

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 5 November 2020

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Local Planning Panel Meeting - 5 November 2020
REPORT: SLPP – Report No. 40
SUBJECT: DA2016/160/06 - 222 PARRAMATTA ROAD, HOMEBUSH - LOT 9 DP 78385
DA NO. DA2016/160/06

SUMMARY

Proposal: Section 4.55(1A) Modification Application to review Condition DACC043 requiring reinstatement and dedication of road reserve.

Applicant: Sydney Markets
C/- Koturic & Co

Owner: Sydney Markets

Date of lodgement: 30 July 2020

Notification period: 14 to 28 August 2020

Submissions received: Nil

Assessment officer: MR

Estimated cost of works: \$0
SP1 – Special Activities

Zoning: Sydney Whole and Retail Markets Distribution Centre
- SLEP 2012

Heritage: No

Flood affected: No

Is a Clause 4.6 variation proposed? No

Extent of the variation supported? N/A

Peer review of Clause 4.6 variation: N/A

RECOMMENDATION OF OFFICER: REFUSAL

EXECUTIVE SUMMARY

On 4 May 2017, the then Strathfield Independent Hearing and Assessment Panel / SIHAP (now known as Strathfield Local Planning Panel or SLPP) approved development application DA2016/160. This application was for the demolition of existing structures and construction of a warehouse and distribution centre with two (2) levels of office space above one (1) level of basement parking.

On 2 November 2017, the then SIHAP approved a modification application to delete conditions of consent relating to a Voluntary Planning Agreement (VPA) and to correct a minor error in the Section 94 contributions within the development consent. The resultant approved changes ensured that the land to be dedicated to Council within portions of Lot 10 in DP 1055460 and Lot 1 in DO 1036274 are to be captured via Section 94 contributions instead of via a VPA. The land dedication relates to Condition DACC043 of the consent.

DA2016/160/06 - 222 Parramatta Road, Homebush - Lot 9 DP 78385 (Cont'd)

Condition DACC043 requires that the dedicated land must be reinstated as a road together with kerb and gutter to the relevant Australian Standards and is to be reviewed by Council prior to the road works. The condition also requires that the land dedication and road works must be undertaken prior to the issue of an Occupation Certificate.

The current and subject Section 4.55 (1A) modification application was lodged to Council on 30 July 2020 and is seeking approval for the deletion of Condition DACC043 in the consent. The subject modification does not involve any physical changes to the approved building as originally approved.

The subject modification application was publicly notified on 14 August 2020 for a minimum of 14 days, in accordance with Strathfield Council's Community Participation Plan (CPP). No submissions were received during this period.

The application has been referred to the SLPP as the modification involves the removal of a condition that involves land dedication to Council.

The applicant failed to provide sufficient justification to rationalize and provide adequate reasoning for the removal of the condition and subsequent land dedication. It is evident that the land dedication to Council is necessary due to reasons pertaining to safety, consistency and rationality (in relation to road reserves in general). Accordingly, Condition DACC043 and the land dedication remain relevant to the development and the subject modification application is recommended for refusal.

BACKGROUND

4 May 2017	A development application for the demolition of existing structures and construction of a warehouse and distribution centre comprising two (2) levels of office space and one (1) level of basement parking was approved by SIHAP.
23 August 2017	A modification application (DA2016/160/01), seeking approval for staging the development, was refused by SIHAP.
2 November 2017	A modification application (DA2016/160/02), seeking approval to delete conditions of consent relating to a Voluntary Planning Agreement (VPA) and to correct a minor error in the Section 94 contributions within the development consent, was approved by SIHAP.
12 July 2018	A modification application (DA2016/160/03), seeking approval for changes to the external building materials, finishes and signage of the approved building, was approved by the Strathfield Internal Development Assessment Panel (IDAP).
10 January 2019	A modification application (DA2016/160/04), seeking approval for the creation of a new mezzanine office level, reconfiguration of loading docks and offstreet parking, water treatment enclosure, and dispatch office, was approved by IDAP.
30 July 2020	The subject modification application (DA2016/160/06), seeking approval for the deletion of condition DACC043, was lodged to Council.

