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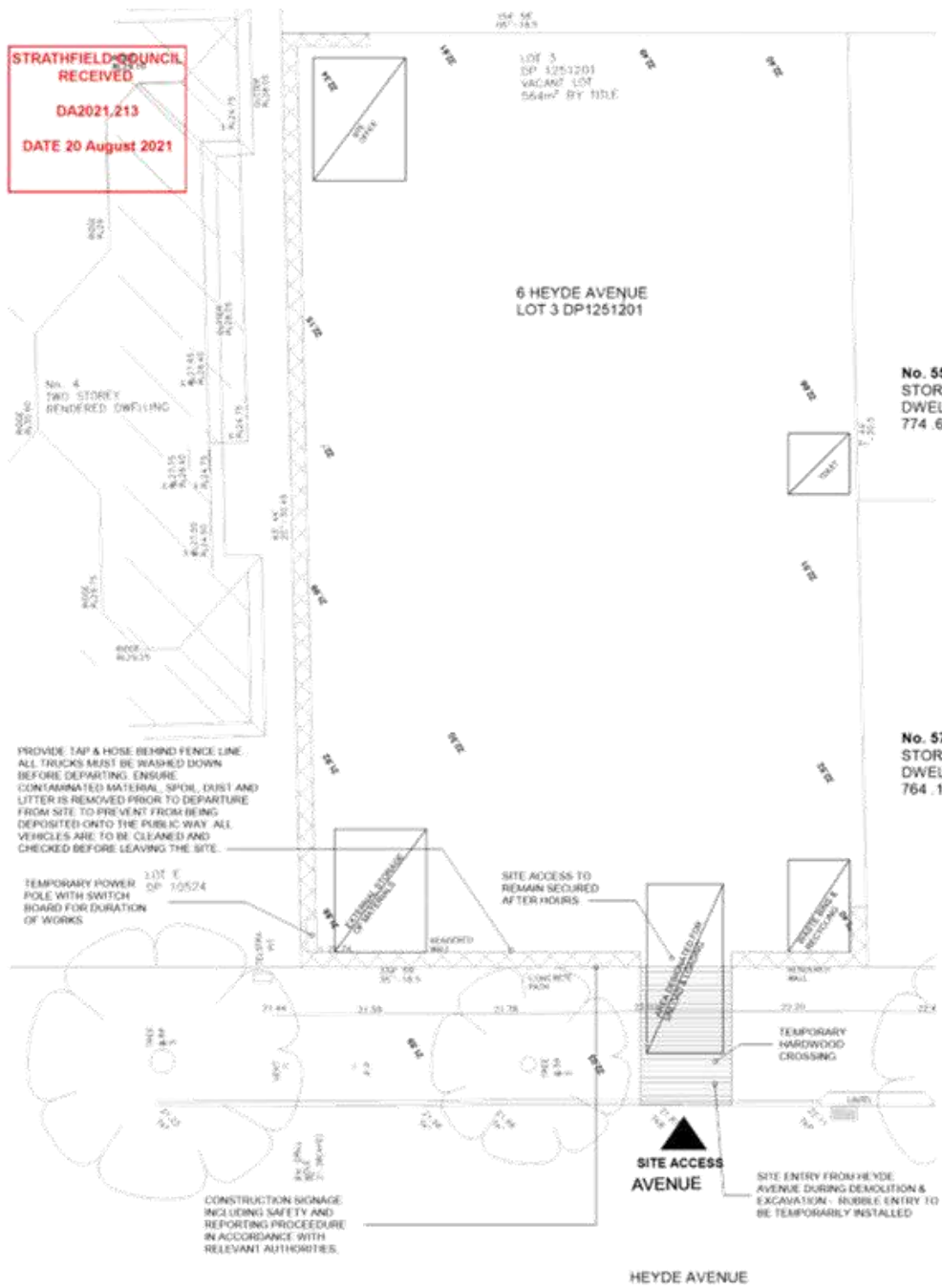
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Sheet No: D1909

Checked: AB / DR



EROSION & SEDIMENTATION CONTROL NOTES

- THE TEMPORARY EROSION CONTROL SHALL BE MAINTAINED EFFECTIVELY FOR THE DURATION OF THE PROJECT. THEY SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILIZED OR LANDSCAPED TO THE PRINCIPAL CERTIFYING AUTHORITIES SATISFACTION.
- A SINGLE ALL WEATHER ACCESS WAY SHALL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 10-40MM AGGREGATE OR SIMILAR MATERIAL WITH A MINIMUM THICKNESS OF 100MM LAYER OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC (BDM 614) OR SIMILAR LAYER INSTALLED PRIOR TO ANY WORKS BEING COMMENCED ON SITE.
- A SHOWER PAD MUST BE INSTALLED AS PART OF THE VEHICULAR ACCESSWAY. THE SHOWER PAD SHALL BE:
 - ESTABLISHED ON SUITABLE PREPARED & COMPACTED MATERIAL.
 - CONSTRUCTED SUCH THAT IT IS FLUSH WITH THE ADJOINING SURFACES.
 - DESIGNED WITH SPACED 250-300MM APART & WITH A MAXIMUM WIDTH OF 75MM EACH.
- THE CONTRACTOR SHALL ENSURE THAT ALL VEHICLES AND EQUIPMENT ARE PROTECTED FROM STORMWATER FLOW FROM THE SITE AND PROTECTED AT ALL TIMES DURING THE PROJECT. REAR INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE. THESE SHALL BE REGULARLY MAINTAINED DURING THE PROJECT.
- THE STREET FRONT SHALL BE KEPT CLEAR FROM DIRT AND GRASS FROM VEHICLES DEPARTING THE SITE.
- SEDIMENT FENCING SHALL BE SECURED TO POSTS PLEASE NOTE THAT IF STRAP PILES OR SIMILAR ARE USED THEN PLASTIC SAFETY CAPS SHALL BE INSTALLED ON TOP OF THE POSTS AT 2000MM INTERVALS WITH THE GEOTEXTILE FABRIC EMBEDDED A MINIMUM OF 200MM TO THE SOIL.
- IF ALL THE POSTS STRIPPED FROM THE SITE SHALL BE STOCKPILED SUCH THAT IT DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER THAT IT DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLET PIPES. THE STOCKPILE SHALL BE FULLY COVERED WITH AN IMPERVIOUS MEMBRANE AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTES

PRIOR TO THE COMMENCEMENT OF THE SITE WORKS THE FOLLOWING SHALL BE PROVIDED TO CAPTURE WATER BORNE SEDIMENTS:

- SEDIMENT FENCING
- SEDIMENT TRAP
- WASHOUT AREA

THESE SHALL BE MAINTAINED REGULARLY DURING THE COURSE OF THE CONSTRUCTION WITH THE SEDIMENT TRAP CLEANED AFTER EACH STORM EVENT.

TREE PRESERVATION

ALL TREES TO BE REMAINED IN THE VICINITY OF THE WORK AREA SHALL BE PROTECTED THROUGHOUT THE TERM OF CONSTRUCTION. A COPY OF ALL DOCUMENTS RELATING TO THE CONSTRUCTION CERTIFICATE APPROVAL INCLUDING DEVELOPMENT CONSENT ARE KEPT ON SITE AT ALL TIMES.

GENERAL NOTES

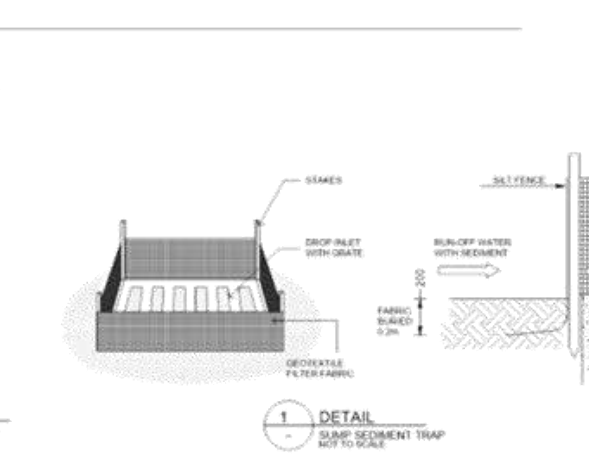
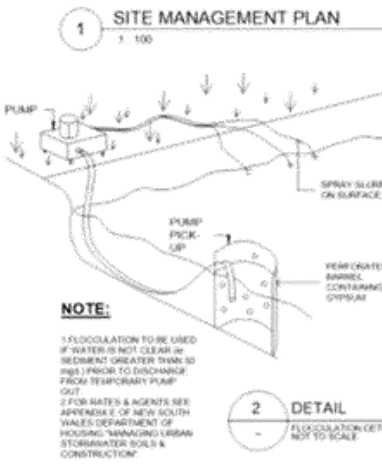
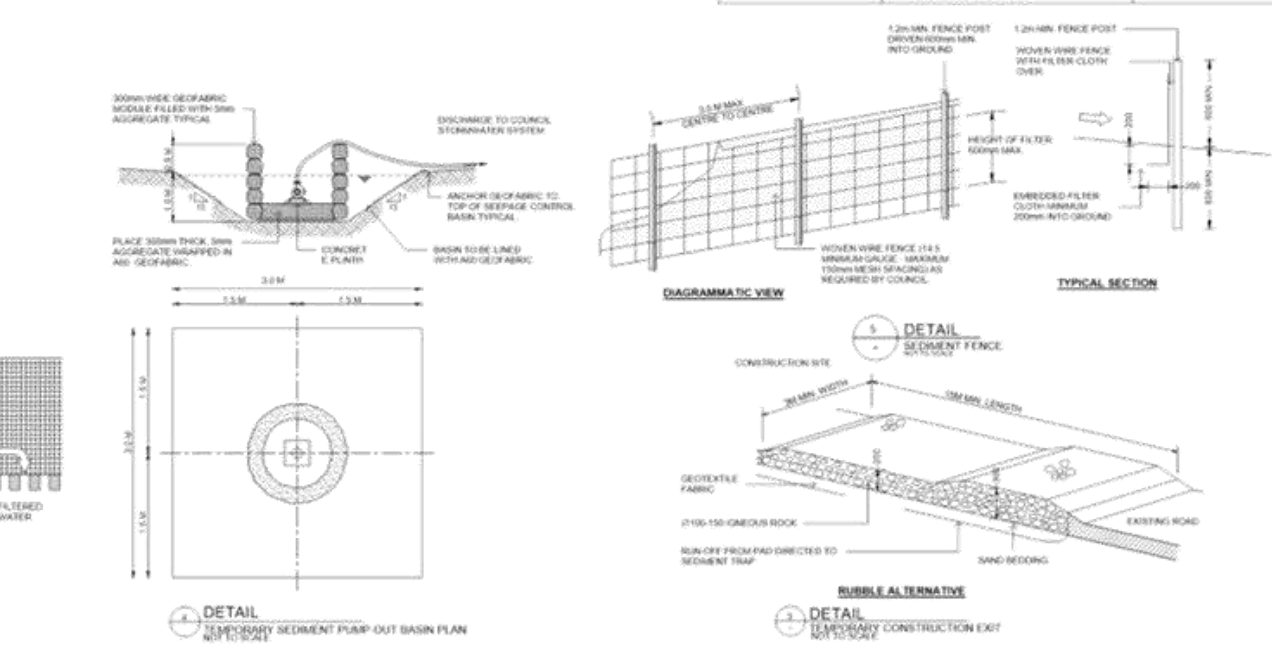
- A SUMP SHALL BE INSTALLED TO EITHER:
 - TRANSPORT STORMWATER RUNOFF WITH SUSPENDED SOLIDS FROM SITE VIA PUMP TRUCKS.
 - TREAT THE STORMWATER RUNOFF WITH SUSPENDED SOLIDS SO THE DISCHARGE WATER QUALITY TO COUNCIL STORMWATER DRAINAGE SYSTEM HAS A MAXIMUM CONCENTRATION OF SUSPENDED SOLIDS THAT DOES NOT EXCEED 30MG/LITRE IN ACCORDANCE WITH THE PROVISIONS OF THE ENVIRONMENT OPERATION ACT (POD 1997) AND SHALL BE APPROVED BY LOCAL COUNCIL.
- ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS. ANY DISCREPANCY SHALL BE REFERRED TO THE ARCHITECT BEFORE COMMENCING THE WORK.
- ALL DRAWING LAYOUT AND DETAILS ARE DIAGNOSTIC AND INDICATIVE ONLY. ACTUAL LOCATION, SIZES, LEVELS AND GRADIENTS MAY VARY WHEN DETAIL DESIGN WORKS ARE DOCUMENTED.
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
- THESE DIMENSIONS SHALL NOT BE SCALED. REFER TO DIMENSIONS ON ONE OR REFER TO THE ARCHITECTURAL DRAWINGS.
- ALL LEVELS AND SETTING-OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.
- EXCAVATION CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION WITH INFLAT BEING OVERSTRENGTHENED.
- EXISTING SERVICES (WHERE APPLICABLE) SHALL BE IDENTIFIED BY THE CONTRACTOR AND THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEIR EXACT LOCATION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL SERVICE TRENCHES UNDER VEHICULAR MOVEMENTS SHALL BE BACKFILLED IN ACCORDANCE WITH THE RESPECTIVE AUTHORITIES REQUIREMENTS.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE SUBGRADE MATERIAL.
- ALL SITE DISTURBED AREAS SHALL BE RESTORED TO THE ORIGINAL CONDITION INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRASSES AND GRASSED AREAS, PLAYGROUND ETC.
- TRUCK WHEELS SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.

DEMOLITION, CONSTRUCTION AND USE OF PREMISES - CONSTRUCTION STAGE

MATERIALS ON SITE		DESTINATION		
TYPE OF MATERIAL	ESTIMATED VOLUME (m ³)	ON-SITE	OFF-SITE	DISPOSAL
EDUCATIONAL MATERIAL				
REFER TO DEMOLITION STAGE				
GREEN WASTE				
REFER TO DEMOLITION STAGE				
BRICKS	15	NO	TO KIMBIRKI RECYCLERS, MONA VALE RD, TERREBY HILLS	TO KIMBIRKI RECYCLERS, MONA VALE RD, TERREBY HILLS
TIMBER	5	NO	TO KIMBIRKI RECYCLERS, MONA VALE RD, TERREBY HILLS	NO
METALS	2	NO	TO KIMBIRKI RECYCLERS, MONA VALE RD, TERREBY HILLS	REMAINDER TO KIMBIRKI LANDFILL SITE, MONA VALE RD, TERREBY HILLS

USE OF PREMISES

MATERIALS ON SITE	REUSE AND RECYCLING	DISPOSAL
RECYCLABLES	TEMPORARY STORAGE BINS: PAPER/CARDBOARD/ PLASTIC/ GLASS AND ALUMINIUM	TO RECYCLERS
NON RECYCLABLES	TEMPORARY STORAGE BINS: FOOD SOUP/ OTHER PLASTIC/ UNRECYCLABLE WASTE	TO LANDFILL SITE BY WASTE CONTRACTORS





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A1 ORIGINAL SIZE

Rev	Date	Description	By
1	20/06/21	ISSUE TO COUNCIL	YK
2	20/06/21	ISSUE TO COUNCIL	YK

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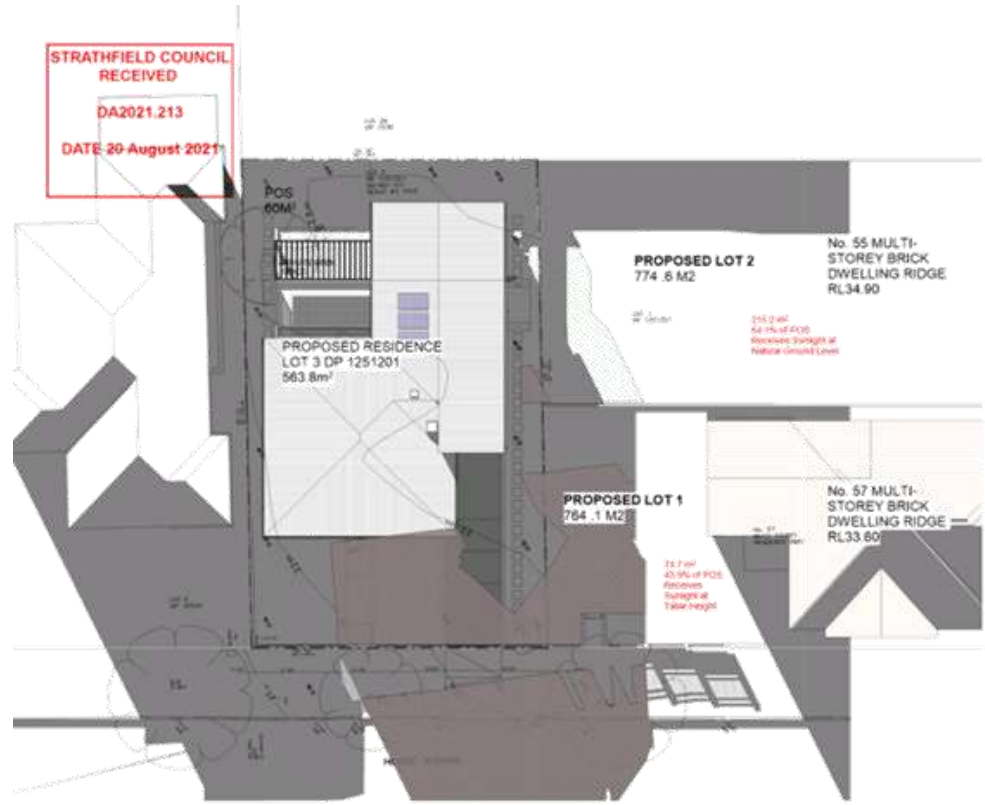
SURVEYOR
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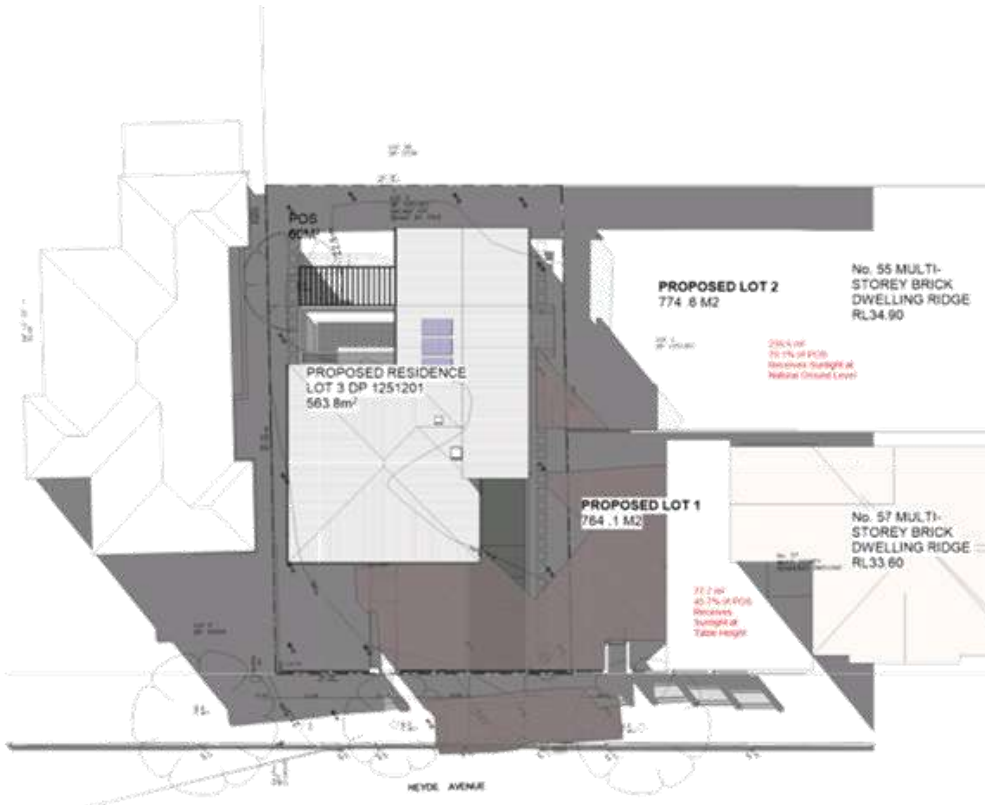
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Date: MAR 2021 Drawing No.:
 Scale: 1:100@A1 1:200@A0
 Plot No.: D1909
 Sheet/Check: 88 / DR

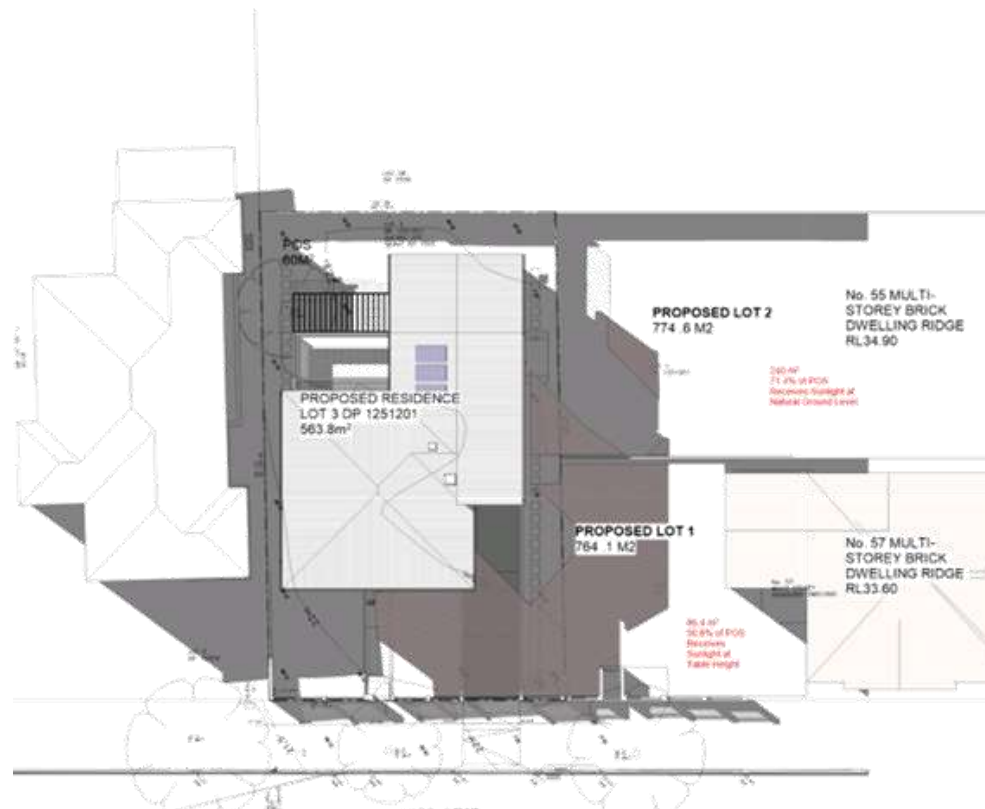
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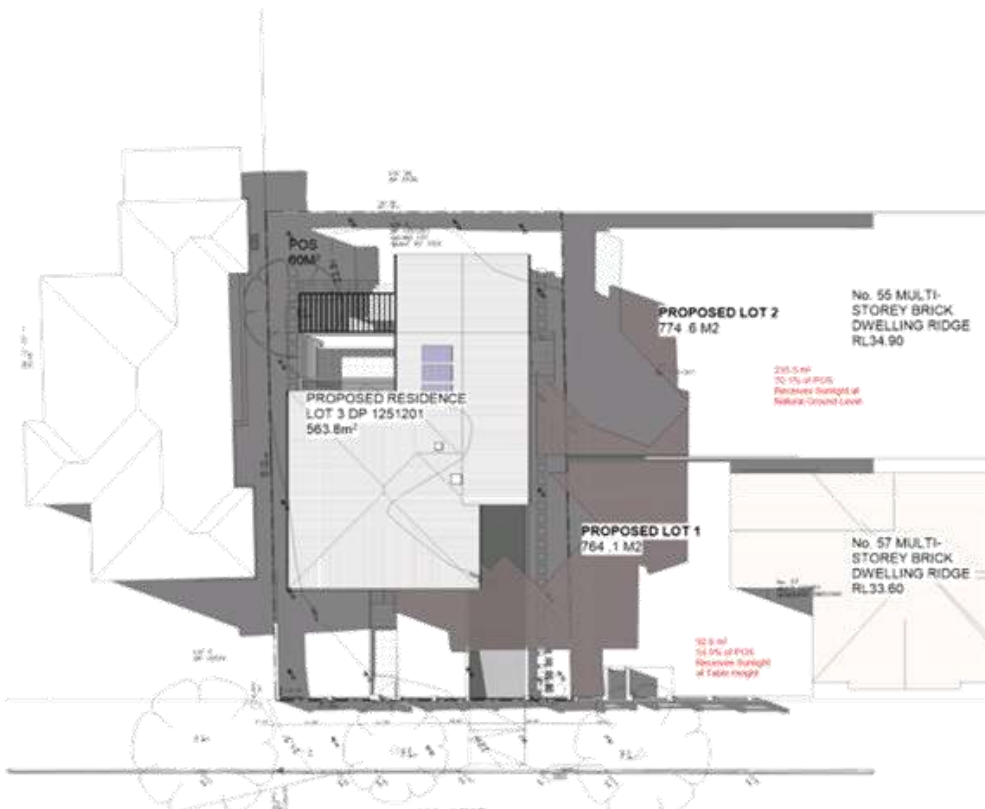
SHADOWS 21/06 9am



SHADOWS 21/06 10am



SHADOWS 21/06 11am



SHADOWS 21/06 12pm

THE PLANNING PRINCIPLE FOR ACCESS TO SUNLIGHT

Where guidelines dealing with the hours of sunlight on a window or open space have been specified, the proportion of the window or open space should be in sunlight, and whether the sunlight should be measured at floor level or at standing person's eye level. Assessment of the adequacy of solar access should be undertaken with the following principles in mind, where relevant:

- The area with which sunlight access can be predicted is usually proportional to the details of development, all via details, there is a reasonable expectation that a window and some of its open space will retain its existing sunlight (however, some of the windows above cars and buildings that are highly vulnerable to being over-shadowed). As higher densities sunlight is predicted with the higher the density of the building.
- The amount of sunlight lost should be taken into account, as well as the amount of sunlight retained.
- Over-shadowing arising out of poor design is not acceptable, even if it satisfies technical guidelines. The poor quality of a proposal's design may be demonstrated by a more sensitive design that achieves the same amount, without incurring additional cost, while reducing the impact on neighbours.
- For a window, door or glass wall to be assessed as being in sunlight, light should be cast not only to the projection of the window area or sunlight (not also to the side of the ground area that is not mathematically possible) but also an appropriate measure of solar activity. For larger ground areas, adequate solar activity in the built space should be achieved by the sun falling on comparatively modest portions of the ground area.
- To provide open space to be assessed as receiving adequate sunlight, light should be cast to the side of the open space and the amount of it receiving sunlight, not over-shadowed, the window or open space. The greater the proportion of it receiving sunlight for it to have adequate solar activity, a suitable area adjacent to the building area in sunlight should be provided, rather than a window. Depending on the size of the space, the amount of sunlight on private open space should generally be measured at ground level but light should be cast to the side of the space as well as a window or open space. Sunlight falling on window/door may be adequate.
- Contributions to better, high standards and changes that should be taken into consideration. Contributions to vegetation should be provided, except that vegetation may be taken into account in a qualitative way, in particular where benefits that appear to be visible.
- In areas undergoing change, the impact on what is likely to be lost or replaced should be considered as well as the existing development.

The Benchmark Society v Waverley Council [2013] NSWLEC 1082 at 133-144 (emphasised) provides principles from Percentage v RMC.

PART 4 OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2006

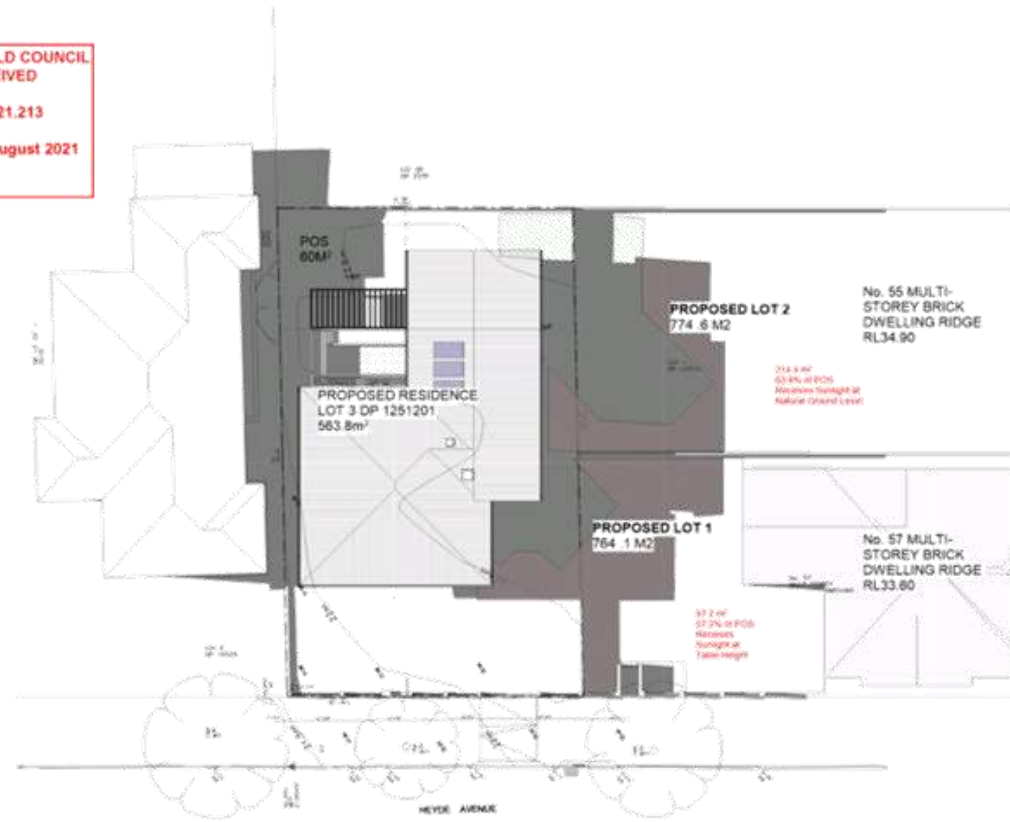
4.2 SUNLIGHT ACCESS

1. IN NEW DWELLINGS, SOLAR ACCESS TO THE WINDOWS OF HABITABLE ROOMS AND TO AT LEAST 50% OF PRIVATE OPEN SPACE MUST BE PROVIDED OR ACHIEVED FOR A MINIMUM PERIOD OF 3 HOURS BE TWEEN 9 AM AND 3 PM AT THE WINTER SOLSTICE (JUNE 21).
 2. IN THE CASE OF ALTERATIONS OR ADDITIONS TO EXISTING DWELLINGS, SOLAR ACCESS TO THE WINDOWS OF HABITABLE ROOMS AND TO THE WHOLETY OF PRIVATE OPEN SPACE MUST BE SUBSTANTIALLY MAINTAINED OR ACHIEVED FOR A MINIMUM PERIOD OF 3 HOURS BE TWEEN 9 AM AND 3 PM AT THE WINTER SOLSTICE (JUNE 21).
- NOTE:** IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, A HABITABLE ROOM IS A ROOM USED FOR NORMAL DOMESTIC ACTIVITIES AND:
- 1. INCLUDES A BEDROOM, LIVING ROOM, LOUNGE ROOM, MUSIC ROOM, TELEVISION ROOM, KITCHEN, DINING ROOM, BREAKFAST ROOM, PLAYROOM, FAMILY ROOM, HOME THEATRE AND SCREENING ROOM;
 - 2. EXCLUDES A BATHROOM, LAUNDRY, WATER CLOSET, PANTRY, WALK-IN WARDROBE, CORRIDOR, HALLWAY, LOBBY, PHOTOGRAPHIC DARKROOM, CLONING, DYEING ROOM AND OTHER SPACES OF A SPECIALISED NATURE OCCURRED NEITHER FREQUENTLY NOR FOR EXTENDED PERIODS;
 - 3. 50% OF THE PRINCIPAL PRIVATE OPEN SPACE OF ANY RESIDENCE MUST BE PROVIDED SOLAR ACCESS FOR A MINIMUM PERIOD OF 3 HOURS BE TWEEN 9 AM AND 3 PM AT THE WINTER SOLSTICE (JUNE 21);
 - 4. WHERE THE PRINCIPAL PRIVATE OPEN SPACE OF AN ADJOINING DEVELOPMENT CURRENTLY RECEIVES LESS THAN THE REQUIRED AMOUNT OF SOLAR ACCESS (ON 21 JUNE), THE PROPOSED DEVELOPMENT MUST NOT FURTHER REDUCE THE AMOUNT OF SOLAR ACCESS.

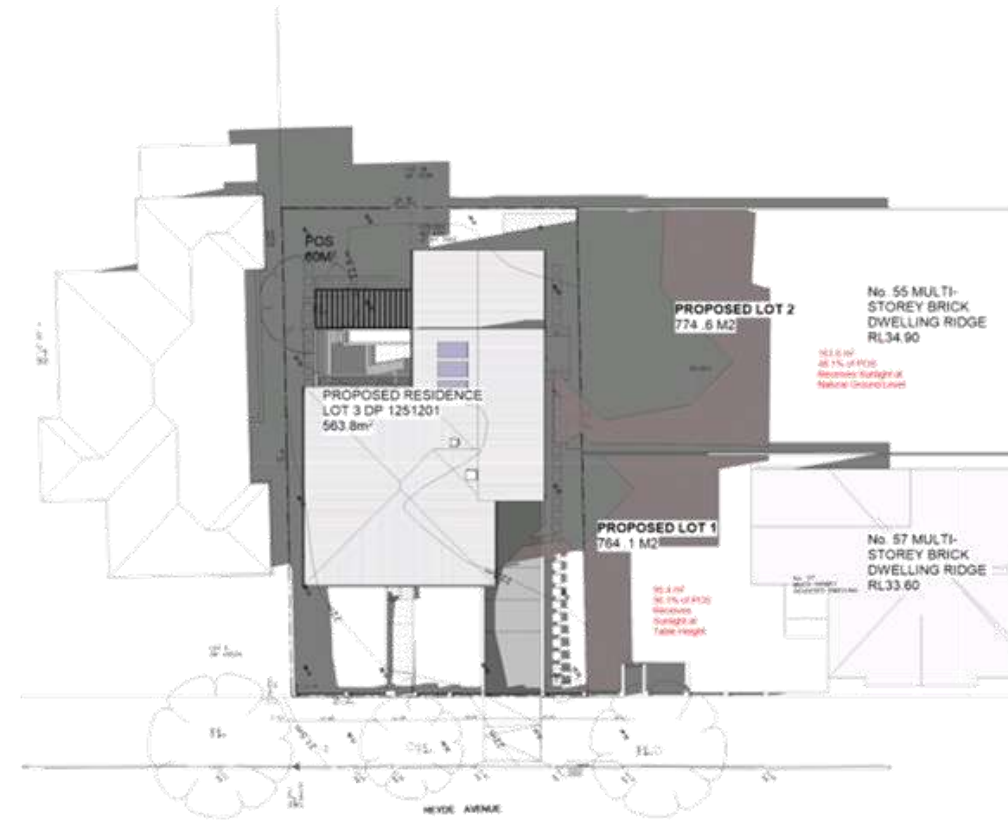
LEGEND:

- EXISTING SHADOW
- ADDITIONAL SHADOW
- REDUCTION IN EXISTING SHADOW

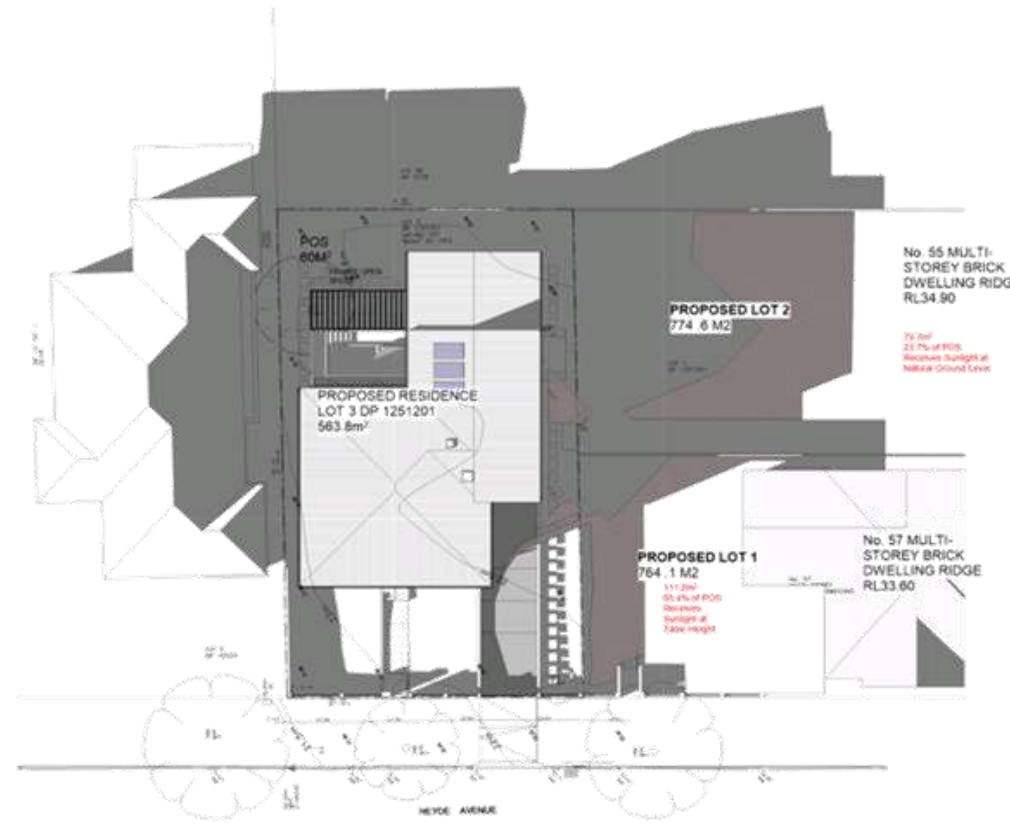
STRATHFIELD COUNCIL RECEIVED
DA2021.213
DATE 20 August 2021



SHADOWS 21/06 1pm



SHADOWS 21/06 2pm



SHADOWS 21/06 3pm

PART 4 of STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2008

4.2 CONTROLS

4.2.1 SUNLIGHT ACCESS

1. IN NEW DEVELOPMENT, SOLAR ACCESS TO THE WINDOWS OF HABITABLE ROOMS AND TO AT LEAST 50% OF PRIVATE OPEN SPACE MUST BE PROVIDED OR ACHIEVED FOR A MINIMUM PERIOD OF 3 HOURS BETWEEN 9:00AM AND 3:00PM AT THE WINTER SOLSTICE (JUNE 21).

2. IN THE CASE OF ALTERATIONS OR ADDITIONS TO EXISTING DEVELOPMENT, SOLAR ACCESS TO THE WINDOWS OF HABITABLE ROOMS AND TO THE AVAILABILITY OF PRIVATE OPEN SPACE MUST BE MAINTAINED OR IMPROVED FOR A MINIMUM PERIOD OF 3 HOURS BETWEEN 9:00AM AND 3:00PM AT THE WINTER SOLSTICE (JUNE 21).

NOTE: IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, A 'HABITABLE ROOM' IS: A ROOM USED FOR NORMAL DOMESTIC ACTIVITIES AND INCLUDES A BEDROOM, LIVING ROOM, LOUNGE ROOM, MUSIC ROOM, TELEVISION ROOM, KITCHEN, DINING ROOM, BREAKFAST ROOM, STUDY, PLAYROOM, FAMILY ROOM, HOME THEATRE AND BUNKER ROOM.

3. EXCLUDES A BATHROOM, LAUNDRY, WATER CLOSET, ENTRY, WALK-IN CLOSET, CORRIDOR, HALLWAY, LOBBY, PHOTOGRAPHY, GAMING ROOM, CLOTHES DRESSING ROOM AND OTHER SPACES OF A SPECIALISED NATURE OCCUPIED BY THEIR FREQUENTLY USED FOR EXTENDED PERIODS.

4. 50% OF THE PRINCIPAL PRIVATE OPEN SPACE OF ANY ADJOINING PREMISES SHALL RECEIVE SOLAR ACCESS FOR A MINIMUM PERIOD OF 3 HOURS BETWEEN 9:00AM AND 3:00PM AT THE WINTER SOLSTICE (JUNE 21).

5. WHERE THE PRINCIPAL PRIVATE OPEN SPACE OF AN ADJOINING DEVELOPMENT COINCIDES WITH THESE RULES, THE REQUIRED AMOUNT OF SOLAR ACCESS (IN 2.1) SHALL BE MAINTAINED OR IMPROVED. THE PROPOSED DEVELOPMENT MUST NOT FURTHER REDUCE THE AMOUNT OF SOLAR ACCESS.



THE PLANNING PRINCIPLE FOR ACCESS TO SUNLIGHT

Where guidelines dealing with the hours of sunlight on a window or open space have been specified, the hours of sunlight should be measured at floor level or a standing person's eye level, whichever is the greater, of solar access should be undertaken with the following principles in mind, where relevant:

- The user with which sunlight access can be predicted is directly proportional to the density of development. At low densities, there is a reasonable expectation that a dwelling and some of its open space will receive the existing sunlight (however, even at low densities there are values and buildings that are highly vulnerable to being overshadowed). At high densities sunlight is harder to predict and the user's return is not as strong.
- The amount of sunlight and shadow to be taken into account, as well as the amount of sunlight received.
- Overshadowing arising out of poor design is not acceptable, even if it satisfies numerical guidelines. The poor quality of a proposal's design may be demonstrated by a more sensitive design that achieves the same amenity without substantial additional cost, while reducing the impact on neighbours.
- For a window, glass or glass wall to be assessed as being in sunlight, regard should be had not only to the proportion of the glazed area in sunlight but also to the type of the glazed area itself. Since mathematical formulae are not always an appropriate measure of solar amenity, for larger glazed areas, adequate solar amenity on the built space below may be achieved by the sun being on comparably modest portions of the glazed area.
- For an open space to be assessed as receiving adequate sunlight, regard should be had to the size of the open space and the amount of it receiving sunlight. Half an acre, for example, the greater the proportion of it receiving sunlight for it to have adequate solar amenity. A smaller strip adjoining the living area in sunlight usually provides better solar amenity, depending on the size of the space. The amount of sunlight on private open space should ordinarily be measured at ground level (not at eye level) and should be measured at ground level in open space. Sunlight falling on water or other surfaces may be allowed, except that vegetation may be taken into account in a qualitative way, in particular better trees that appear to be a good fit for the area undergoing change. The impact of what is likely to be built on adjoining sites should be considered as well as the existing development.

The Residential Society v Waverley Council (2016) NSWLEC 100 at 133-134 (general planning principles from Part 4.2.1 - RMC)

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Rev.	Date	Description	By
1	08/21	ISSUE TO TOWN PLANNER	AK
2	08/21	FOR SUBMISSION	AK

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Project: RESIDENTIAL DEVELOPMENT
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DRAWING TITLE: Shadow Diagram 21st June 22

Date:	MAR 2021	Drawing No.:	
Scale:	As indicated 1:1000		
Project No.:	D1909		
Client/Check:	AK / DR		

11

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DATE 20 August 2021



1 West Elevation - Finishes
1:100



2 East Elevation - Finishes
1:100

PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2006
2.2.4 ARCHITECTURAL DETAILING INCLUDING ROOF FORMS, MATERIALS AND COLOURS

MATERIALS

1. MATERIALS MUST BE COMPATIBLE WITH THE EXISTING BUILDING AND IN THE CASE OF ALTERNATIVE AND ADDITIONAL COMPATIBLE WITH ADJACENT BUILDINGS AND THE STREETSCAPE IN TERMS OF TYPE, FORM AND COLOUR.