DA2016/160/06 - 222 Parramatta Road, Homebush - Lot 9 DP 78385 (Cont'd)

- 14 August 2020 The subject modification application was notified in accordance with the CPP. Notification period ended on 28 August 2020 and no submissions were received.
- 31 August 2020 Council received a letter from Construction Certification Solutions (letter dated 12 August 2020). The letter indicated that an Occupation Certificate (C2016256) relating to the approved development has been issued. It is noted that the actual Occupation Certificate for the development has not been provided to Council as reflected by Council records.
- 22 September 2020 Council officers provided correspondence to the applicant – advising that further clarification and information are required to confirm reasons and intent for deleting Condition DACC043.
- 13 October 2020 Council officers had a meeting with the applicant and owner on-site to discuss the subject application and to clarify matters relating to the above correspondence. No sufficient intent/reasons were provided with regard to justifying the need for deleting the condition.

DESCRIPTION OF THE PROPOSED MODIFICATION

The proposed modification sought by the subject application is in relation to deletion of Condition DACC043. This condition reads as follows:

DACC043 SECTION 7.11 CONTRIBUTIONS

In accordance with Section 7.11 of the Environmental Planning and Assessment Act 1979, the portions of Lot 10 DP 1055460 and Lot 1 DP 1036274 shown upon Site and Location Plans, Dwg No. DA-01, Amendment A, shall be dedicated to Council at no cost. The dedicated land shall be reinstated as a road together with kerb and gutter to the relevant Australian Standards, the design of which shall be reviewed by Council prior to the commencement of road works. The road works and dedication of land to Council shall be undertaken prior to the issue of an Occupation Certificate.

(Reason: To ensure compliance with the terms of Council's Direct Development Contributions Plan)

SECTION 4.55(1A) OF THE EP&A ACT 1979

Section 4.55(1A) of the Environmental Planning and Assessment states as follows:

“4.55 Modifications of consents – generally***(1A) Modifications involving minimal environmental impact***

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*

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- (c) it has notified the application in accordance with:
- (i) the regulations, if the regulations so require, or
 - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and
- (d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.

Subsections (1), (2) and (5) do not apply to such a modification.”

With regard to subclause 'a', it is considered that the modification sought as part of this application are of minimal environmental impacts in terms of amenity, visual privacy, solar access and view loss. However, a number of significant impacts have been identified, which relate to asset management, road safety, access and liability (refer to Traffic Engineer Comments below).

With regard to subclause 'b', Council is satisfied that the development to which the consent as modified relates is substantially the same development for which consent was originally granted and before that consent as originally granted was modified (if at all).

With regard to subclauses 'c' and 'd', the application has been notified in accordance with the CPP and no submissions were received.

REFERRALS

INTERNAL REFERRALS

Traffic Engineer Comments

Council's Traffic Engineer advised the following:

“The original approval proposes the road widening at the western end of Dalton Avenue in both the north and south direction. The encroachment into the existing Lot 10 DP 1055460 (the southern corner) and Lot 1 in DP 1036274 (the northern corner) hence requires the land dedication as stipulated in Condition DACC043.

The domain work has now been completed and there has been some minor modification to the design. The kerb realignment has not taken place at the northern corner, which no longer requires the land dedication from Lot 1 in DP 1036274.

The land dedication of Lot 10 in DP 1055460 (the southern corner) shall still proceed to ensure reasonable asset management, road safety, access and liability.

Condition DACC043 can be modified to read as follows:

*In accordance with Section 94 of the Environmental Planning and Assessment Act 1979, the portion of **Lot 10 DP 1055460** shown upon Site and Location Plans, Dwg No. DA-01. Amendment F, shall be dedicated to Council at no cost. The dedicated land shall be reinstated as a road together with kerb and gutter to the relevant Australian Standards, the design of which shall be reviewed by Council prior to the commencement of road works. The road works dedication of land to Council **and the registration of land title plan via Land Registry to reflect the changes** shall be undertaken **prior to the issue of an Occupation Certificate.**”*

Given that the subject application is only seeking approval for the complete deletion of Condition DACC043 and not a modification to this condition, Council's Traffic Engineer confirmed objections

DA2016/160/06 - 222 Parramatta Road, Homebush - Lot 9 DP 78385 (Cont'd)

to the proposal in light of the necessary and applicable land dedication within Lot 10 in DP 1055460.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 4.15C of the *Environmental Planning and Assessment Act 1979* as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

The subject section 4.55(1A) modification application only involves the deletion of Condition DACC043 in the consent. Accordingly, the application does not trigger an assessment against any environmental planning instrument.