2. MORTAR AND FACE BRICK WALLS AND TERRAZZO TILE FLOORS SHALL BE USED WHERE THEY ARE EXISTING IN THE IMMEDIATE STREETSCAPE. ALTERNATIVE MATERIALS MAY BE CONSIDERED AS ARCHITECTURALLY APPROPRIATE TO THE STYLE OF THE BUILDING AND THE LOCALITY IN SOME CIRCUMSTANCES.

3. HIGHLY REFLECTIVE MATERIALS ARE NOT ACCEPTABLE FOR ROOF OR WALL CLADDING, NEW BUILDINGS AND FACADES. MUST NOT RESULT IN GLARE THAT CAUSES DISCOMFORT OR IMPAIRS THE SAFETY OF PEDESTRIANS OR MOTORISTS. A REFLECTIVITY REPORT THAT ANALYSES THE EFFECTS OF POTENTIAL GLARE FROM THE PROPOSED NEW DEVELOPMENT ON PEDESTRIANS AND MOTORISTS MAY BE REQUIRED BY COUNCIL.

COLOURS

4. NEW DEVELOPMENT MUST INCORPORATE COLOUR SCHEMES THAT HAVE A CLEAR AND FINAL RELATIONSHIP WITH THE TRADITIONAL COLOURS OR THE PREDOMINANT COLOURS OF THE STREET.

5. THE COLOURS OF CHIMNEYS, WINDOW FRAMES, VENTILATION AND DOWNPIPES AND BALCONY RAILINGS AND ELEVATIONS MUST BE INTEGRATED HARMONIOUSLY WITH THE EXTERNAL DESIGN OF THE BUILDING.

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DEREK RAITHBY ARCHITECTURE (NSW) PTY LTD (COMPANIES NO. 1)
ALL DOCUMENTS ARE TO BE CONFIDENTIAL UNTIL THE COMMENCEMENT OF
WORK. WORKERS AND SUBCONTRACTORS TO THE PROJECT MUST SIGN AND
DEREK RAITHBY ARCHITECTURE (NSW) PTY LTD

A1 ORIGINAL SIZE



3 North Elevation - Finishes
1:100



4 South Elevation - Finishes
1:100

Rev.	Date	Description	By
1	08/21	FOR SUBMISSION	NA
2	08/21	FOR SUBMISSION	NA

FINISHES SCHEDULE			
Image	Symbol	Type	Description
	C1	WALL FINISH	BRUSHED CONCRETE TO MATCH SELECTION
	C3	FLOOR FINISH	POLISHED CONCRETE
	F1	FRONT FENCE	CONTEMPORARY VERTICAL METAL POSTS POWDERCOAT COLORBOND "NIGHT SKY" OR SIMILAR
	P1	WALL FINISH	RENDER FINISH - DULUX "VIVID WHITE" OR SIMILAR
	P2	WALL FINISH	RENDER FINISH - DULUX "WHITE DUNE HALF" OR SIMILAR

FINISHES SCHEDULE			
Image	Symbol	Type	Description
	P3	WALL FINISH	RENDER FINISH - DULUX "DOMINO" OR SIMILAR
	PB	DRIVEWAY FINISH	CONCRETE PAVER BLOCKS
	RS	ROOF SHEETING, GUTTERS & DOWNPIPES COLOURS	COLORBOND "BASALT" OR SIMILAR
	ST	WALL FINISH	STONE CLADDING AS PER SELECTION
	T1	FLOOR FINISH	VEINED WHITE MARBLE TILE

FINISHES SCHEDULE			
Image	Symbol	Type	Description
	T2	FLOOR FINISH	EXTERNAL POLISHED CONCRETE TILE
	T3	FLOOR FINISH	INTERNAL PORCELAIN TILE
	TB1	FLOOR FINISH	TIMBER FLOORING AS PER SELECTION
	TB2	WALL FINISH	TIMBER PANEL AS PER SELECTION
	W1	FRAME FINISH	WINDOWS & DOORS FRAMING POWDERCOAT COLORBOND "NIGHT SKY" OR SIMILAR

Client: Miss Bonita Ko & Mr. Nicholas Barbey

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DRAWING TITLE:
Finishes Schedule

Date: MAR 2021 Drawing No.:
Scale: A1@1:1 NRE@1:1
Project No.: D1909
Client/Check: AB / DR
12

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Phone: 0412 967767
e-mail: petr@kozar.net.au

LANDSCAPE
Consultant: CONCEPT LANDSCAPE
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Cammeray NSW 2062
Phone: 02 9622 5312
e-mail: enquiries@concept.net.au

BASIX
Consultant: GREENVIEW CONSULTING
Address: Suite 201, 531 Kingsway,
Moranda NSW 2226
Phone: (02) 8544 1683
e-mail: admin@greenview.net.au

SURVEYOR
Consultant: T.J. SURVEYORS PTY LTD
Address: Wookoree NSW 2230
Phone: 0404 519206
e-mail: trent@tjsurveyors.com

RESIDENTIAL DEVELOPMENT
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE:
Photomontage

Date: MAR 2021 Drawing No:
Scale: 1/8000 1/10000
Project No: D1909
Client/Checker: RB / DR

13

DA SUBMISSION

STRATHFIELD COUNCIL RECEIVED
DA2021.213
DATE 20 August 2021



DEREK RAITHBY ARCHITECTURE
443 PARRAMATTA ROAD,
LEICHHARDT NSW 2040
T: (02) 8054 4115 ARN: 61618174020
info@derekraithby.com.au Architect #27859



A1 ORIGINAL SIZE

Rev	Date	Description	By
1	08/21	ISSUE TO COUNCIL	YK
2	08/21	FOR SUBMISSION	YK

Client: Miss Bonita Ko & Mr. Nicholas Barbey

TOWN PLANNER

Consultant: PRAGASA PLANNING
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Burwood NSW 2134
Phone: 0415 715083
e-mail: mark@pragasa.com.au

STORMWATER

Consultant: KOZAROVSKI AND PARTNERS
Address: 14/52-54 Kingsway, Cronulla 2230
Phone: 0412 967767
e-mail: jenny@kozarovski.com.au

LANDSCAPE

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BASIX

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RESIDENTIAL DEVELOPMENT

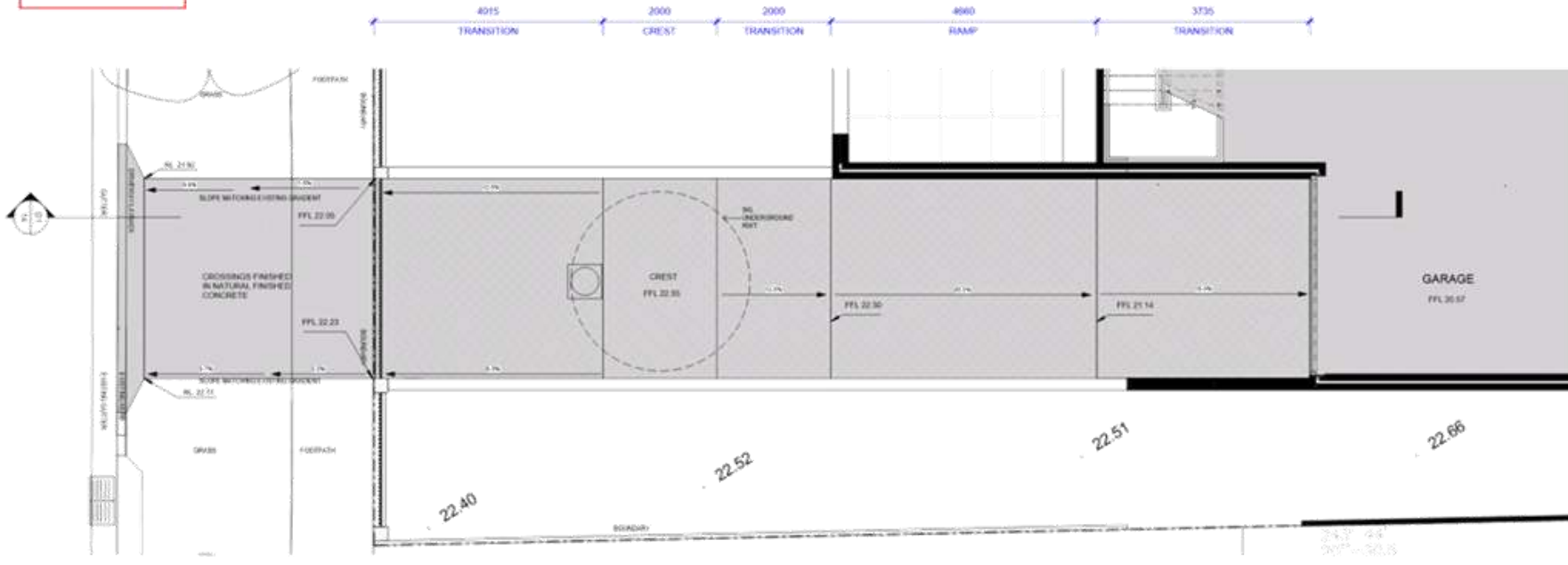
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE

Driveway Profile

Date:	MAR 2021	Drawing No.:	
Scale:	As indicated on drawings	Project No.:	D1909
Client/Checked:	BB / DR	Sheet No.:	14

DR. SUBRAMANIAM



PART A OF STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN 2005

A.1 DRIVEWAY AND GRADE

- EXISTING DRIVEWAYS MUST BE USED UNLESS THE APPLICANT CAN DEMONSTRATE THAT A RELOCATION WOULD IMPROVE SOLAR ACCESS TO THE PROPERTY UNDER RELEVANT REGULATIONS.
- THE ABSENCE OF ANY ADJOINING RESIDENCES SHOULD NOT BE UNFAIRLY AFFECTED WITH REGARD TO SOLAR ACCESS.
- RELOCATION SHOULD NOT IMPACT ON STREET TREES, BUT SHOULD MAINTAIN, ENHANCE AND/OR REPLACE, ON STREET PARKING, HERITAGE VALUES OR THE STREETSCAPE, AND RELOCATION SHOULD NOT ADVERSELY IMPACT THE SAFETY OF MOTORISTS OR PEDESTRIANS.
- THE HEIGHT OF DRIVEWAYS AT THE PROPERTY BOUNDARY IS TO BE 80.
- THE EDGE OF DRIVEWAY/ROADWAYS, INCLUDING APPROACH DRIVEWAYS, SHALL BE LOCATED A MINIMUM OF 10 METRES FROM ANY EXISTING STORMWATER RAYS OR HOLES AND A MINIMUM OF 10 METRES FROM ANY TREES WITHIN THE ROAD RESERVE.
- VEHICLE ACCESS POINTS AND PARKING AREAS MUST BE:
 - AS ACCESSIBLE AND REASONABLE TO MOTORISTS;
 - NOT IMPAIR PEDESTRIAN FLUX AND SAFETY; AND
 - BE LOCATED TO MINIMIZE TRAFFIC COLLISION AND THE POTENTIAL FOR VEHICLES TO BREAK ON PUBLIC ROADS.
- A NUMBER OF ONE (1) VERTICAL CURBING TO 100 MM SHALL BE PROVIDED FOR PROPERTY EXCEPT FOR CORNER ALLOCATIONS WHERE COUNCIL MAY CONSIDER ONE OR MORE FRONTAGE IN APPROPRIATE CIRCUMSTANCES.
- VEHICLE ACCESSING SITES WHICH FRONT MAIN ROADS SHALL BE CAPABLE OF ENTERING AND EXITING IN EITHER DIRECTION. VEHICLE MANOEUVRES SHALL BE FULLY MANAGED WITHIN THE SITE.
- VEHICLE AP PROXIMITY FOR GARAGES SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- WHERE PROPOSED DRIVEWAYS HAVE ACCESS TO A MAIN ROAD OR SECONDARY STREET FRONTAGE, PARKING AND ACCESS SHALL BE PROVIDED FROM THE SECONDARY STREET FRONTAGE.
- DRIVEWAYS MUST BE DESIGNED TO AVOID A LONG AND STRAIGHT APPEARANCE BY USING LANDSCAPING AND VARIATION IN ALIGNMENT.
- A DRIVEWAY SHOULD BE SET BACK A MINIMUM OF 3 METRES FROM SIDE BOUNDARIES TO PROVIDE FOR LANDSCAPING BETWEEN THE DRIVEWAY AND SIDE BOUNDARY.
- DRIVEWAYS WITHIN THE PROPERTY BOUNDARY SHOULD INCORPORATE LIGHT PAVING INTO THE DESIGN.
- AREAS OF CONCRETE VISIBLE FROM A PUBLIC ROAD, INCLUDING DRIVEWAYS AND PAVED AREAS, ARE TO BE SET TO A MINIMUM AND COLOURED UNUSUAL GREY OR BROWN.
- AREAS AND SURFACES CROSSING AS PART OF THE PUBLIC DOMAIN MUST ONLY BE FINISHED IN POLISHED, FINISHED CONCRETE AND NOT UNFINISHED FINISHES THAT BREAK THE PROPERTY DRIVEWAY. COLOURED CONCRETE IS NOT PERMITTED IN THE DRIVEWAY CROSSING OUTSIDE THE PROPERTY BOUNDARY.

A.2 GARAGES, CARPORTS AND CAR SPACES

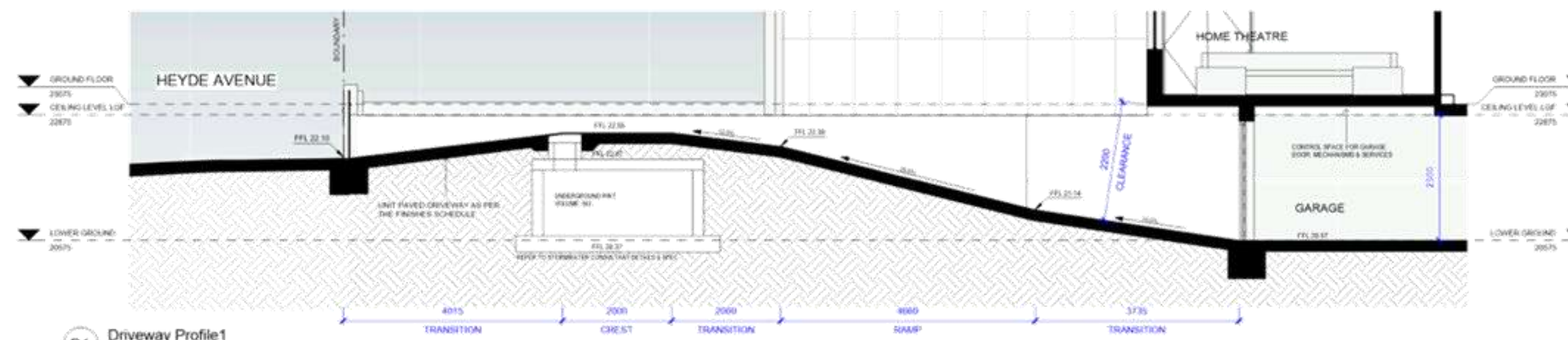
- TWO (2) CAR PARKING SPACES ARE TO BE PROVIDED AND MAINTAINED BEHIND THE FRONT BUILDING LINE OF ALL NEW TRAVELLING IN GARAGE, CARPORT OR CAR SPACE, FOR USE BY ALL THOSE WHOSE CONSIDERATION MAY BE GIVEN TO ONE (1) CAR SPACE, WHERE ALTERNATING AND ADJOINING TO EXISTING DRIVEWAYS ARE PROVIDED AND TWO (2) SPACES ARE AVAILABLE, THESE SPACES MUST BE MAINTAINED.
- GARAGES ARE TO BE RECESSED BEHIND THE MAIN FRONT FACADE OF THE DWELLING UNLESS OTHERWISE TO GO NOT TO CONTRA-DICT THE APPEARANCE OF THE BUILDING OR STREETSCAPE.
- GARAGES SHOULD BE NO MORE THAN 1000 MM ABOVE NATURAL GROUND LEVEL AT THEIR ENTRY UNLESS THE SLOPE OF THE SITE EXCEEDS 1:10 (2.5%) IN WHICH CASE A DEPENDED GARAGE MAY BE ACCEPTABLE.
- THE MAXIMUM DIMENSIONS OF PARKING SPACES AND GARAGES SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- GARAGES ARE NOT TO BE CONVERTED OR USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY ARE APPROVED, THAT IS, GARAGES MUST NOT BE CONVERTED INTO HOMES, ROOMS, LIVING AREAS, RESOURCES OFFICES, ETC.

A.3 BASEMENTS

- THE MAXIMUM AREA OF A BASEMENT SHALL BE LIMITED TO AND CONTAINED WITHIN THE FOOTPRINT OF THE DWELLING AT GROUND LEVEL.
- NO RELOCATION IS PERMITTED BEHIND THE RELEVANT DRIVEWAY SIDE SETBACKS. FURTHERMORE, THE LOCATION OF BASEMENT WALLS MAY WARRANT INCREASED SETBACKS TO PROVIDE SUFFICIENT AREA FOR WATER PROOFING, DRAINAGE ETC.
- WHERE A BASEMENT IS PROPOSED, THE MAXIMUM HEIGHT OF THE BASEMENT ABOVE NATURAL GROUND LEVEL RELATIVE TO THE FLOOR LEVEL OF THE STOREY IMMEDIATELY ABOVE IS TO BE LESS THAN 1 METRE, WHERE THE BASEMENT PROTRUDES ABOVE GROUND LEVEL BY MORE THAN 1 METRE, IT DOES NOT COMPLY WITH THE SLEEP OUT PROVISION OF A BASEMENT. IT SHALL BE CONSIDERED AS A STOREY AND THE GROUND FLOOR AREA ENCLOSED WITHIN A BASEMENT UNDER SUCH PROVISIONS NOT APPLY AND WILL BE INCLUDED IN THE FLOOR SPACE RATIO. BASEMENT PROTRUSION OF MORE THAN 1 METRE WILL GENERALLY NOT BE ACCEPTED ESPECIALLY IF IT IS CONSIDERED TO ADVERSELY IMPACT THE BULK AND SCALE OF THE DWELLING AND MAY REQUIRE THE SETBACK OF THE UPPER LEVEL.
- MINIMUM INTERNAL CLEARANCE OF 2.0M IS ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA REQUIREMENTS.
- DRIVEWAYS SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS REGARDING PARKING FACILITIES, VEHICLE DESIGN FOR ACCESS AND MOBILITY AND A MINIMUM 1 METRE SETBACK FROM THE DRIVEWAY TO THE PROPERTY BOUNDARY. IT IS TO BE NO MORE THAN 1.5M WIDE.
- DRIVEWAY RAMP ARE TO BE PERPENDICULAR TO THE PROPERTY BOUNDARY AT THE STREET FRONTAGE.
- WHERE SITE AND BUILDING DIMENSIONS ALLOW IT, BASEMENTS SHALL BE DESIGNED TO PERMIT VEHICLES TO ENTER AND EXIT THE BASEMENT IN A FORWARD DIRECTION.
- BASEMENTS MAY NOT BE PERMITTED ON FLOOD AFFECTED SITES. APPLICANTS SHOULD CHECK WITH COUNCIL AND CONSULTING ENGINEERS THE UNDERMINING APPLICATION.
- NO PROVISION OF PUMP-OUT SYSTEMS AND STORMWATER PROTECTION SHOULD BE IN ACCORDANCE WITH COUNCIL'S STORMWATER MANAGEMENT CODE.
- BASEMENTS ARE NOT TO BE USED FOR HABITABLE PURPOSES.

NOTE:

- DRIVEWAY FINISHED AREAS ON SURFACES SHOWN IN INFORMATION.
- EXISTING A PROPOSED ARE TO BE COMPARED ON DRAWING DIRECTLY WITH COUNCIL UNDER RELEVANT REGULATIONS.
- DRAWING IN ACCORDANCE WITH STRATHFIELD COUNCIL DRIVEWAY DETAILS.
- ALL PUBLIC DOMAIN WORKS TO BE COMPARED WITH COUNCIL.



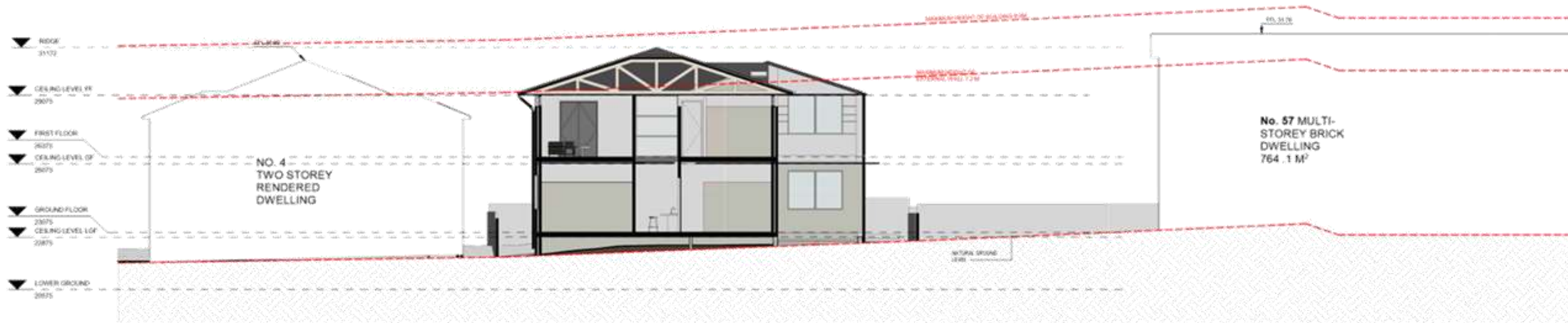
D1 Driveway Profile 1:50

STRATHFIELD COUNCIL
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DA2021.213
DATE 20 August 2021

DEREK RAITHBY ARCHITECTURE
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info@derekraithby.com.au Architect #2869



A1 ORIGINAL SIZE



1 Sectional Comparison
1 : 100

Rev.	Date	Description	By
2	08/21	DA SUBMISSION	VA
1	08/21	ISSUE TO COUNCIL	VA

Client: Miss Bonita Ko & Mr. Nicholas Barbey

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RESIDENTIAL DEVELOPMENT
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE:
Sectional Comparison with Adjoining Properties

Date: MAR 2021 Drawing No:
Scale: 1:100 (A1) 1:50 (A3)
Project No: D1909
Sheet/Total: 88 / 88
15



WINDOW SCHEDULE						
Type Mark	Count	Level	Model	Width	Height	Finish
W1	2	CEILING LEVEL FF	FIXED			Charcoal Powder Coated
W2	2	GF & FF	SLIDING	2000	2700	Charcoal Powder Coated
W3	2	GF & FF	SLIDING	2400	2600	Charcoal Powder Coated
W4	2	GF & FF	SLIDING	2400	1700	Charcoal Powder Coated
W5	2	GROUND FLOOR	SLIDING	1800	1700	Charcoal Powder Coated
W6	2	GROUND FLOOR	SLIDING	2400	1800	Charcoal Powder Coated
W7	2	GROUND FLOOR	FIXED	2000	1800	Charcoal Powder Coated
W8	2	GROUND FLOOR	SLIDING & FIXED	2000	2000	Charcoal Powder Coated
W9	2	GROUND FLOOR	SLIDING	2400	1800	Charcoal Powder Coated
W10	2	GF & FF	FIXED	2000	2600	Charcoal Powder Coated
W11	2	FIRST FLOOR	SLIDING	1800	1700	Charcoal Powder Coated
W12	2	FIRST FLOOR	SLIDING	2400	1700	Charcoal Powder Coated
W13	2	FIRST FLOOR	FIXED	2000	2200	Charcoal Powder Coated
W14	2	FIRST FLOOR	SLIDING	2000	2200	Charcoal Powder Coated
W15	2	FIRST FLOOR	SLIDING	2000	2200	Charcoal Powder Coated
W16	2	FIRST FLOOR	FIXED	2000	2200	Charcoal Powder Coated

DOOR SCHEDULE						
Type Mark	Count	Level	Model	Width	Height	Finish
D1	2	GROUND FLOOR	SELF CLOSING TUMBLER DOOR	1000	2000	Charcoal Powder Coated
D2	2	GROUND FLOOR	SELF CLOSING TUMBLER DOOR	1000	2000	Charcoal Powder Coated
D3	2	GF & FF	Sliding Glass Panel Door	2100	2700	Charcoal Powder Coated
D4	2	GROUND FLOOR	Sliding Glass Panel Door	2000	2700	Charcoal Powder Coated
D5	1	LOWER GROUND	FRAMES LEFT GARAGE DOOR	1800	2200	Single Point

**STRATHFIELD COUNCIL
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**DADA2021/213
12 October 2021**



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A1 ORIGINAL SIZE

Rev.	Date	Description	By
1	10/21	ISSUE TO TOWN PLANNING	UK
2	08/21	ISSUE TO TOWN PLANNING	UK
3	07/21	ISSUE TO TOWN PLANNING	UK

Client: Miss Bonita Ko & Mr. Nicholas Barbey

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Consultant: PRAGASA PLANNING
Address: Level 10, 11-15 Deane Street,
Burwood NSW 2134
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STORMWATER
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e-mail: petrko@kozarski.com.au

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Phone: 02 9622 5312
e-mail: enquiries@concept.net.au

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Phone: 0404 519206
e-mail: trent@surveyors.com.au

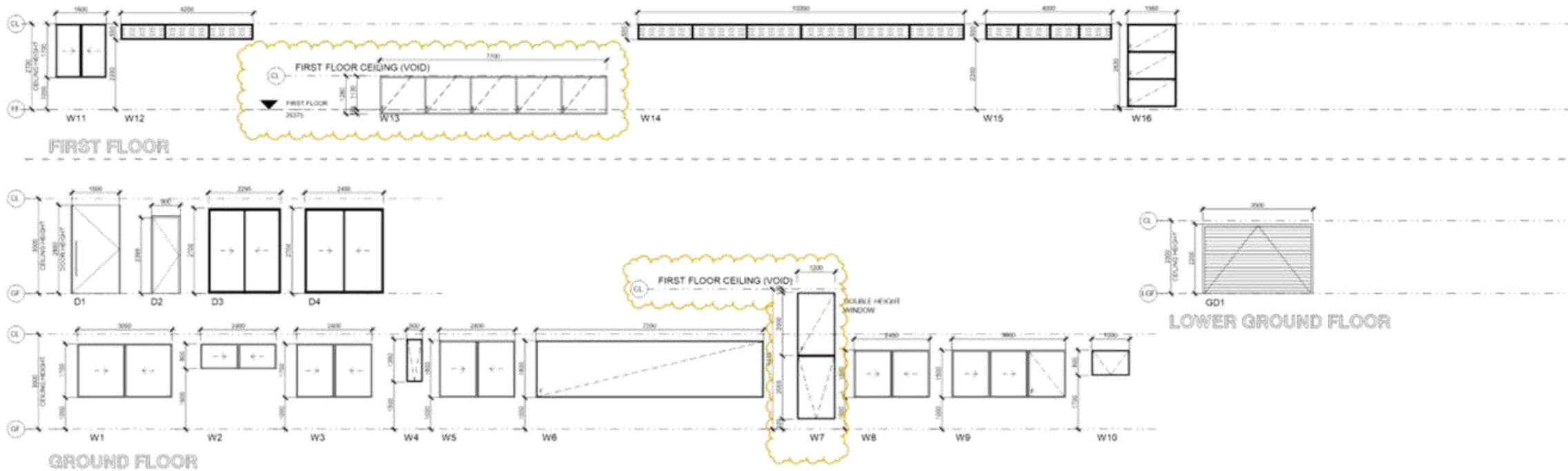
RESIDENTIAL DEVELOPMENT
6 HEYDE AVE, STRATHFIELD NSW 2135

DRAWING TITLE: Window and Door Schedule

Date:	MAR 2021	Drawing No.:	
Scale:	As indicated	Project No.:	D1909
Client/Check:	AB / DR		

17

D.A. SUBMISSION



BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1048924S_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1048924S lodged with the consent authority or certifier on 04 August 2020 with application 2020/141.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Monday, 09 August 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	6 Heyde Ave, Strathfield_03	
Street address	6 Heyde Avenue Strathfield 2135	
Local Government Area	Strathfield Municipal Council	
Plan type and plan number	deposited 1251201	
Lot no.	3	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 59	Target 50

Certificate Prepared by
Name / Company Name: Greenview Consulting Pty Ltd
ABN (if applicable): 32600067338

**STRATHFIELD COUNCIL
RECEIVED
DA2021.213
DATE 20 August 2021**

Description of project

Project address	
Project name	6 Heyde Ave, Strathfield_03
Street address	6 Heyde Avenue Strathfield 2135
Local Government Area	Strathfield Municipal Council
Plan type and plan number	Deposited Plan 1251201
Lot no.	3
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	564
Roof area (m ²)	247
Conditioned floor area (m ²)	313.0
Unconditioned floor area (m ²)	15.0
Total area of garden and lawn (m ²)	241

Assessor details and thermal loads	
Assessor number	DMN/13/1645
Certificate number	0006335830
Climate zone	56
Area adjusted cooling load (MJ/m ² year)	26
Area adjusted heating load (MJ/m ² year)	40
Coiling fan in at least one bedroom	No
Coiling fan in at least one living room or other conditioned area	No
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 59 Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 116.9 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction		Area	
floor - concrete slab on ground		196.0 square metres	
floor - suspended floor/open subfloor		16.0 square metres	
floor - suspended floor above garage		All or part of floor area	

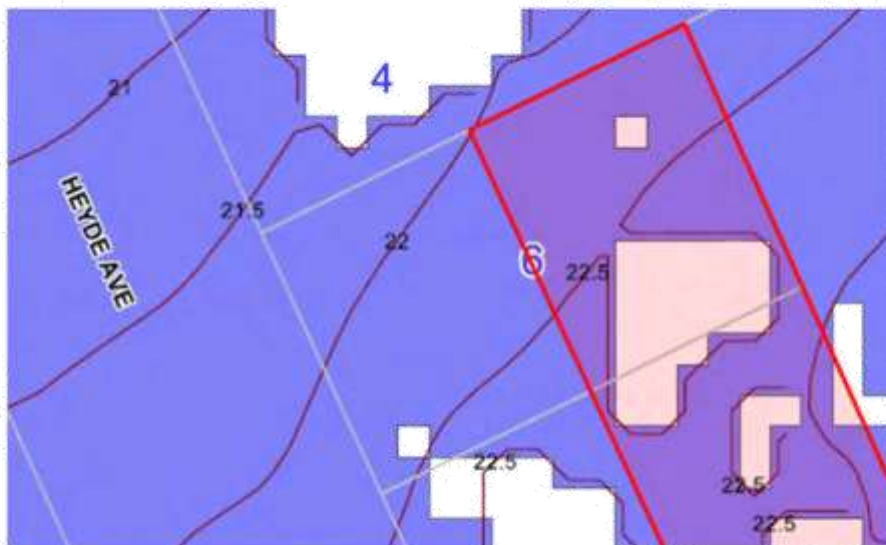
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 6 of the bedrooms / study; dedicated		✓	✓
• at least 2 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> • all bathrooms/toilets, dedicated • the laundry, dedicated • all hallways, dedicated 		✓ ✓ ✓	✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

**Flood Assessment Report for proposed new dwelling at
No. 6 Heyde Avenue, Strathfield**

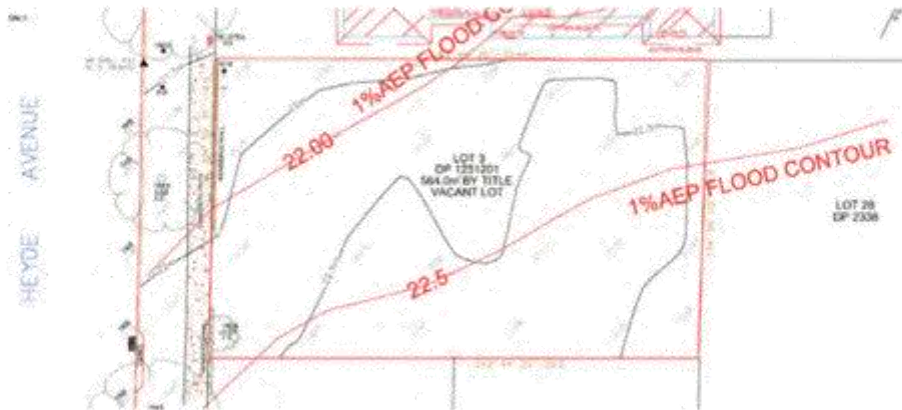
Introduction



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DA2021.213

DATE 20 August 2021

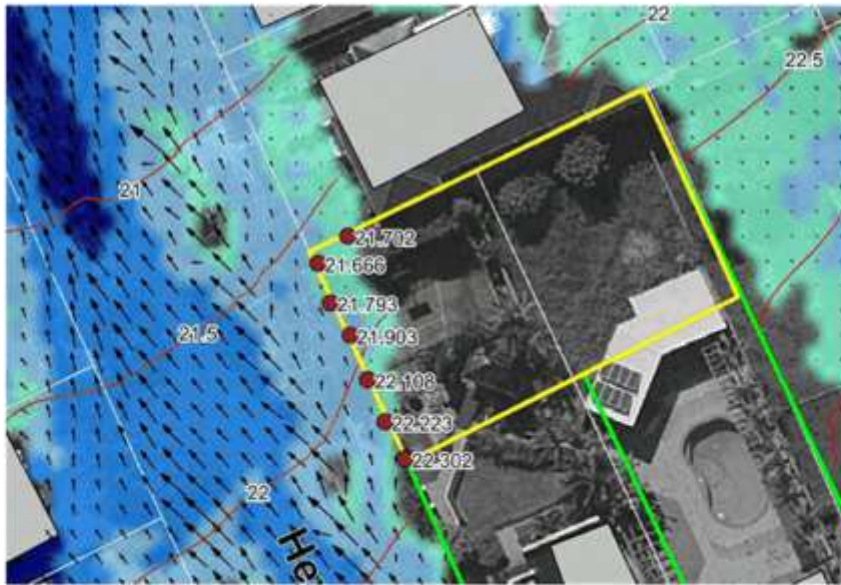


Modelling





Flood assessment



Flood Risk Management

Floor levels.

Our Lady Aged

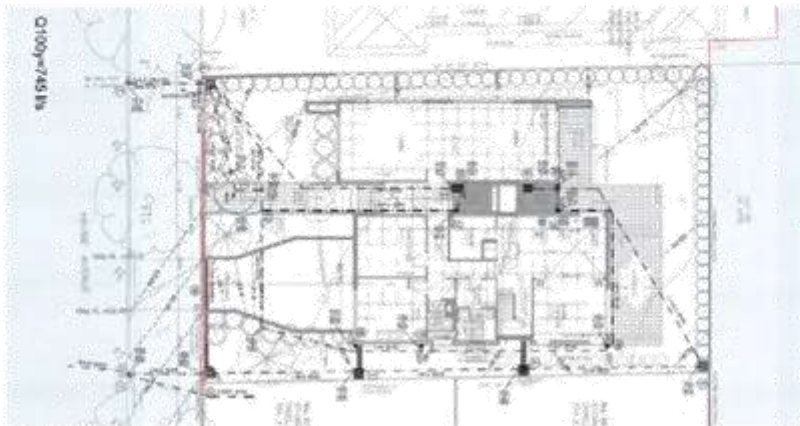
Care Centre Ltd v City of Parramatta Council [2020] NSWLEC 1596, commissioner Espinosa held [at 25]).

Flood Effects

Parking and Driveway Access.

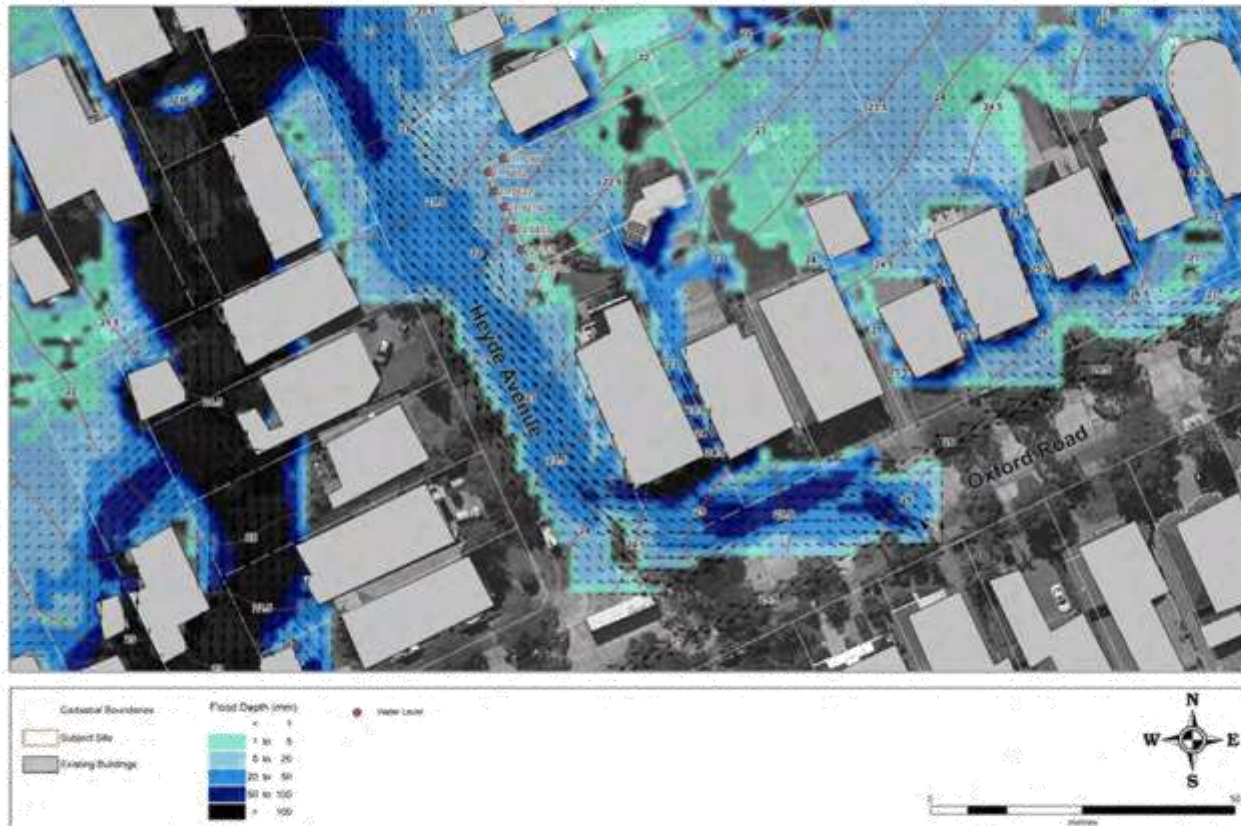
Evacuation

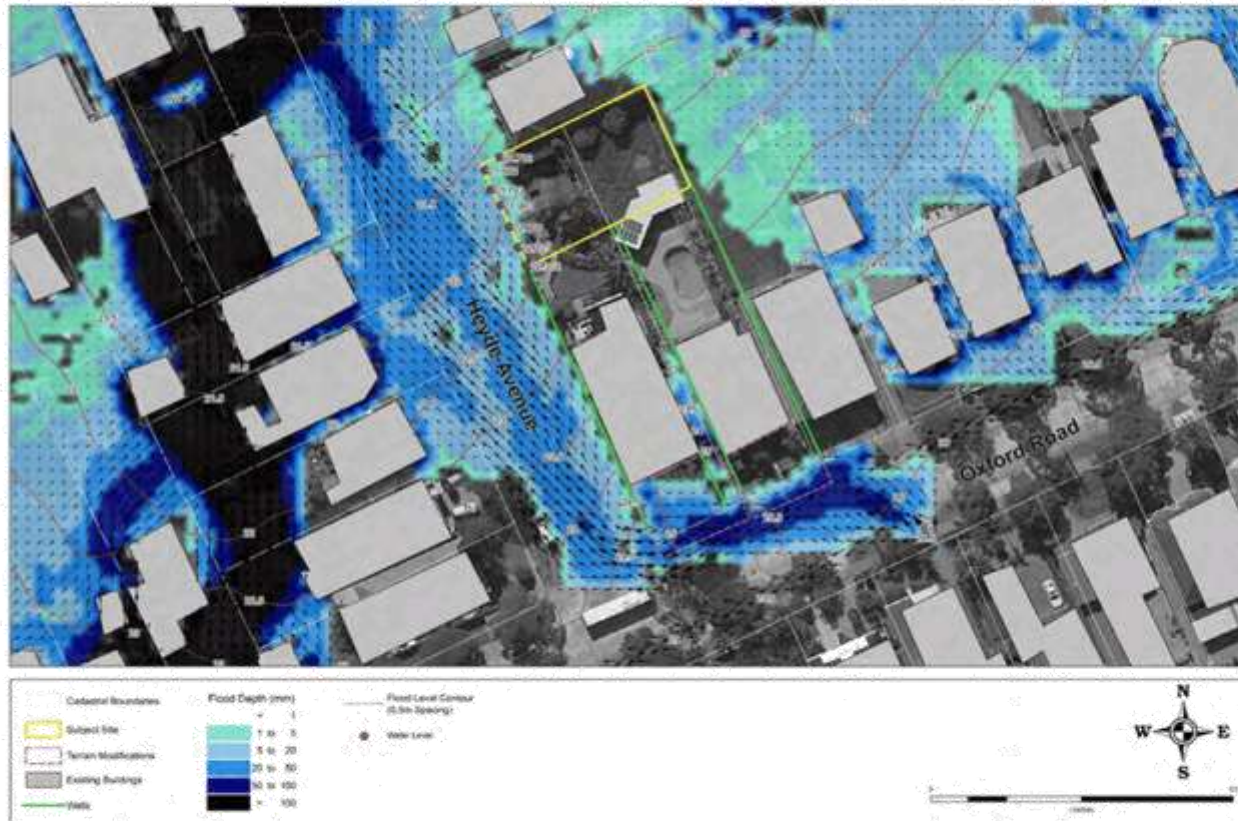
Stormwater

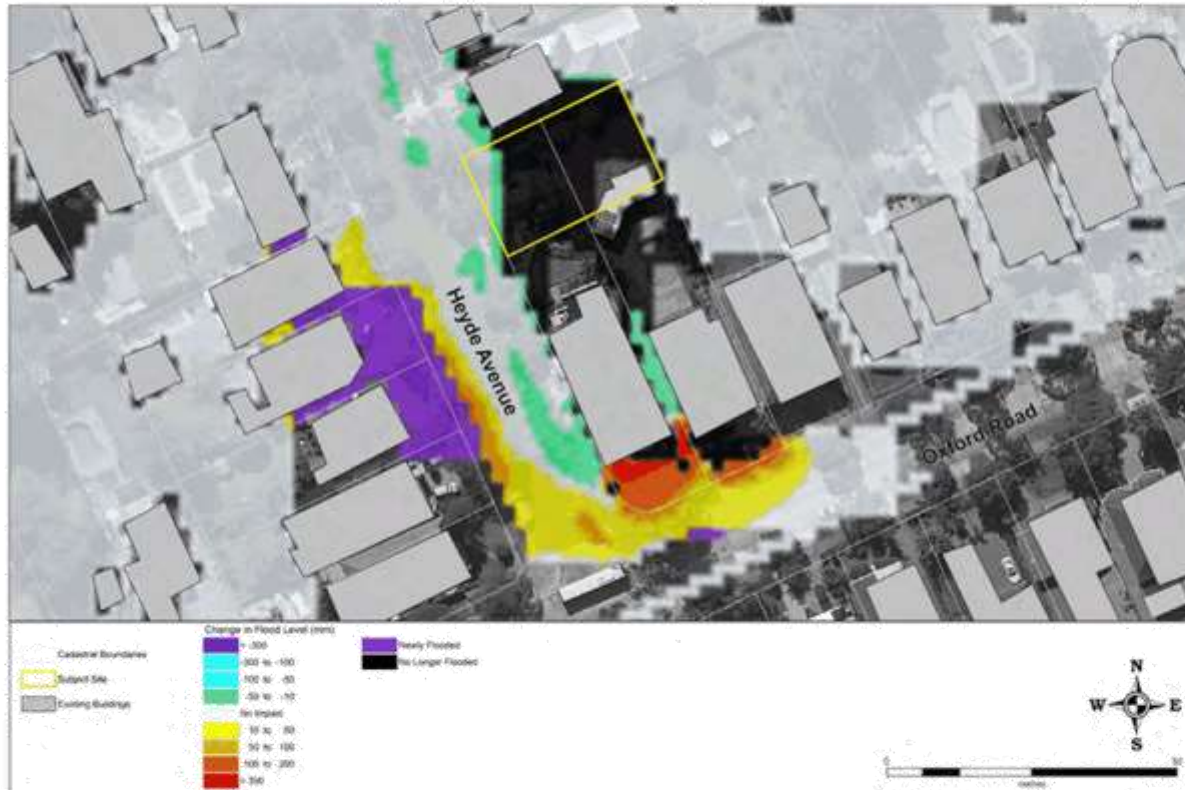


A handwritten signature or set of initials, possibly 'JG', located below the architectural drawing.

**Appendix A
Flood Maps**







Appendix A
Flood Emergency Response Plan

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CURRICULUM VITAE

Name Pavel Kozarovski

Date of Birth 1957

Nationality Australian

Education BE (Civil), 5.5 years course at the University Cyril and Metodij,
 Skopje, Macedonia, January 1982

Awards Jaroslav Cherni award for the best marks in the final year of 1981
 Jaroslav Cherni award for the best final thesis in 1982

Languages English, Russian, Macedonian, Serbian

Memberships Institution of Engineers Australia, CPEng, NPER-3

Employment Record

<i>Year</i>	<i>Firm</i>	<i>Position and Responsibilities</i>
1989 – present	Kozarovski and Partners	Water Resources and Drainage Engineer
2002 – 2005	DHI Water and Environment Pty Ltd	Principal Water Resources Engineer
1991 – 2002	SMEC Australia Pty Ltd.	Principal Water Resources Engineer
1990 – 1991	Willing and Partners	Project Engineer
1989 – 1990	NSW Public Works Department.	Project Engineer
1982 – 1989	Mavrovo, Macedonia	Senior Engineer

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Experience Record

<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
1989-present	More than 3000 small scale stormwater drainage projects.	Hydrologic/hydraulic/water quality modelling of stormwater drainage systems, flood studies, on site detention design, rain-water tank design and preparation of stormwater drainage plans for DA submissions, detailed design for Construction Certificate submissions, site inspections and Certificates of Constructions. The complexity varies from single dwellings to multi-storey, multi-unit developments.
2019	Review of Hunter and Central Coast WATHNET model	Sub consultant to WREMA. Review of the WATHNET model.
2019	Water balance model selection	Sub consultant to WREMA. Desktop review of available water balance model and recommendation of the selected model to SEQ Water.
2018	Toowoomba Water Supply	Optimisation of Toowoomba Water supply system using WATHNET.
2017-2018	WATHNET/MetroNet runs	Assisting the NSW Department of Planning and Environment in adding/altering the existing WATHNET/MetroNet model (Sydney Water Supply Optimisation model) and analysing different environmental flow scenarios.
2016	Review of Sydney Water Supply System	Part of a team reviewing the performance of the Sydney Water Supply System against the license requirements.
2016	Armidale Reliable Yield	Sub consultant to WREMA. Generation of monthly stochastic climate, streamflows and demand. Water balance analyses of the Armidale water supply system to assess its reliability.
2015-2016	Armidale Secure Yield	Sub consultant to WREMA. Water balance modelling using WATHNET to determine the secure yield for Armidale.
2015	Adelaide Water Supply, advice to EWater	Provided advice to Ewater on incorporation of SA HOMA system into SOURCE
2013	Fish River Save Yield	Sub-consultant to SKM. Hydrological modelling of the Fish River System, water balance modelling aiming at increase safe yield of the system. The work involved mostly providing advises to SKM.
2011, 2012	Upper Macquarie River Hydrology	Sub-consultant to Geolyse. Establishment and calibration of hydrological model representing the upper portion of Macquarie River (upstream of the confluence with Turon River), simulation of streamflows and demands for 16 climate change scenarios.
2011, 2012	Development of integrated water balance model for Adelaide	Sub-consultant to MWH. Water balance simulation of Adelaide water supply system using demands generated by the water tracking model, inflows derived as disaggregated monthly flows and the historical data in order to minimise the transfers from Murray River due to the installation of a desalination plant.
2011	Coxs River Storages Yield assessment due to climate change	Sub-consultant to SKM. The historical climate data was adjusted to reflect 3 climate change scenarios. The climate data was used to generate synthetic replicates of climate data. Previously established hydrological and demand models were used to create corresponding streamflow and demand times series. The reliability of the Coxs River system was then determined using WATHNET water balance model.
2011	Development of a probabilistic behaviour demand model	Sub-consultant to SKM. Development of a probabilistic behaviour demand model for Pimpama (Queensland).

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Year	Project	Position and Activities
2010-2011	Upgrade of SCA's WATHNET model to WATHNET eMoga	Sydney Catchment Authority requires that the water balance model used for simulation of the system to provide economical outcomes in parallel with water balance outcomes. A new software package WATHNET eMoga is used to meet the objectives of the project.
2010	Bathurst Water Supply security assessment as a result of a climate change	Sub-consultant to SKM. Hydrological modelling of Fish, Campbell and Macquarie rivers including calibration against historical data and generation of synthetic streamflows for Monte Carlo analysis of the Bathurst water supply system
2010	Coxs River Storages Yield Assessment	Sub-consultant to SKM. Hydrological modelling of Coxs River Catchments including calibration against historical data and generation of synthetic streamflows using generated climate data. Water balance simulation of the water supply system including the extractions from Oberon Dam, Wallace, Lyell and Thompson's Creek Reservoirs, calibration of the model against historical data and simulation of the system's behaviour and it's reliability for a set of generated synthetic climate, streamflow and demand time series.
2010	Akaroa Water Supply	Sub-consultant to MWH for water balance modelling of Akaroa water supply system in New Zealand.
2009	Orange City Council emergency water supply	Sub-consultant to MWH for hydrological modelling, reservoir operation and assessment of security of supply for Orange for various emergency supply pipe line configurations.
2009	Sydney Catchment Authority Water Supply Strategy Review	Sub-consultant to SKM for reservoir operation optimisation using stochastic data generation, demand modelling and Monte-Carlo water balance analysis.
2009	CENTROC Drought proofing of Central NSW	Sub-consultant to MWH for hydrological modelling, stochastic data generation, Climate Change analysis and Monte-Carlo water balance analysis of the Central NSW including Wyangala and Burrendong Reservoirs.
2008	Bathurst IWCM	Sub-consultant to MWH for hydrological modelling, stochastic data generation, demand modelling and Monte-Carlo water balance analysis of Bathurst Water Supply System.
2008	Googong IWCM Study	Sub-consultant to MWH for stochastic data generation, demand modelling and Monte-Carlo water balance analysis of Googong Water Supply System.
2007	Water Hammer analysis of Ugum Water Treatment plant	Sub-consultant to Siemens for hydraulic assessment of transient regimes associated with water hammer due to pump stoppage.
2006-2007	Review of SCA yield estimate	SCA engaged a panel of experts including George Kuzcera, Paul Pretto, Ashish Sharma and Pavel Kozarovski to review the data, methodology, assumptions and the work undertaken by SCA for Sydney System yield estimates.
2006-2007	Lower Richmond River IWCMS	A sub-consultant to JWP for stochastic data generation, demand modelling and Monte-Carlo water balance analysis of Lower Richmond water supply system using WATHNET and demand models.
2006	Beixiaohe Waste Water Treatment Plant, Beijing	Sub-consultant to Siemens for hydraulic assessment and simulation of the proposed micro filtration plant for the 2008 Olympic Games
2006	Cronulla Sutherland Leagues Club Woolooware Masterplan DA Submission - Flooding	Establishment of hydrological and hydraulic models, definition of design sea levels, simulation of design floods, definition of impacts and damages, identification of flood mitigation measures along the tidal channel located west of the Toyota Park as a part of the masterplan DA submission.

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<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
2006	Shoalhaven Integrated Water Cycle Management Study	Sub-consultant to MWH. Development of stochastic demand model and integration with the water balance model.
2006	Pimpama Integrated Water Cycle Management Study	Sub-consultant to MWH. The project involved a development of a strategy for sewer storage, re-use and management aiming at minimising the spills and costs. The work incorporated integration of stochastic sewer model and the corresponding re-use demand model with WATHNET water Balance model of surface storages and aquifer re-charge schemes.
2006	Kyogle Integrated Water Cycle Management Study	Sub-consultant to MWH for Stochastic demand modelling, definition of the impact of rainwater tanks on water savings and on system reliability, and stochastic water balance analyses of Kyogle water supply system.
2005	SCA Drought Management Options	Assisting Sydney Catchment Authority in strategic and tactical planning and drought management. Tasks include: review of hydrology, review of stochastic data generation, analysis of multi-decadal oscillation in weather patterns, review of SCA water balance model.
2005	Caloundra Integrate Water Cycle Management Study	Sub-consultant to MWH for creating a Probabilistic Behaviour Distributed Demand Model, hydrological modelling of stream-flows, water balance modelling, assessment of the current water supply reliability, identification of options for improvement, fine-tuning of the options and optimisation.
2005	RAFTS model for Poulton Park Catchment	Sub-consultant to DHI Australia as a part of Poulton Park Flood Study for Kogarah Council
2005	Snowy Hydro Limited	Scoping study for SHL's system control.
2005	Bateau Bay Landfill rehabilitation	Sub-consultant to URS Australia responsible for flood management works, sub-soil drainage, surface drainage and irrigation works as part of a DA submission to Wyong Council.
2005	On Site Stormwater Management Study for Auckland Regional Council – New Zealand	Hydrological investigation and determination of the required OSD and Orifice size to offset the impact of infill-development in Auckland.
2005	Training	Prepared notes, examples and conducted training for Mike Storm and Mike She to a group of 20 attendances in Auckland, NZ
2005	Gosford Wyong Water Supply, review and update of previous work and models	As a part of a team lead by the Department of Commerce, Pavel was responsible for verification of the hydrological model of the Central Coast streams.
2004	Cairns water supply options study	Responsible for establishment of models and analysis of various augmentation options as a part of the water supply options study undertaken by MWH. The analysis involved fine tuning the timing of augmentations, cost of operation and present net values for each option.

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<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
2004	Parkes Integrated Water Cycle Management	Responsible for hydrological, demand and water balance analyses of Parkes as a part of the IWCM project undertaken by MWH. The project involved collection and analysis of climate and streamflow data, set up and calibration of hydrological models for estimation of inflows into the local dams, establishment and calibration of a distributed probabilistic behaviour demand mode and generation of synthetic climate, streamflows and demand data for each household, establishment of WATHNET water balance model and analysis of options for systems operation optimisation.
2004	training	Prepared notes, examples and conducted training for Mike Storm for 16 attendances at UTS.
2004	Broken Hill Water Supply Strategy	JWP engaged DHI to simulate the operation of the Broken Hill water supply system, aiming at developing an optimal strategy by increasing the reliability of supply, minimising the salt concentration and reducing the cost of operation (particularly the RO plant operation).
2004	training	Prepared notes, examples and conducted training for Mike Storm and Mike She for engineers at Bankstown City Council
2004	RWTs for inland NSW	NSW Ministry of Energy and Utilities engaged Pavel together with Dr. Coombes to develop a regional formulae for sizing rainwater tanks in inland NSW, together with development of an economically based rebate scheme.
2003	Elanora Drainage Study	Pittwater Council engaged DHI to undertake a drainage study of a small urban catchment using the two dimensional model as a catchment and an overland flow model and one-dimensional model to simulate the pipe system. Pits and lintels are modelled as orifice connections between the 1D and 2D models.
2003	Mike Storm Development	Engaged in development of Mike Storm, a suit of hydrological and hydraulic models for simulation of rainfall runoff in urban catchments, including coupling between 2D and 1D models, and development of pollutographs for water quality modelling.
2003	Kempsey – Integrated Water Cycle Management Strategy – Bulk Supply Analysis	Generation of stochastic rainfall and climatological data, development of a probabilistic demand model for simulation of the impact of rainwater tanks, Water Balance simulation and analysis of options for Kempsey Water Supply System.
2003	Kulnura – Mangrove Creek Aquifer Investigation	Representing the Gosford-Wyong Water Supply Authority on the technical panel coordinating the ground water model development and it's interactions with the surface water system.
2003	Klang River Basin Environmental Improvement and Flood Mitigation Project. River Solid Waste Management	Witness testing – physical modelling of River Solid Waste Interception Structures at the University of Technology of Malaysia. Re-finishing the initial design to improve sediment transport and to maximise the capability for trapping of floating litter.
2003	China, Yellow River Water Supply system analysis	Water Hammer analysis of a water supply tunnel under various scenarios of valve operation.
2002/2003	Western Sydney Orbital	Hydraulic modelling of WSO bridge crossings at Eastern Creek and Reedy Creek using Mike-11 on behalf of SMEC Australia Pty Ltd.
2002	Sharks Re-zoning Application	Hydrological, hydraulic and water quality modelling of the existing and proposed systems to quantify the impacts of the proposed development on flooding, hydrological and water quality regime in Woolooware Bay, NSW.

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<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
2002	Alternative Water Pricing for Sydney Water Supply Area.	Development of a concept of Structured Yield and application of the structured yield for definition of water pricing based on reliability of supply. The project is undertaken for the Hawkesbury-Nepean Environmental Flows Expert Panel on behalf of NSW IPART.
2002	Klang River Basin Environmental Improvement and Flood Mitigation Project. River Solid Waste Management	Hydraulic Engineer responsible for the development of principles for river solid waste interception and extraction, application of the principles to a concept design of seven river solid waste interception and extraction structures on Klang River (KL, Malaysia) and its tributaries.
2001/2002	Hawkesbury-Nepean Environmental Flows Expert Panel	Water Resources Modeller, assessment of Sydney Water Supply System reliability criteria and pumping costs, implications for various combinations of environmental flow releases.
2001	Northern Territory, Warrai Dam pre-feasibility study	Project Engineer, identification of the layout of the scheme, determination of the installed capacities and simulation of the financial scenarios.
2001	Drought Management Plan for Sydney Catchment Authority, Australia	Agency hire services to Sydney Catchment Authority for preparation of a Drought Management Plan (DMP).
2000/01	Cross Drainage Investigation, Upper Canal, Australia	Project Manager, Hydraulic Engineer. Upper Canal transports water from the Upper Nepean Dams to Prospect reservoir as a part of the Sydney Water Supply System. The canal is approximately 70 km long with series of tunnels and aqueducts. The rainfall runoff is transported across the canal by some 300 flumes, culverts and siphons. The project incorporated inspection, asset register, identification of corrective maintenance, assessment of a probability of any spill into the channel, identification of an average annual contamination hazard development of strategies for hazard reduction.
2001	Gosford-Wyong Water Supply - Hydrology	Several studies have been undertaken in the past to extend the historical streamflow data for the Gosford Wyong Water Supply Authority. A Hidden State Markov Chain model was applied to explain the wet and dry sequences. "DRIP", a synthetic rainfall generation software developed by Dr. George Kuzcera from University of Newcastle, was applied to simulate the stochastic rainfall within the states. The generated rainfall sequences were used to produce synthetic streamflows using Monash model.
2000	Hydraulic modelling of the operation of a micro-filtration plant, Australia	Project Manager, Hydraulic Engineer. Modelling of transient regimes of a water filtration plant in various modes of operation.
2000	Benson Basin, Shellharbour, Australia	Project Manager, Hydrologist. Analysis of existing stormwater detention basins (three basins in a cascade) to determine their ability to control the increase in peak flood flows due to urbanisation of the upstream catchment.

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Year	Project	Position and Activities
1999/00	Aral Sea Basin Program, Water and Environmental Management, Component C: Dam Safety and Reservoir Management, Central Asia	Hydrologist, Hydraulic Engineer. The project involved a safety assessment of and a development of reservoir management strategy for 10 dams in Central Asian States of Uzbekistan, Tajikistan, Turkmenistan, Kazakhstan and Kirgizstan and safety assessment of Lake Sarez (a land slide dam 650 m high). The dams vary in size from 15 m to 300 m high (Nurek Dam is currently one of the highest dams in the world), with reservoir capacities ranging from 200 000 ML to 20 000 000 ML (Toktogul). Mr. Kozarovski was in charge of software development, establishment and calibration of hydrological models (catchment areas from 1000 to 174 000 km ²), definition of design time series of climatic variables which would result in a PMF event (precipitation, precipitation and snow melt or snowmelt and glacier melt only), establishment of hydraulic and dam break models and training of the local experts.
1999	Old Farm LES – Drainage and Nutrient Management Strategy, Australia	Hydrologist, Water Quality Engineer. Development of a storm-water management strategy for a 224 ha residential area within Deep Creek Catchment, about 3 km west of the Wyong Township, NSW.
1999	Carroll to Boggabri Flood Study, Australia	Hydraulic Engineer. Extension of the existing hydraulic model based on MIKE-11 software package, developed by DLWC for Carroll and Gunnedah to incorporate rural areas and to make it suitable for assessment of the impacts of agricultural developments on flood behaviour.
1999	Yelgun to Chinderah Pacific Highway upgrade, Australia	Hydraulic Engineer. Energy dissipaters design for the transverse drainage associated with the bid for the Pacific Highway upgrade between Yelgun and Chinderah, NSW.
1999/00	Warragamba Auxiliary Spillway Design, Australia	Stormwater Drainage and Water Quality Engineer. Detailed design of the erosion and sediment control structures associated with the Auxiliary Spillway Construction.
1999	Riverstone Release Area Trunk Drainage Study, Australia	Project Hydrologist. The tasks involved establishment and calibration of a hydrologic model and simulation of design floods for existing conditions. Changes to proposed land use were incorporated into the model, which allowed definition of strategies to control the quantity of the runoff similar to pre-development conditions.
1998/99	Harrington Park Water Quality System – detailed design, Australia	Project Engineer. Definition of the final layout of the water quality control system and its dimensions, taking into account the performance targets, the morphological and geo-technical conditions, construction costs, extent of existing and future vegetation zones, creation of pleasant aesthetic outlook, preserving and enhancing in the same time the existing habitats.
1998	Windamere Dam PMF, Australia	Project Hydrologist. The study involved establishment and calibration of a hydrologic model based on RAFTS-XP software package.
1998	Warragamba Auxiliary Spillway Bid, Australia	Stormwater Drainage, Water Quality and Flood protection Engineer. The bid documents contained detailed design of the major structures associated with the Auxiliary Spillway Construction.

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Year	Project	Position and Activities
1998	Nerang 2D hydrodynamic and water quality modelling, Australia	Hydrologist, hydraulic modeller. The Nerang System is contained of a river with extensive floodplains and channels. A number of channels were constructed in the past as a part of exclusive water front residential developments. The water flow is fully two dimensional through the channels and the floodplains. Approximately 200 bridge and culvert structures were incorporated into the structures routine specifically developed during the project for integration with a 2D model. Mike-21 model however was applied by other SMEC's engineers, as the initial 2D model was not delivered by the provider.
1998	Gosford-Wyong Water Supply simulation, Australia	Expert advice on establishment, calibration and application of the Gosford-Wyong water supply system model based on WATHNET. The project involved definition of environmental flow requirements, definition of demand restriction policy and definition of time when augmentation of the system would be required.
1998	Potts Hill Reservoir Upgrade Bid, Australia	Hydraulic modeller, Civil Engineer. Assessment of the performance of the existing system of reservoirs and water transfers capabilities and design of the new reservoirs and conduits aiming at maximising the transfer capacity and minimising the construction and maintenance costs as a part of turn key project bid for Sydney Water.
1997	Nathan Dam construction bid, Australia	Expert advise on structured yield of the system. The defined structured yield was used to determine the value of water allocation licences as a function of reliability of supply.
1997	Wellington Reliable Yield Analysis, New Zealand	Water Resources Modeller, Project Engineer. The Wellington Water Supply System draws water from a complex run off river headworks system. The study involved extension of historical streamflows and other climatic data. Water production and consumption series were extended using a demand model. The surface and ground water system and their interactions were simulated using WATHNET- a daily time step, generalised water balance model.
1997	Detailed design of Gooden Reserve Detention Basin, NSW Australia	Project Engineer responsible for design of erosion protection measures, and a fuse plug spillway.
1997	Homebush Bay Olympic Site Development, Infrastructure Package 3, NSW, Australia	Project Engineer responsible for design check and supervision of stormwater drainage and water quality design undertaken by other engineers in SMEC.

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1993/96	Sydney Water Supply Strategy Review - Phase 2 Investigation, New South Wales, Australia	Project Manager, Water Resources Engineer. The aim of the study was to optimise operation of the Sydney headworks water supply system. The Sydney headworks system includes nine reservoirs. Historical streamflows and climatological data were used to generate 2 000 replicates of synthetic data with a length of 50 years for use during simulation and optimisation runs. A demand model was developed and linked to generated streamflows and climatological data by other consultants, and 2 000, 50 years long replicates of synthetic demand were produced. Network linear programming was used to optimise the distribution of water in space and time in order to obtain maximum reliability of the system and to minimise the expenditure related to pumping and water purification. WATHNET (a generic water balance model developed by Dr George Kuzcera from University of Newcastle) was utilised to model this complex system in both simulation and optimisation model.
1996/97	River Torrens Hydraulic Modelling and Flood Mapping, South Australia, Australia	Hydrologist, Hydraulic modeller, Programmer. The study involved hydraulic modelling, using MIKE-11 and BOSS DamBrk models. The results were linked to MapInfo, which allowed mapping of the flooding extents, flood hazard categorisation, flood damage and population at risk for each run of MIKE-11. A suit of programs was developed to automate the mapping process.
1995/96	Water Supply options report for Lower Bellinger, New South Wales, Australia	Water Resources Engineer, Civil Engineer. Tasks involved identification of headworks augmentation options for water supply of Lower Bellinger. The investigation involved identification of feasible options, determination of yield, cost, environmental constraints and a comprehensive community consultation.
1996	Wyangla Dam PMF study, New South Wales, Australia	Hydrologist. The study involved establishment and calibration of a Hydrologic model based on RAFTS-XP software package.
1995	Gosford-Wyong Water Supply - Hydrology, New South Wales, Australia	Project Manager and Hydrologist for hydrologic investigation of stream-flows in Mangrove Creek, Wyong River, Ourimbah Creek and their tributaries. The project involved data collection and analysis, establishment of Monash a hydrologic model, calibration of the model, extension of stream-flows using historical rainfall and the calibrated model and synthetic data generation using AR(1) time series model.
1995	Water Cycle Management Study - Sydney West Airport Sub-Region	Water Supply Engineer. A water cycle management study for the western area of Sydney located between Liverpool, Camden, Penrith and St Marris which is likely to undergo major urban development in the near future.
1995	West Ryde Drainage Study, Australia	Project Engineer. Drainage analysis to solve flooding problems at West Ryde Commercial centre, which suffers flooding at 2-3 year intervals.
1995	Fiat Rock Creek Flood Study, New South Wales, Australia	Project Manager, Hydrologist and Hydraulic Modeller. A lcasical flood study based on hydrological and hydraulic simulation of flood behaviour of a natural Creek in an urban environment.
1994	Towradgi Creek Flood Study, New South Wales, Australia	Hydrologist, Hydraulic Modeller. A flood study of a small catchment located on the Illawarra escarpment featuring steep rainforest areas, fully urbanised areas and tidal downstream reaches.

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<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
1994	Merewether Flood Study, New South Wales, Australia	Expert Adviser. A flood study of fully urbanised catchment in Newcastle, which incorporated establishment of hydrologic and hydraulic models, calibration of the models and assessment of the flooding during design storms.
1994	River Torrens Hydrologic Study, South Australia, Australia	Hydrologist. A hydrologic study of River Torrens Catchment. Hydrological modelling and joint probability analysis of floods downstream of the reservoirs.
1994	Avon Mini Hydro Power Station, New South Wales, Australia	Project Manager, Civil Engineer. A feasibility study of potential for energy production utilising the available head and flow through the Illawarra water supply system.
1994	RAAF Williamtown Stormwater Drainage Investigation, New South Wales, Australia	Project Manager, Civil Engineer. Condition inspection and hydraulic modelling to determine the mechanism of sand intrusion, and to define the measures which could solve the current problems.
1993	Gooden Reserve Drainage Study, New South Wales, Australia	Project Manager, Hydrologist, Civil Engineer. A conceptual flood mitigation plan for the Gooden Reserve to control the flooding of properties in the catchment.
1993	Golok River Flood Study & Lemal Irrigation Area, Malaysia	Hydrologist and Hydraulic Modeller. As part of a major project undertaken by SMEC, to assess flooding and flood mitigation works in the Golok River Area, a hydraulic model was established for the Lemal irrigation catchment.
1993	Stormwater Drainage Master Plan, Kuala Lumpur International Airport, Malaysia	Expert advice and training of local consultant's engineers on hydrologic and hydraulic modelling during the preparation of the Stormwater Drainage Master Plan.
1992	Botany Wetlands Flood Study, New South Wales, Australia	Project Manager, Hydrologist, Hydraulic Modeller for the hydrologic and hydraulic study of Botany Wetlands, Sydney. RAFTS and Mike-11 hydrological and hydraulic models were used.
1992	Sydney Airport Third Runway Construction Bid, New South Wales, Australia	Detail design of stormwater drainage design associated with the Third Runway Construction bid by Concrete Construction Pty Ltd.
1991	Caboolture Flood Study (350 km ²), Queensland, Australia	Hydraulic Modeller for a flood study of Caboolture River in Queensland. An EXTRAN based hydraulic model was calibrated using the derived discharge hydrographs and recorded maximum flood levels. The calibrated models were then used to determine the synthetic flood behaviour.
1992	Wombarra Project, New South Wales, Australia	Hydrological investigation of Wombarra catchment North of Wollongong. This study incorporated an assessment of the design flood behaviour for existing catchment conditions and for several mitigation options. Responsibilities within this project were for the hydrologic modelling and hydraulic design.
1992	Golok River Flood Study, Malaysia	Hydrologic modelling of Golok River catchment, Malaysia, using Monash hourly model, frequency analyses of rainfall data and definition of design rainfall temporal patterns.
1991	Power Street Bridge Investigation, New South Wales, Australia	Definition of Power Street Bridge flow areas using criteria not to increase 100 year ARI flood levels in Eastern Creek more than 0.1 m.

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Year	Project	Position and Activities
1991	Eastern Creek Sub-catchments Flood Study, Links 16 and 17, New South Wales, Australia	Hydrologist. Flood study including hydrologic investigations, hydraulic modelling, flood damage identification and economic evaluation of urban part of Eastern Creek catchment (City of Blacktown, Sydney) using RAFTS hydrologic model and EX-TRAN unsteady flow quasi two-dimensional hydraulic model.
1990/91	Lower Nambucca Flood Study, New South Wales, Australia	Hydrologist, Hydraulic Modeller. Hydrologic modelling of Nambucca River catchment using RAFTS hydrologic model and hydraulic modelling of tide affected river network with wide floodplain using quasi two-dimensional dynamic unsteady flow model MIKE-11.
1990	South Creek Floodplain Management Study, New South Wales, Australia	Hydrologist, Hydraulic Modeller. Hydrologic modelling using RAFTS, hydraulic modelling using unsteady flow model MIKE-11 and steady flow model HEC-2.
1990	Goyen Controls Flood Protection Works, New South Wales, Australia	Civil Engineer. Involved hydrologic, hydraulic and reservoir modelling to design, and evaluated flood protection measures for a large industrial site. The works included pumpout facility and onsite flood storage basin.
1990	Minmi Road Filling, Wallsend, New South Wales, Australia	Hydrologist. Investigation of hydraulic impacts of floodplain filling using HEC-2 model.
1990	Wooli River Flood Study, New South Wales, Australia	Hydraulic modeller. The Wooli River Study involved hydrologic modelling of the catchment runoff using RORB and WBNM hydrologic models and MIKE 11 hydraulic model.
1990	Cabbage Tree Creek Flood Study, New South Wales, Australia	Hydrologist, Hydraulic Modeller. The study involved hydraulic modelling using RORB hydrologic model and MIKE-11 hydraulic model.
1989	Airport Adler/Sochi, former Soviet Union	Project Manager, Civil Engineer. Design of on-site storm pollution control and water recycling systems. Detailed design of sedimentation basins, oil and grease separators, sawdust filters, pumping stations, reservoirs, stormwater drainage, sewerage and water supply for the construction site.
1987/88	"Drizla" Land Fill for the Town of Skopje, Macedonia	Project Manager and Senior Engineer. Detailed design of a sanitary land fill located over an active landslide. The total height of the land fill was 140 m. Other tasks included design of pest control measures, leakage control devices and procedures, methane evacuation structures, fire protection measures and devices, external and internal stormwater channel and pipe networks.
1988/89	Sewerage and Storm Water System for the Town of Bor, Yugoslavia	Hydrologist, Hydraulic Engineer. Hydrologic modelling of the rainfall runoff, hydraulic modelling of the flow through the tunnel and detail design of appropriate structures.
1986/87	Water Supply, Sewerage and Storm Drainage Systems for the Town of Cetinje, Yugoslavia	Project Manager, Civil Engineer for the design of the trunk drainage works, sewerage network and water supply system for the city of Cetinje. The biggest challenge was to ensure proper function of all facilities during the construction works.

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<i>Year</i>	<i>Project</i>	<i>Position and Activities</i>
1982/83	Pena Water Power System, Macedonia	Hydrologist, Hydraulic Engineer, Civil Engineer. The system was based on a cascade of three runoff river power stations, utilising a total head of 1200 m. The investigation included a feasibility study and a detail design. The general system layout was determined by defining the optimum of the net annual income from the expected energy production and the annual construction and maintenance costs. The detailed design was based on refining the pre determined hydraulic dimensions and hydraulic modelling of the specific structures. Two types of hydraulic models were developed, the steady flow model which was used to design the structures associated with the river channel and the unsteady flow model which was used to design the structures associated with the unsteady operation of the turbines. Mr Kozarovski developed the software for the above consultancy, including the unsteady flow model, using the explicit solution of St Venant equations.
1984/85	Kozjak Multipurpose Hydro system, Macedonia	A development of an optimisation algorithms based on dynamic programming.
1985	Mantovo Hydro Power Underground Station, Yugoslavia	Project Manager, Civil Engineer. Feasibility study for assessment of the power production potential from an existing system.
1984	Stenje Multipurpose Reservoir Study, Yugoslavia	Project Manager, Civil Engineer. A single reservoir system planning study involved optimisation of storage capacity, and development of reservoir operating rules.
1985	Vladimirovo Reservoir, Yugoslavia	Programmer, Water Resources Engineer. Dynamic programming of reservoir operation.
1985/86	Radovisko Pole, Yugoslavia	Civil Engineer. 100 ha irrigation system involving definition of optimum layout of the pipe network and detail design of involved structures.

Examples of Publications

P. Kozarovski, "Farm Dams do not affect the large floods, or do they", Melbourne, 1998

R P Ibbitt, P Kozarovski, R D Henderson, Water Supply Planning to meet the resource management act requirements: The Wellington Experience, New Zealand Water & Wastes association annual conference & Expo, Rotorua Convention Centre, 26 – 29 August 1997

I. Salbe, P. Kozarovski, A. Deen, Sydney Water Supply Strategy, Adelaide, Water Down Under 1996

M. Buffil, P. Kozarovski, Cabulture Flood Study 1994



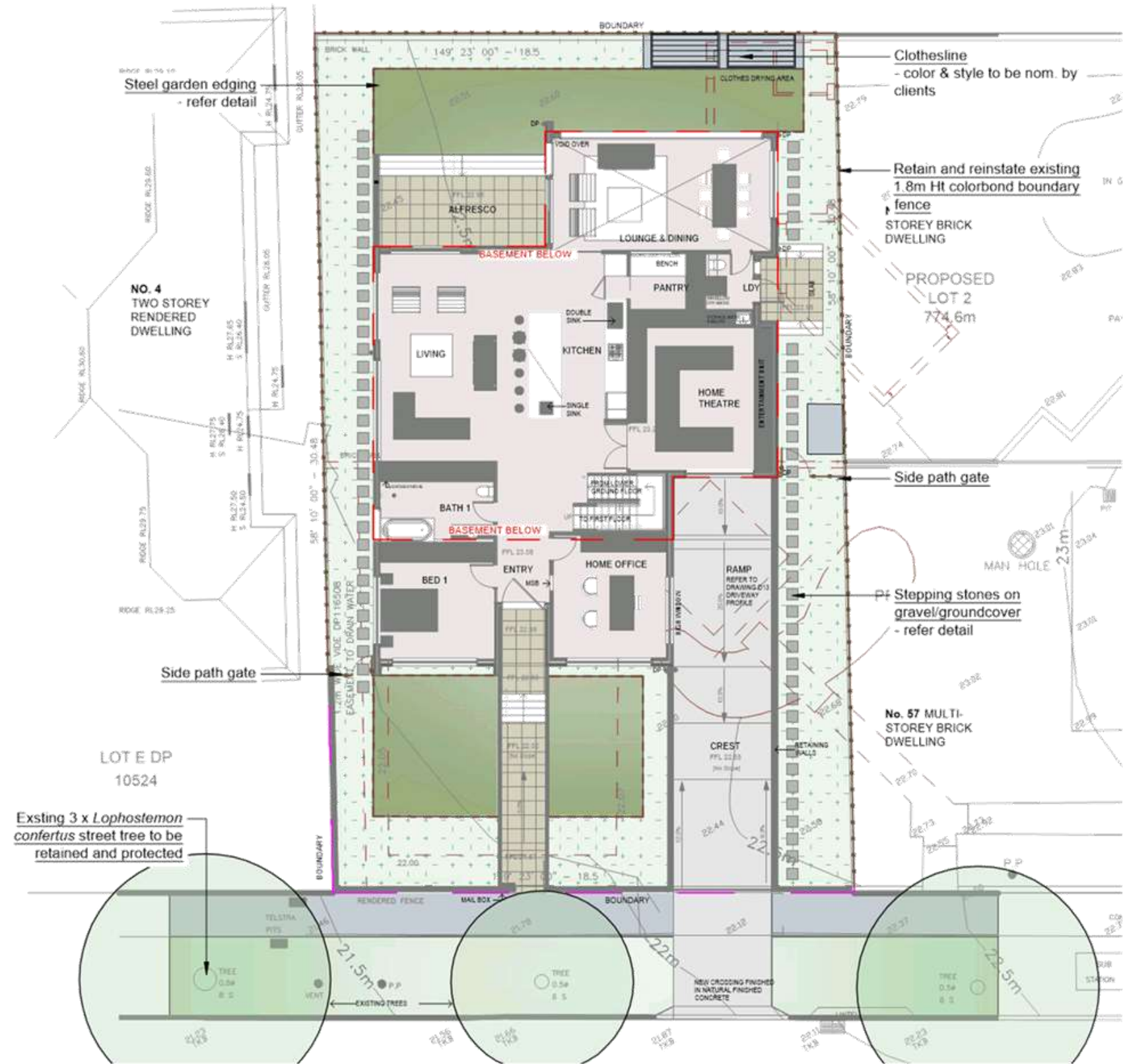
OTHER LANDSCAPE ITEMS

- Steel Garden Edging - refer detail
- Turf area - refer detail
- Stepping stones on groundcover - refer detail
- Retaining / raised planter wall - refer detail
- 1.8m Gate and fence - colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected

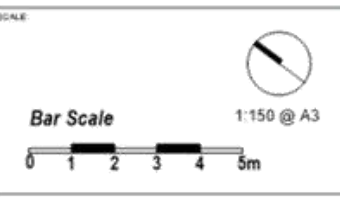
AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS, FOR FUTURE MAINTENANCE.

LANDSCAPE CALCULATIONS

SITE AREA: 563.8m²
REQUIRED LANDSCAPE AREA: 217.06m² (38.5%)
 (1.5M MINIMUM WIDTH)
PROPOSED LANDSCAPE AREA: 225.75m² (40.4%)
REQUIRED LANDSCAPE AREA IN FRONT YARD: 71.5m² (50% x 143m²)
PROPOSED LANDSCAPE AREA IN FRONT YARD: 98.76m²
LANDSCAPE AREA INCLUDE IN CALCULATION:



General Notes:
 1. All dimensions are to be taken from the center of the lot unless otherwise specified.
 2. All dimensions are to be taken from the center of the lot unless otherwise specified.
 3. All dimensions are to be taken from the center of the lot unless otherwise specified.
 4. All dimensions are to be taken from the center of the lot unless otherwise specified.
 5. All dimensions are to be taken from the center of the lot unless otherwise specified.



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COUNCIL: STRATHFIELD
CLIENT: NICHOLAS BARBEY & BONITA KO
ARCHITECT: DEREK RATHBY ARCHITECTURE
STATUS: ISSUE
DA - ISSUE E



TITLE: HARDSCAPE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT
6 HEYDE AVE STRATHFIELD

DWG NO: LPDA 22 - 014 / 1
DATE: AUG 2021
DRAWN: R.H
CHECKED: R.F

Document Set ID: 2140446
 Version: 1 Version Date: 24/08/2021

**STRATHFIELD COUNCIL
RECEIVED**

LEGEND & SCHEDULE

NOTES:
 1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASE.
 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS.
 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
 6. THE NATURE STRATHFIELD LOCAL PLANNING PANEL FOR THE SITE IS PUBLIC LAND. ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COULD BE AFFECTED BY THE PROPOSED CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

Botanical Name: *Elaeocarpus eumundi*
Common Name: Eumundi Quandong (Native)
Pot size: 75L
Mature H x S: 11m x 5m
Qty Required: 1

Botanical Name: *Elaeocarpus reticulatus*
Common Name: Blueberry Ash (Native)
Pot size: 75L
Mature H x S: 10m x 6-7m
Qty Required: 2

SHRUBS AND HEDGES

Botanical Name: *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 300mm
Mature H x S: 3m x 2m
Qty Required: 8

Botanical Name: *Syzygium 'Cascade'*
Common Name: Cascade Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 2.5m x 1.8m
Qty Required: 32

Botanical Name: *Rhaphiolepis 'Oriental Pink'*
Common Name: Indian Hawthorn (Exotic)
Pot size: 300mm
Mature H x S: 1.5m x 1.0m
Qty Required: 9

Botanical Name: *Gardenia augusta 'Magnifica'*
Common Name: Gardenia (Exotic)
Pot size: 300mm
Mature H x S: 2m x 1.5m
Qty Required: 9

Botanical Name: *Nandina 'Flirt'*
Common Name: Nandina Flirt (Exotic)
Pot size: 300mm
Mature H x S: 0.5m x 0.8m
Qty Required: 7

Botanical Name: *Rosmarinus officinalis*
Common Name: Rosemary (Native)
Pot size: 300mm
Mature H x S: 0.6m x 1.3m
Qty Required: 10

ACCENTS

Botanical Name: *Agave tequiliana*
Common Name: Tequila Agave (Exotic)
Pot size: 200mm
Mature H x S: 1.5m x 1.5m
Qty Required: 10

Botanical Name: *Alcantarea imperialis 'Rubra'*
Common Name: Ruby Imperial Bromeliad (Exotic)
Pot size: 200mm
Mature H x S: 0.8m x 0.9m
Qty Required: 2

Botanical Name: *Cordyline 'Red Fountain'*
Common Name: Red Fountain Cordyline (Exotic)
Pot size: 200mm
Mature H x S: 0.8m x 0.8m
Qty Required: 15

Botanical Name: *Aloe hybrids 'Sea Urchin', 'Mighty Gold', 'Mighty Sunset' & 'Mighty Coral'*
Common Name: Aloe (Exotic)
Pot size: 140mm
Mature H x S: 1.5m x 1.5m
Qty Required: 5m² (1.0m² total)

GRASSES / GROUNDCOVERS

Botanical Name: *Cymbopogon nardus*
Common Name: Citronella (Exotic)
Pot size: 140mm
Mature H x S: 0.8m x 0.8m
Qty Required: 16

Botanical Name: *Viola hederacea*
Common Name: Sweet Violet (Native)
Pot size: 140mm
Mature H x S: 0.2m x spreading
Qty Required: 9m² (29.3m² total)

Groundcover Mix A:
Lavandula 'Angustifolia dwarf blue'
Loropetalum 'Isabella'
Loropetalum 'Purple Pixie'
Pot size: 140mm
Mature H x S: < 5m
Qty Required: 5m² (5.0m² total)

Groundcover Mix B:
Cymbopogon nardus (Citronella)
Nepeta cataria (Catnip)
Tagetes patula (Marigolds)
Pot size: 140mm
Mature H x S: < 5m
Qty Required: 5m² (4.3m² total)



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to *Strathfield* Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters' Plant Selector/web site one-dig rated native plants (acceptable for BASIX planting).

Strathfield approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.



<p>General Notes: Figures & dimensions are given to 3 decimal places, unless otherwise stated. PDPs are not to scale. Data for this plan is based on the latest available information. The Landscape Plan is a preliminary plan. Copyright © 2021 Concept Landscape Architecture Pty Ltd trading as CONCEPT (ABN: 75 922 425 830) This drawing is the property of Concept Landscape Architecture Pty Ltd. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Concept Landscape Architecture Pty Ltd.</p>		<p>SCALE: 1:150 @ A3</p>	<p>REV DATE NOTATION/AMENDMENT</p> <p>A 09.7.2021 Preliminary plan prepared for review</p> <p>B 22.7.2021 Coordinate with comments</p> <p>C 02.8.2021 Coordinate with comments</p> <p>D 06.8.2021 Coordinate with comments</p> <p>E 10.8.2021 Coordinate with comments</p>	<p>SOUND: STRATHFIELD</p> <p>CLIENT: NICHOLAS BARBEY & BONITA KO</p> <p>ARCHITECT: DEREK RAITHY ARCHITECTURE</p> <p>STATUS: ISSUE</p> <p>DA - ISSUE E</p>	<p>Phone: 9922 5312 Suite 101, 556 Miller St CAMMERAY NSW 2062</p>	<p>TITLE: LANDSCAPE PLAN</p> <p>PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>6 HEYDE AVE STRATHFIELD</p>	<p>DWG NO: LPDA 22 - 014 / 2</p> <p>DATE: AUG 2021</p> <p>DRAWN: R.H. CHECKED: R.F.</p>
			<p>Document Set ID: 2140446 Version: 1 Version Date: 24/08/2021</p>				

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LEGEND & SCHEDULE

- NOTES:
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 2. ANY PLANT SUBSTITUTES REQUIRED SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM UTILITY LINES.
 5. ALL PLANTING AND RELATED WORKS SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND FINISHED AND FLASHING WITH SURFACE ROOTS.
 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

SHRUBS

Botanical Name: *Banksia 'Birthday Candles'*
Common Name: Banksia Birthday Candles (Native)
Pot size: 200mm
Mature H x S: 0.6m x 0.9m
Qty Required: 3



ACCENTS

Botanical Name: *Agave 'Blue Glow'*
Common Name: Blue Glow Agave (Exotic)
Pot size: 200mm
Mature H x S: 0.6m x 0.75m
Qty Required: 3



Botanical Name: *Alcantarea imperialis 'Rubra'*
Common Name: Ruby imperial Bromeliad (Exotic)
Pot size: 300mm
Mature H x S: 0.8m x 0.9m
Qty Required: 1



Botanical Name: *Russelia equisetiformis*
Common Name: Firecracker (Exotic)
Pot size: 200mm
Mature H x S: 1m x 1.2m
Qty Required: 3



Botanical Name: *Cordyline 'Red Fountain'*
Common Name: Red Fountain Cordyline (Exotic)
Pot size: 200mm
Mature H x S: 0.8m x 0.8m
Qty Required: 2



LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

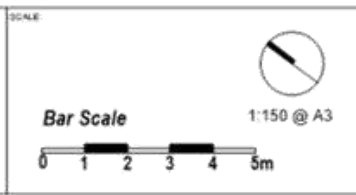
This plan has been prepared with reference to *Strathfield Landscaping Guidelines* & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (acceptable for BASIX planting).