4.15(1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.15(1)(a)(iii) any development control plan

The subject application is seeking approval for the deletion of Condition DACC043. Accordingly, the application does not trigger an assessment under the Strathfield Consolidated Development Control Plan 2005.

4.15 (1)(a)(iiia) any planning agreement or draft planning agreement

No planning agreement has been entered into under Section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed modification is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(i) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency,

DA2016/160/06 - 222 Parramatta Road, Homebush - Lot 9 DP 78385 (Cont'd)

duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

The proposed modification will result in significant, unacceptable impacts relating to asset management, road safety, access and liability. By eliminating the requirement to dedicate land to Council, which form part of the intersection of Dalton Avenue and Potts Street, the proposed modification will effectively:

- Complicate and inhibit asset management for part of this intersection. Sharing responsibility for the road reserve with the land owner is not considered a practical, rational and appropriate outcome.
- Unreasonably affect road safety and access for part of this intersection. It enables further control of the development/future re-design of part of the intersection by the land owner, which is not considered an appropriate outcome;
- Create liability issues. To maintain consistency with other road reserves and intersections, the liability and responsibility of maintaining these assets should be with Council only.

4.15(1)(c) the suitability of the site for the development

The approved development as modified by the subject Section 4.55(1A) application does not alter the suitability of the development to the site.

4.15(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified for a minimum of 14 days as per the CPP. No submissions were received during the notification period.

4.15(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. In determining whether or not the proposed modification is in the public interest, both the wider public interest and sectionalized public interest (protecting residential amenity or surrounding residential properties) must be taken into consideration.

With regard to the wider public interest, approval of the proposed modification, would create an undesirable precedent and a poor planning outcome for the local government area, relating to land dedication to Council for road reserves and intersections.

As mentioned above, there are a number of significant and unacceptable impacts associated with asset management, road safety, access and liability. As such, the proposed modification is not considered to be in the public interest.

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SECTION 7.11 CONTRIBUTIONS

Section 7.11 of the *Environmental Planning and Assessment Act 1979* relates to the collection of monetary contributions from applicants for use in developing key local infrastructure.

The subject application does not trigger any changes to the original condition of consent requiring payment of a Section 7.11 contribution in accordance with Council's Section 94 Contributions Plan.

CONCLUSION

The application has been assessed having regard to Section 4.15 of the *Environmental Planning and Assessment Act 1979*, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is not considered satisfactory for approval.



Signed: M Rivera
Planner

PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

Signed: J Gillies
Senior Planner

RECOMMENDATION

Pursuant to Section 4.55(1A) of the *Environmental Planning and Assessment Act 1979*, the proposed modification(s) to Development Consent No. DA2016/160 to review Condition DACC043 requiring reinstatement and dedication of road reserve be **REFUSED**, for the following reasons:

1. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as it fails to meet the aims of the Strathfield Local Environmental Plan 2012 relating to promoting the efficient and spatially appropriate use of land and the improved integration of transport and land use. The proposed development fails to appropriately rationalise the use and allocation of a road intersection and will consequently result in significant impacts in relation to asset management, road safety, access and liability.
2. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as it fails to meet the objectives of the SP1 – Special Activities zone as per the Strathfield Local Environmental Plan 2012 relating to facilitation of development that is in keeping with the special characteristics of the site and that minimises adverse impacts on surrounding land. The proposed development will unreasonably impact access associated with the Dalton Road and Potts Street intersection, which will create adverse impacts on surrounding roads (in particular, Parramatta Road, Hudson Street and Smallwood Avenue).
3. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* as it fails to meet