Strathfield approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**



General Notes:
 1. All works shall be completed within the specified time frame and finished and flashing with surface roots.
 2. The nature strip (street frontage) for the site is public land, and only authorized works may occur here. Existing conditions such as street trees, council planting etc shall be retained and protected during construction unless specific approval has been granted for new work in this area.

AILA Associate
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DIAL 1100 BEFORE YOU DIG



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COUNCIL	STRATHFIELD
CLIENT	NICHOLAS BARBEY & BONITA KO
ARCHITECT	DEREK RATHBY ARCHITECTURE
STATUS/ISSUE	DA - ISSUE E

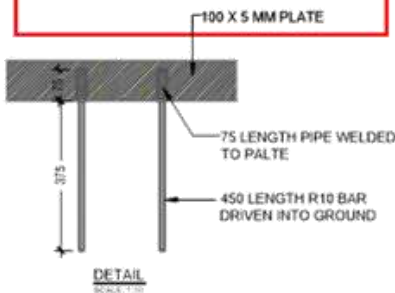
Concept
 Landscape Architects
 Phone: 9922 5312
 Suite 101, 506 Miller St
 CAMMERAY NSW 2062

TITLE	LANDSCAPE PLAN
	PROPOSED RESIDENTIAL DEVELOPMENT
	6 HEYDE AVE STRATHFIELD

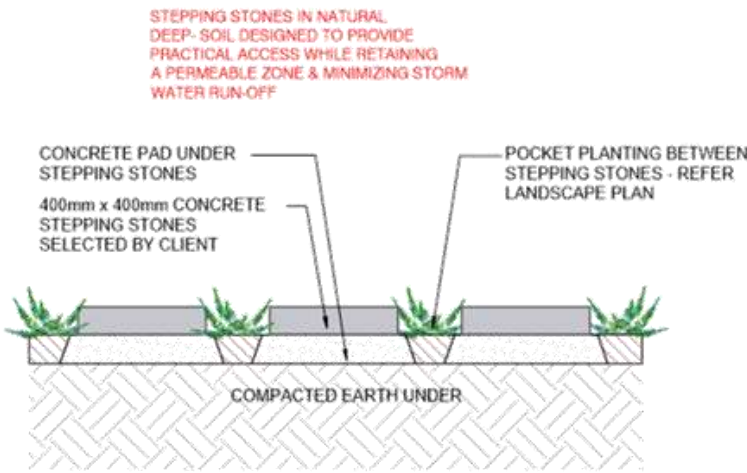
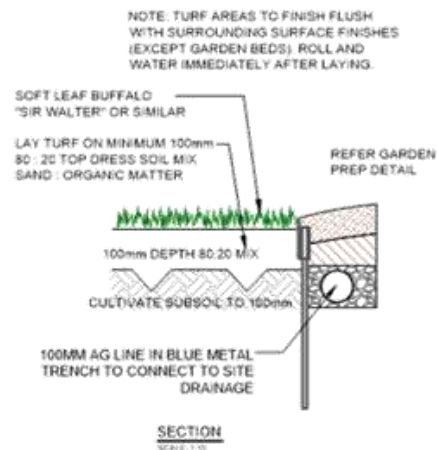
DA/9 No.	LPDA 22 - 014 / 3
DATE	AUG 2021
DRAWN	R.H
CHECKED	R.F

Document Set ID: 2144046
 Version: 1
 Version Date: 24/08/2021

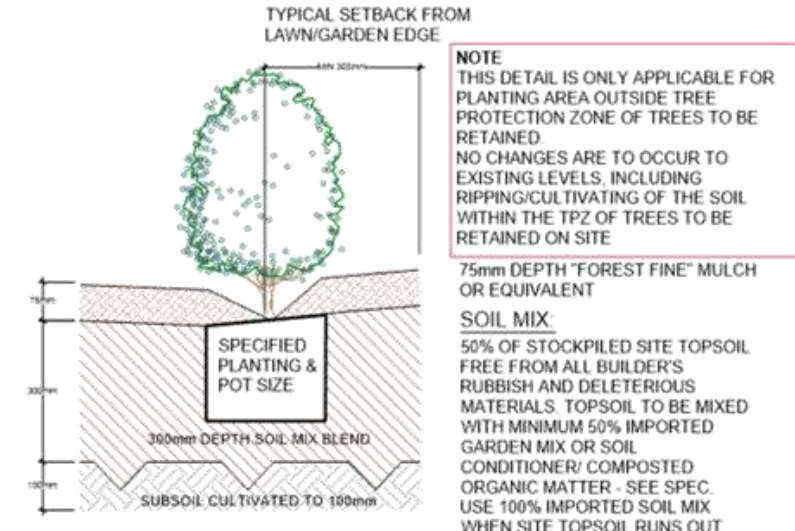
STRATHFIELD COUNCIL RECEIVED
DA2021.213
 AT JUNCTIONS FIX 150 LENGTH PLATE ACROSS JOIN, FIX WITH BOLTS
DATE 28 August 2021



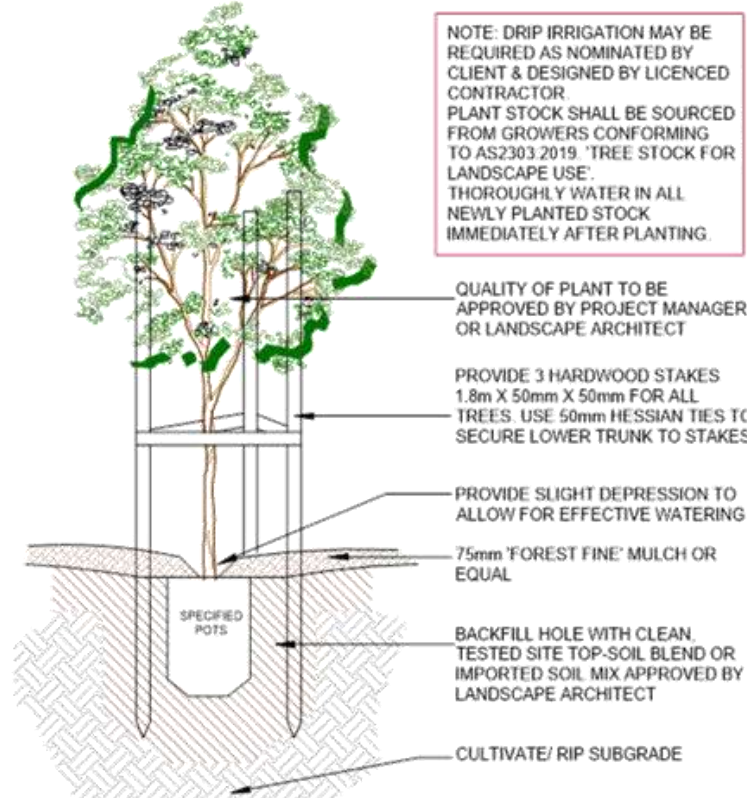
STEEL EDGE DETAIL
SCALE: 1:10



STEPPING STONES IN GROUNDCOVER PLANTING
SCALE 1:10

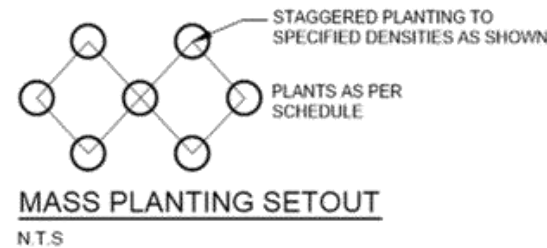


TYPICAL GARDEN PREPARATION DETAIL
SCALE 1:10



TREE PLANTING DETAIL
SCALE: N.T.S

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



MASS PLANTING SETOUT
N.T.S



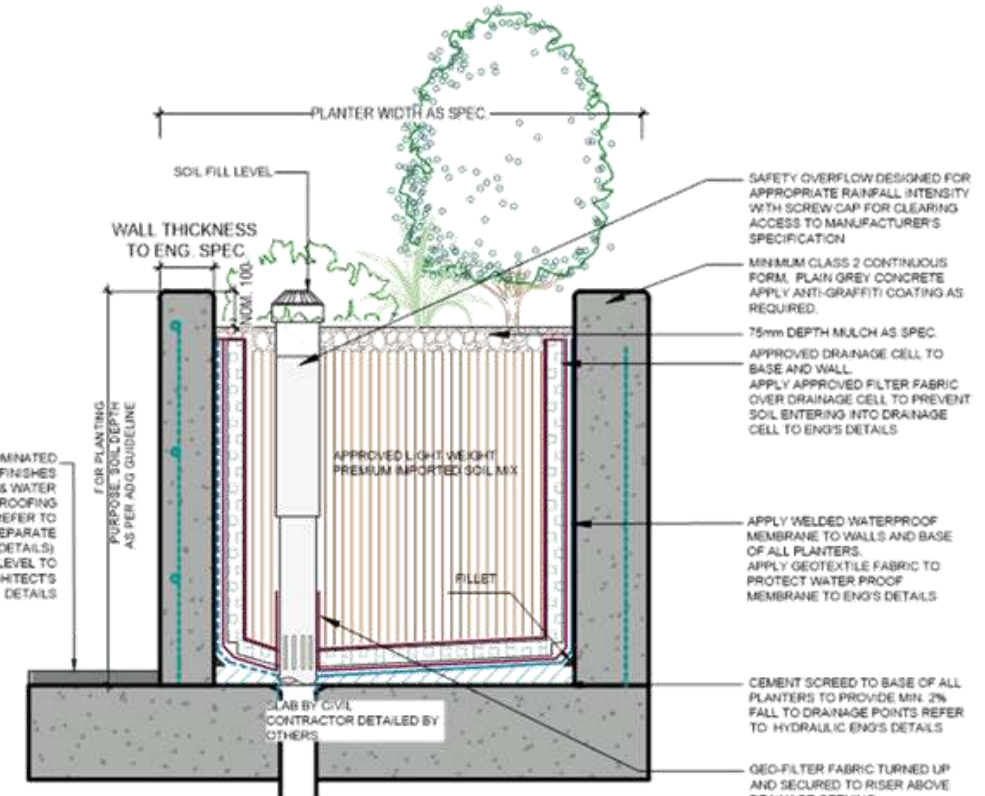
OVERFLOW (TO SUPPLIER'S SPECIFICATION)

NOTE (BCA COMPLIANCE)
 WHERE NO EXTERNAL BALUSTRADE IS PROPOSED THE INTERNAL PLANTER WALL FACE MUST BE NON-CLIMBABLE TO A HEIGHT TO MEET AS & BCA COMPLIANCE.

NOTE (DRAINAGE & WATER PROOFING)
 DRAINAGE FITS AND LAYOUT TO BE NOMINATED BY HYDRAULIC ENGINEER TO WORK WITH STRUCTURAL DESIGN AND LANDSCAPE.

THE WATERPROOFING, APPROVED DRAINAGE CELL AND SPECIFIED GEOTEXTILE LAYER IN THIS DETAIL ARE INDICATIVE ONLY AND SHOULD BE DETAILED BY THE RELEVANT PROFESSIONAL ENGINEER FOR CONSTRUCTION.

UNDER THE CONSTRUCTION PRACTITIONER BILL STRUCTURAL WATER-PROOFING SHALL BE DOCUMENTED BY A HYDRAULIC ENGINEER



INSITU CONCRETE PLANTER ON SLAB DETAIL
SCALE: 1:15

General Notes:
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 (02) 9221 5225 (02) 9221 5225



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CLIENT	STRATHFIELD
CLIENT	NICHOLAS BARBEY & BONITA KO
ARCHITECT	DEREK RATHBY ARCHITECTURE
STATUS/ISSUE	DA - ISSUE E



DETAILS
 PROPOSED RESIDENTIAL DEVELOPMENT
 6 HEYDE AVE STRATHFIELD

DWG NO:	LPDA 22 - 014 / 4
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LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

DA2021.213

DATE 20 August 2021

- The following general conditions should be considered prior to the commencement of landscape works:
- The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the project.
 - All services including existing drainage, water or sewerage, located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
 - Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.
 - All outdoor lighting specified by architect or client to be installed by qualified electrician.
 - Any anomalies that occur in these plans should be brought to our immediate attention.
 - Where an Australian standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4570-2006 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix complies with AS 4454-2012 Composts, soil conditioners and mulches. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50:50 mix of clean site soil (refer to d) below) and imported soil. All mixes are to comply with AS4419-2003 Soils for Landscaping and garden use. & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing

All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

c) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

- Mass Planting Beds - 300mm below existing levels with specified imported soil mix.
- Turf Areas - 100mm below finished surface level.

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse silt. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50:50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL, or approved equal.
 - Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm
- Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine silt and good growing medium in preparation for planting.
- Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.
- Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303 2019. Free stock for landscape use. Certification that trees have been grown to AS2303 2018 guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment

The following plant quality assessment criteria should be followed:
Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303 2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 220mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilisers shall be used.

d) Mulch

Mulch shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertilizer for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch for general planter bed shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, spona or river pebbles, 4-7mm screenings or similar.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Free turf mats until roots have taken and sods/mats cannot be lifted. Keep all buff off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel garden edging

Where is required, the Contractor shall install steel garden edging as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

g) Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here. Existing Conditions such as street trees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

h) Drainage pit

Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme, where possible, pits and inwork should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas, where pits and inwork occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. Landscape contractors shall not alter the form of swales designed to direct overland flow.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specifications.

- Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be set out as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be brought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owners which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 236.

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or building contractual arrangements. An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas on terraces, over slabs and in Communal Open Spaces. The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 2500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2017, & the latest Sydney Water Code.

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Strathfield Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.
- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

- Upon completion of installation, the system shall be tested, including:
 - Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
 - Dripper Pressure Test: Measurement of flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300kpa.
- All components are to be satisfactory functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty:

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be either

- 6 months beginning from the approved completion of the specified construction work (Practical Completion)

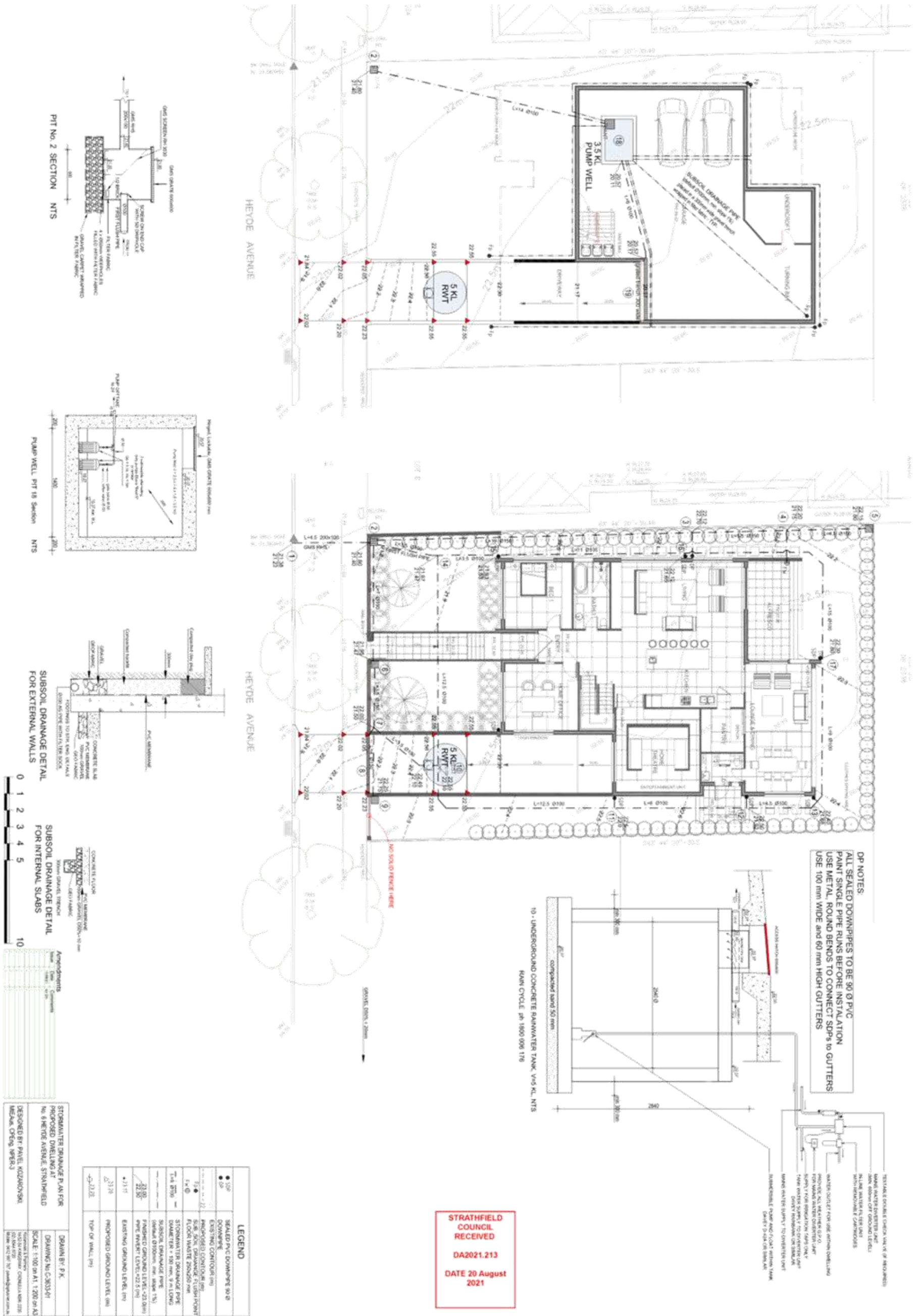
- as agreed to in the landscape contractors contractual obligations.
 - or as specified by Council in the Determination.
- A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

- Watering all planting and lawn areas / irrigation maintenance.
- Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance.
- Replacement of damaged, stolon or unhealthy plants.
- Make good areas of soil subsidence or erosion.
- Topping up of mulched areas.
- Spray / treatment for insect and disease control.
- Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter.
- Adjusting ties to Stakes
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

<p>General Notes: Figures & dimensions shown refer to work required, they do not represent a final POE and are not to be used for construction. All dimensions are to be taken from the finished face of the work unless otherwise specified. Copyright Suburban Enterprises Pty Ltd Trading as CONCEPT (ABN: 75 623 425 818)</p>		<p>SCALE</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>NOTATION/AMENDMENT</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>09.7.2021</td> <td>Preliminary plan prepared for review</td> </tr> <tr> <td>B</td> <td>22.7.2021</td> <td>Coordinate with comments</td> </tr> <tr> <td>C</td> <td>02.8.2021</td> <td>Coordinate with comments</td> </tr> <tr> <td>D</td> <td>06.8.2021</td> <td>Coordinate with comments</td> </tr> <tr> <td>E</td> <td>10.8.2021</td> <td>Coordinate with comments</td> </tr> </tbody> </table>	REV	DATE	NOTATION/AMENDMENT	A	09.7.2021	Preliminary plan prepared for review	B	22.7.2021	Coordinate with comments	C	02.8.2021	Coordinate with comments	D	06.8.2021	Coordinate with comments	E	10.8.2021	Coordinate with comments	<p>COUNCIL: STRATHFIELD</p> <p>CLIENT: NICHOLAS BARBEY & BONITA KO</p> <p>ARCHITECT: DEREK RAITHYBY ARCHITECTURE</p> <p>STATUS/ISSUE: DA - ISSUE E</p>	<p>www.concept.net.au info@concept.net.au Phone: 9922 5312 Suite 101, 506 Miller St CARRERLY NSW 2062</p>	<p>TITLE: SPECIFICATIONS</p> <p>PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>6 HEYDE AVE STRATHFIELD</p>	<p>DWG No: LPDA 22 - 014 / 5</p> <p>DATE: AUG 2021</p> <p>DRAWN: R.H CHECKED: R.F</p>
REV	DATE		NOTATION/AMENDMENT																						
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<p>Document Set ID: 2140446 Version: 1 Version Date: 24/08/2021</p>		<p>www.dabeforeyoudig.com.au</p> <p>DIAL 1100 BEFORE YOU DIG</p>																							



DP NOTES
 ALL SEALED DOWNPIPES TO BE 90 Ø PVC
 PAINT SINGLE PIPE RUNS BEFORE INSTALLATION
 USE METAL ROUND BENDS TO CONNECT SDPs to GUTTERS
 USE 100 mm WIDE and 60 mm HIGH GUTTERS

10 - UNDERGROUND CONCRETE RAWWATER TANK, V45 KL, NTS
 RAIN CYCLE SA 1600 006 178

STRATHFIELD COUNCIL RECEIVED
 DA2021.213
 DATE 20 August 2021

LEGEND

●	SDP	SEALED PVC DOWNPIPE 90 Ø
○	DP	DOWNPIPE
—	EXISTING CONTOUR (m)	
—	PROPOSED CONTOUR (m)	
—	FLOOR FINISH (1.5M FROM)	
—	FLOOR FINISH (2.0M FROM)	
—	STORMWATER DRAINAGE PIPE	
—	CONCRETE (1:1.5)	
—	GRAVEL (1:1.5)	
—	FINISHED GROUND LEVEL (±0.00m)	
—	PVC INVERT LEVEL (±0.25m)	
—	EXISTING GROUND LEVEL (m)	
—	PROPOSED GROUND LEVEL (m)	
—	TOP OF WALL (m)	

STORMWATER DRAINAGE PLAN FOR PROPOSED DWELLING AT NO. 6 HEYDE AVENUE, STRATHFIELD
 DESIGNED BY PAVEL KOZADROVSKI
 MECHANICAL ENGINEER

APPENDIX A
 STORMWATER DRAINAGE PLAN FOR PROPOSED DWELLING AT NO. 6 HEYDE AVENUE, STRATHFIELD
 SCALE: 1:100 (A1, 1:200 (A2))
 DRAWING NO. C-3534/17
 DATE 07/08/2021
 DRAWN BY: P.K.
 CHECKED BY: P.K.

APPENDICES

APPENDIX A: Waste Management Plan Template

Applicant and Project Details (All Developments)	
Applicant Details	
Application No.	
Name	Miss Bonita Ko
Address	57 Oxford Road, Strathfield NSW 2135
Phone No.	0414 620 673
Email	bonitakmk@hotmail.com
Project Details	
Site Address	6 Heyde Avenue, Strathfield NSW 2135
Existing building(s) and/or other structure(s) on site	N/A
Description of proposed development	Erection of 2 storey residential dwelling with lower ground level garage.
<p><i>The details on this form are the provisions and intentions for minimising and managing waste relating to this project. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, WorkCover NSW, NSW Environment Protection Agency and/or the NSW Department of Environment and Heritage.</i></p>	
Name	Miss Bonita Ko
Signature	<i>Bonita Ko</i>
Date	15 August 2021

STRATHFIELD COUNCIL
RECEIVED
DA2021.213
DATE 20 August 2021

Demolition (all types of demolition works)				
	Reuse	Recycle	Disposal	
Type of Waste Generated	<i>Estimate Volume (m³) or weight (t)</i>	<i>Estimate Volume (m³) or weight (t)</i>	<i>Estimate Volume (m³) or weight (t)</i>	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material				
Timber (specify)				
Concrete				
Bricks/Pavers				
Tiles				
Metal (specify)				
Glass				
Furniture				
Fixtures and fittings				
Floor coverings				
Packaging (used pallets, pallet wrap)				
Garden Organics				
Containers (cans, plastic, glass)				
Paper/Cardboard				
Residual Waste				
Hazardous/Special Waste e.g. asbestos (specify)				
Other (specify)				

N/A - NO DEMOLITION WORKS

Construction (all types of construction developments)				
	Reuse	Recycle	Disposal	
Type of Waste Generated	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material				
Timber (specify)				
Concrete				
Bricks/Pavers				
Tiles				
Metal (specify)				
Glass				
Plasterboard (offcuts)				
Fixtures and fittings				
Floor coverings				
Packaging (tins, pallets, pallet wrap)				
Garden Organics				
Containers (cans, plastic, glass)				
Paper/Cardboard				
Residual Waste				
Hazardous/Special Waste e.g. asbestos (specify)				
Other (specify)				

REFER TO SITE MANAGEMENT PLAN

Ongoing Operation (residential, multi dwelling, commercial, mixed-use and/or industrial)					
	Recyclables		Compostables	Residual Waste	Other
	Paper/Cardboard	Metals/Plastics /Glass			
Amount generated (L per unit per day)	4.3 L	4.3 L	17 L	N/A	17.14 L
Amount generated (L per unit per week)	30 L	30 L	120 L	N/A	120 L
Total amount generated for development	N/A	N/A	N/A	N/A	N/A
Any reduction due to compacting equipment	N/A	N/A	N/A	N/A	N/A
Frequency of collections	N/A	Fortnightly	Fortnightly	N/A	Weekly
Number and size of storage bins required	N/A	One (1) x 240L	One (1) x 240 L	N/A	One (1) x 120 litre general waste bin
Waste room floor area and dimensions required for storage of bins	N/A	N/A	N/A	N/A	N/A

Note: Show the total volume of waste expected to be generated by the development and the associated waste storage requirements.

Ongoing Operation (residential, multi dwelling, commercial, mixed-use and/or industrial)

ONSITE WASTE COLLECTION	
Driveway location	Refer to Floor Plans
Driveway and access route width	Minimum 3.0 M
Type of waste collection area, ie basement, loading dock etc	Kerbside
Maximum reversing distance for collection vehicles and configuration of path (straight, curved etc)	Straight
Distance from collection area to the property boundary (<15m)	4.5 m
Headroom along vehicle travel path - measured at its lowest point from ceiling, ducting, conduits or any other obstruction.	N/A
Dimensions for vehicle manoeuvring/ turning circles, including on-street turning circles.	N/A
Structural capacity of slab for collection areas.	N/A
Ramp gradients	Refer to Driveway Profile sheet no.14
Vehicle turntable use <ul style="list-style-type: none"> - Weight capacity - Max wheel base - Provision for overhang 	N/A
Dimensions, layout and floor area provided at bin collection point	N/A
Dimensions, layout and floor area provided for collection vehicle standing/collection area.	N/A

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ONSITE WASTE COLLECTION	
Grade of bin collection area, including for waste collection vehicle.	
Obstructions to other users during waste collection	N/A
Legal arrangements for access for collection staff	
Screening and amenity of collection areas.	

TO: Strathfield Local Planning Panel Meeting - 4 November 2021
REPORT: SLPP – Report No. 35
SUBJECT: DA2021.186- 41 NEWTON ROAD STRATHFIELD- LOT 46 DP 8778
DA NO. 2021.186

SUMMARY

Property:	41 Newton Road STRATHFIELD Lot 46 in DP 8778 DA 2021/186
Proposal:	Demolition of existing structures, construction of a dwelling with a basement, a swimming pool, cabana and attached alfresco
Applicant:	CHD Design
Owner:	N Said and S A Salam
Date of lodgement:	22 July 2021
Notification period:	30 July to 16 August 2021
Submissions received:	Nil
Assessment officer:	L Fanayan
Estimated cost of works:	\$3,283,778.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	Not a heritage item Not within a heritage conservation area Not adjacent to a heritage item
Flood affected:	No
RECOMMENDATION OF OFFICER:	APPROVAL



DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

Figure 1: Aerial imagery of the subject site (outlined in red) and the immediate locality

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the demolition of existing structures, construction of a dwelling with a basement, a swimming pool, cabana and attached alfresco.

Site and Locality

The site is identified as 41 Newton Road, Strathfield and has a legal description of Lot 46 in DP 8778. The site is a regular shaped parcel of land and is located on the north side of Newton Road.

The site has a width of 20.11m, a depth of 70.56m and an overall site area of 1418.7m².

The locality surrounding the subject site features a low density residential character, containing dwelling houses of mixed design and scale. Architectural styles are variable in the immediate streetscape with housing stock being predominantly double storey with pitched roofing and brick and/or rendered façades. Some modern style examples with flat roofing and basement level parking exist along Newton Road.

Strathfield Local Environmental Plan

The site is zoned R2 – Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 30 July to 16 August 2021, where no submissions were received.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, Development Application 2021/186 is recommended for approval subject to suitable conditions of consent.

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

REPORT IN FULL

Proposal

Council has received an application for the Demolition of existing structures, construction of a dwelling with a basement, a swimming pool, cabana and attached alfresco. More specifically, the proposal includes;

- Demolition of existing structures including dwelling house, attached garage, outbuilding and two (2) sheds.
- Construction of a new dwelling house containing:
 - Basement level:
 - Two (2) parking spaces and reversing bay;
 - Indoor landscaping areas;
 - Waste bins area;
 - Water closet;
 - Storage room;
 - Gym;
 - Plant room;
 - Data room;
 - Stairwell and lift.
 - Ground floor level:
 - Office with toilet;
 - Lounge;
 - One (1) Guest bed with ensuite;
 - Storage;
 - Rumpus room;
 - Separate bathroom (water closet);
 - Laundry;
 - Stairwell and lift;
 - Kitchen and walk in pantry;
 - Informal living
 - Second stairwell
 - Dining room;
 - Internal courtyard
 - First floor level:
 - Two (2) bedrooms with ensuites;
 - Two (2) bedrooms;
 - Bathroom;
 - Living room;
 - Balcony;
 - Laundry;
 - Master Bedroom with Walk in robes and ensuite.
 - External works:
 - Alfresco living area;
 - Outdoor kitchen;
 - Two (2) sheds;
 - Swimming pool;

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

- Cabana;
- Front fencing; and
- Associated landscaping works.

Figures 2 to 12 show a site plan, floor plans, elevations and long section of the proposal.

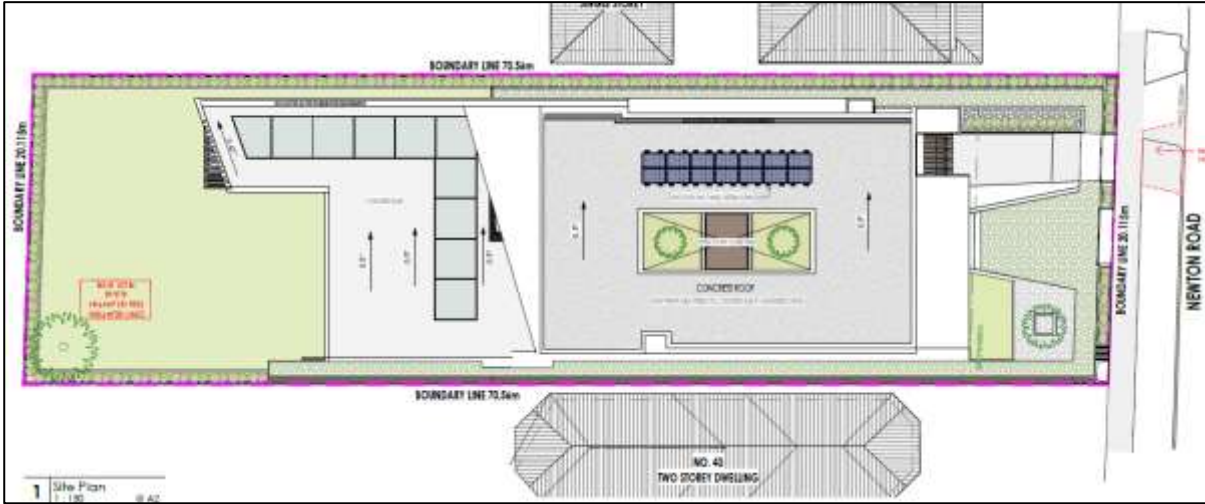


Figure 2: Site plan

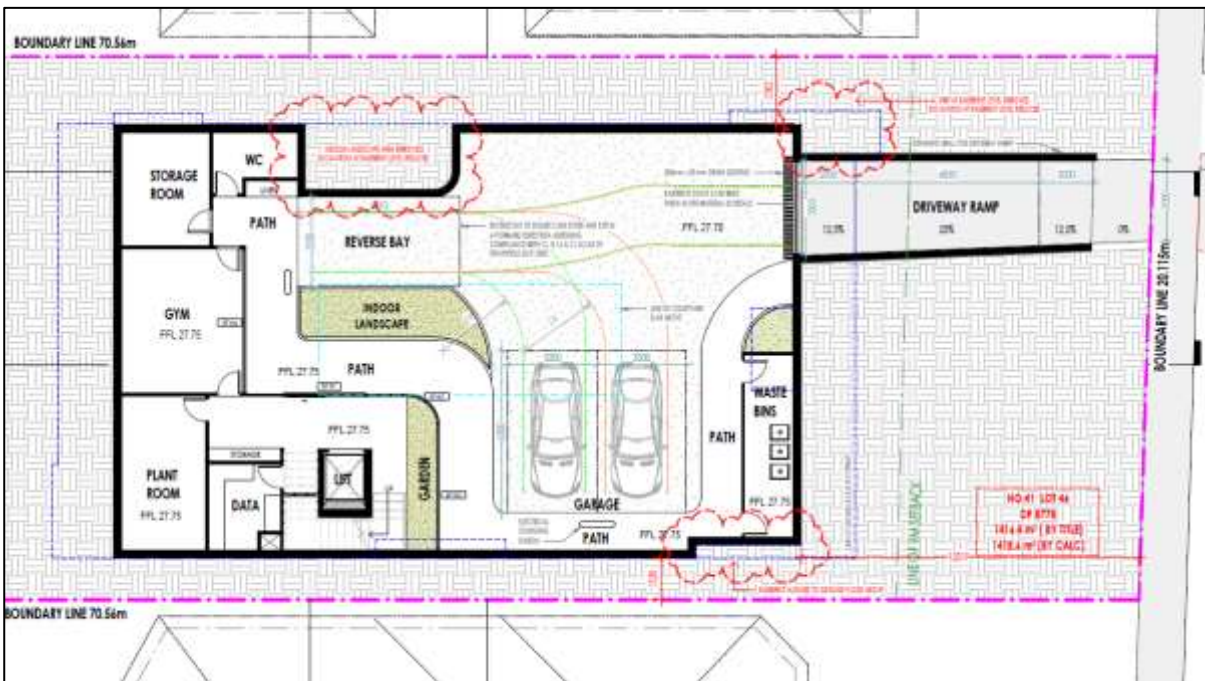


Figure 3: Basement Plan

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

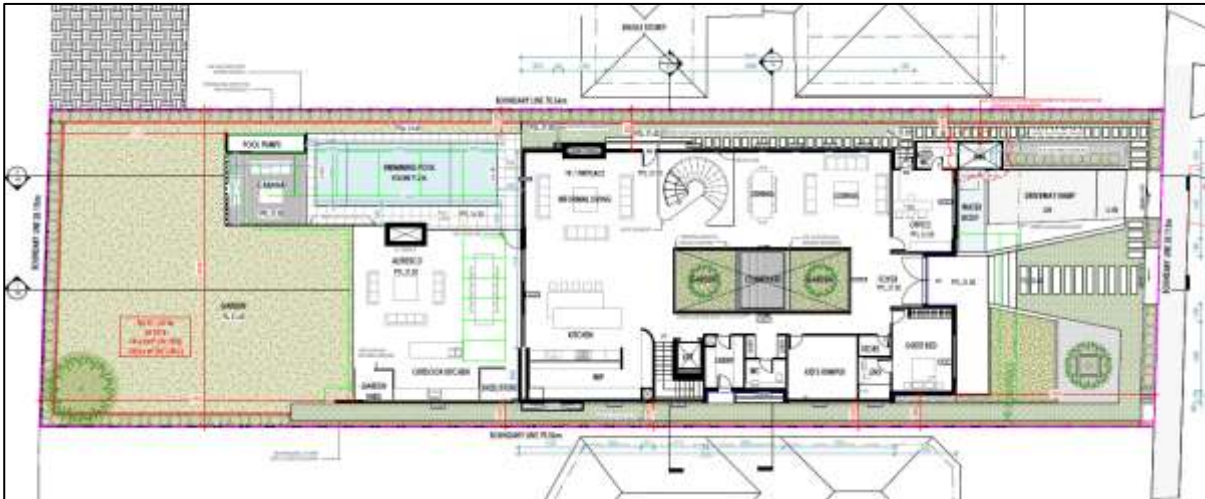


Figure 4: Ground Floor Plan

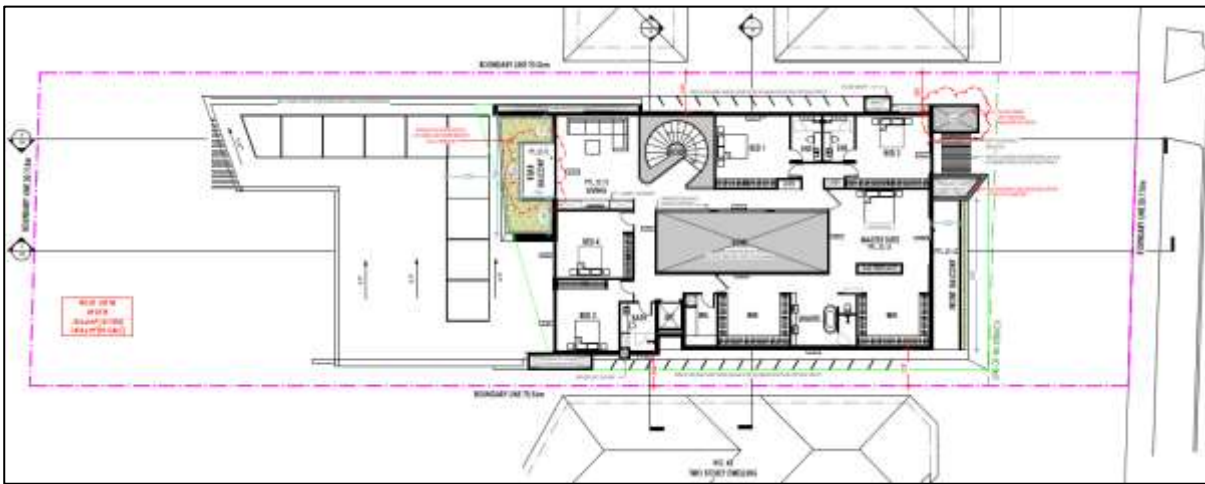


Figure 5: First Floor Plan



Figure 6: Front (South) Elevation

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)



Figure 7: Rear (North) Elevation

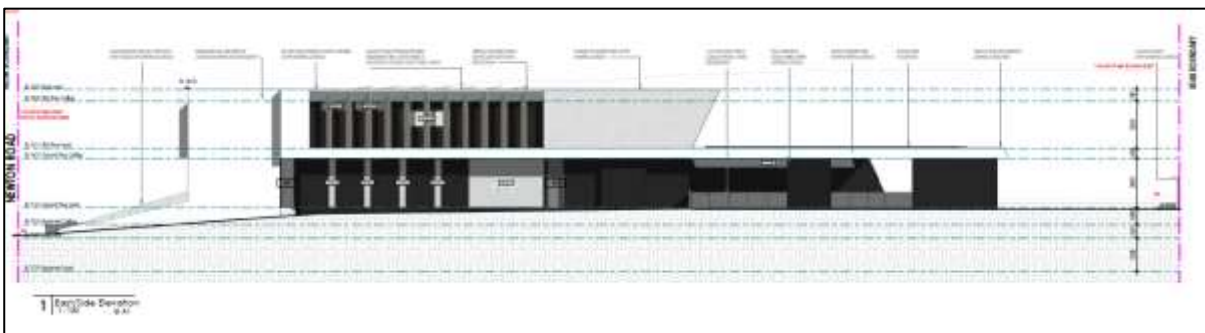


Figure 8: Side (West) Elevation

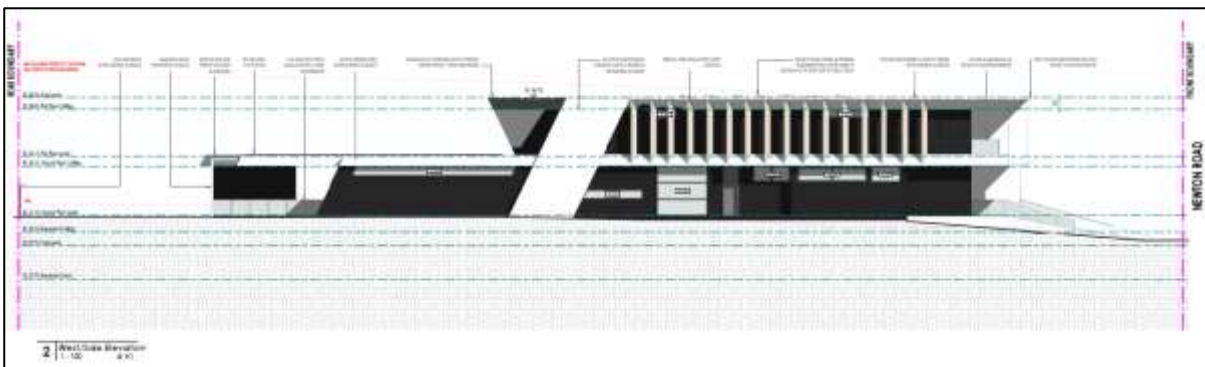


Figure 9: Side (East) Elevation



Figure 10: Longitudinal Section

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

The Site and Locality

The subject site is legally described as Lot 46 in DP 8778 and commonly known as 41 Newton Road, Strathfield. It is located on the northern side of Newton Road between Wilson Street and South Street.

The site is rectangular in shape and has a frontage of 20.11m to the south, rear boundary of 20.115m to the north side boundary length of 70.56m to the west, and side boundary length of 70.56m to the east and an area of 1418.7m².

The site generally slopes from north-east to south-west and has a cross-fall of 2.74m across the length of the site.

The site is occupied by a two (2) storey dwelling, attached garage, outbuilding, swimming pool, tennis court and two (2) sheds. Vehicular access is provided to the site via an existing driveway from Newton Road to an attached garage located on the western side of the property.

The streetscape surrounding the site features a low density residential character, comprising dwelling houses of varying architectural style and scale. The majority of housing stock is double storey with traditional pitched roofing, defined entry porches, street-facing balconies, exposed brick and/or rendered façades, masonry/metal palisade front fencing and garden beds (refer to Figures 13 to 17). Several contemporary built forms with flat roofing occur along the Newton Road. Some of these residences have basement levels (refer to Figure 18-20).

Towards the rear of and diagonal from the subject site is a locally listed heritage item (I93 – “Hillcrest”—Inter-war Californian bungalow) at No. 58 Barker Road.



Figure 13: Front of No. 41 Newton Road showing neighbouring properties (Source: Google Street View)

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)



Figure 14: Photo of front of 41 Newton Road



Figure 15: Photo of boundary between No. 43 and No. 41 Newton Road

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)



Figure 16: Photo of neighbouring property No. 39 Newton Road



Figure 17: Photo looking across the road from subject site of examples of residential character in the street

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)



Figure 18: Photo of modern style design at No. 45 Newton Road



Figure 19: Image of modern style design at No. 85 Newton Road

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)



Figure 20: Image from approved DA2018/112/2 at No. 46 Newton Road, under construction, opposite the subject site.

Background

- 22 July 2021** The subject application was lodged with Council.
- 30 July 2021** The application was notified as per Council's Community Participation Plan, with the final date for public submissions being 16 August 2021. No submissions were received during this period.
- 10 August 2021** A site visit was undertaken by Council's assessment officer.
- 30 August 2021** A Request for Further Information (RFI) letter was sent to the applicant raising the following issues:
- Floor space ratio (FSR);
 - Bulk and scale;
 - Basement area;
 - Natural ground level;
 - Courtyard;
 - Service voids; and
 - Basement landscaping.
- 6 September 2021** The assessment officer had an online meeting with the applicant regarding the issues/matters mentioned in the RFI letter.
- 10 September 2021** The applicant provided additional information to address the issues raised in the letter.

Referrals – Internal and External

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

Building

Council's Building Compliance Officer reviewed the proposal and the provided geotechnical report, and offered no objections to the proposal subject to the imposition of conditions. It was recommended that dilapidation reports for adjoining residential properties are prepared prior to an application for construction certificate to ensure that any excavation works will not affect the structural integrity of neighbouring properties and that critical stage inspections are undertaken by a suitably qualified geotechnical engineer.

Heritage

Council's Heritage Advisor provided the following advice:

The two (2) storey dwelling is not within the direct view of the heritage item. It is highly unlikely that the proposed dwelling will be seen from Barker Street and thus unlikely that it will impact the significance of this item. I therefore, do not object to the proposed development on heritage grounds.

Accordingly, Council's Heritage Advisor offered no objections to the proposal subject to the imposition of conditions.

Stormwater

Council's Development Engineer provided the following advice:

I have referred to the development application referenced above and reviewed the stormwater drainage concept plan prepared by CSEG rev A drawing no. 101, 200-202 and 300-302 project no. CSW2021.41 dated 29.06.2021. The subject site has a natural fall to the front and disposal by means of gravity is attainable hence enabling the applicant to submit a compliant design. The provision of water sensitive urban design is not required as the site is less than 2000m². OSD provision is not required as site cumulative imperviousness is less than 65% of total site area. The site discharges to the street kerb and gutter by means of a gravity pipe via the boundary pit. Roof runoff drains into above ground rainwater tank in accordance with BASIX requirements. Overflow from the tank and all other impervious and pervious areas drain into boundary pit by gravity means via overflow pipe, planter drain, grated surface and trench drain. Proposed basement drains into pump pit by gravity means via subsoil drainage and grated trench drain. Rising main from the pump pit connects to the boundary pit. From an engineering perspective, concept plan is feasible and there are no objections to its approval subject to the following conditions.

Accordingly, Council's Developer Engineer offered no objections to the proposal subject to the imposition of conditions.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15(1) of the *Environmental Planning and Assessment Act 1979*.

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(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy No 55 - Remediation of Land	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP 55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed provisions of clause 5.9 of SLEP 2012 relating to the preservation of trees and vegetation.

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposed development does any removal or loss of any trees or vegetation that are subject to the provision of this SEPP.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012.

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Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	7.8m	Compliant
4.4 Floor Space Ratio	Maximum 0.5:1 (708.2m ²)	0.498:1 (707.4m ²)	Compliant

The amended design features a reduced basement footprint and a fully compliant floor space ratio (FSR), which has been calculated to include the internal landscaped areas in the basement; pathway to the gym and water closet; laundry chute on the ground floor; and the stairwell and lift on the ground floor.

It is noted that whilst the courtyard is not counted towards gross floor area and FSR it does contribute to the overall bulk and scale of the built form. On balance; however, this courtyard is considered an acceptable component given that it is predominantly an open area that provides additional amenity and recreation for future occupants and is considered contextually appropriate and proportionate to the land size. A condition is recommended to ensure that this courtyard remains a courtyard in perpetuity.

The bulk and scale of the proposal are considered acceptable – comprising a quality design, adequate articulation, visual interest and varied cladding treatments throughout all elevations.

Part 5 – Miscellaneous Provisions

The proposed development does not trigger any provisions under Part 5 of the SLEP 2012.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves excavation works for the provision of a basement, driveway ramps and ancillary works. The extent of excavation has been limited to the footprint of the ground floor above and access to and from the basement. The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls and all ancillary works have been limited to what is required to provide access to and from the basement. The proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

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Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the SLEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

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PART A – Dwelling Houses and Ancillary Structures (SCDCP 2005)

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Floor Space Ratio:	Max 0.5:1 (708.2m ²)	0.498:1 (707.4m ²)	Compliant
Heights: Floor to ceiling heights: Height to underside of eaves: Parapet height: Overall height for flat roof dwelling: Basement height above NGL: Number of Storeys/Levels:	3.0m 7.2m 0.8m 7.8m 1.0m 2	3m 6.99m 0.7m 7.8m 0.5m 2	Compliant Compliant Compliant Compliant Compliant Compliant
Setbacks: Front: Side (east): Side (west): Combined Side Setback: Rear:	9m 1.2m (min) 1.2m (min) 4.023m (20%) 6m	9m 2.022m 1.52m 3.542m (17.6%) 11.163m	Compliant Compliant Compliant No – See comments below Compliant
Landscaping			
Landscaping/Deepsoil Provisions:	Min. 45% 638.37m ²	45.51% 645.58m ²	Compliant
Front landscaped area	Min. 50%	64.5%	Compliant
Fencing			
Height (overall/piers):	1.5m (max)	1.36m	Compliant
Solid Component:	0.7m	Ranges from 0.7m to 1.36m	No- See comments below
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	Min. 3hrs provided	Compliant
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Compliant
Vehicular Crossing:	1	1	Compliant
Driveway setback – side:	Min 0.5m	3.7m	Compliant
No. of Parking Spaces:	2	2	Compliant
Basement: Basement protrusion: Basement ramp/driveway Internal height:	Less than 1.0m 3.5m 2.2m	0.5m 3.5m 2.85m	Compliant Compliant Compliant
Ancillary Development			
RETAINING WALLS Maximum height:	1.2m	0.6m	Compliant
SWIMMING POOL Side/Rear Setback	1.0m	1.52m (side) >11m (rear)	Compliant Compliant

Building Envelope

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The proposed development satisfies the objectives and controls within the development control plan relevant to:

- Building scale, height and floor space ratio
- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge.

Bulk and Scale

The subject site is a substantial lot comprising an area of 1418m², and a generous frontage of 20.1m. It is therefore able to facilitate a large building envelope proportionate to its dimensions. As mentioned above, the proposal demonstrates full compliance with the maximum building height and FSR provisions under the SLEP 2012. The bulk and scale of the development is considered appropriate with regard to the site and surrounds and is considered comparable to surrounding residences and consistent with the general streetscape.

Screen planting along the eastern boundary has been amended to utilise *Acacia Howitti* 'Sticky Wattle' which will grow to a height of 2m and will assist in softening the built form whilst providing privacy screening between the alfresco/pool area of the subject site and No. 39 Newton Road. This taller vegetation variety is considered a more appropriate species than the originally proposed vegetation that would only reach 1.2m in height.

The proposed central courtyard has not been included as GFA due to not meeting the definition as it is unenclosed space, exposed to the elements. This area is to remain a courtyard and is not to be enclosed. To ensure that the courtyard remains a courtyard an ongoing condition will be included in the consent. The courtyard is considered acceptable with regard to its contribution to bulk and scale as any massing visible from the street and private properties are tempered by recessing of walls, provision of variable architectural elements and materials and landscaping treatments.

The proposed alfresco enclosure, whilst not contributing to floor space adds to the continuity of the dwelling. However the alfresco, roofed pool area and cabana are considered acceptable with regard to its contribution to bulk and scale as it does not impact achieving private open space requirements, it is proportionate to the dwelling and lot size and the proposed side boundary planting provides adequate screening to soften the form. The proposed enclose pool pump structure is setback from the boundary 1.52m and is required to provide structural support to the alfresco roof. Its location at the north end of the alfresco area disruptions a continuous wall and provides privacy to the cabana area. The pool pumps could not have been located in the basement as they are required to be above ground to allow for efficient functioning of the pool system.

The architectural expression and streetscape presentation of the proposed development features a mixture of façade elements that provide appropriate visual interest and break-up of the built form. The eaves structure on the western side of the front elevation is suitably recessed and assists in minimising bulk as this element fades towards the rear of the property. The proposed garden beds and new tree in the front setback provide adequate softening of the building whilst ensuring the development complements the residential, garden setting and character of the immediate vicinity.

The general massing, scale and presentation of the development is considered appropriate and corresponds to the large land size. The appearance of the architectural design has included a mixture of angles, materials, textural changes and modulation and recessing of components throughout the development to mitigate bulk and scale whilst providing visual interest that is visible to the street frontage. On balance, the overall aesthetic and bulk of the final scheme is considered compatible and consistent within the streetscape and thus, an acceptable outcome for the site.

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Side Boundary

The majority of the proposed development generally complies with the combined side setback control under the DCP. It is noted, however, that a small section on the eastern side of the new dwelling fails to comply with this control (refer to Figure 19). This section is only 5.6m in length and comprises the rain water tank and water closet. On balance, the proposed variation is considered to have merit given that the reduced setback is only for a small section of the development and will not exacerbate the scale and massing of the development. Despite the reduced setback for a small portion of the house, the overall design and bulk of the final scheme demonstrates alignment with the development pattern along Newton Road (refer to Figure 19). As such, the proposed variation of the combined side setback control is reasonable and acceptable.



Figure 19: Artist's impression of streetscape elevation with element comprising proposed variation to combined side setback (circled in yellow)

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDP 2005. The development is considered to enhance the existing streetscape by facilitating adequate garden beds and providing large canopy trees within the front setback and rear yard.

To reinforce the provision of quality landscaping areas, conditions are recommended to change the proposed NSW Christmas Bush in the north-east corner of the rear yard with a more suitable and large canopy tree species that is capable of reaching a mature height of at least 12m.

Fencing

The proposed front fencing features solid masonry components that exceed 0.7m in some parts. This is due to a tapering of the fence from 1.36m at the front boundary edges to 0.7m towards the centre. The fence is generally compatible with other front fences within the vicinity and the planter boxes contribute positively to the streetscape and are integrated within the fence.

The proposed front and side fencing satisfies the relevant objectives and controls within SCDP 2005. It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

Solar Access

Given the south-north orientation of the site, solar access to windows of habitable rooms and to at least 50% of the private open space is achieved or maintained for a minimum period of 3 hours

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between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDCP 2005.

Privacy

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005, in that adequate privacy is maintained between adjoining properties and any potential overlooking is minimised. Windows are offset from adjoining dwellings where required, they are screened, obscured or off low active use rooms so as not to negatively impact on adjoining properties. The proposed rear-facing first floor balcony is of limited size and any overlooking from this space is restricted by the blade walls situated along the eastern and western sides.

Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. The basement has been kept to less than 1m above natural ground level, does not extend beyond the ground floor above, has been designed so that vehicles can enter and exit in a forward direction and maintains a minimum internal height of 2.2m.

Amended plans have reduced the area of the basement in an effort to remain within the ground floor extent in accordance with Clause 8.2.3.1 of the SCDCP and also in order to reduce the amount of cut from the proposed development.

Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005. The subject site exists at a higher level above ground compared to the adjoining sites at No. 39 and 43 Newton Road (refer to Figures 20 to 22).

Figures 20 to 22 below illustrate the difference in the rear yard levels between the subject site and the neighbouring sites at No. 39 and 43 Newton Road. The top of the neighbouring retaining walls is the approximate ground level on No. 41 Newton. The difference is approximately 2m between No. 43 and No. 41 Newton Road, and 0.7m between No. 41 and No. 39 Newton Road.



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Figure 20: Aerial Photograph of the subject site No. 41 Newton Rd (center) and adjoining dwellings No.43 (Left) and No. 39 (Right).



Figure 21: View looking from the adjoining dwelling No. 43 Newton Road towards No. 41 Newton Road.



Figure 22: View from adjoining dwelling No.39 Newton Road.

The proposal involves 0.8m of cut (max) in the rear yard that will result in the lowering of the site to be closer to the levels of the rear yards of adjoining properties. This reduces overlooking impacts from the private open space of the new dwelling. The existing retaining walls will be retained and it is proposed that new 600mm retaining walls are incorporated into the rear yard design in order to facilitate the additional cut. They will be offset from the site boundary and hence any existing retaining walls of adjoining properties located at the boundary will not be impacted. Ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

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The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURESRetaining Walls

The proposed development satisfies the relevant objectives and controls within SCDCP 2005 and have been kept to a maximum height of 0.6 meters. All retaining walls greater than 0.6 meters are required to be designed by a suitably qualified engineer.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen panting if required. The pool pump equipment has been located in a sound proof enclosure and the pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the NSW *Swimming Pools Act 1992* and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of SCDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

(iv) *Any matters prescribed by the regulations, that apply to the land to which the development application relates,*

The requirements of Australian Standard *AS2601–1991: The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) *the suitability of the site for the development,*

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It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. No submissions were received during this period.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Based on the Cost of Works of \$3,283,778.00 and in accordance with Council's s7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows;

Local Amenity Improvement Levy	\$32,837.78
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Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/186 should be approved subject to conditions.

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/186 should be approved subject to conditions.

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Signed:
L Fanayan
Planner

Date: 15 October 2021

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed and concurred with.



Signed:
Miguel Rivera
Senior Planner

Date: 15 October 2021

RECOMMENDATION

Following detailed assessment it is considered that Development Application No. 2021/186 should be **APPROVED** subject to the following conditions.

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council’s codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1 Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council’s approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Demolition Plan	2071 – Drawing No.	July 2021	1	CHD

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	03			Design
Site Plan	2071 – Drawing No. 07	September 2021	2	CHD Design
Basement Floor Plan	2071 – Drawing No. 04	September 2021	2	CHD Design
Ground Floor Plan	2071 – Drawing No. 05	September 2021	2	CHD Design
First Floor Plan	2071 – Drawing No. 06	September 2021	2	CHD Design
Front/South and North/Rear Elevation	2071 – Drawing No. 08	September 2021	2	CHD Design
East and West Elevation	2071 – Drawing No. 09	September 2021	2	CHD Design
Longitudinal Sections	2071 – Drawing No. 10	September 2021	2	CHD Design
Transverse Sections	2071 – Drawing No. 11	September 2021	2	CHD Design
Driveway Ramp Details	2071 – Drawing No. 12	July 2021	1	CHD Design
Schedule of Colours and Finishes	2071 – Drawing No. 13	July 2021	1	CHD Design
Landscape Plans	2071 – Drawing No. 15	September 2021	2	CHD Design
Construction Management and Erosion Sediment Control Plan	2071 – CM-ESP	September 2021	2	CHD Design
Stormwater Plans	Drawing No. 200 Sheet 03 to 08	29 June 2021	A	CSEG
Waste Management Plan	-	16 July 2021	-	CHD Design

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

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2 Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3 Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the

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application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

4 Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

5 Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://longservice.force.com/bci/s/levy-calculator	\$ 11,493.00

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Security Damage Deposit	\$ 21,000.00
Administration Fee for Damage Deposit	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Indirect (Section 7.12) Contributions	\$ 32,837.78

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

6 Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Landscape plan	The proposed NSW Christmas Bush in the north eastern corner must be modified to a canopy tree species that can reach a mature height of at least 12m.
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7 Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$21,000.00.
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where

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required: \$130.00

- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

8 Site Management Plan**Minor Development**

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

9 BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1218573S must be implemented on the plans lodged with the application for the Construction Certificate.

10 Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

11 Pre-Construction Dilapidation Report – Private Land

A professional engineer specialising in structural or geotechnical engineering shall prepare a Pre-Construction Dilapidation Report detailing the current structural condition of adjoining premises including but not limited to:

- (a) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.

The report shall be prepared at the expense of the applicant and submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

A copy of the pre-construction dilapidation report is to be provided to the adjoining properties (subject of the dilapidation report), a minimum of 5 working days prior to the commencement of work. Evidence confirming that a copy of the pre-construction dilapidation report was delivered to the adjoining properties must be provided to the PCA.

Should the owners of properties (or their agents) refuse access to carry out inspections, after being given reasonable written notice, this shall be reported to Council to obtain Council's agreement to complete the report without access. Reasonable notice is a request for access in no sooner than 14 days between 8.00am-6.00pm.

12 Provision of Engineering Design Detail

- (a) Provide design details for the excavation and retention of the basement excavation in accordance with Clause 4 of the Morrow Residential Development Geotechnical Investigation report 41 Newton Road Strathfield, Reference P2180_01rev1.
- (b) Submit design certification to the principal certifier that all structural engineering design details have been prepared in accordance with the recommendations of the Geotechnical Investigation report prepared by Morrow Residential Development Geotechnical Investigation report - 41 Newton Road Strathfield, Reference P2180_01rev1.

Note: Geotechnical design input during structural design should include Finite Element Analysis of ground movements for the protection of adjacent structures and properties.

- (c) Submit design certification to the principal certifier from an appropriately qualified hydraulic engineer to confirm that adequate drainage has been allowed for around the basement retaining walls, the basement perimeter and below the basement slab.

13 Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

14 Pump-Out System Design for Stormwater Disposal

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

- (a) The pump system shall consist of two pumps, connected in parallel, with each pump being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;
- (b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- (c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

15 Stormwater Drainage Plan Details

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

16 Compliance with Swimming Pool Act 1992

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

17 Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
- (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) the swimming pool must not be used for commercial or professional purposes;
- (d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

18 Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

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19 **Landscape Plans**

All landscape works shall be carried out in accordance with the approved landscape plans. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

20 **Tree Removal/Pruning Prohibited**

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, public reserves or on neighbouring properties.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

21 **Demolition & Asbestos**

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

22 **Demolition Notification Requirements**

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

23 Demolition Work Involving Asbestos Removal

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

24 Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

25 Registered Surveyors Report - During Development Work

A report must be submitted to the PCA at each of the following applicable stages of construction:

- (a) Set out before commencing excavation.
- (b) Floor slabs or foundation wall, before formwork or commencing brickwork.
- (c) Completion of Foundation Walls - Before any construction of flooring, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans.
- (d) All new footings/piles are to be inspected by an experienced geotechnical professional before concrete or steel are placed to verify their bearing capacity and the insitu nature of the founding strata.
- (e) Regular inspections are to be conducted by a geotechnical professional of any battered or unsupported excavations, where proposed, to assess excavation conditions and confirm the suitability of the proposed methodology.
- (f) Completion of Floor Slab Formwork - Before pouring of concrete/walls construction, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans. In multi-storey buildings a further survey must be provided at each subsequent storey.
- (g) Completion of any Pool Formwork - Before concreting of pool shell, detailing the location of the pool relative to the adjacent boundaries and its height relative to the datum shown on the approved plans.
- (h) Completion of any Roof Framing - Before roof covered detailing eaves/gutter setback from boundaries.
- (i) Completion of all Work - Detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A final Check Survey must indicate the reduced level of the main ridge.

Work must not proceed beyond each stage until the PCA is satisfied that the height and location of the building is proceeding in accordance with the approved plans.

DURING CONSTRUCTION

DA2021.186- 41 Newton Road Strathfield- LOT 46 DP 8778 (Cont'd)

26 **Site Sign – Soil & Erosion Control Measures**

Prior to the commencement of works (including demolition and excavation), a durable site sign, issued by Council in conjunction with this consent, must be erected in a prominent location on site. The site sign warns of the penalties which apply to pollution, storing materials on road or footpath and breaches of the conditions relating to erosion and sediment controls. The sign must remain in a prominent location on site up until the completion of all site and building works.

27 **Hours of Construction for Demolition and Building Work**

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

28 **Ground Levels and Retaining Walls**

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

29 **Construction Management Plan**

The owner/applicant is to ensure that the approved Construction Traffic management Plan is to be strictly complied with and kept on site at all times during construction works.

30 **Swimming Pools – Filling with Water**

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the PCA.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

31 **BASIX Certificate**

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

32 **Completion of Landscape Works**

The approved landscape works have identified that the side setback area between the dwelling and boundary be nominated as landscaped area to ensure compliance with the minimum landscape area requirements. In this regard, this area shall be maintained as landscaped area and can only be used for growing plants, grasses and trees and cannot include any building, structure or hard paving (including rainwater tanks, air-conditioning units of ground mounted hot water systems).

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33 Post Construction Dilapidation Report – Private Land

At the completion of the construction works, a suitably qualified person is to be engaged to prepare a post-construction dilapidation report. This report is to ascertain whether the construction works associated with the subject development created any structural damage to the following adjoining premises:

- (a) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.

The report is to be prepared at the expense of the applicant and submitted to the PCA prior to the issue of the Occupation Certificate. In ascertaining whether adverse structural damage has occurred to the adjoining premises, the PCA, must compare the post-construction dilapidation report with the pre-construction dilapidation report required by conditions in this consent.

Evidence confirming that a copy of the post-construction dilapidation report was delivered to the adjoining properties subject of the dilapidation report must be provided to the PCA prior to the issue of any Occupation Certificate.

34 Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

35 Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

36 Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

37 Maintenance of Landscaping

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All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

38 Swimming Pools – Resuscitation Notice

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

39 Private Swimming Pools & Spas – Pump Noise

The swimming pool/spa pump and associated equipment must be located so that the noise emitted does not exceed 5dB(A) above the background level. If this cannot be achieved, a ventilated and sound-proofed enclosure must enclose the pump to achieve the required noise levels.

Swimming pool is to be installed with a timer that limits the recirculation and filtration systems operation such that it does not emit noise that can be heard within a habitable room in any other residential premises (regardless of whether any door or window to that room is open):

- (a) before 8 am or after 8 pm on any Sunday or public holiday, or
- (b) before 7 am or after 8 pm on any other day.

40 Internal Courtyard

The internal courtyard space above must not be enclosed and must stay open and exposed to the elements for so long as the dwelling house is utilised.

41 Greywater System

In order to conserve and re-use water, Council encourages all developments for new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979**42 Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

43 Appointment of a PCA

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

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If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

44 Notification of Critical Stage Inspections

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

45 Critical Stage Inspections

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

46 Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out.

47 Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS**48 Clause 97A – BASIX Commitments**

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

49 Clause 98 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

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50 **Clause 98A – Erection of Signs**

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

51 **Clause 98B – Home Building Act 1989**

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

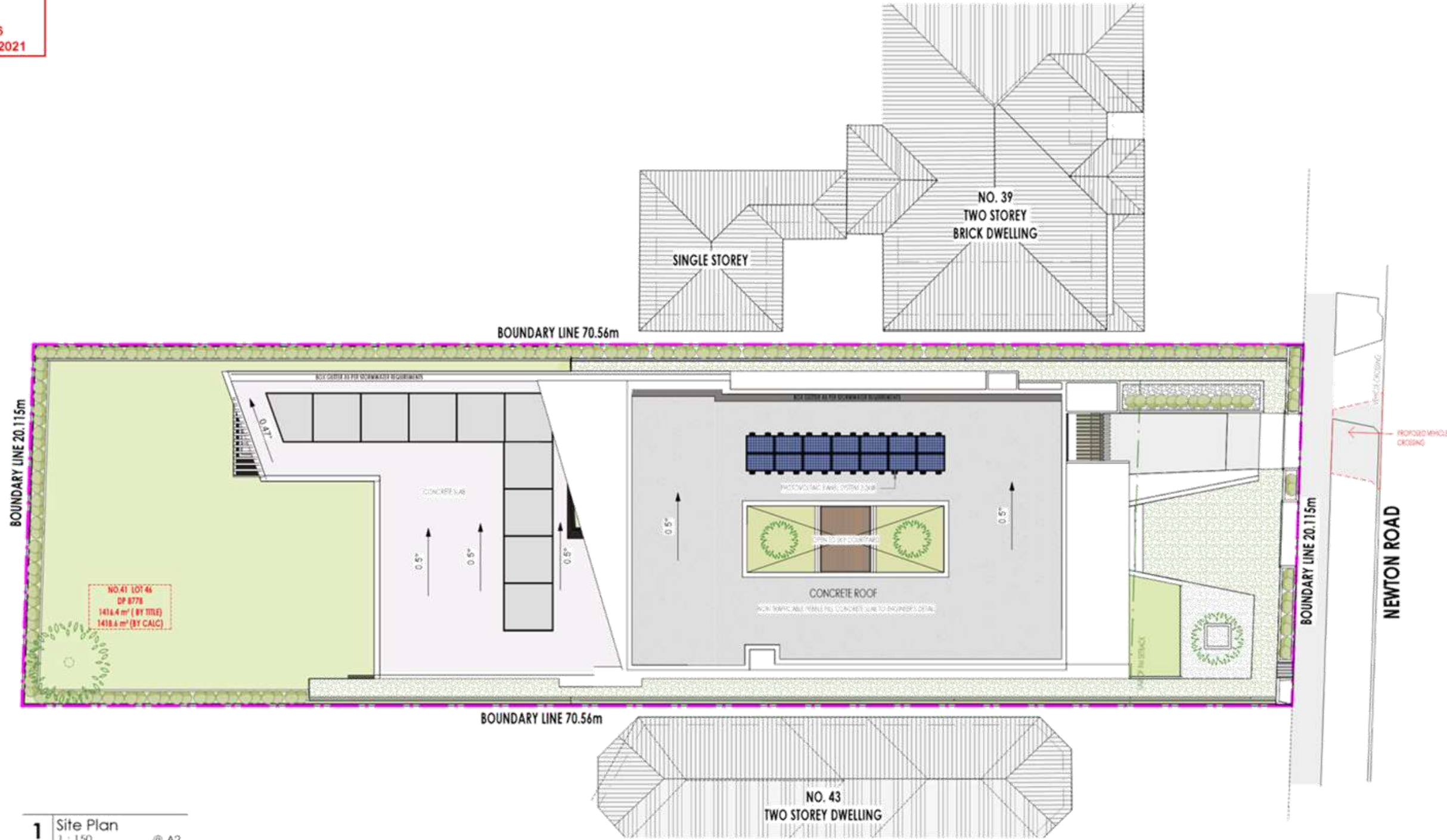
ATTACHMENTS

1. Site Map
2. Amended Plans
3. Amended Landscape Plans

ATTACHMENT 1



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1 Site Plan
1 : 150 @ A2

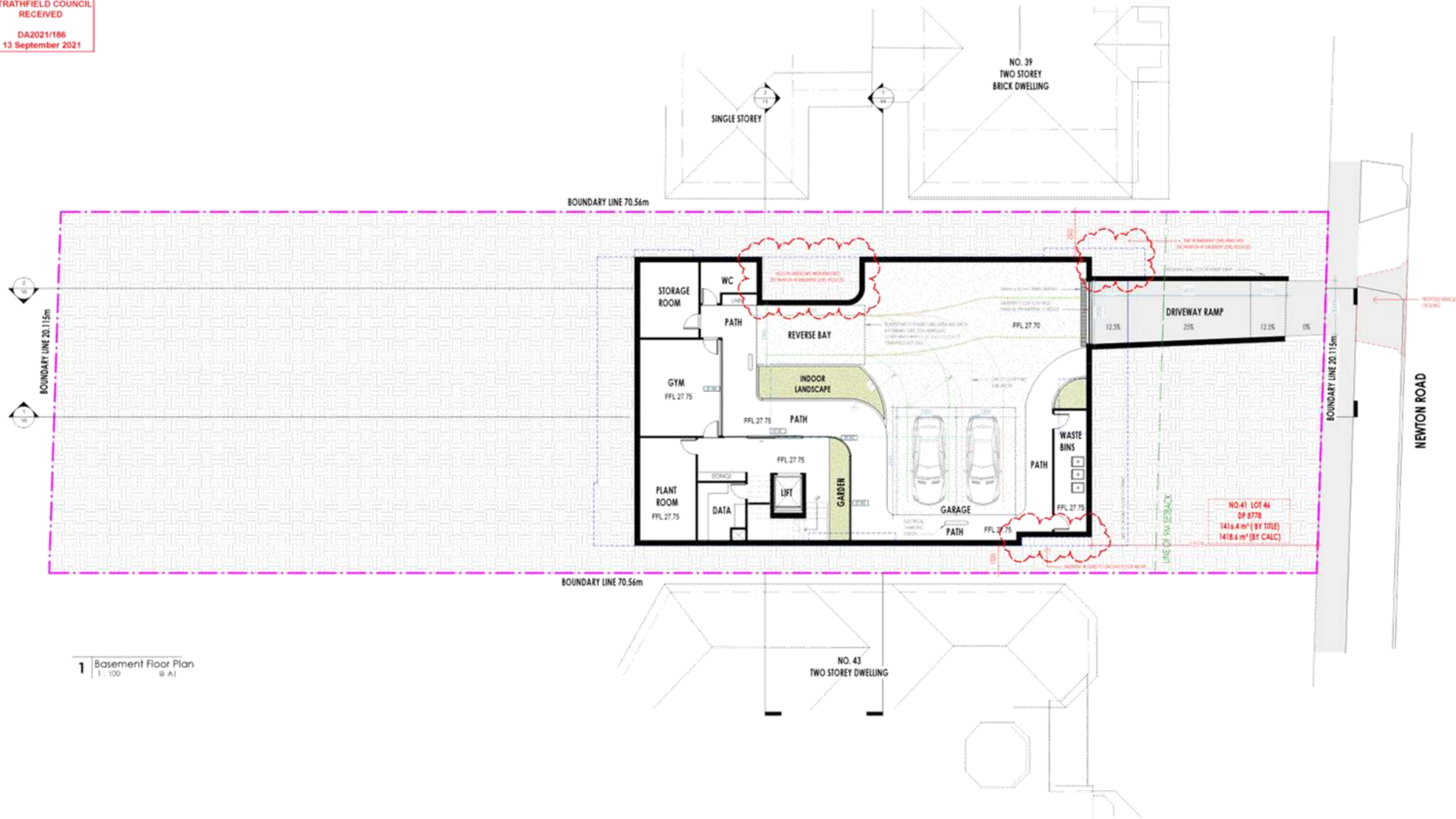
FSR CALCULATIONS - PROPOSED	
SITE AREA = 1418.16 m ²	
BASEMENT FLOOR GFA	72.07 m ²
GROUND FLOOR GFA	346.74 m ²
FIRST FLOOR GFA	279.32 m ²

TOTAL GROSS FLOOR AREA	698.13 m ²
Allowable FSR(0.50:1)	708.2 m ²
Proposed FSR	0.49 : 1

TITLE: TWO STOREY DWELLING WITH BASEMENT & POOL
 PROJECT: 41 NEWTON RD, STRATHFIELD
 CLIENT: ALI HADJICONS
 ARCHITECT: REMONDI HADJEVSKI
 DATE: 2021

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13 September 2021



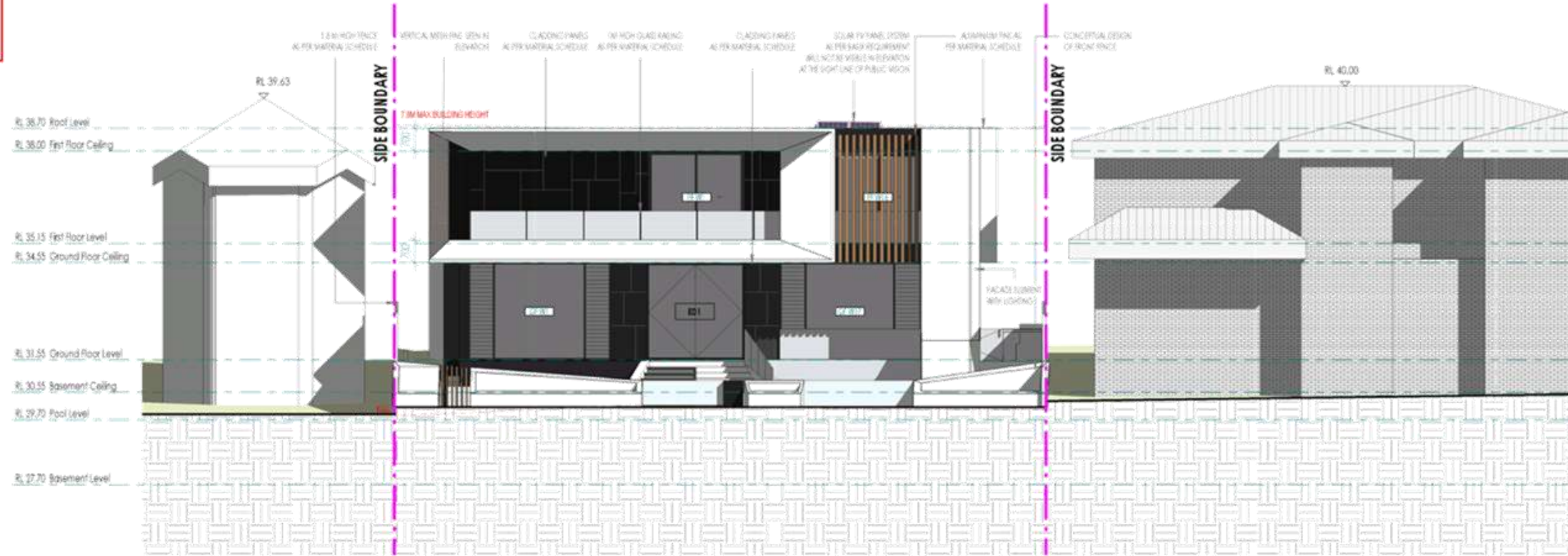
1 Basement Floor Plan
1:100 @ A1

WINDOW #	LEVEL	LOCATION	UPORN	HEIGHT	GLASS	WINDOW TYPE	GLASS SPEC	FRAME
W1	BASEMENT	STL CORN	1950	2000	0	FIXED GLASS PANEL GLASS LOUVER FIXED GLASS	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W2	BASEMENT	STL CORN	1950	2000	0	FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W3	BASEMENT	GARDEN	4400	2000	0	FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W4	BASEMENT	DRN	1500	2000	0	FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W5	FIRST FLOOR	MASTER SUITE	1000	2000	0	GLASS SLIDING DOOR FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W6	FIRST FLOOR	MASTER SUITE	1900	1600	220	SLIDE GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W7	FIRST FLOOR	BATH	1100	1600	220	GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W8	FIRST FLOOR	BD 1	1900	2000	0	GLASS LOUVER FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W9	FIRST FLOOR	BD 4	2200	2000	0	GLASS LOUVER FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W10	FIRST FLOOR	TVING	1000	2000	0	GLASS SLIDING DOOR FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W11	FIRST FLOOR	BD 1	1000	1200	1200	GLASS SLIDING WINDOW FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W12	FIRST FLOOR	SHAR (BD 1)	1750	1600	220	GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W13	FIRST FLOOR	SHAR (BD 2)	1750	1600	220	GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W14	FIRST FLOOR	BD 7	2000	2000	0	GLASS SLIDING WINDOW FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W15	GROUND FLOOR	DRIVE RAMP	4000	1000	0	GLASS LOUVER FIXED GLASS GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME

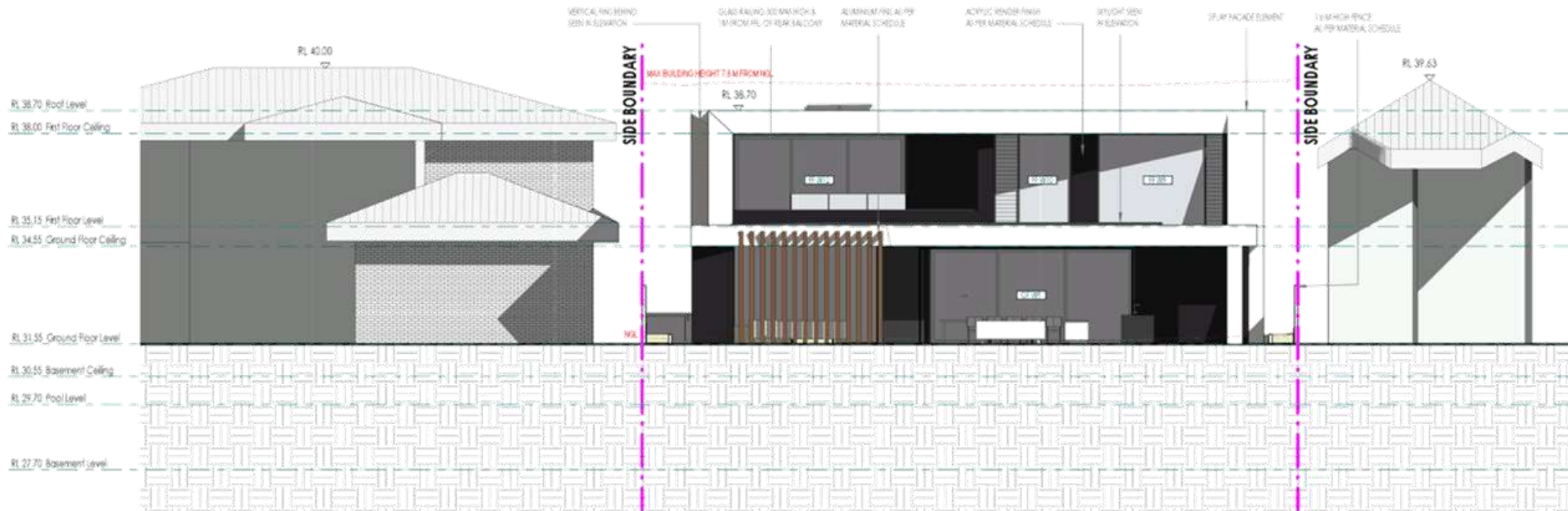
WINDOW #	LEVEL	LOCATION	UPORN	HEIGHT	GLASS	WINDOW TYPE	GLASS SPEC	FRAME
W16	GROUND FLOOR	DRIVE RAMP	1750	1000	200	GLASS WINDOW WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W17	GROUND FLOOR	DRIVE RAMP	1750	1000	200	GLASS SLIDING WINDOW FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W18	GROUND FLOOR	WC	2200	1000	200	SLIDE GLASS WINDOW FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W19	GROUND FLOOR	DRIVE RAMP	1750	1000	200	FIXED GLASS WINDOW FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W20	GROUND FLOOR	WASTE BINS	1600	1600	0	FIXED GLASS WINDOW ABOVE STAIRS	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W21	GROUND FLOOR	ALFRESCO	1900	1600	200	FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W22	GROUND FLOOR	ALFRESCO	1600	1600	0	GLASS SLIDING WINDOW DOOR FRAME	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W23	GROUND FLOOR	ALFRESCO	1600	1600	0	FIXED GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W24	GROUND FLOOR	SWAN STAIRCASE	1600	1600	0	FIXED GLASS WINDOW/DOOR GLASS	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W25	GROUND FLOOR	FORMAL DINING	1600	1600	0	GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W26	GROUND FLOOR	FORMAL DINING	1600	1600	0	GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W27	GROUND FLOOR	FORMAL DINING	1600	1600	0	GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W28	GROUND FLOOR	FORMAL DINING	1600	1600	0	GLASS LOUVER WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W29	GROUND FLOOR	DRIVE RAMP	1600	1600	0	SLIDE GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME
W30	GROUND FLOOR	DRIVE RAMP	1600	1600	0	SLIDE GLASS WINDOW	AL PER SCA & SASH REQUIREMENTS	POWER COATED ALUMINIUM FINISHED IN MOCHROME



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1 Front/South Elevation
1 : 100 @ A2



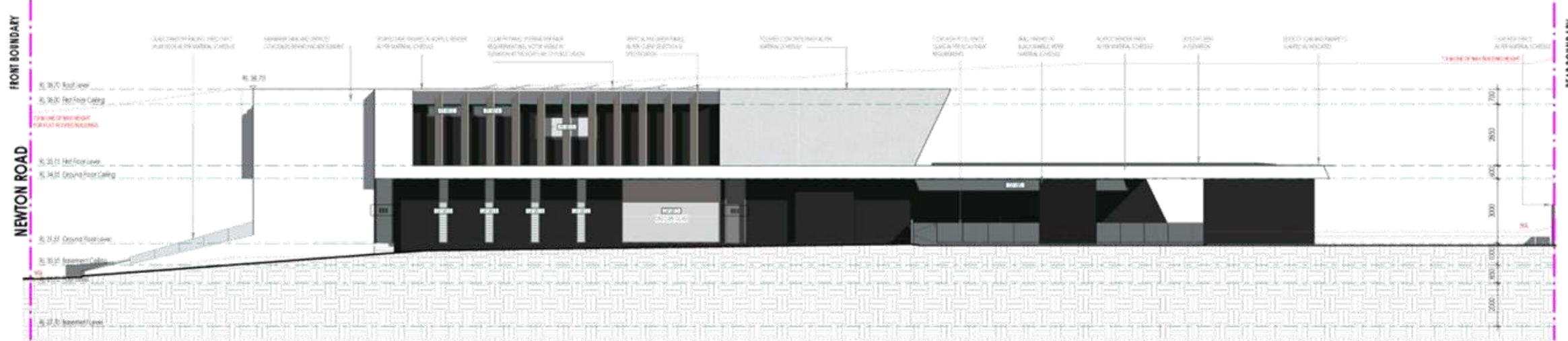
2 North/Rear Elevation
1 : 100 @ A2

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	20/09/2021	AM
2	ISSUED FOR APPROVAL	20/09/2021	AM

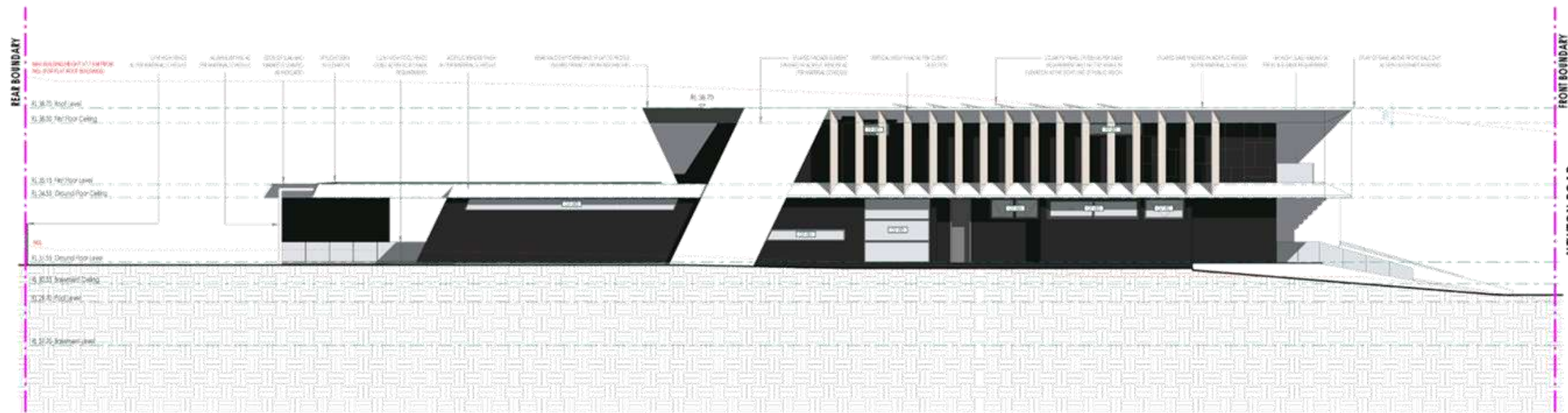
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2	ISSUED FOR APPROVAL	20/09/2021	AM

NO	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	20/09/2021	AM
2	ISSUED FOR APPROVAL	20/09/2021	AM