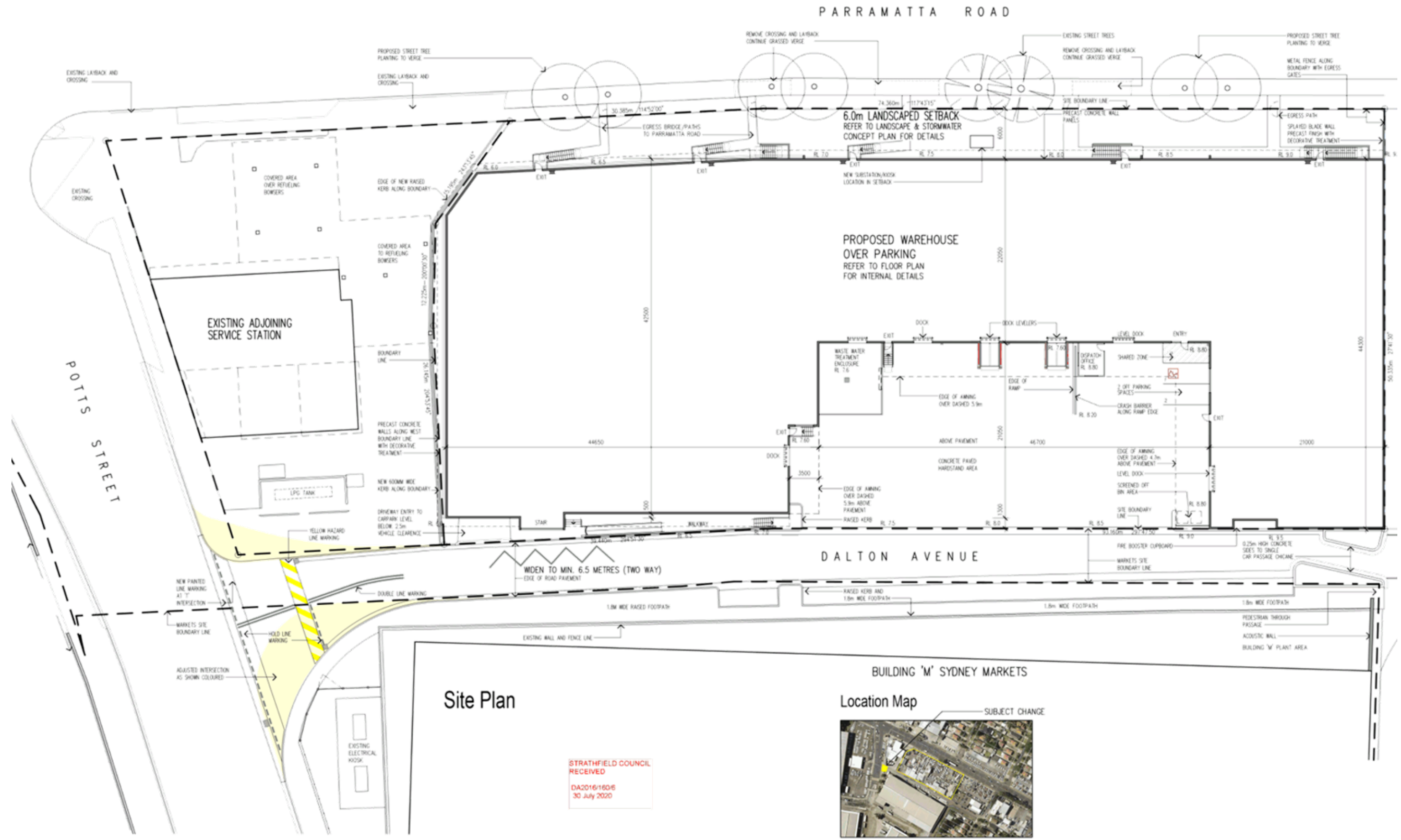
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the objectives for Accessibility and Public Domain under Part 20 of the Strathfield Consolidated Development Control Plan 2005. It will result in a poor outcome that will adversely affect vehicular and pedestrian access and safety, create vehicular/pedestrian conflicts, and fail to improve traffic and parking management within the Parramatta Road Corridor.

4. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* as it will result in unacceptable adverse impacts in terms of asset management, road safety, access and liability.
5. The proposed development is considered unacceptable pursuant to the provisions of s4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*. The proposed development is not in the public interest as it fails to meet the key objectives under the Strathfield Local Environmental Plan 2012 and the Strathfield Consolidated Development Control Plan 2005 and will have unacceptable adverse impacts in terms of asset management, road safety, access and liability.