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13 September 2021



1 East/Side Elevation
1:100 @ A1



2 West/Side Elevation
1:100 @ A1

WINDOW #	FLOOR	LOCATION	LENGTH	HEIGHT	GLASS TYPE	GLASS SPEC	FRAME
W 01	BASEMENT	WALL CORNER	1500	2000	FRD GLASS PANEL GLASS LONG FRD GLASS	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 02	BASEMENT	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 03	BASEMENT	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 04	BASEMENT	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 05	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 06	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 07	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 08	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 09	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 10	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 11	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 12	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 13	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 14	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 15	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 16	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 17	FIRST FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK

WINDOW #	FLOOR	LOCATION	LENGTH	HEIGHT	GLASS TYPE	GLASS SPEC	FRAME
W 18	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 19	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 20	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 21	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 22	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 23	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 24	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 25	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 26	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK
W 27	GROUND FLOOR	WALL CORNER	1500	2000	FRD GLASS WINDOW	AL PERICA 3 SA&S REQUIREMENTS	POWER COATED ALUMINIUM FINISH FRAMEWORK

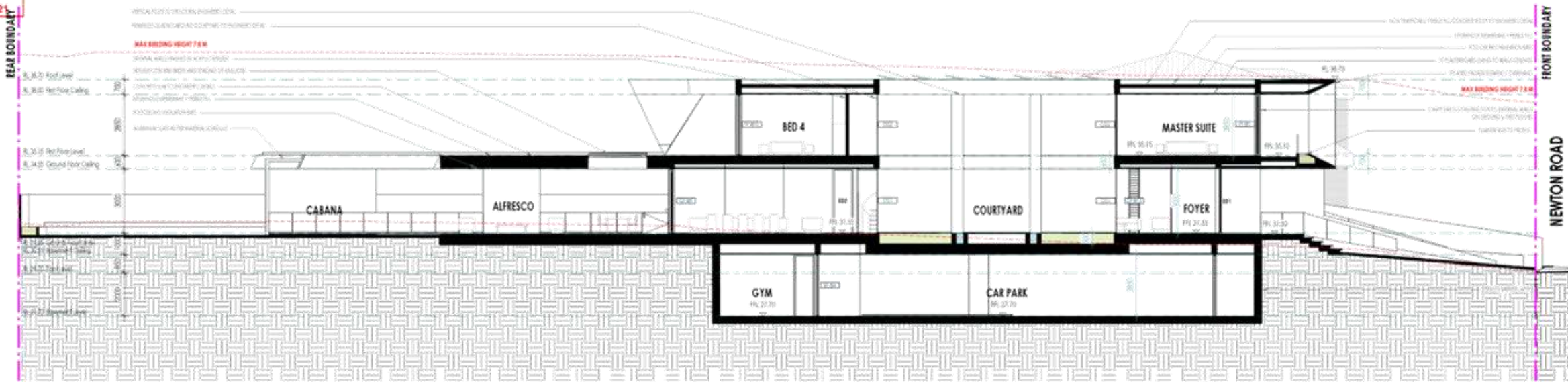
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13 September 2021

STRATHFIELD LOCAL PLANNING PANEL MEETING

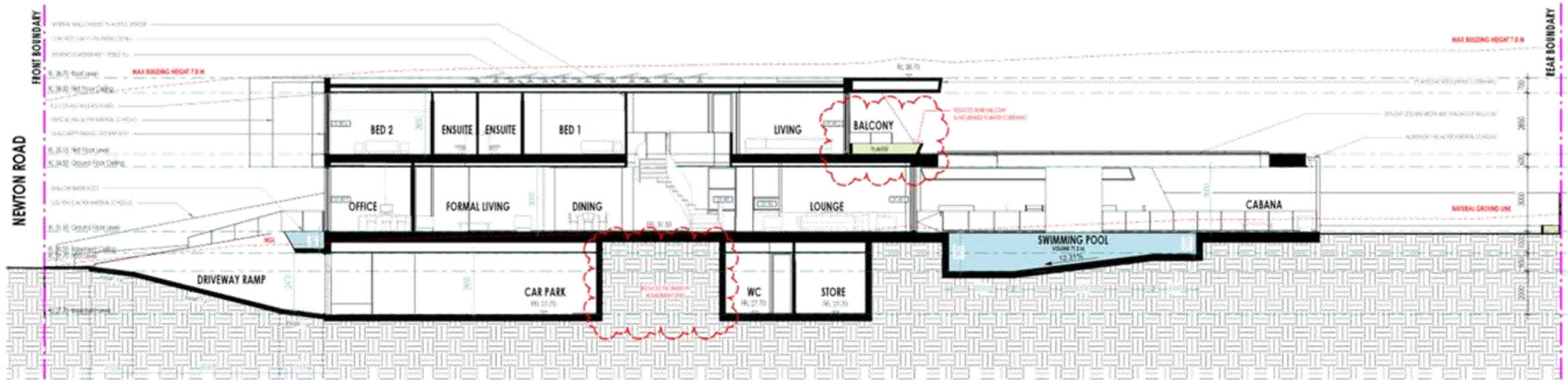
4 NOVEMBER 2021

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13 September 2021

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DA2021/186
13 September 2021



1 Longitudinal Section 1
1 : 100
@ A1



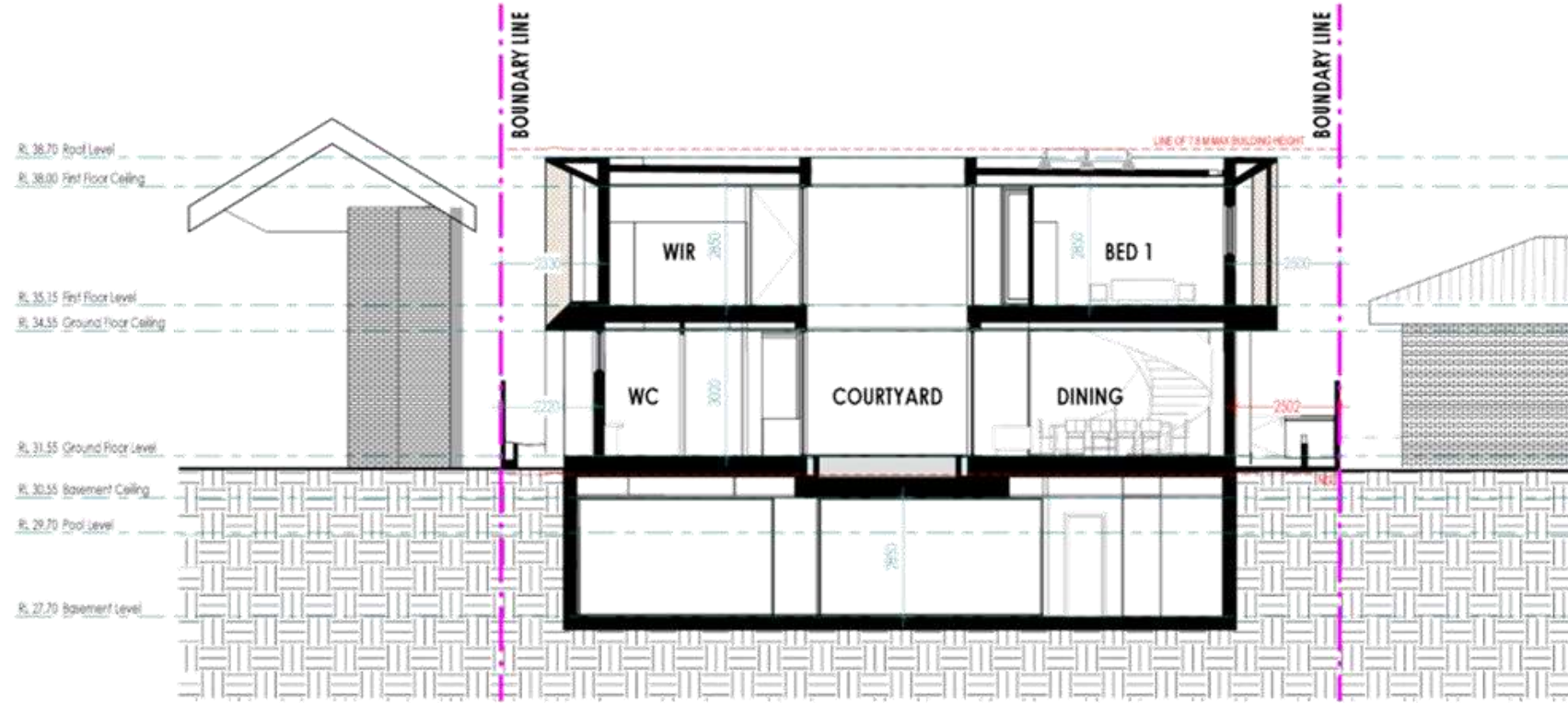
2 Longitudinal Section 2
1 : 100
@ A1

WINDOW #	FLOOR	LOCATION	LENGTH	HEIGHT	GLASS TYPE	GLASS SPEC	FRAME
W1	BASEMENT	EXT. CAB	2000	2000	0	FRONT GLASS PANEL, GLASS SLIDING - FRID GLASS	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W2	BASEMENT	EXT. CAB	2000	2000	0	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W3	BASEMENT	COURT	4000	2000	0	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W4	BASEMENT	STAIR	2000	2000	0	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W5	FIRST FLOOR	MASTER SUITE	3000	2000	0	GLASS SLIDING WINDOW 2 PANE	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W6	FIRST FLOOR	MASTER SUITE	3000	400	2000	2 PANE GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W7	FIRST FLOOR	BATH	1500	400	2000	GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W8	FIRST FLOOR	BED 2	2000	2000	0	GLASS LOUVER - FRID GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W9	FIRST FLOOR	BED 4	2000	2000	0	GLASS LOUVER - FRID GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W10	FIRST FLOOR	CABINA	3000	2000	0	GLASS SLIDING WINDOW 2 PANE	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W11	FIRST FLOOR	BED 1	3000	1500	1500	GLASS SLIDING WINDOW 2 PANE	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W12	FIRST FLOOR	ENSUITE (BED 1)	1500	400	2000	GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W13	FIRST FLOOR	ENSUITE (BED 2)	1500	400	2000	GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W14	FIRST FLOOR	ENSUITE (BED 3)	1500	400	2000	GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W15	FIRST FLOOR	COURT	4000	2000	0	GLASS LOUVER - FRID GLASS - GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER

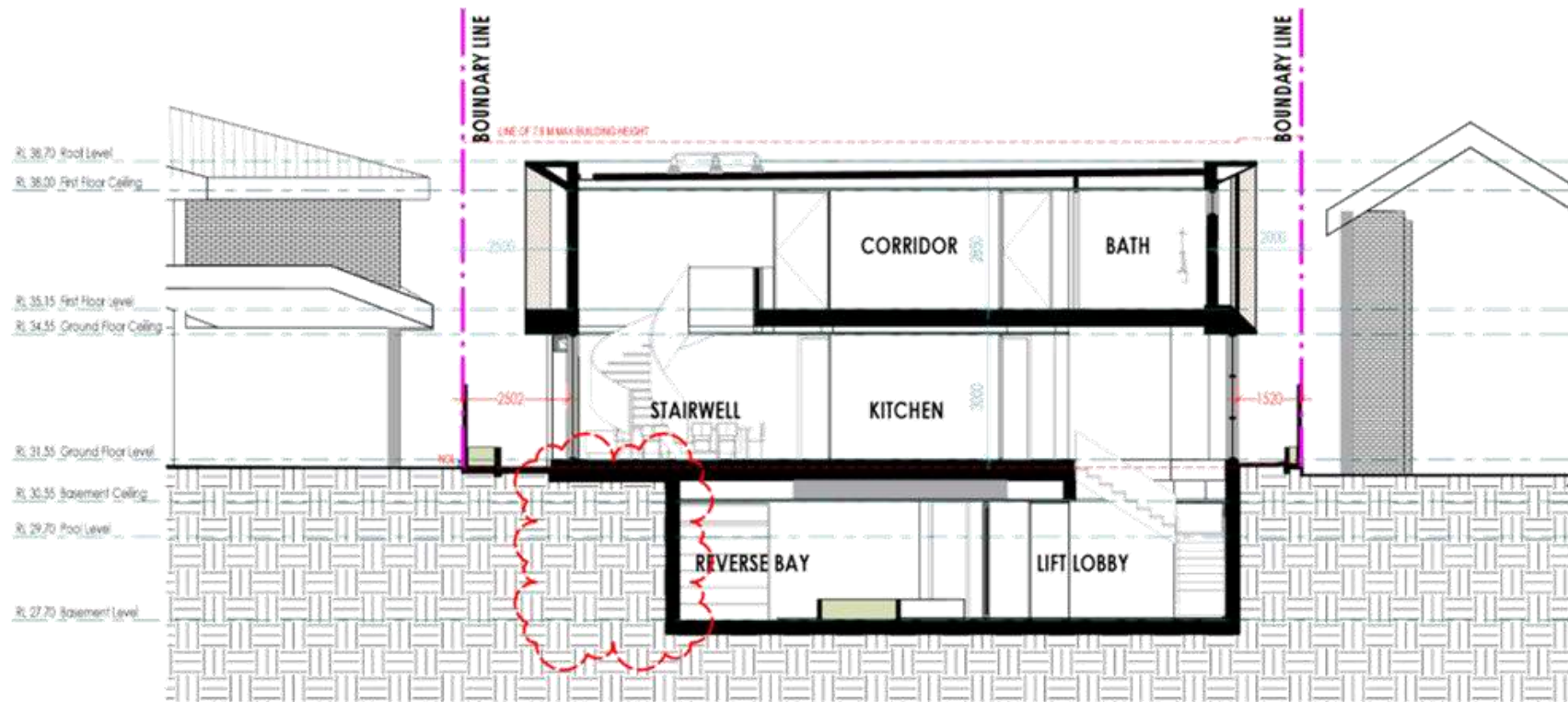
WINDOW #	FLOOR	LOCATION	LENGTH	HEIGHT	GLASS TYPE	GLASS SPEC	FRAME
W16	GROUND FLOOR	SHOWER GLASS	1500	2000	2000	GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W17	GROUND FLOOR	EXT. CAB	4000	2000	2000	GLASS SLIDING WINDOW 2 PANE	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W18	GROUND FLOOR	WC	2000	2000	2000	2 PANE GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W19	GROUND FLOOR	STAIR	2000	2000	0	FRONT GLASS WINDOW 2 PANE	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W20	GROUND FLOOR	BATH IN FINERY	1500	400	2000	FRONT GLASS WINDOW ABOVE SLIPBACK	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W21	GROUND FLOOR	ALFRESCO	1500	400	2000	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W22	GROUND FLOOR	ALFRESCO	1500	400	2000	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W23	GROUND FLOOR	LOUNGE	4000	2000	0	FRONT GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W24	GROUND FLOOR	BATH STAIRCASE	1500	2000	0	FRONT GLASS WINDOW (OBSCURE GLASS)	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W25	GROUND FLOOR	FORMAL DINING	3000	2000	0	GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W26	GROUND FLOOR	FORMAL DINING	3000	2000	0	GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W27	GROUND FLOOR	FORMAL DINING	3000	2000	0	GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W28	GROUND FLOOR	FORMAL DINING	3000	2000	0	GLASS LOUVER WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W29	GROUND FLOOR	OFFICE	1500	400	2000	2 PANE GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER
W30	GROUND FLOOR	OFFICE	1500	400	2000	2 PANE GLASS WINDOW	AS PER BCA & BASIS REQUIREMENTS, POWDER COATED ALUMINIUM FINISHED FINCHAMBER



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1 Transverse Section 1
1 : 100 @ A2



2 Transverse Section 2
1 : 100 @ A2

PROJECT	TWO STOREY DWELLING WITH BASEMENT & POOL
ADDRESS	41 NEWTON RD, STRATHFIELD
DATE	2021
SCALE	1:100
PROJECT	DA2021/186
DATE	13 SEP 2021
SCALE	1:100
PROJECT	DA2021/186
DATE	13 SEP 2021
SCALE	1:100

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13 September 2021



1 Basement Floor GFA
1:100 @ A1



2 Ground Floor GFA
1:100 @ A1

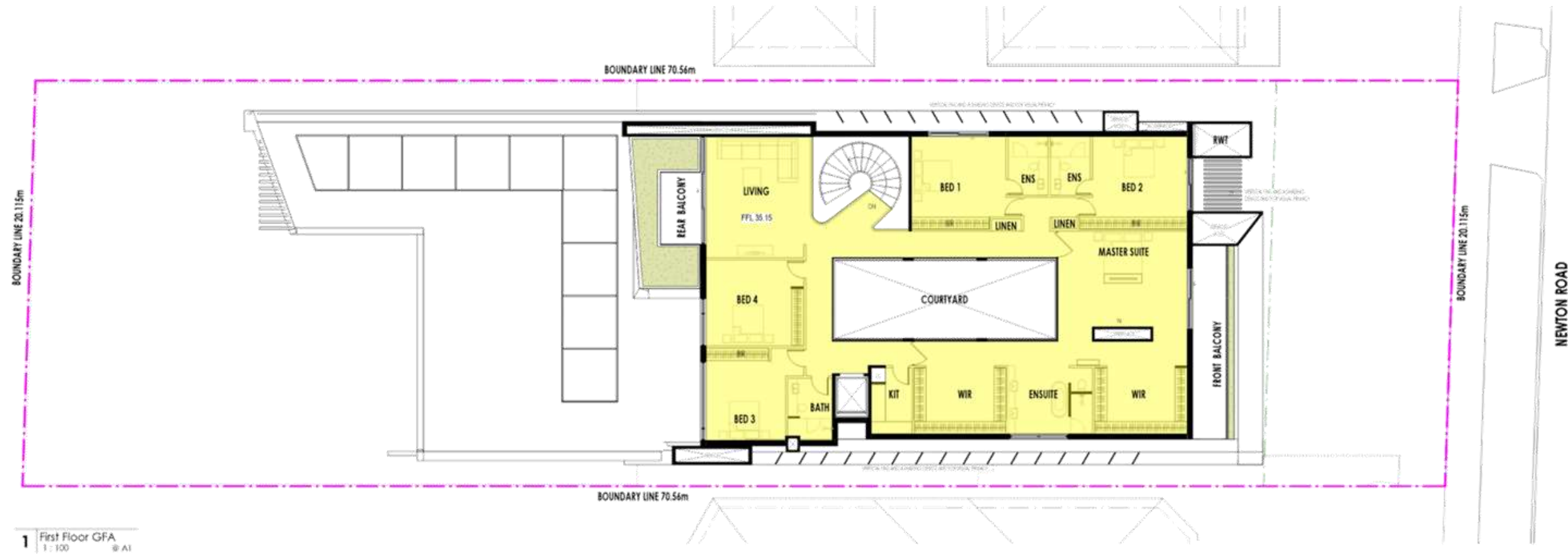
GROSS FLOOR AREA CALCULATIONS

FSR CALCULATIONS - PROPOSED	
SITE AREA	1418.16 m²
BASMENT FLOOR GFA	72.07 m²
GROUND FLOOR GFA	366.74 m²
FIRST FLOOR GFA	279.32 m²

TOTAL GROSS FLOOR AREA	698.13 m²
Allowable FSR @ 50:1	708.2 m²
Proposed FSR	0.49:1



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1 First Floor GFA
1:100 @ A1

NOTE EXCLUSIONS TO GROSS FLOOR AREA (STRATHFIELD LEP 2012):

- (d) any area for common vertical circulation, such as lifts and stairs, and
- (e) any basement—
- (i) storage, and
- (j) vehicular access, loading areas, garbage and services, and
- (k) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and
- (l) car parking to meet any requirements of the consent authority (including access to that car parking), and
- (m) any space used for the loading or unloading of goods (including access to it), and
- (n) terraces and balconies with outer walls less than 1.4 metres high, and
- (o) voids above a floor at the level of a storey or storey above.

FSR CALCULATIONS - PROPOSED	
SITE AREA = 1418.16 m ²	
BASEMENT FLOOR GFA	72.01 m ²
GROUND FLOOR GFA	346.74 m ²
FIRST FLOOR GFA	279.32 m ²
TOTAL GROSS FLOOR AREA	698.13 m²
Allowable FSR@0.50:1	708.2 m ²
Proposed FSR	0.49:1

GROSS FLOOR AREA CALCULATIONS



TO: Strathfield Local Planning Panel Meeting - 4 November 2021 SLPP –
REPORT: Report No. 36
SUBJECT: DA2018.134.2- 108 BERESFORD ROAD STRATHFIELD Lot: 5 DP: 7674
DA NO. DA2018.134.2

Property:	108 Beresford Road STRATHFIELD Lot 5 in DP 7674 DA 2018/134/2
Proposal:	Section 4.56 Modification Application for minor internal and external changes to the approved child care centre to comply with BCA requirements and provide a new lift overrun.
Applicant:	The Beresford Childcare Pty Ltd
Owner:	The Beresford Childcare Pty Ltd
Date of lodgement:	14 September 2021
Notification period:	30 September to 18 October 2021
Submissions received:	Fifteen (15) submissions
Assessment officer:	M Rivera
Estimated cost of works:	\$2,105,000.00
Zoning:	R2 – Low Density Residential - SLEP 2012
Heritage:	Not a heritage item In vicinity of Inveresk Park – heritage item I178 Not within a heritage conservation area
Flood affected:	Yes
Is a Clause 4.6 Variation Proposed:	No
RECOMMENDATION OF OFFICER:	APPROVAL



Figure 1: Locality Plan showing subject site (outlined in yellow) and surrounding properties.

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

EXECUTIVE SUMMARY

Proposal

Approval is being sought for a Section 4.56 Modification Application involving minor internal and external changes to an approved child care centre, in order to comply with BCA requirements and incorporate a lift overrun into the design.

Site and Locality

The site is identified as No. 108 Beresford Road, Strathfield and has a legal description of Lot 5 in DP 7674. The site is a rectangular shaped parcel of land and is located on the southern side of Beresford Road. The site has a width of 17.07m, a minimum depth of 59.88m and an overall site area of 1018m². The subject site is located within a typical low density, suburban area characterised by tree-lined streets and detached dwelling houses of varying design and scale.

State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017

The proposal is subject to provisions under this SEPP. An assessment against these has confirmed that the proposal satisfies all relevant objectives and provisions contained within this SEPP.

Strathfield Local Environmental Plan

The site is zoned R2 – Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal as amended satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development as amended generally satisfies the provisions of Strathfield Consolidated DCP 2005.

Notification

The application was notified in accordance with Council's Community Participation Plan from 30 September to 18 October 2021, where fifteen (15) submissions were received. Most of the concerns/issues raised in the submissions related to the lift overrun, removal of a barrier, and acoustic and privacy impacts due to window changes.

Issues

- Acoustic and privacy impacts – primarily in relation to window changes.
- Visibility of lift overrun.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, Development Application 2018/134/2 is recommended for approval subject to suitable modified conditions of consent.

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

REPORT IN FULL

Proposal

Council has received a Section 4.56 Modification Application for minor internal and external changes to the approved child care centre (DA2018/134/2). More specifically, the proposed modification involves:

- Internal reconfiguration of the toilet at the ground floor to provide a nappy change facility;
- Removal of child-resistant barrier at the undercover outdoor area to comply with the Building Code of Australia (BCA) requirements;
- New internal windows on Level 1 to comply with BCA requirements;
- Separation of toilet room to provide two separate toilets on Level 1;
- Increased window size at the rear of Level 1 to comply with BCA requirements and integration of privacy louvres into the new window design; and
- A new lift overrun for the approved lift.

Figures 2 to 9 illustrate the approved development and proposed changes of the ground floor, first floor and elevations of the proposed modification.

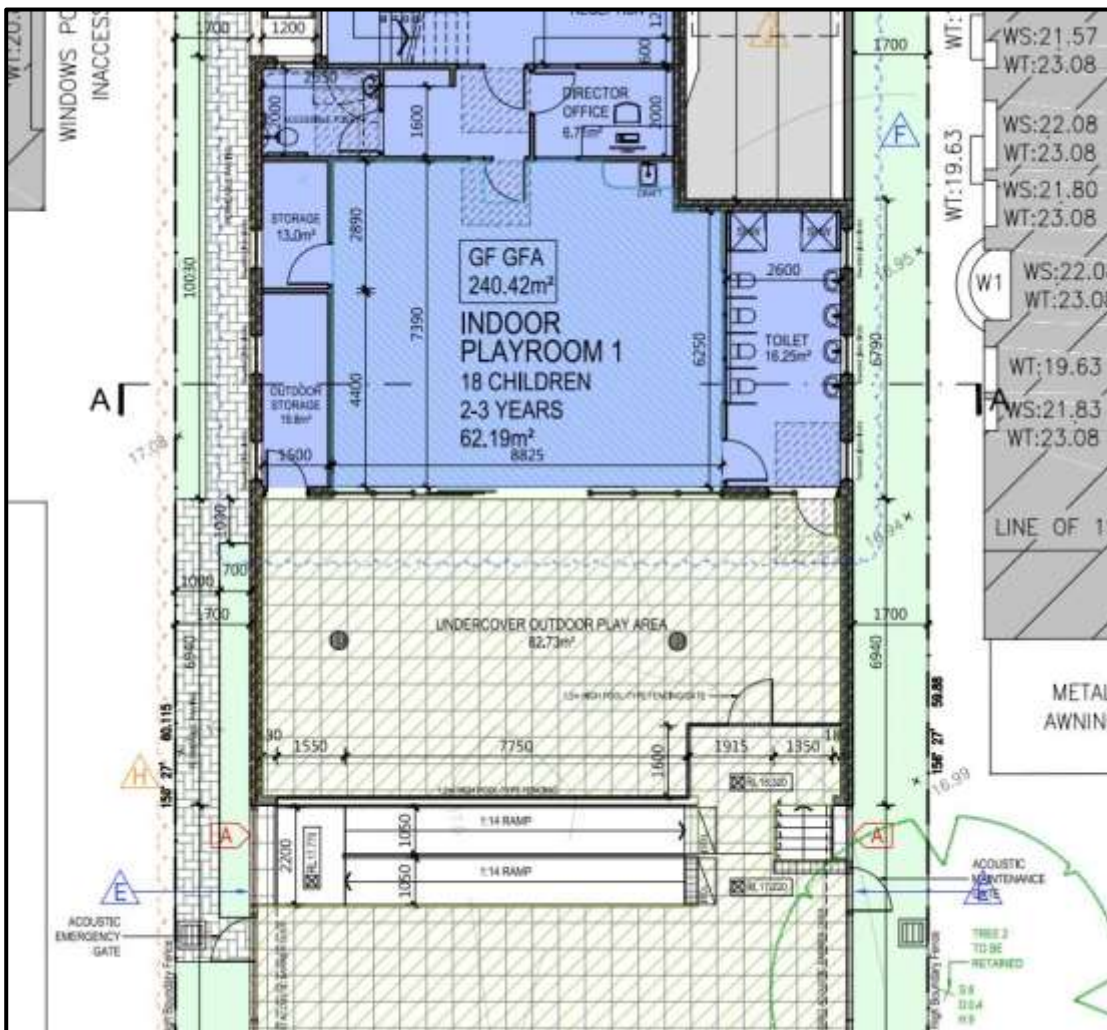


Figure 2: Approved ground floor showing Indoor Playroom 1 bathroom and child resistant barrier on the corner of outdoor play area.

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

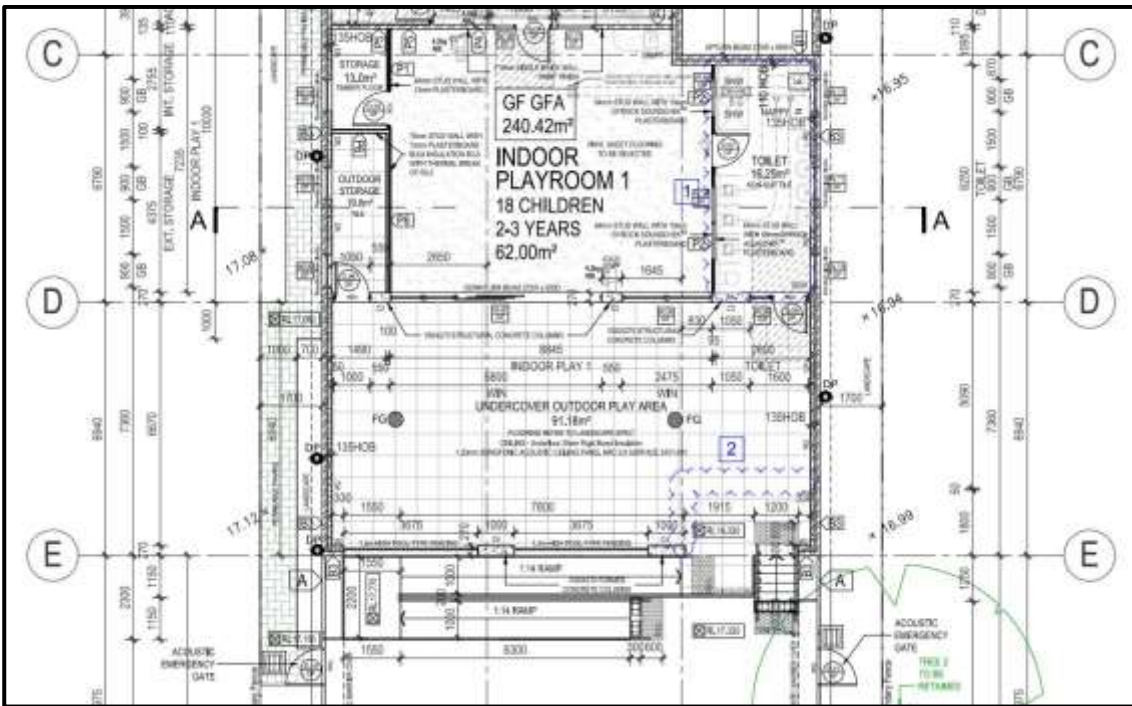


Figure 3: Proposed changes to ground floor – note changes to bathroom layout and removal of child resistant barrier on south-eastern corner of outdoor play area.

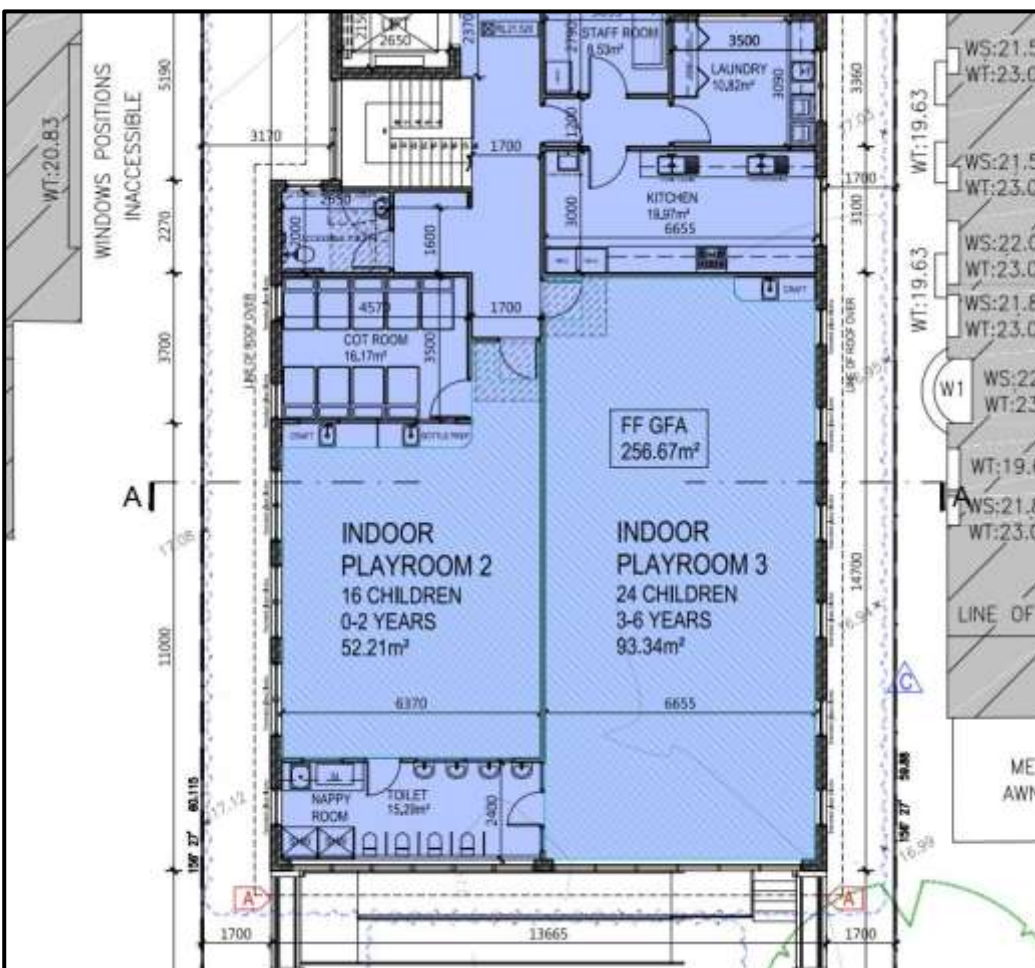


Figure 4: Approved layout of first floor – indoor playroom 2 and indoor playroom 3

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

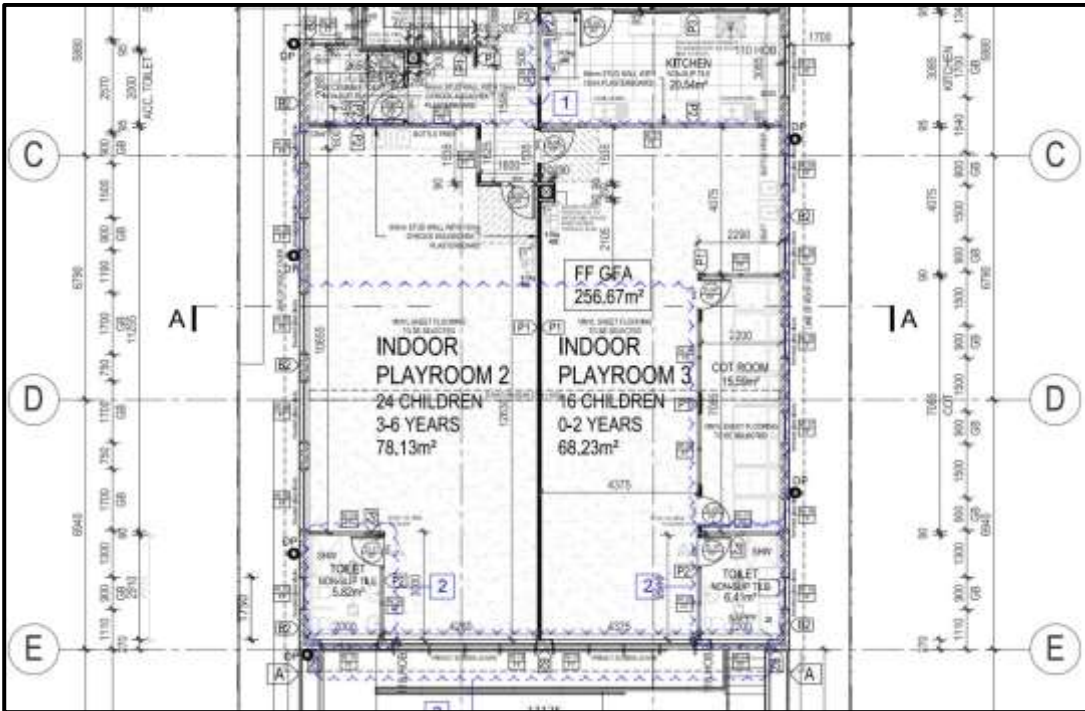


Figure 5: Proposed changes to first floor – including layout and use of playrooms and bathrooms and window changes along the side and rear elevations.



Figure 6: Approved north and south elevations



Figure 7: Proposed north and south elevations – note proposed lift overrun

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)



Figure 8: Approved east and west elevations

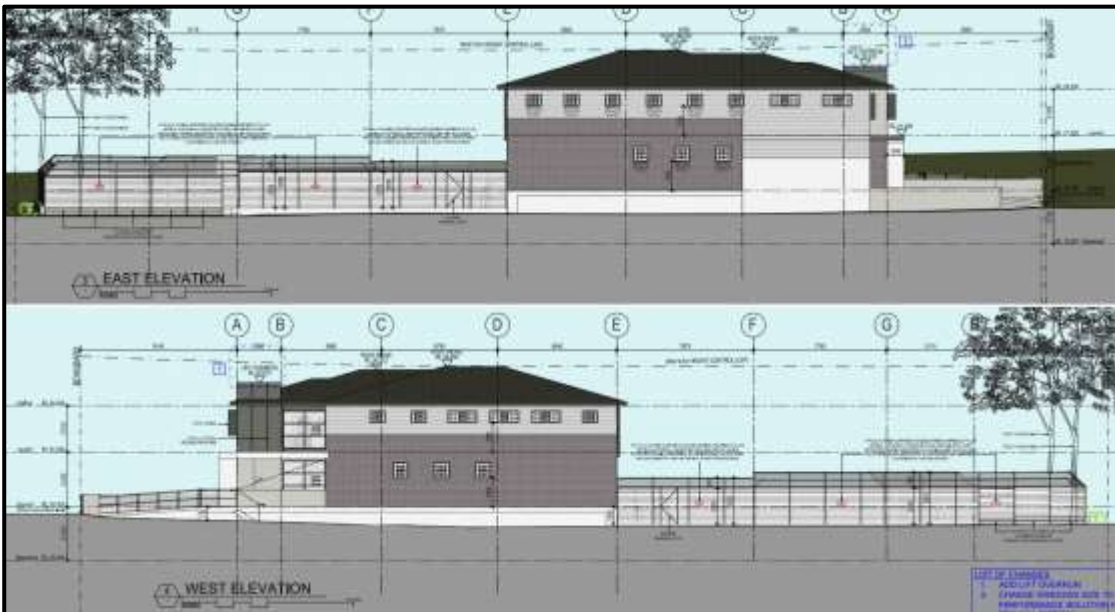


Figure 9: Proposed east and west elevations – not the proposed lift overrun

The Site and Locality

The subject site is legally described as Lot 5 in DP 7674 and commonly known as No. 108 Beresford Road, Strathfield. The site is within the R2 – Low Density Residential zone, pursuant to the provisions of SLEP 2012. The site is a rectangular shaped parcel of land and is located on the southern side of Beresford Road (refer to Figure 1).

The site has a width of 17.07m, a minimum depth of 59.88m and an overall site area of 1018m². The site is primarily flat with a fall of 0.9m towards the southern (rear) boundary.

The property is currently vacant and the works for the approved development have commenced (refer to Figure 10). The site benefits from having access via an existing driveway off Beresford Road.

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)



Figure 10: Subject site

The subject site is located within a typical low density, suburban area characterised by tree-lined streets and detached dwelling houses of varying design and scale (refer to Figures 11 to 13). Common architectural features and traits in the immediate vicinity include pitched roofing, exposed brick façades (in light brown or dark red), rendered cement façades (in cream/off-white/beige or grey), and front boundary fencing comprising bricks, sandstone or rendered cement.

The site is surrounded by the following properties:

- Adjoining the eastern boundary: a two (2) storey dwelling house at No. 106 Beresford Road, Strathfield (refer to Figure 12);
- Adjoining the western boundary: a single storey dwelling house at No. 110 Beresford Road, Strathfield (refer to Figure 13);
- Adjoining the southern (rear) boundary: dwelling houses at No. 131 and 129 Albert Road, Strathfield;
- North of the site and across the road: Inveresk Park, a public open space and locally listed heritage item containing grassed lawn areas, native trees and playground equipment (refer to Figure 14).

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)



Figure 11: Streetscape of Beresford Road – east of the site



Figure 12: Dwelling house at 106 Beresford Road

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)



Figure 13: Dwelling house at 110 Beresford Road



Figure 14: Inveresk Park

Background

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

7 March 2017	Development application (DA2018/134) was refused by the Strathfield Local Planning Panel (SLPP). This application was seeking approval for the demolition of existing structures and construction of a two (2) storey child care centre with basement car parking, with a maximum capacity of 85 children aged 0-5 years and up to 16 staff.
4-7 May 2020	Development application (DA2018/134) became a Class 1 matter (deemed refusal). During the Land and Environment Court (LEC) proceedings, the proposal was modified and amended to comprise of a child care with basement parking that would feature a maximum capacity of 58 children, 12 staff (including a chef) and 12 parking spaces.
25 August 2020	The LEC upheld the appeal.
10 September 2020	The LEC provided orders and subsequent consent and approval documentation.
14 September 2021	The subject Section 4.56 Modification Application (DA2018/134/2) was lodged with Council.
30 September 2021	The application was placed on exhibition, with the last date for submissions being 18 October 2021. Fifteen (15) submissions were received during this period.
18 October 2021	A site visit was undertaken by Council's assessment officer.
21 October 2021	Council's Building Surveyor provided comments on the proposal.

Referrals – Internal and External**INTERNAL****Building Surveyor Comments**

Council's Building Surveyor raised no concerns or objections with the proposed modification, subject to the imposition of modified conditions.

Section 4.56 of the EP&A Act 1979

Section 4.56 of the *Environmental Planning and Assessment Act 1979* states as follows:

“4.56 Modifications by consent authorities of consents granted by the Court

(1) A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the Court and subject to and in accordance with the regulations, modify the development consent if—

(a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and

(b) it has notified the application in accordance with—
(i) the regulations, if the regulations so require, and

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)

(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and

(c) it has notified, or made reasonable attempts to notify, each person who made a submission in respect of the relevant development application of the proposed modification by sending written notice to the last address known to the consent authority of the objector or other person, and

(d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.”

With regards to subclause ‘a’, it is considered that the modifications sought as part of this application are substantially the same development as the development for which the consent was originally granted for. The proposed modification specifically relates minor components of the approved child care centre – such as internal re-configurations, windows and a lift overrun. The general design and architectural expression, massing and scale, building separation, aesthetic and presentation of the child care centre will be near identical to the approved development. It is further noted that the capacity and operations as approved remain unchanged.

The proposed window changes are acceptable and will not lead to further privacy and amenity impacts of the new window schedule incorporates privacy treatments such as highlight design, fixed privacy louvres and/or obscured glazing/glass blocks.

The lift overrun is a necessary and anticipated component of the approved lift and sits well below of the upper roof of the building. It is well below the maximum building height provision under the SLEP 2012. It is further noted that this lift overrun is a minor component compared to the overall scale of the building and its pitched roof. Therefore, the addition of the lift overrun is considered a reasonable and acceptable outcome.

With regards to subclause ‘b’, the application was notified as per the previous notification area for the approved development, for at least fourteen (14) days, in accordance with Strathfield Council’s CPP. Fifteen (15) submissions were received during notification period.

With regards to subclauses ‘c’ and ‘d’, the application was notified as per the CPP to all surrounding neighbours and to all previous objectors for DA2018/134. The assessment of the proposed modification entailed consideration of all concerns/issues raised in the submissions (further detail is contained below).

Clause 4.56 (1A) of the *Environmental Planning and Assessment 1979* states the following:

(1A) In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.

The reasons for granting consent for the approved development were as follows:

“Having considered the submissions of the Parties, and the testimony of the experts, in this appeal, I conclude that the Applicant’s Proposed Development, as amended, should be approved because:

- (1) for reasons provided above at [57], the sound power levels, calculated as identified above at [52] to [55], do form a reasonable basis for the assessment of the potential noise impacts associated with the outdoor play areas that would be located within the rear area of the Subject Site;*

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- (2) for reasons provided at [62], it is feasible, and reasonable, to assume, on the basis of the Applicant's plan of management, that the Applicant can ensure that three of the seven children within the unencumbered play area can be managed such that they are engaged in passive play, and that this can be used as a basis calculating the potential noise impacts of the Proposed Development, which would be compliant with the guidance of the AAAC concerning acceptable noise impacts from childcare centres;
- (3) as identified above at [58(4)], the Applicant's proposal for the inclusion of specific condition of consent concerning the implementation of its plan of management is accepted, and its proposed condition 15(c) should be included within the final conditions of consent;
- (4) as discussed above at [62(6)], I am satisfied that the Proposed Development, as amended, and with the imposition of conditions of consent as addressed above at [76], would comply with the relevant provisions of SCDCP, as well as with the guidance provided within Section 3 of the Guideline;
- (5) as confirmed at [62(7)], the applicable provisions of the Guideline have been considered in relation to the Proposed Development, as required under cl 23 of the Childcare SEPP, and the Applicant's development application can be determined;
- (6) for reasons provided above at [69], it is reasonable and acceptable to approve the Proposed Development in circumstances where the noise levels received at receptor locations on the adjoining properties may exceed required noise levels by between 0.6 and 1.8dB(A);
- (7) for reasons provided at [72] and [73], approval of the Proposed Development is in the public interest.

Considering the nature of the proposed modification, the above reasons for granting consent apply. The proposed modifications retain the approved land use as a child care centre and the related capacity and operations. Any acoustic impacts are considered the same as per the approved development and will be mitigated and managed by the agreed and approved operations as per the Plan of Management. There are no significant changes proposed that would generate any changes to environmental impacts.

The nature of the proposed modification ensures that any changes will reflect the same compliance as the approved development, with regard to the relevant planning provisions and considerations, including those under the State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (Educational SEPP), SLEP 2012 and SCDCP 2005.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the *Environmental Planning and Assessment Act 1979*.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
 - (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy No 55 - Remediation of Land	Yes

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State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes
State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (Educational SEPP)	Yes

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations. The proposed modification does not change the approved land use of the child care centre. The objectives outlined within the SEPP are considered to be satisfied by the approved development. The nature of the proposed modification does not trigger the need for additional consideration.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

The aims and objectives outlined within the SEPP are considered to be satisfied by the approved development. The nature of the proposed modification does not trigger the need for additional consideration.

STATE ENVIRONMENTAL PLANNING POLICY (EDUCATIONAL ESTABLISHMENTS AND CHILD CARE FACILITIES) 2017 (EDUCATIONAL SEPP)

Clause 22 of the Educational SEPP prescribes that a consent authority must not grant consent to a development for the purpose of a centre-based child care facility, except with the concurrence of the regulatory authority, if:

- *The floor area of the building or place does not comply with regulation 107 (indoor unencumbered space requirements) of the Education and Care Services National Regulations; or*
- *The outdoor space requirements for the building or place do not comply with regulation 108 (outdoor unencumbered space requirements) of those regulations.*

Clause 107(2) of the Education and Care Services National Regulations contains the following provision:

The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 3.25 square metres of unencumbered indoor space.

Based on the above requirement, 188.5m² of unencumbered indoor space is required for the approved capacity of fifty-eight (58) children. The proposed modification provides 209.76m² of unencumbered indoor space and therefore achieves compliance with the minimum unencumbered indoor space requirement.

Clause 108(2) of Education and Care Services National Regulations contains the following provision:

The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 7 square metres of unencumbered outdoor space.

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Based on the above requirement, 406m² of unencumbered outdoor space is required for the approved capacity of fifty-eight (58) children. The approved existing centre provides 422.79m² of unencumbered outdoor space. The proposed modification does not change the dimensions/area of the approved outdoor space and therefore achieves compliance with the minimum unencumbered outdoor space requirement.

Clause 23 of the Educational SEPP prescribes as follows:

Before determining a development application for development for the purpose of a centre-based child care facility, the consent authority must take into consideration any applicable provisions of the Child Care Planning Guideline, in relation to the proposed development.

An assessment of the proposal against the relevant matters for consideration as prescribed in Part 2, 3 and 4 of the Child Care Planning Guidelines are as follows:

Matter for Consideration	Comment
3.5 Visual and Acoustic Privacy	
<p>C24 <i>Objective: To minimise the impact of child care facilities on the acoustic privacy of neighbouring residential developments.</i></p> <p><i>A suitably qualified acoustic professional should prepare an acoustic report which will cover the following matters:</i></p> <ul style="list-style-type: none"> • <i>identify an appropriate noise level for a child care facility located in residential and other zones</i> • <i>determine an appropriate background noise level for outdoor play areas during times they are proposed to be in use</i> • <i>determine the appropriate height of any acoustic fence to enable the noise criteria to be met.</i> 	<p>Objective is satisfied.</p> <p>The changes to windows is considered acceptable as privacy treatments have been incorporated to ensure any visual and acoustic privacy impacts are mitigated/managed.</p> <p>The approved operations and Plan of Management remain relevant and will ensure acoustic impacts are managed appropriately. It is recommended that the conditions, as endorsed by LEC, will remain in the modified consent to ensure this objective is satisfied by the proposal.</p>
3.6 Noise and Air Pollution	
<p>C25 <i>Objective: To ensure that outside noise levels on the facility are minimized to acceptable levels.</i></p> <p><i>Adopt design solutions to minimise the impacts of noise, such as:</i></p> <ul style="list-style-type: none"> • <i>creating physical separation between buildings and the noise source</i> • <i>orienting the facility perpendicular to the noise source and where possible buffered by other uses</i> • <i>using landscaping to reduce the perception of noise</i> • <i>limiting the number and size of openings facing noise sources</i> • <i>using double or acoustic glazing, acoustic louvres or enclosed balconies (wintergardens)</i> • <i>using materials with mass and/or sound insulation or absorption properties, such as solid balcony balustrades, external screens and soffits</i> 	<p>Objective is satisfied.</p> <p>The outdoor spaces are noted to remain the same as the approved development, with the exception of removing a barrier between raised and lower outdoor play areas. The amount of area remains the same and it is noted that the designated quiet play area and the outdoor play areas remain appropriately separated as per the approved development.</p> <p>It is noted that the predominant land use surrounding the centre is low density residential (dwelling houses).</p>

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	<ul style="list-style-type: none"> • • <i>locating cot rooms, sleeping areas and play areas away from external noise sources.</i> 	
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Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012.

Part 2 – Permitted or Prohibited Development**Clause 2.1 – Land Use Zones**

The subject site is zoned R2-Low Density Residential and the proposal as modified is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Approved development	Proposed modification	Compliance/ Comment
4.3 Height of Buildings	Max 9.5m	9.5m	9.5m	Complies and unchanged from approved development.
4.4 Floor Space Ratio	Max 0.5:1 509m ²	0.5:1 509m ²	0.5:1 509m ²	

Part 5 – Miscellaneous Provisions**Heritage Conservation**

The subject site is not listed as a heritage item or located within a heritage conservation area. The site does not adjoin nor is in close proximity to a heritage item and as such, the provisions of this clause are not applicable. The proposed modification is situated across the road from a prominent heritage item, Inveresk Park (I178). The minor nature of the proposed modifications ensures that any potential impacts on the significance, value and character of this heritage item will be near identical to the approved child care centre.

Flood Planning

The subject site has been identified as being at or below the flood planning level. The provisions of this clause have been assessed by the LEC and are deemed satisfied.

Part 6 – Additional Local Provisions**Acid Sulfate Soils**

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. The provisions of this clause have been assessed by the LEC and are deemed satisfied.

Earthworks

The proposal modifications do not include any changes to the approved excavation and basement works of the approved development. Any excavation for footings or levelling of the site have been assessed and approved by the LEC and are considered acceptable.

Essential Services

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Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The provisions of this clause have been assessed by the LEC and are deemed satisfied.

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development, as modified is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

PART E – CHILD CARE CENTRES

1.2: Objectives of Part E

1.2	Objectives	Satisfactory
A.	To encourage the provision of child care centres to meet the needs of the community and ensure that such centres will be appropriate for the purpose and provide a functional and pleasant environment for users.	Yes
B.	To ensure that there is a consistent approach to the provision, construction and approval of child care centres.	Yes
C.	To ensure that child care centres are compatible with neighbouring land uses.	Yes
D.	To ensure the amenity of adjoining neighbours is retained (including protection of privacy, access to property, etc) and is not detrimentally affected by noise emissions from the site.	Yes
E.	To ensure child care centres are located with adequate, convenient and safe parking for visitors that do not impose on any residential neighbourhoods or commercial areas.	Yes
F.	To ensure that child care centres integrate into existing residential environments and are unobtrusive in terms of size, bulk, height and the amount of landscaped area provided.	Yes
G.	To provide child care centres that are located or designed so as not to pose a health risk to children using the centre.	Yes
H.	To retain and protect significant existing vegetation in the Strathfield Municipality.	Yes

Comments: The proposed modification features a near identical design as the approved child care centre and will carry the same mass and scale – with the exception of the lift overrun. This lift overrun is considered a small element compared to the overall built form and front façade of the development (as approved). No changes are proposed with regard to the operations of child care centre and its maximum children and staff capacity. Accordingly, the proposed modification is considered consistent with relevant clauses under Part E of the SCDCP 2005.

5.9: Noise

5.9	Objectives	Satisfactory
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A.	<i>To protect neighbours from excessive noise by ensuring that noise from a child care centre is not created by additional traffic, activities on and off the site and children's activities on site.</i>	Yes
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5.9	Guidelines	Complies
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5.9	Guidelines	Complies
	<i>Protecting Neighbours from Excessive Noise</i>	
1	Access points are located so as to minimise disruption to neighbours	Yes
2	Playground areas are appropriately located	Yes
3	Appropriate location of windows and doors	Yes
4	No public address systems have been installed at the centre	N/A
5	The use of fencing and landscaping to reduce the impact of noise	Yes
6	The proposed hours of operation, particularly the impact of early morning starting times	N/A

Comments: The proposed modification involves no significant changes to the approved internal and external spaces and their functionality. The changed layouts of the ground floor and first floor reflect a near identical functionality as the approved areas and are not considered to generate any additional nor significant acoustic impacts that would warrant an amended acoustic report. The revised design features minimal changes and accordingly, the consent (as modified) will effectively mitigate and manage any potential noise impacts associated with the child care centre operations.

5.12: Fencing and Gates

5.12	Objectives	Satisfactory
A.	<i>To ensure the child care centre provides a safe environment for children</i>	Yes

B.	<i>To minimise access by children to dangerous areas</i>	Yes
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5.12	Guidelines	Complies
1	Outdoor play areas must be fenced on all sides by fencing of at least 1800 mm in height.	Yes
2	No play equipment shall be located adjacent to a fence if, by doing so, it reduces the effective height of the fence and enables it to be scaled.	Yes
3	All gates leading to or from play areas shall be equipped with child self-locking mechanisms.	Yes

5.12	Requirement	Complies
1	Outdoor play areas must be fenced on all sides by fencing of at least 1800 mm in height.	Yes

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Comments: With regard to approved gates and fences, the proposed modification will only involve the removal of a single child resistant barrier within the undercover outdoor play area. The removal of this barrier does not affect the development's compliance against the above criteria.

5.13: Safety and Health

5.13	Objectives	Satisfactory
A.	<i>To ensure that the site and building provide a safe and healthy environment for children</i>	Yes
B.	<i>To minimise access to dangerous areas and substances by children.</i>	Yes

5.13	Guidelines	Complies
1	Safety balustrades have been provided on all balconies and raised areas.	Yes
2	Kitchen areas are have been separated from play areas in accordance to NSW DOCS requirements.	Yes
3	Dangerous substances such as detergents and cleaning materials have been securely stored	Yes
4	Fire safety egress and equipment have been installed in accordance with the Building Code of Australia.	Yes
5	Outdoor play equipment complies with current Australian Standards, notably AS 1924 Playground Equipment for Parks, Schools and Domestic Use, Part 1 General Requirements and Part 2 Design Construction - Safety Aspects; AS/NZS 4422 - Playground Surfacing - Specifications, Requirements and Test Methods; and AS/NZS 4486 - Playgrounds and Playground Equipment.	Yes

Comments: None of the proposed changes will affect the development's compliance against the above objectives and guidelines. The changed layout of the internal spaces, which include amendments to the toilet on the ground floor to incorporate a nappy change facility and amendments to indoor play rooms on the first floor, will likely improve the operations of the facility and ensure the design of internal spaces are fit for purpose and pragmatic.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The provisions of this clause are not relevant to the modification and have been addressed/considered as part of the original development consent.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed modification does not drastically or significantly change the bulk and scale of the approved child care centre and is considered to be in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

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(c) the suitability of the site for the development,

It is considered that the proposed development, as modified, is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments. The proposal does not change the approved land use (child care centre). The minor nature of the proposed modification is such that the essence, design and aesthetic of the child care facility remains largely the same as approved by the LEC. Accordingly, any impacts (additional or otherwise) generated by the proposal is considered similar and comparable to the approved development and are deemed reasonable and acceptable.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Council's Community Participation Plan, the application was placed on neighbour notification from 30 September to 18 October 2021, where adjoining property owners were notified in writing of the proposal and invited to comment. Submissions were received from the following properties:

- 98 Beresford Road, Strathfield – three (3) submissions;
- 104 Beresford Road, Strathfield – two (2) submissions;
- 106 Beresford Road, Strathfield;
- 110 Beresford Road, Strathfield – four (4) submissions;
- 3/30-34 Homebush Road, Strathfield;
- 86 Burlington Road, Homebush;
- 2006/301 Botany Road, Zetland NSW 2017; and
- Unknown address – two (2) submissions.

Issue / Concern	Response
<p>Lift overrun for approved lift:</p> <ul style="list-style-type: none"> - Lift pit not correctly constructed. - Lift overrun not aesthetically pleasing. - Overrun will look out of place – indicating commercial use. - Bulk and scale of lift overrun unacceptable. - Overshadowing impacts. - Lift overrun systems should be within approved plans. 	<p>The proposed lift overrun is a necessary and expected component of the approved lift and sits well below of the upper roof of the building. It is well below the maximum building height provision under the SLEP 2012. It is further noted that this lift overrun is a minor component compared to the overall scale of both the building's front facade and pitched roof. The bulk and scale of the lift overrun is not considered excessive and its visibility is not considered prominent within the site setting, nor offensive to the streetscape.</p> <p>There are examples of lift overruns approved and constructed in low density residential areas. The majority of these are situated below the roof ridge of pitched roof built forms. The lift overrun will not have significant additional overshadowing impacts.</p> <p>Facilitation of a lift overruns are not an uncommon occurrence and can occur during preparation of detailed construction design.</p> <p>On balance, the addition of the lift overrun is considered a reasonable and acceptable outcome.</p>
<p>Full height windows to rear rooms (first floor):</p> <ul style="list-style-type: none"> - Visual privacy impacts. - Windows should be highlight 	<p>The proposed changes to the rear-facing windows on the first floor may be regarded as having perceived amenity, privacy and acoustic impacts. It is noted; however, that privacy treatments (in the</p>

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Issue / Concern	Response
<p>windows.</p> <ul style="list-style-type: none"> - Acoustic report should be provided. - Bulk and scale unacceptable. • 	<p>form of privacy screen louvres) have been incorporated to mitigate these impacts. The plans do not indicate the exact materiality of these treatments. A condition will be imposed to ensure the privacy treatments are designed to minimise overlooking and comprise of a translucent or obscured or opaque glazing to a minimum sill height of 1.6m. This condition will ensure that the full height windows will have a highlight-like design that ameliorates potential overlooking.</p> <p>Provision of an acoustic report is not considered reasonable given the minor nature of the proposed changes. It is noted that the layout and functions of the facility remain largely the same as the approved development. The conditions in relation to acoustic impacts and the management and monitoring of noise levels are unchanged under this modification and will remain in the modified consent.</p> <p>The changes to the windows are contained wholly within the approved footprint and do not add to the bulk and scale of the development as approved.</p>
<p>Removal of child-resistant barrier:</p> <ul style="list-style-type: none"> - Not related to BCA compliance. - This barrier was required by the LEC and goes against the decision. - Will facilitate the potential future expansion of the centre. 	<p>The removal of the child-resistant barrier is considered acceptable. Notwithstanding whether this is required under BCA – its removal will not detrimentally affect the functionality of the facility nor its ability to operate in a safe manner. The safety and operations of the facility are likely to be predominantly controlled by the consent and approved plan of management.</p> <p>The LEC endorsed consent does not stipulate nor necessitate the inclusion of this particular barrier.</p> <p>The removal of the barrier does not set precedence nor increase the outdoor area as approved. As such, it will not facilitate further expansion of the centre.</p>
<p>Changes to side windows will result in privacy and acoustic impacts.</p>	<p>The proposed changes to the side windows are considered acceptable and reasonable given that their design reflects a similar highlight design as per the approved development and correspond with the same spaces on the first floor.</p>

(e) the public interest.

The proposal is of a scale and character that does not conflict with the public interest. The above issues/concerns raised in the submissions are considered addressed and resolved. The proposed modification demonstrates alignment and compliance with applicable development standards, provisions, objectives and controls under environmental planning instruments including the Educational SEPP, the SLEP 2012 and the SCDPC 2005. This has been clearly detailed in the above assessment of the proposal.

Local Infrastructure Contributions

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Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

The proposed modifications do not result in the increase or change to the contributions imposed on the original consent.

Signed:

Date: 21 October 2021

**Miguel Rivera
Senior Planner**

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are not applicable to this development;

Report and recommendations have been peer reviewed and concurred with.

Signed:

Date: 22 October 2021

**Joseph Gillies
Senior Planner**

RECOMMENDATION

The application for modification has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the Environmental Planning and Assessment Act 1979, the provisions of the SLEP 2012 and SCDCP 2005.

Pursuant to Section 4.56 of the *Environmental Planning and Assessment Act 1979* and following detailed assessment of the proposed modifications to Development Consent No. 2018/134 for be **APPROVED**.

1. The proposed modifications does not result in the change to the description of the approved development and is to be maintained.
2. The original conditions of consent of Development Consent No. 2018/134 as approved for the demolition of existing structures and the construction of a child care centre for 58 children with basement level parking for 12 car spaces operating 7am to 6pm, Monday to Friday, be approved except were amended as below.
3. As part of this Section 4.56 Modification Application, the following conditions are to be modified, added or deleted;
 - Modify Condition 1 to reflect modified/amended plans; and
 - Modify Condition 14 to incorporate further detail on the privacy treatments of rear-

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facing/south-facing windows of indoor playrooms on first floor.

GENERAL CONDITIONS (GC)**1. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)**

(a) The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans relating to Development Consent No.2018/134:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
DA02	Ground Floor Plan	Bechara Chan & Associates Pty Ltd	Issue Q 28.04.20	04.05.20
DA03	Basement Plan First Floor Plan	Bechara Chan & Associates Pty Ltd	Issue P 28.04.20	04.05.20
DA04	Roof & Site Plan	Bechara Chan & Associates Pty Ltd	Issue Q 28.04.20	04.05.20
DA05	Elevations	Bechara Chan & Associates Pty Ltd	Issue P 21.04.20	04.05.20
DA06	Section A-A, B-B Front Fence	Bechara Chan & Associates Pty Ltd	Issue O 21.04.20	04.05.20
CC.01	Basement Plan	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
CC.02	Ground Floor Plan	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
CC.03	First Floor Plan	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
CC.04	Roof and Site Plan	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
CC.05	Elevations	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
CC.06	Section A-A, B-B Front Fence	Bechara Chan & Associates Pty Ltd	Issue F 07.09.2021	14.09.21
DA07	Privacy Sections Section C-C, D-D, E-E	Bechara Chan & Associates Pty Ltd	Issue B 28.04.20	04.05.20

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DA09	Driveway Section	Bechara Chan & Associates Pty Ltd	Issue P 28.04.20	04.05.20
001	Landscape Design – Street Frontage	Site Image	Issue I 25.02.20	
002	Landscape Design – Outdoor Play Areas	Site Image	Issue I 25.02.20	
003	Landscape Design – Plant Schedule	Site Image	Issue I 25.02.20	
004	Landscape Design - Details	Site Image	Issue I 25.02.20	
005	Landscape Design – North Elevation	Site Image	Issue I 25.02.20	
006	Landscape Design – South Elevation	Site Image	Issue I 25.02.20	
007	Landscape Design – East & West Elevations	Site Image	Issue I 25.02.20	
A8170	General Notes	Alpha Engineering & Development	Revision F 25.02.20	26.02.20
A8170 – SW01	Sediment and Erosion Control Plan	Alpha Engineering & Development	Revision F 25.02.20	26.02.20
A8170 – SW02	Basement Drainage Plan	Alpha Engineering & Development	Revision F 25.02.20	26.02.20
A8170 – SW03	Ground Floor Drainage Plan	Alpha Engineering & Development	Revision F 25.02.20	26.02.20
A8170 – SW04	First Floor & Roof Drainage Plan	Alpha Engineering & Development	Revision F 25.02.20	26.02.20
A8170 – SW05	Stormwater Sections & Details	Alpha Engineering & Development	Revision F 25.02.20	26.02.20

Reference Documentation relating to Development Consent No.2018/134:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Flood Impact Assessment Report	Alpha Engineering & Development	Revision G 25.02.20	26.02.20
Plan of	No author	12.05.20	12.05.20

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Management			
Preliminary and Detailed Site Investigation	ADE Consulting Group	Version 1F 31.01.20	26.02.20
Stage 1 Preliminary Site Investigation with Limited Soil Sampling	ADE Consulting Group	Version 1F 17.12.19	26.02.20
Supplementary Acoustic Report	Renzo Tonin & Associates	Revision 0 24.02.20	26.02.20
2 nd Supplementary Acoustic Report	Renzo Tonin & Associates	Revision 0 24.02.20	26.02.20
Traffic and Parking Impact Assessment	Transport and Traffic Planning Associates	Issue G Feb 2020	26.02.20
BCA Compliance Report	Modern Building Certifiers	Revision 1 01.05.20	04.05.20
Access Certificate 20-026-L01	Access Link Consulting	30.04.20	04.05.20

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

MODIFIED BY DA2018/134/2 DATE: 4 November 2021

2. CHILD CARE CENTRE - APPROVED USE AND NUMBER OF CHILDREN (GC)

This approval is given for the use of the land for the purposes of a Child Care Centre with a maximum number of 58 children under the following distribution:

- 0 – 2 years – 16 children
- 2-3 years - 18 children
- 3 – 6 years - 24 children

A separate approval and/or license will be required from the Department of Community Services for the operation of a child care centre from the subject premises.

(Reason: To ensure the development is consistent with the development for which consent was granted.)

3. CHILD CARE CENTRE – HOURS OF OPERATION (GC)

Day	Hours of Operation
Monday to Friday	7:00am to 6:00pm
Saturday, Sunday and Public Holidays	Closed

The garage door shall remain closed outside of operating hours with the exception that up to two (2) vehicles may enter the between 6:45am and 7:00am to facilitate access by up to two (2) staff members for the purpose of preparing the centre for opening.

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4. CHILD CARE CENTRE – NOISE LEVELS (GC)

(a) Child care centres and educational establishments are to be designed to not exceed the following noise levels:

(i) LAeq (15 minutes) noise level from the entire site, including children in the outdoor areas of the site, activities inside the centre, car park, driveways and mechanical plant) must not exceed the background LA90 sound level by more than 5dBA when measured at the boundary of the nearest or most affected residential premises (or if the boundary is more than 30 metres from a residential dwelling, at the most affected point within 30 metres of a residence).

(ii) LAFmax level between 6:45am and 7am from the use of the driveway and carpark must not exceed:

(A) 58dB(A) when measured at the bedroom windows of the nearest or most affected residential premises; and

(B) 63dB(A) when measured at the boundary with the nearest or most affected residential premises.

(Reason: Amenity of neighbouring properties.)

5. Deleted. RISK ASSESSMENT REPORT – IMPLEMENTATION (GC)

6. CONSTRUCTION HOURS (GC)

(a) No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

(b) No building activities are to be carried out at any time on a Sunday or public holiday.

(c) Where the development involves the use of jackhammers/rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

7. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

8. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

DA2018.134.2- 108 Beresford Road Strathfield (Cont'd)**9. DEMOLITION - SITE SAFETY FENCING (GC)**

(a) Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

(b) If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

(i) payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and

(ii) provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

10. LANDSCAPING - TREES PERMITTED TO BE REMOVED (GC)

(a) The following listed trees are permitted to be removed to accommodate the proposed development:

(i) One (1) site tree, as shown to be removed as submitted on the approved plans, is permitted to be removed to accommodate the proposed development.

(b) Any site trees permitted to be removed by this consent shall be replaced (2 trees for each tree removed) by species selected from Council's Recommended Tree List and must have a minimum mature height of 10 metres.

(c) Replacement trees shall be a minimum 50 litre container size. Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

(d) All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

(e) Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

(f) Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

(g) A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

(h) Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure appropriate planting back onto the site.)

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11. ENVIRONMENTAL PROTECTION – TREES (GC)

(a) All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

(b) All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Section 4, Tree protection measures, and Appendix C Tree Protection Zone Sign, of Australian Standard AS4970 - 2009, Protection of Trees on Development Sites, prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

(c) In this regard the street tree and all protected trees on or adjacent to the site will be protected as described below;

(i) A Tree Protection (Management) Plan prepared by a AQF Level 5 Arborist is to be available on site at all times prior to the issue of the Constriction Certificate, for all demolition and site works. This Tree Protection (Management) Plan must be shown on the demand of Authorised Council staff.

(ii) Protective perimeter fencing must be consistent with AS 4687, using metal fence posts greater than 20mm diameter and solid or chain wire mesh 2 metres in height supported on concrete pads/feet at 2-2.5 metre spacing. Fencing placement should not be closer than 2.5 metres from the trunk of each protected tree, or at a distance as specified by the approved Tree Protection (Management) Plan and approved by Council's Tree Management Officer. Shade cloth is to be used to prevent entry of dust and contaminated liquids into the root protection area.

(iii) Signs must be placed on the Fencing. These signs must comply with AS1319. The signs must state the purpose of the fencing and the name and contact details of the builder and the appointed AQF Level 5 consultant arborist.

(iv) Root protection is to be provided in the form of mulching to a depth of 50100mm, inside of the fenced tree protection zone.

(v) Ground (Root) Trunk and Branch Protection must comply with the diagram of Figure 4 of AS4970 – 2009. Ground protection within the tree protection zone and drip line should be in the form of heavy steel plates or timber rumble boards over mulch or aggregate. Trunk and branch protection should be to a minimum height of 2 metres and must include measures to protect the tree/s against damage from the movement of trucks, plant equipment and materials at greater heights above ground level.

(vi) Temporary signs, cables, wires must not be attached to, or suspended, on any street tree or protected tree.

(vii) Above ground utilities must not be placed within the canopy of an existing protected tree, or create the future need for clearance pruning.

(viii) Below ground utilities/services must not be located inside the fenced tree protection zone.

(ix) Scaffolding must not be located in the fenced tree protection zone unless authorised by

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the approved Tree Protection (Management) Plan and Council's Tree Management Officer.

(x) Council must be notified in writing within 24 hours, for all temporary removal of the tree protection fencing ground (root) trunk and branch protection within the root protection area.

(xi) Pruning of a street tree is prohibited without the written consent of Council.

(Reason: To ensure the protection of trees to be retained on the site.)

12. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

(a) Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

(i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;

(ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and

(iii) the sign must state that unauthorised entry to the work site is prohibited.

(b) Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

(c) This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

13. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

(a) All of the following are to be satisfied/complied with during demolition, construction and any other site works:

(i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.

(ii) Demolition must be carried out by a registered demolition contractor.

(iii) A single entrance is permitted to service the site for demolition and construction. Protection pads are to be installed to the kerb, gutter and nature strip where trucks and vehicles enter the site.

(iv) No blasting is to be carried out at any time during construction of the building.

(v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.

(vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.

(vii) Any demolition and excess construction materials are to be recycled wherever practicable.

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(viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.

(ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.

(x) All waste must be contained entirely within the site.

(xi) A site plan including temporary waste storage locations, construction material storage areas and vehicular access to and from the site must be included with application.

(xii) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.

(xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling and must be presented to Council and/or Principal Certifying Authority upon request.

(xiv) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.

(xv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.

(xvi) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.

(xvii) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.

(xviii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.

(xix) Any work must not prohibit or divert any natural overland flow of water.

(xx) Toilet facilities for employees must be provided in accordance with WorkCover NSW.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

13A. The recommendations in the Preliminary and Detailed Site Investigation Report prepared by ADE Consulting Group dated 31 January 2020 approved by Council shall be implemented unless it conflicts with other conditions of this consent.

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CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (PCC)**14. ARCHITECTURAL PLANS (CC)**

Drawing No. DA.14 and DA.15 of the approved architectural plans (as referred to in condition 1) and the approved landscaping plans Drawing Numbers 001 – 007, Issue I (as referred to in condition 1) are to be amended generally in accordance with approved architectural plans Drawing DA.02 Rev Q dated 28 April 2020 and Drawing DA.03, Rev P, dated 28 April 2020) and submitted to Council for approval prior to the release of a construction certificate for building works as follows:

(a) The egress pathway located along the western boundary, adjacent to the building must be replaced with an egress pathway that is reduced in length to extend to no further than 1m beyond the ramps located at the rear of the undercover outdoor play area.

(b) The egress pathway is to be located against the building for the distance between the front elevation and the undercover outdoor play area. A 700mm wide landscape area is to be provided between the western boundary and this part of the egress path. Planting of proposed *Acmena smithii* 'Minor' (detailed in Landscape Plan Revision H dated 03/09/2018) along western boundary egress pathway is to be replaced with *Gardenia augusta* 'Florida', in a minimum 200mm pot size with 700mm spacing (minimum 24 plants).

(c) The egress pathway is to be located against the boundary for the remaining distance up to 1m beyond the ramps at the rear of the undercover distance up to 1m beyond the ramps at the rear of the undercover outdoor play area, except where it is required to connect to the part of the egress pathway located against the building, and to enable access/egress from the undercover outdoor play area. A 700mm wide landscape area is to be provided between this part of the egress pathway and the acoustic barrier adjoining the undercover outdoor play area. This landscaped area must be planted with planting *Ficus pumila*, supplied in 200mm pots and spaced at a minimum of 500mm (minimum 16 plants). *Ficus pumila* are to be located closely to the acoustic barrier to allow for attachment and to enable the growth of climbing vegetation on this part of the acoustic barrier. The remainder of the garden bed is to be planted with *Liriope muscari* 'Isabella' planted at 400mm spacing (minimum 20 plants, minimum pot size 200mm).

(d) No stepping-stones or other pathway is to be located between southern extent of the egress pathway and the rear boundary. This part of the setback is to be planted with *Acmena smithii* 'Minor' spaced at 1m intervals with a minimum pot size of 45L to allow for screening hedging (minimum 23 plants). No under-planting is to be provided to ensure overland flow paths are maintained. *Acmena smithii* 'Minor' to be positioned 700mm from the acoustic barrier within the 1.7m wide landscape buffer zone.

(e) The compacted decomposed granite path to the Eastern boundary setback is to be removed. Proposed planting of *Acmena smithii* 'Minor' quantities (detailed in Landscape Plan Revision H dated 03-09-2018) to be adjusted to reflect a minimum spacing of 1m intervals along the entire eastern boundary in minimum pot size of 45L. *Acmena smithii* 'Minor' to be positioned 700mm from the acoustic barrier within the 1.7m wide landscape buffer zone. Remainder of garden area to be planted with *Myoporum parvifolium* at a rate of 2 plants per square metre (minimum 80 plants in 140mm pot size).

(f) Planting along rear (southern) boundary quantities to be replaced to match 1m interval spacing in minimum pot size of 45L (minimum 17 plants).

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(g)The plant schedule changes and inclusion summary table for the landscape plan is as follows:

(i) Western boundary

(iv)

i. Screen planting to acoustic wall

(xx) (xxi) (xxii)	(v) Botanic al name	(vi) Com mon name	(vii) Pot Size	(viii) H eight	(ix) Sp read	(x) Spa cing (centres)	(xi) Qty (min)
ii.	(xii) <i>Acmena</i> (xiii) <i>smithii</i> 'Minor'	(xiv) Lillyp illy	(xv) 45L	(xvi) 3. 0m	(xvii) 1.5 m	(xviii) 1m	(xix) 2 3

Planting along egress

(xxiii)

(xxiv) Bota nical name	(xxv) Com mon name	(xxvi) Po t Size	(xxvii) Hei ght	(xxviii) Sp read	(xxix) Spa cing (centres)	(xxx) Qty (min)
(xxxii) <i>Ficus</i> <i>pumila</i>	(xxxiii) Cree ping (xxxiv) fig	(xxxv) 20 0mm	(xxxvi) Cli mber	(xxxvii) 1m	(xxxviii) 0.5	(xxxix)) 1 6
(xli) <i>Gar denia</i> (xli) <i>augu sta</i> 'Florida'	(xlii) Gar denia	(xliii) 20 0mm	(xliv) 0.9 m	(xlv) 0.7 m	(xlvi) 0.7 m	(xlvii) 2 4
(xlviii) <i>Lirio pe</i> <i>muscari</i> (xlix) 'Isab ella'	(l) Lirio pe	(li) 20 0mm	(lii) 0.5 m	(liii) 0.4 m	(liv) 0.4 m	(lv) 2 0

(lvi)

(ii) Eastern boundary

(lxxix)

(lvii) Botanic al name	(lviii) Com mon name	(lix) Po t Size	(lx) H eight	(lxi) Sp read	(lxii) Spa cing (centres)	(lxiii) Qty (min)
(lxiv) <i>Ac mena</i> <i>smithii</i> (lxv) 'Minor'	(lxvi) Lillyp illy	(lxvii) 45 L	(lxviii) 3. 0m	(lxix) 1.5 m	(lxx) 1m	(lxxi) 2 3
(lxxii) <i>Myopori um</i> <i>parvifolium</i>	(lxxiii) Cree ping Boobiala	(lxxiv) 14 0mm	(lxxv) 0. 1m	(lxxvi) 1m	(lxxvii) 2 plants per m ²	(lxxvii) i) 8 0

(lxxx)

(iii)

Southern boundary

(lxxxi)

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(lxxxii) Botanic al name	(lxxxiii) Com mon name	(lxxxiv) Po t Size	(lxxxv) H eight	(lxxxvi) Sp read	(lxxxvii) Spa cing (centres)	(lxxxviii) Qty (min)
(lxxxix) <i>Acmena smithii</i> 'Minor'	(xc) Lillyp illy	(xci) 45 L	(xcii) 3. 0m	(xciii) 1.5 m	(xciv) 1m	(xcv) 7 1

(h) The privacy treatments/privacy louvres of the rear-facing/south-facing windows must be designed to minimise privacy impacts and overlooking from the indoor playrooms (first floor). These treatments/louvres must comprise of obscured/frosted/translucent glazing from the bottom of the window/s and up to at least a 1.6m sill height or equivalent.

MODIFIED BY DA2018/134/2 DATE: 4 November 2021

15. PLAN OF MANAGEMENT (CC)

(a) Section 10 of the approved Plan of Management is to be updated by inserting the following paragraph:

"Upon being inducted to the centre, staff are to be trained on how to safely use the stacked parking arrangements. The 3 stacked staff parking spaces located in the south-western corner of the basement are to be occupied first in the morning, and departed last at night to ensure the other 2 staff parking spaces and the visitor spaces can be used efficiently. The staff parked in the 3 stacked parking spaces should not leave their spaces in the peak operation hours of the centre (i.e. 7:30am – 9:30 am and 4:00 pm – 5.30pm)."

(b) The second paragraph in Section 3 of the approved Plan of Management is to be updated to read:

"Two staff members may arrive between 6:45am and 7am for the purpose of preparing the centre for opening".

(c) The approved plan of management is to be updated by inserting the following requirement:

'The manager of the centre shall ensure that one teacher is allocated to ensure that one teacher is allocated to ensure that a minimum of three of the seven children permitted in the 'unencumbered outdoor play area' are engaged in passive play activities of the type described in Chapter 9 of the plan of management'

16. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

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(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

17. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

(a) All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

(b) In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

(c) Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

18. CAR PARKING - DISABLED CAR PARKING SPACES (CC)

(a) One (1) of the car parking spaces provided as part of the total requirement shall be reserved for disabled persons. These spaces shall be a minimum of 2.4m wide x 5.4m long and located near pedestrian access routes designed for disabled persons. Each space shall be clearly marked as such. A shared area 2.4 m wide x 5.4m long shared area should be provided. Bollard shall be placed in this shared area.

(b) Car parking for people with disabilities shall be provided in accordance with the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Prior to the issue of a Construction Certificate, the plans shall be notated to demonstrate compliance.

(c) The above details shall be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

(Reason: To ensure adequate parking for persons with a disability.)

19. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)

(a) Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

(i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.

(ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.

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(iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.

(iv) Location of verge trees, street furniture and service installations.

(v) Superimposition of vehicle turning circles for access into parking spaces.

(vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

(b) The certification referred to in 17(a)(vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

20. BASEMENT PARKING EXITS (CC)

There shall be no exit provided from the rear of the basement car parking to ground level.

(Reason: a secondary exit is required to be provided to the basement in order to comply with the requirements of the BCA, however this application is approved on the basis that the applicant will pursue an alternate solution, and will not be providing a secondary exit at the rear of the basement.)

21. CAR PARKING – COMPLIANCE WITH AS 2890.1:2004 (CC)

The car parking facility, including provision for ramps, driveways, headroom clearances and parking spaces are to be designed in accordance with AS 2890.1:2004. The details must be submitted to and approved by Council/Principal Certifier prior to a Construction Certificate being issued.

22. DRIVEWAY (CC)

The access driveway, including provision for ramps and sight lines, is to be designed in accordance with AS 2890.1: 2004. The details must be submitted to and approved by Council/Principal Certifier prior to a Construction Certificate being issued.

23. ACCESSIBLE PARKING – COMPLIANCE WITH AS 2890.6:2009 (CC)

The accessible carparking facility, including provision for headroom clearances, parking spaces and associated Share Zone are to be designed in accordance with AS 2890.6:2009. The details must be submitted to and approved by Council/Principal Certifier prior to a Construction Certificate being issued.

24. CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

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25. BICYCLE PARKING – COMPLIANCE WITH AS 2890.3:2015 (CC)

The bicycle storage facility is to be designed in accordance with AS 2890.3: 2015. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

26. CAR PARKING - VEHICULAR CIRCULATION, AISLE AND RAMP WIDTHS (CC)

(a) The aisle widths, internal circulation, ramp widths and grades of the car park shall comply with the Roads and Traffic Authority Guidelines and AS/NZS 2890.1:2004 - Off-Street Car Parking Code.

(b) Vehicular manoeuvring paths are to be prepared demonstrating that all vehicles can enter or depart the site in a forward direction without encroaching on required car parking spaces.

(Reason: To ensure compliance with Australian Standards relating to manoeuvring, access and parking of vehicles.)

27. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

(a) Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

(b) Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

28. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**(a) Works Permit**

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

(b) Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

(c) Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded

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from Council's website. The applicable fees and charges are located on Council's website.

(d) Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

(e) Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

(f) Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

(g) Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement.)

29. LANDSCAPE PLAN (CC)

(a) A detailed landscape plan, drawn to scale, by a qualified landscape architect or landscape designer, must be submitted prior to the issue of the Construction Certificate. The plan must include:

- (i) Location of existing and proposed structures, services and existing trees;
- (ii) Details of earthworks including mounding and retaining walls and planter boxes;
- (iii) Location of proposed plants and a plant schedule showing the plant symbol, botanical name/ common name; quantity; pot size/; and mature height x width;
- (iv) Details of planting procedure and maintenance;
- (v) Landscape specification;
- (vi) Details of drainage and watering systems;
- (vii) Details of garden edging and turf; and

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(viii) Any required fencing, retaining walls and other structures not shown on other approved architectural and engineering plans.

(b) The plan must reflect the final design of the proposal including configuration and setback of the building and pedestrian access.

(Reason: To maintain consistency with this consent.)

30. SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)

(a) A security (damage deposit) of **\$18,000.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

(b) The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

(c) Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

(d) Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

(e) The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

(Reason: Protection of Council infrastructure.)

31. FIRE SAFETY UPGRADE - CHANGE OF BUILDING USE (CC)

(a) Council considers pursuant to clause 93 of the Environmental Planning and Assessment Regulation 2000 that it is appropriate to require the existing building to be upgraded to total or partial conformity with the BCA.

(b) The Construction Certificate plans and specification required to be submitted to the Certifying Authority pursuant to clause 139 of the Regulation must detail building upgrade works required by for the approved use.

(c) The Certifying Authority must be satisfied that such work, to be implemented as part of the development, will upgrade the building to bring it into compliance with the provisions of the BCA in force at the date of issue of the Construction Certificate.

Note: The Certifying Authority issuing the Construction Certificate has no power to remove the requirement to upgrade the existing building as required by this condition. Where this condition

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specifies compliance with performance requirements of the BCA, the Certifying Authority (subject to their level of accreditation) may be satisfied as to such matters. Where this condition specifies compliance with prescriptive (deemed to satisfy) provisions of the BCA, these prescriptive requirements must be satisfied and cannot be varied unless this condition is reviewed under section 82A or amended under section 4.55 of the Act.

(Reason: Fire safety.)

32. FIRE SAFETY SCHEDULE (CC)

A Fire Safety Schedule specifying the fire safety measures (both current and proposed) which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979.)

33. STORMWATER SYSTEM (CC)

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

34. ON SITE DETENTION (CC)

(a) The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

(b) An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

(i) peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden.

(ii) at Annual Recurrence Intervals of 2 years, 10 years and 100 years.

(iii) The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

35. TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)

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(a) A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

(b) The following matters should be addressed in the CTMP (where applicable):

(i) description of the demolition, excavation and construction works;

(ii) site plan/s showing the site, roads, footpaths, site access points and vehicular movements;

(iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);

(iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;

(v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;

(vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);

(vii) proposed hours of construction related activities and vehicular movements to and from the site;

(viii) current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority);

(ix) any activities proposed to be located or impact upon Council's road, footways or any public place;

(x) measures to maintain public safety and convenience;

(xi) any proposed road and/or footpath closures;

(xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;

(xiii) locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;

(xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);

(xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;

(xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;

(xvii) on-site parking area for employees, tradespersons and construction vehicles as far as

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possible;

(xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and

(xix) how it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

36. TREE BONDS (CC)

(a) A tree bond of **\$10,000.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

(b) The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

(c) Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

(d) A refund of the Tree Bond must be made in writing.

(e) Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

37. BIN ALLOCATION (CC)

(a) The development will require the provision of the following waste and recycling facilities:

- - (i) General Waste – 1 x 660L mobile bins.
 - (ii) Recycling – 4 x 240L mobile bins.

(Reason: To ensure sufficient space and waste collection containers provided.)

38. WORKS ZONE - APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE (CC)

(a) An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

(b) The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

(c) The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken

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wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

(Reason: Council requirement.)

ACOUSTIC CONTROLS (CC)

38A. Prior to the issue of a Construction Certificate the development is to be assessed by a Council approved acoustical engineer (excluding any acoustical consulting Firm previously involved in the DA stage of the development) with certification that the operation of the proposed development will fully satisfy the acoustic criteria specified in Condition 4.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (PCW)**39. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)**

(a) No work shall commence in connection with this Development Consent until:

(i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.

(ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.

(iii) The principal certifying authority has, no later than 2 days before the building work commences:

- notified the Council of his or her appointment, and
- notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.

(xcvi) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:

- appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
- notified the principal certifying authority of such appointment; and
- unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.

(xcvii) The person having the person having the benefit of the development consent has given at least 2 days' notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

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(b) Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

ACOUSTIC CONTROLS (CW)

39A Prior to the issue of an Occupation Certificate the development is to be inspected by a Council approved acoustical engineer (excluding any acoustical consulting Firm previously involved in the DA stage of the development) with confirmation the acoustic barriers and mechanical plant that have been installed are in accordance with the CC documentation prepared in accordance with the relevant Conditions.

40. NOTICE OF COMMENCEMENT (CW)

(a) No work shall commence until the following details are submitted to Council:

- (i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- (ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- (iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (POC)**41. CAR PARKING - VISITOR CAR PARKING SIGNAGE (OC)**

A sign shall be erected in a suitable location on the property near the driveway entrance indicating where visitor parking is available on the site. Signage shall also be erected above the visitor parking itself. Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: Adequate access and egress.)

42. FIRE SAFETY CERTIFICATION (OC)

(a) A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

(b) A fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- (i) has been assessed by a properly qualified person; and

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(ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

(c) An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

(d) A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

(e) A copy of the fire safety certificate and fire safety schedule shall be:

(i) submitted to Strathfield Council;

(ii) submitted to the Commissioner of the New South Wales Fire Brigade; and

(iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

43. ENGINEERING WORKS (CERTIFICATION OF) (OC)

(a) Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by an Accredited Civil/Hydraulic Engineer demonstrating that:

(i) The stormwater drainage system; and/or

(ii) The car parking arrangement and area; and/or

(iii) Any related footpath crossing works; and/or

(iv) The proposed basement pump and well system; and/or

(v) The proposed driveway and layback; and/or

(vi) Any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

(b) For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

(c) Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

44. STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)

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The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

45. KITCHEN AND FOOD PREPARATION – REQUIREMENTS (OC)

(a) Prior to the operation of the child care centre a written statement demonstrating compliance with the below measures must be submitted and approved by the Principal Certifying Authority.

(i) Hand wash basin/s, with hot and cold running water mixed through a common spout, liquid hand wash soap and hand drying facilities must be provided in all food preparation areas, and toilets used by food handlers and must be easily accessible. Liquid soap and paper towel dispensers or other hand drying facilities must be located next to and in close proximity the hand wash basin.

(ii) A double bowl sink and a dishwasher must be provided in the food preparation or designated area, (of a capacity to handle the food preparation equipment) in addition to the hand basin.

(iii) A separate and dedicated food preparation sink is to be provided within the food premises (where foods are prepared by immersion in water.)

(iv) A cleaners sink for the purpose of cleaning floor mops and other cleaning equipment must be provided within the premises separate from the food preparation and storage area.

(v) The appliances used to store potentially hazardous food must have a capacity to keep food hotter than 60°C or colder than 5°C and be provided with a thermometer, accurate to 1°C and which can be easily read without opening the appliance.

(vi) All self-service unpackaged ready to eat food must be provided and maintained with protective barriers and have separate serving utensils, in accordance with Standard 3.2.2 of the Food Standards Code under the Food Act 2003.

(vii) Clothing lockers and change rooms for male and female staff must be provided in the premises in a separate location to the food handling and storage areas.

(viii) Adjacent floors, walls, ceilings and other surfaces are able to be easily and effectively sanitised.

(ix) All openings in walls, floors and ceilings, through which service pipes pass, must be vermin proof.

(x) Where fittings are butt-joined together they must be sealed to eliminate any cavities or crevices. Alternatively, a clear space of at least 75mm is to be provided between fittings.

(xi) The following requirements apply to clearances and supports of equipment:

- All stoves, refrigerators, cupboards and similar fittings must have metal legs made of non-corrosive metal or moulded plastic at a minimum height of 150mm above the floor. If placed flush on solid plinths the solid plinth is to be a minimum of 75 mm high.
- All shelving must be fixed 25mm clear of the walls on solid metal brackets.

(Reason: Food safety.)

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46. FOOD PREMISES - REGISTRATION REQUIREMENTS (OC)

Prior to the issue of any Occupation certificate, a Registration of Food Premises Form must be completed and submitted to Council, and the appropriate fees paid. The form is available online. In the instance details on the original registration form change, Council is to be notified of the change within seven (7) days of the change occurring.

(Reason: Registration and notification to relevant authorities.)

47. FOOD PREMISES (OC)

Prior to the issue of any Occupation Certificate, the operator must arrange an inspection with Council's Environmental Health Officer to confirm that the works as completed comply with the Food Act 2003, Food Safety Standards and AS 4674 and a professional engineer (mechanical) must certify that the exhaust system complied with AS 1668.2.

48. WORKPLACE TRAVEL PLAN (OC)

To encourage staff to travel by means other than private car and to manage staff parking, a Workplace Travel Plan (also known as a Green Travel Plan) shall be prepared by a suitably qualified person and submitted to Council for approval prior to occupation. This travel plan shall include the provision of a transport access guide and a free opal provided to each employee of the centre who is not provided with an onsite carparking space and funded (proportion of journey-to-work travel fare) by the operator.

49. OCCUPATION OF BUILDING (OC)

(a) A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

(b) The Principal Certifying Authority is required to be satisfied, amongst other things, that:

(i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and

(ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED AFTER OCCUPATION

49A When the centre reaches of 80% occupancy rate the operator shall advise Council, whereby testing will be undertaken to ascertain full compliance with Condition 4.

Testing is to be undertaken by a suitably qualified acoustical engineer or acoustical engineering company, with current membership of a professional association covering the field of acoustic engineering, the members of which association must be required to practice in a manner consistent with a code of ethics and professional conduct.

The acoustic consultant will be engaged by the Applicant with instructions to undertake noise

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testing and monitoring without prior advice to the operator or the owner of the childcare centre at 108 Beresford Road, Strathfield. The cost of the engagement shall be borne by the operator/owner of the child care centre.

The engaged acoustic engineer will measure the noise emanating from the childcare centre at 108 Beresford Road at locations receiver locations within premises adjacent to the childcare centre at 108 Beresford Road. Those locations should include, as a minimum, the locations identified as R1H, R1L, R1M, R3A and R4F in Figure 2 within the Supplementary Acoustic Report of Renzo Tonin and Associates dates 24 February 2020, and prepared in relation to the "Beresford Child Care Centre".

Access to the adjacent properties for the purpose of undertaking the required noise measurements will be arranged by Council upon request from the Applicant.

The child care centre management will provide (post testing) records of the number of children in attendance at the centre (including outdoor areas) during the testing period. The engaged acoustic engineer will take account of the number of children using the outdoor play areas for each nominated time period and determine a correction factor to account for full capacity as identified in the Applicant's plan of management and determine the resultant noise levels for 100% capacity.

If as a result of the compliance testing there is non-compliance with Condition 4 then the acoustic engineer will recommend appropriate additional noise control/management measures to achieve acoustic compliance. Following completion of such recommended measures the compliance test will be repeated.

Any costs as a result of re-testing shall also be borne by the operator/owner and carried out within a time frame set by Council.

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)**50. PLAN OF MANAGEMENT (OU)**

The approved development shall be operated and managed strictly in accordance with the approved plan of management. Any changes to the operations will require separate development consent.

(Reason: Strict compliance with the approved plan of management is required in order to ensure acoustic compliance).

51. DELIVERIES (OU)

All deliveries must not occur before 7.00am or after 8.00pm weekdays, to avoid noise disruption to the surrounding area.

(Reason: To control noise impacts.)

52. BASEMENT CAR PARK ACCESS (OU)

(a) There is to be no vehicular access to the basement car park prior to 6:45am on any day.

(b) A total of two (2) cars can enter the basement car park between 6:45am and 7:00am on any day.

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53. FIRE SAFETY ANNUAL STATEMENT (OU)

(a) Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

(b) A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

(i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and

(ii) Prominently displayed in the building.

(Reason: Fire safety.)

54. KITCHEN - ONGOING USE OF (OU)

(a) The ongoing operation and fit out of the premises must be maintained in accordance with the following requirements:

(i) Food Act 2003;

(ii) Food Regulations 2004;

(iii) Australian Standard AS4674-2004: Construction and fit out of food premises;

(iv) Australia and New Zealand Food Standards Code 3.2.3: Food Premises and Equipment; and

(v) Australia and New Zealand Food Standards Code 3.2.2: Food Safety Practices and General Requirements.

(Reason: To ensure compliance with legislation and to protect public health and safety.)

55. NOISE - COMPLAINTS RELATING TO USE OR MACHINERY (OU)

(a) The use of the premises shall comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulation 2008, Protection of the Environment Operations Act 1997 and the NSW Environment Protection Authority Noise Policy for Industry (2017).

(b) Should substantiated complaints or breaches of noise regulations occur, a suitably qualified acoustic engineer, of a type described in condition 49A, shall be engaged the Applicant to measure noise emanating from the childcare centre building/premises and to recommend appropriate action. The cost of such an appointment shall be borne by the operator/owner of the child care centre, and the costs of any works recommended by the acoustic engineer to rectify the recorded noise exceedances shall also be borne by the operator/owner, and they and carried out within a time frame set by Council.

(Reason: Noise control and amenity.)

56. NOISE - NO AMPLIFIED MUSIC (OU)

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(a) Music and other amplified sound played on the premises shall not give rise to offensive noise as defined under the provisions of the Protection of the Environment Operations Act 1997. The sound level output shall not exceed 5 dB(A) above the ambient background level at the receiver boundary.

(b) Speakers must not be installed, and music must not be played in any of the outdoor areas associated with the premises.

(c) The provision of music inside the centre can only occur with doors and windows closed for the relevant internal space where music is to be provided. The provision of amplification inside the premises is to be subject to a noise limit or similar to ensure the maximum internal Leq noise level of 80 dB(A).

(Reason: Environmental amenity.)

57. WORKPLACE TRAVEL PLAN (OU)

The centre operator shall submit to the Council annually a travel study of staff confirming the staff journey to work mode share which will need to be in accordance with the agreed Workplace Travel Plan.

58. WASTE AND RECYCLING COLLECTION (COMMERCIAL) (OU)

(a) The collection of commercial waste and recycling must only occur between 6.00am and 8.00pm weekdays and 9.00am and 5.00pm on weekends and public holidays, to avoid noise disruption to the surrounding area.

(b) The garbage and recyclable storage area and bins must be adequate to contain the volume and type of garbage and recyclable matter of the premises.

(c) All garbage and recyclable matter must be enclosed in the waste bins with lids completely closed at all times.

(Reason: To regulate noise and garbage collection arrangements.)

PRESCRIBED CONDITIONS**59. BASIX Commitments**

(a) The applicant shall comply with the prescribed conditions of development consent under clause 97A of the Environmental Planning and Assessment Regulation 2000.

60. National Construction Code and Home Building Act 1989

(a) The applicant shall comply with the prescribed conditions of development consent under clauses 98, 98A and 98B of the Environmental Planning and Assessment Regulation 2000.

61. Long Service Levy

(a) Payment of the Long Service Levy as required by section 6.8(b) of the Environmental Planning & Assessment Act 1979 and section 34 of the Building and Construction Industry Long Service Payments Act 1986 for all building work over \$25,000. (Note: The cost of the building work must be rounded to the nearest \$100.)

(b) The Long Service Levy shall be paid at Council's Customer Service Centre or evidence of

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direct payment to the Long Service Payments Corporation shall be provided to Council **prior to the issue of a Construction Certificate.**

62. Shoring and Adequacy of Adjoining Property

(a) Pursuant to Clause 98E and Clause 136H of the Environmental Planning and Assessment Regulation 2000, if a development (subject of a Development Consent or Complying Development Certificate) involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:

(i) protect and support the adjoining premises from possible damage from the excavation

(ii) where necessary, underpin the adjoining premises to prevent any such damage.

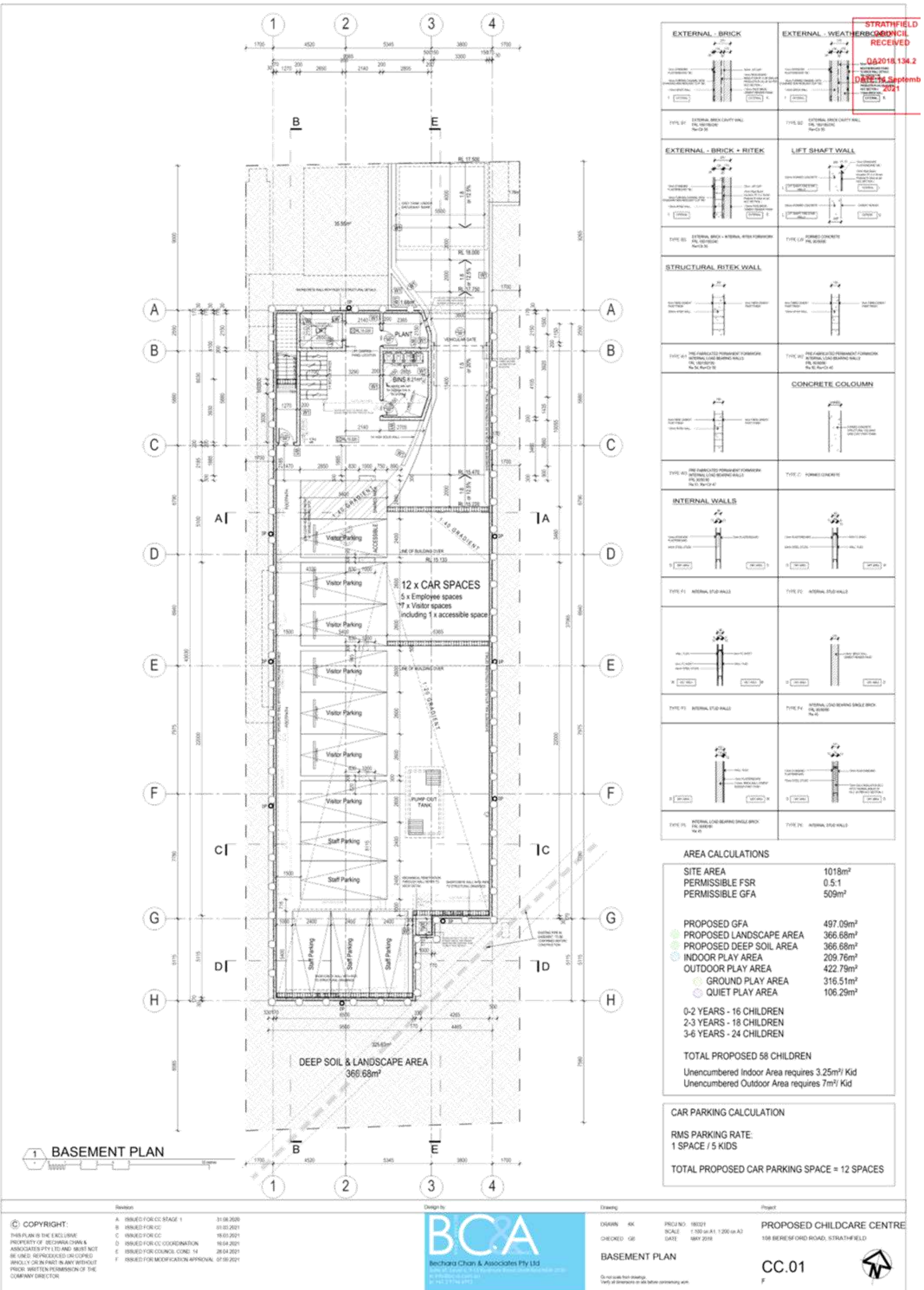
(b) If the person with the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to the condition not applying, this condition does not apply.

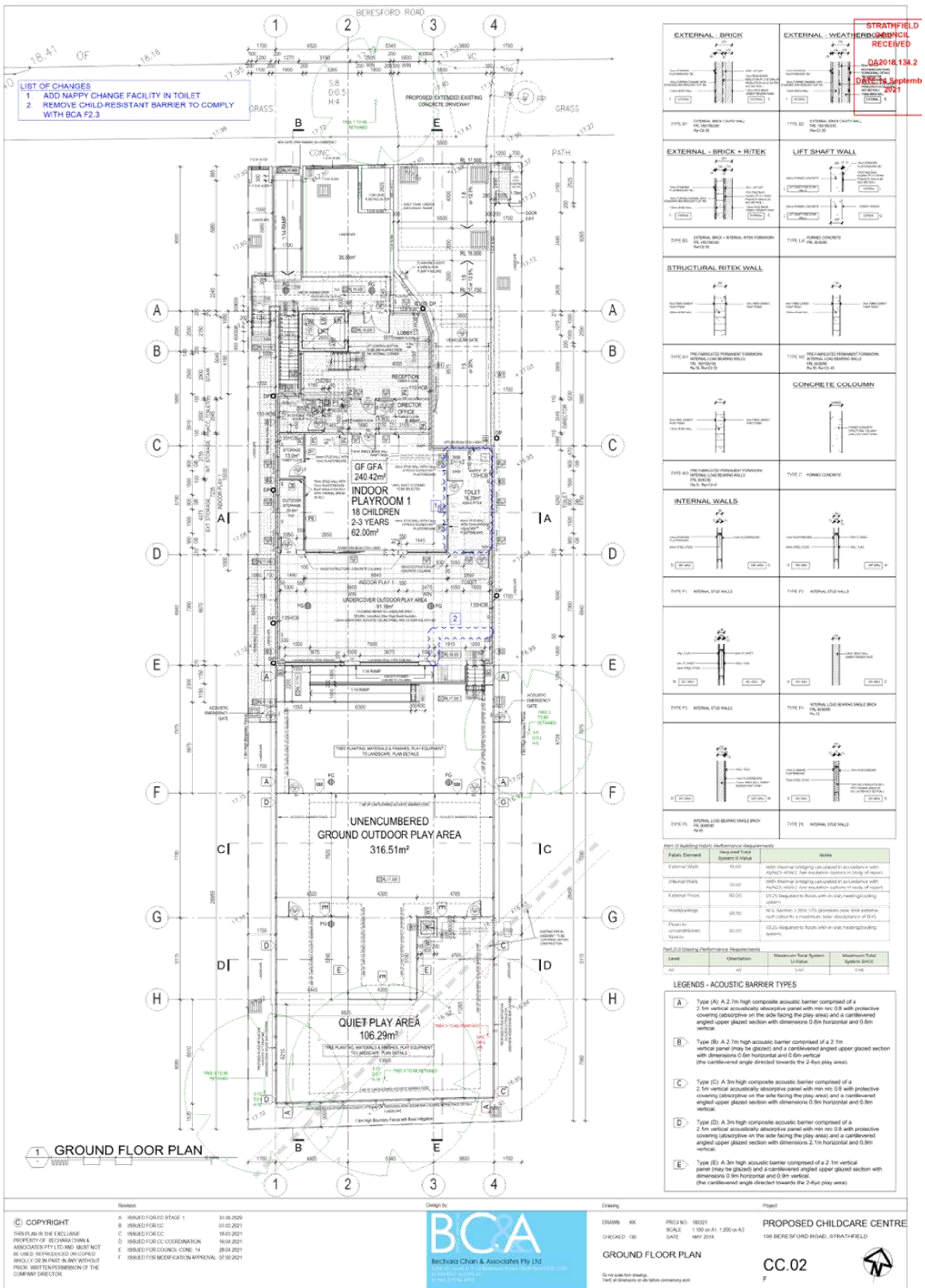
ATTACHMENTS

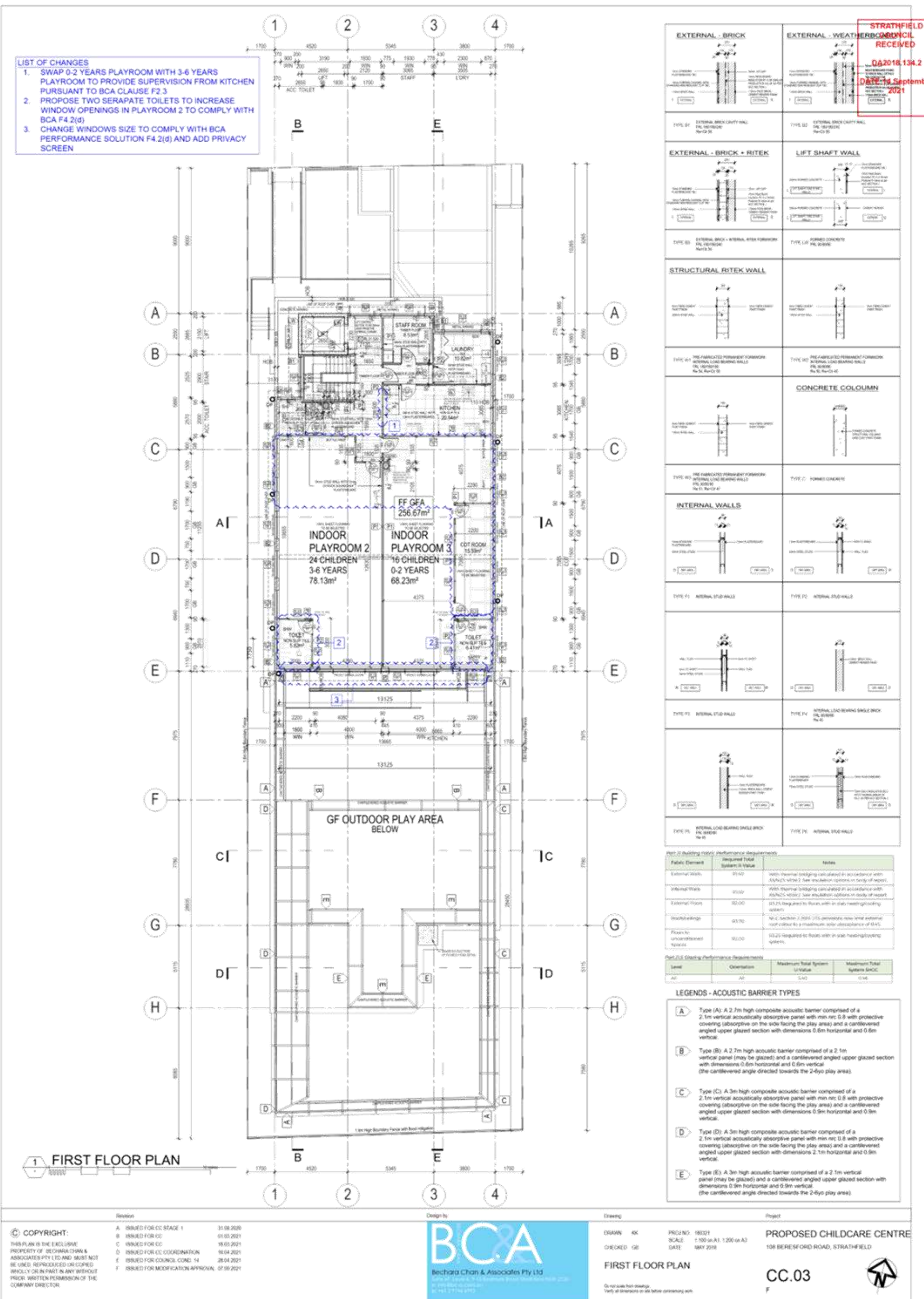
1. Site Map
2. Architectural Plans

ATTACHMENT 1

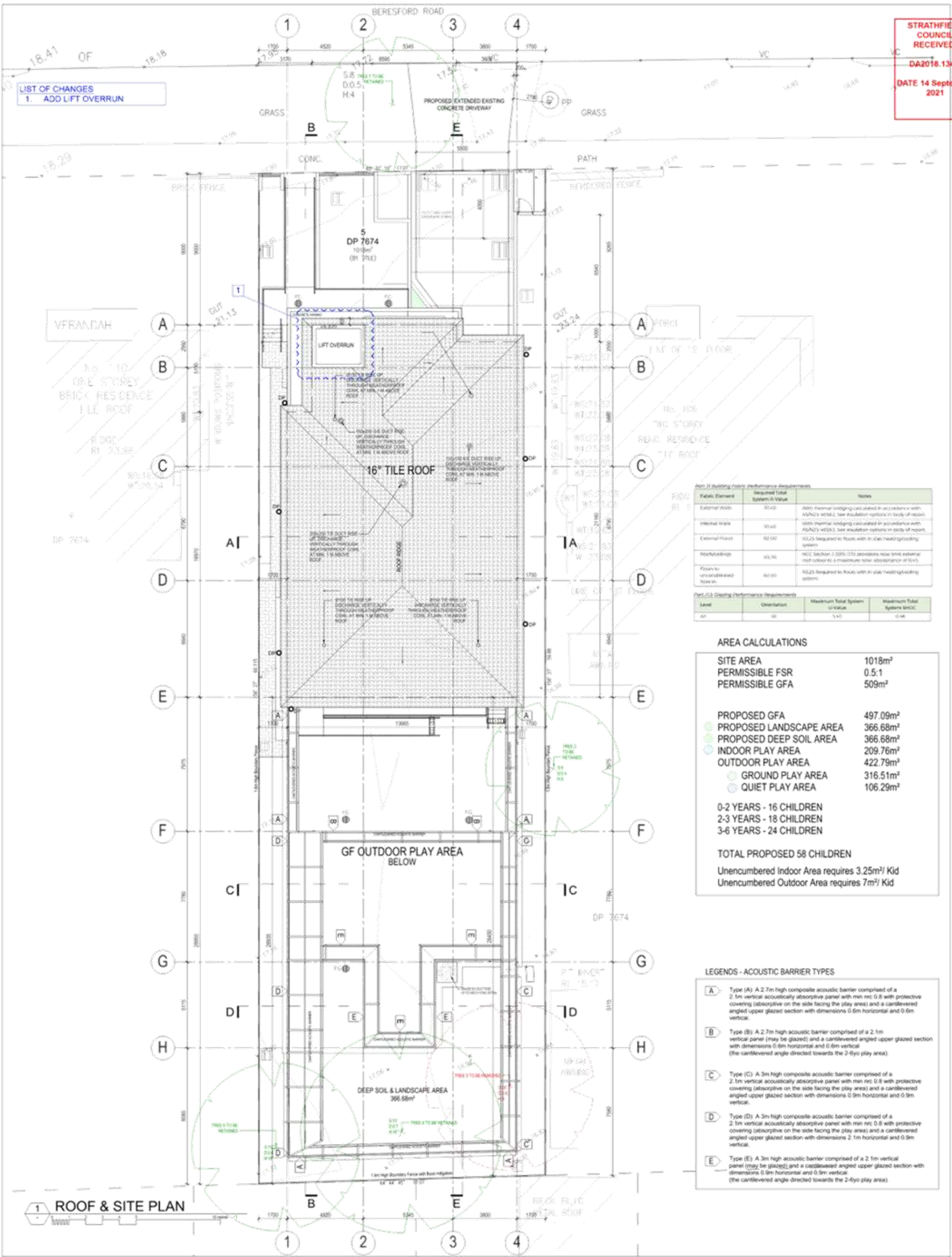








STRATHFIELD COUNCIL RECEIVED
DA2018.134.2
DATE 14 September 2021



April 20 Building fabric performance requirements

Fabric Element	Required Total System U-Value	Notes
External Walls	0.140	With thermal bridging calculated in accordance with AS/NZS 4853.2. See insulation options in body of report.
Internal Walls	0.140	With thermal bridging calculated in accordance with AS/NZS 4853.2. See insulation options in body of report.
External Floor	0.100	AS/NZS required to floor with in-situ heating/cooling system.
Roof/ceilings	0.100	NBC section 2.00B(1)(b) requires roof/ceiling external roof/ceiling to a maximum solar absorption of 0.15.
Floors to unconditioned spaces	0.100	AS/NZS required to floor with in-situ heating/cooling system.

Part 2.3.3 Glazing performance requirements

Level	Orientation	Maximum Total System U-Value	Maximum Total System SHGC
AI	AI	0.470	0.46

AREA CALCULATIONS

SITE AREA	1018m ²
PERMISSIBLE FSR	0.5:1
PERMISSIBLE GFA	509m ²
PROPOSED GFA	497.09m ²
PROPOSED LANDSCAPE AREA	366.68m ²
PROPOSED DEEP SOIL AREA	366.68m ²
INDOOR PLAY AREA	209.76m ²
OUTDOOR PLAY AREA	422.79m ²
GROUND PLAY AREA	316.51m ²
QUIET PLAY AREA	106.29m ²
0-2 YEARS - 16 CHILDREN	
2-3 YEARS - 18 CHILDREN	
3-6 YEARS - 24 CHILDREN	
TOTAL PROPOSED 58 CHILDREN	
Unencumbered Indoor Area requires 3.25m ² /Kid	
Unencumbered Outdoor Area requires 7m ² /Kid	

- LEGENDS - ACOUSTIC BARRIER TYPES
- A** Type (A) A 2.7m high composite acoustic barrier comprised of a 2.1m vertical acoustically absorptive panel with min rnc 0.8 with protective covering (obscure) on the side facing the play area) and a cantilevered angled upper glazed section with dimensions 0.6m horizontal and 0.6m vertical.
 - B** Type (B) A 2.7m high acoustic barrier comprised of a 2.1m vertical panel (may be glazed) and a cantilevered angled upper glazed section with dimensions 0.6m horizontal and 0.6m vertical (the cantilevered angle directed towards the 2-6yo play area).
 - C** Type (C) A 3m high composite acoustic barrier comprised of a 2.1m vertical acoustically absorptive panel with min rnc 0.8 with protective covering (obscure) on the side facing the play area) and a cantilevered angled upper glazed section with dimensions 0.9m horizontal and 0.9m vertical.
 - D** Type (D) A 3m high composite acoustic barrier comprised of a 2.1m vertical acoustically absorptive panel with min rnc 0.8 with protective covering (obscure) on the side facing the play area) and a cantilevered angled upper glazed section with dimensions 2.1m horizontal and 0.9m vertical.
 - E** Type (E) A 3m high acoustic barrier comprised of a 2.1m vertical panel (may be glazed) and a cantilevered angled upper glazed section with dimensions 0.9m horizontal and 0.9m vertical (the cantilevered angle directed towards the 2-6yo play area).

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>Revision</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUED FOR CC STAGE 1</td> <td>31.08.2020</td> </tr> <tr> <td>B</td> <td>ISSUED FOR CC</td> <td>01.03.2021</td> </tr> <tr> <td>C</td> <td>ISSUED FOR CC</td> <td>18.03.2021</td> </tr> <tr> <td>D</td> <td>ISSUED FOR CC COORDINATION</td> <td>18.04.2021</td> </tr> <tr> <td>E</td> <td>ISSUED FOR COUNCIL CONE 14</td> <td>26.04.2021</td> </tr> <tr> <td>F</td> <td>ISSUED FOR MODIFICATION APPROVAL 07.09.2021</td> <td></td> </tr> </tbody> </table>	Revision	Description	Date	A	ISSUED FOR CC STAGE 1	31.08.2020	B	ISSUED FOR CC	01.03.2021	C	ISSUED FOR CC	18.03.2021	D	ISSUED FOR CC COORDINATION	18.04.2021	E	ISSUED FOR COUNCIL CONE 14	26.04.2021	F	ISSUED FOR MODIFICATION APPROVAL 07.09.2021		<p>DESIGN BY</p> <p>BC&A Bechara Chan & Associates Pty Ltd 11/111 Sturt Street, Sydney NSW 1585 Tel: +61 (0)2 9550 9999 Fax: +61 (0)2 9550 9998</p>	<p>DRAWING</p> <p>DRN: KK CHECKED: GB PROJECT NO: 18021 SCALE: 1:100 on A1, 1:200 on A2 DATE: MAY 2018</p>	<p>PROJECT</p> <p>PROPOSED CHILDCARE CENTRE 108 BERESFORD ROAD, STRATHFIELD</p> <p>CC.04 F</p>
Revision	Description	Date																						
A	ISSUED FOR CC STAGE 1	31.08.2020																						
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Do not scale from drawings. Verify all dimensions on site before commencing work.

1 NORTH ELEVATION

2 SOUTH ELEVATION

3 EAST ELEVATION

4 WEST ELEVATION

FINISHES

- A Walls Balcony - rendered & painted with Dulux Leikoon Quarter
- B Walls Balcony - rendered & painted with Dulux Diektau
- C Weather Board Cladding - White (Non-Combustible)
- D Face Brick Walls - Bowral Braiman Granite
- E Aluminium Window - F Timber Look Finish, G Roof - Slate Grey
- F Frames coated with Dulux Colorbond Woodland Grey

Note that all external materials to be non-combustible in accordance with BCA C1.9 and C1.14 provided by contractors

LIST OF CHANGES

1. ADD LIFT OVERRUN
2. CHANGE WINDOWS SIZE TO COMPLY WITH BCA PERFORMANCE SOL. UFTION FA.21(9) AND ADD PRIVACY SCREEN
3. NON-COMBUSTIBLE MATERIALS NOTE

Revision	Description	Date
A	ISSUED FOR CC STAGE 1	31.08.2020
B	ISSUED FOR CC	01.02.2021
C	ISSUED FOR CC	18.05.2021
D	ISSUED FOR CC COORDINATION	16.04.2021
E	ISSUED FOR COUNCIL CONE. 14	26.04.2021
F	ISSUED FOR MODIFICATION APPROVAL	07.09.2021

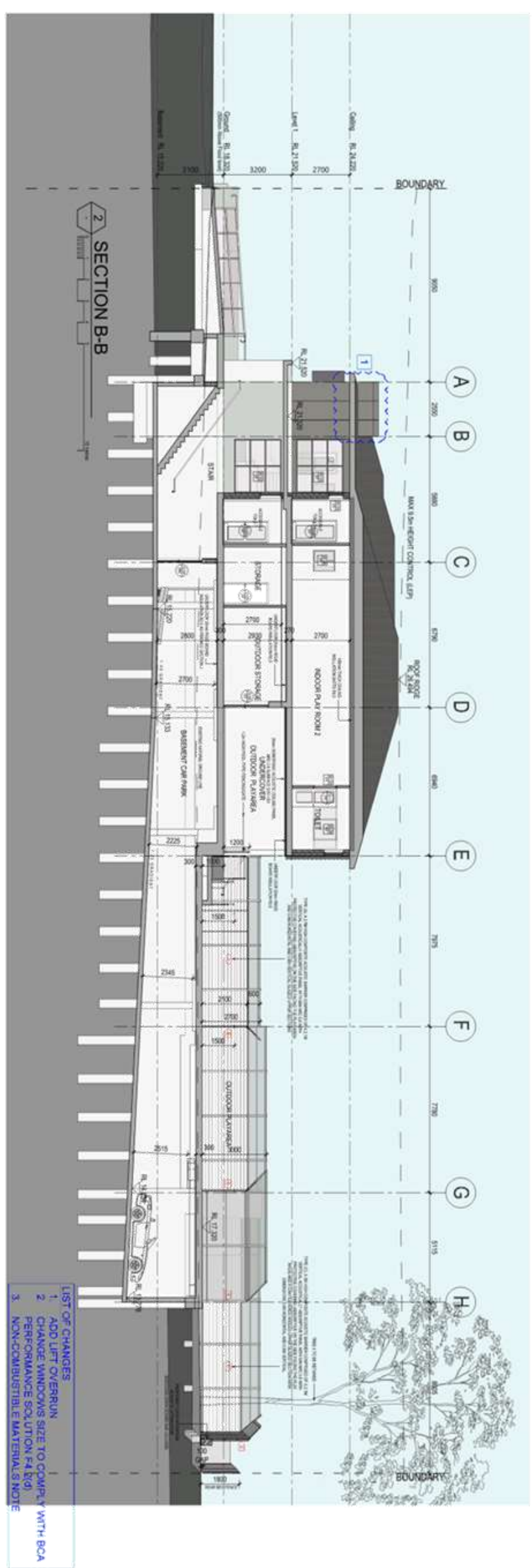
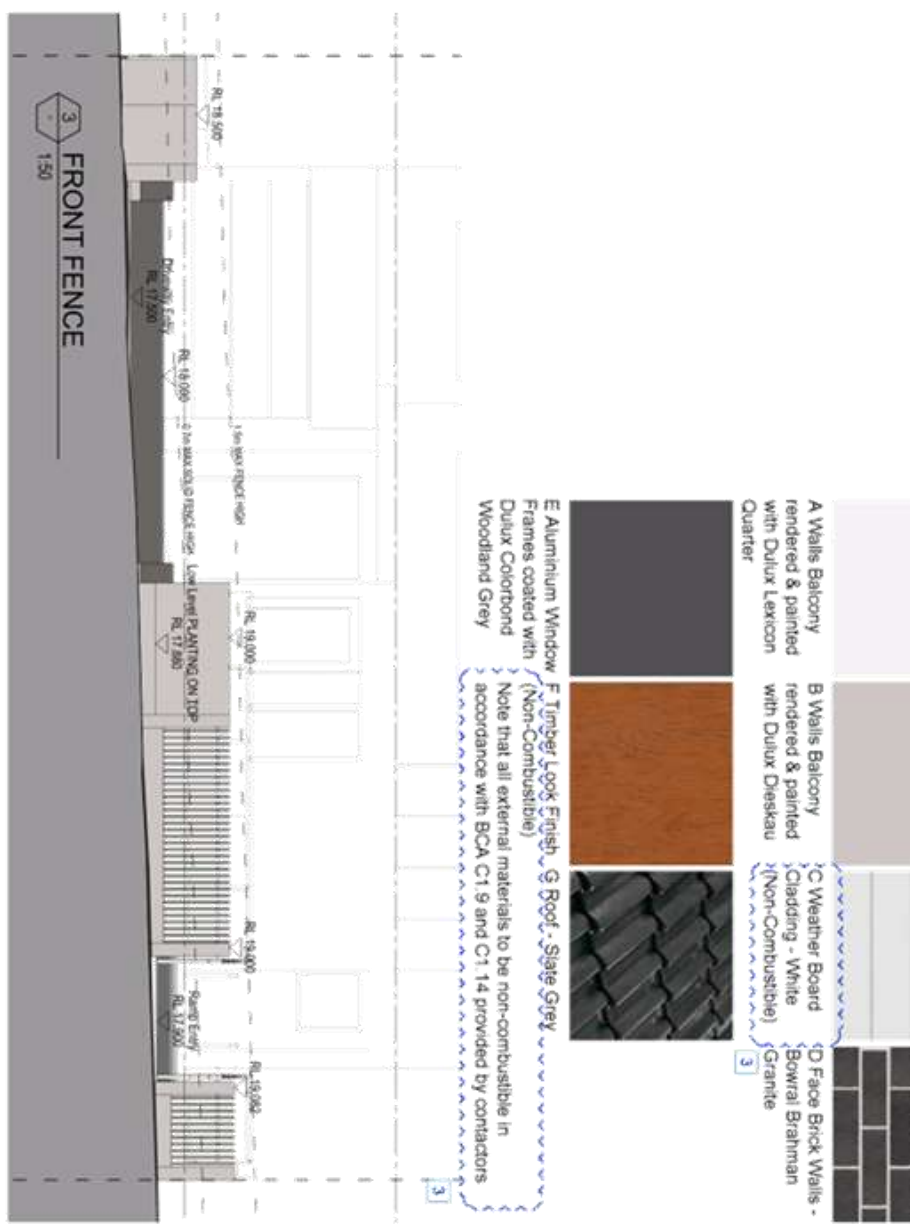
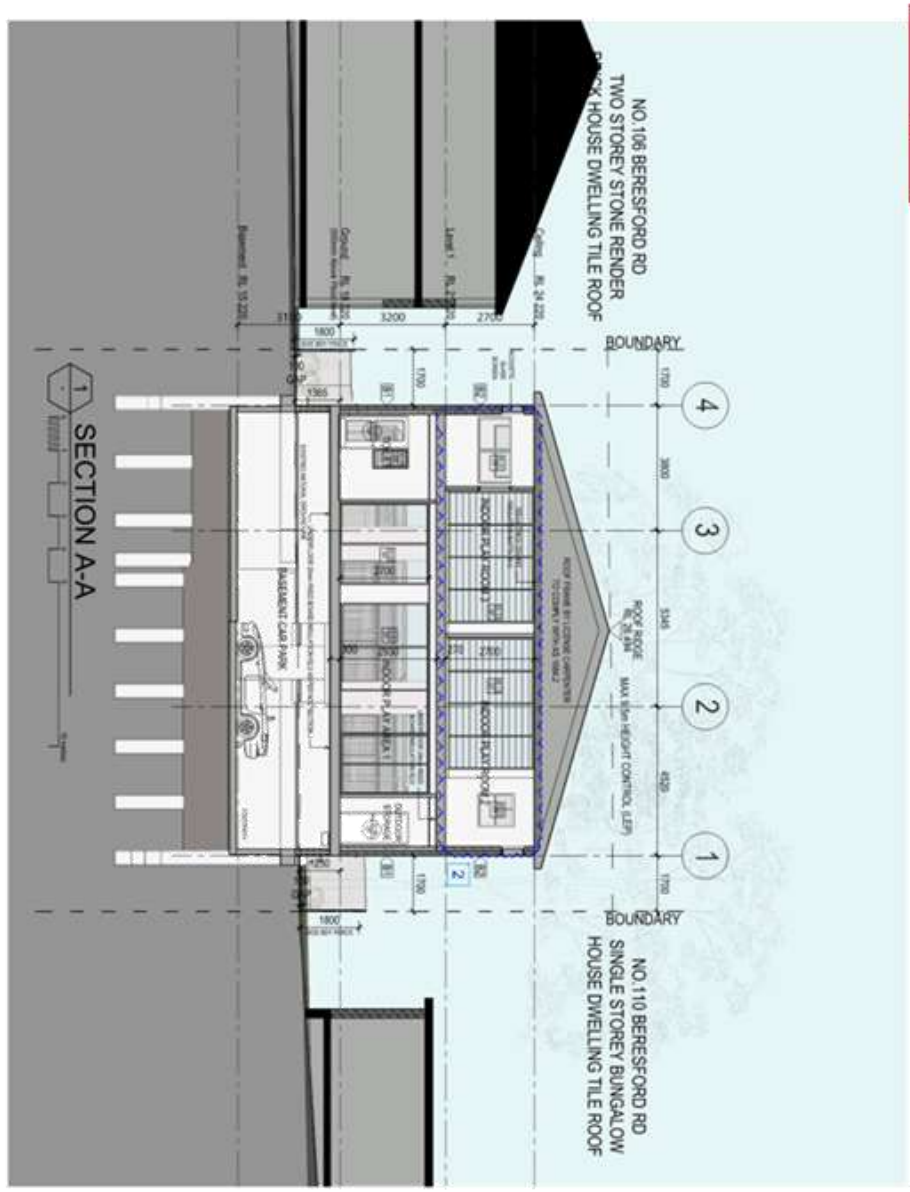
BCA
Bechara Chan & Associates Pty Ltd
Level 11, 111 Pitt Street, Sydney, NSW 2000
Tel: (02) 9231 1111

ELEVATIONS

Project: PROPOSED CHILDCARE CENTRE
108 BERESFORD ROAD, STRATHFIELD
COUNCIL RECEIVED
DA2018.134.2
DATE 14 September 2021

CC.05
F

STRATHFIELD COUNCIL RECEIVED
 DA2018.134.2
 DATE 14 September 2021



LIST OF CHANGES

1. ADD LIFT OVERRUN
2. CHANGE WINDOW SIZE TO COMPLY WITH BCA
3. NON-COMBUSTIBLE MATERIALS NOTE

Revision	Description	Date
A	ISSUED FOR CC STAGE 1	31.08.2020
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E	ISSUED FOR COUNCIL CONE 14	26.04.2021
F	ISSUED FOR MODIFICATION APPROVAL	07.09.2021

FINISHES

- A Walls Balcony rendered & painted with Dulux Lexcon Quarter
- B Walls Balcony rendered & painted with Dulux Dyesku
- C Weather Board Cladding - White (Non-Combustible)
- D Face Brick Walls - Bowral Brahman Granite
- E Aluminium Window Frames coated with Dulux Colorbond Woodland Grey
- F Timber Look Finish (Non-Combustible)
- G Roof - Slate Grey

Note that all external materials to be non-combustible in accordance with BCA C1 9 and C1 14 provided by contractors

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