ATTACHMENTS

1. [↓](#) Site Map
2. [↓](#) Statement of Support



NO.	DATE	REVISION DESCRIPTION
1	02/1/2018	CONCEAL DA ISSUE
2	04/01/2018	CONCEAL DA ISSUED DRAWING ISSUE
3	08/02/2018	SM APPLICATION
4	08/02/2018	SM APPLICATION ENHANCE REQUIREMENTS
5	10/07/2018	CONCEAL DA/SM APPLICATION REVISED
6	10/07/2018	DA/SM REVISED APPLICANT
7	07/07/2020	DALTON AVE AND POTTS STREET IMPROVEMENTS



CLIENT

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ARCHITECT

Koturic + Co.
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PROJECT

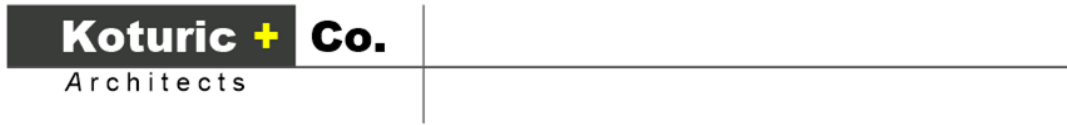
WAREHOUSE DEVELOPMENT
222-238 PARRAMATTA RD, HOMERUSH WEST

SCALE: 1:200 @ A1 DATE: AUG 2018
DRAWN: JMK APP NO: 1602

DRAWING

SITE AND LOCATION PLANS

NO. IN SET: 1 DRAWING NO: DA-01 SHEET NO: F



222-238 Parramatta Road, Homebush

Statement of Support for Section 4.55(2) Modification

July 2020

STRATHFIELD COUNCIL
RECEIVED
DA2016/160/6
30 July 2020



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Executive Summary

This Statement of Support (SoS) has been prepared in support of a Section 4.55(2) Modification Application made to the Strathfield Council ('the Council') under Part 4 of the *Environmental Planning and Assessment (EP&A) Act 1979*.

This S4.55(1A) Application seeks consent to modify development consent DA/2016/160, relating to development at 222-238 Parramatta Road, Homebush ('the site').

The proposed modifications are resultant from changes to road intersection at Dalton Avenue and Potts Street modifications to the approved development. A complete list of the proposed modifications is provided in Section 1.0.

The proposed changes result in no additional floor space, contained within the approved building envelope. To this end, there is no change to the approved building footprint, building height, car parking and maintains compliance with the numeric requirements of Strathfield Consolidated Development Control Plan 2005.

The S4.55(1A) and this SoS have been prepared in accordance with the *EP&A Act 1979* and the Environmental Planning and Assessment (EP&A) Regulation 2000.

This SoS addresses the relevant heads of consideration listed under Section 4.15(1A) of the *EP&A Act 1979*, and provides an assessment of the proposed development against the relevant Environmental Planning Instruments (EPIs) and other planning controls applicable to the site and to the proposal.

The key planning controls are included within:

- Strathfield Local Environmental Plan (SLEP) 2012;

The proposed development is permissible with consent in the SP1 Special Activities zone under SLEP 2012, and is consistent with the broad objectives of the zone.

Based on the assessment undertaken, approval of the s4.55(1A) application is sought.



1.0 Overview

This SoS has been prepared in support of a S4.55(1A) Modification Application to undertake modifications to approved development consent DA/2016/160 for demolition of the existing structures and construction of a warehouse and distribution centre with two (2) levels of office space above one (1) level of basement parking.

The modifications proposed by this Application are directly resultant from modification to intersection at Dalton Avenue and Potts Street and comprise the following:

DA-01 Rev.F (Site Plan):

- Widening of intersection swing to southern direction (changes coloured in yellow on the supporting architectural drawing).

1.1 Scope and Format of the Statement of Environmental Effects

This statement has been prepared in accordance with the requirements of Schedule 1, Part 1 of the EP&A Regulation 2000, and provides an assessment consistent with the heads of consideration under Section 4.15(1) of the *EP&A Act 1979*, which are relevant to the consent authority's assessment of the DA.

Accordingly, the SEE is structured into sections as follows:

- Section 1 - provides an overview of the project and of this SoS;
- Section 2 - describes the site, locality and surrounding development;
- Section 3 - describes the proposed modifications;
- Section 4 - provides an assessment under S4.55(1A) of the *EP&A Act 1979*;
- Section 5 - identifies the applicable statutory controls and policies, and provides an evaluation of the proposed development against the relevant controls;
- Section 6 - provides an assessment of the proposal and its likely impacts on the environment and in particular, the potential impacts on adjoining properties and the surrounding area; and
- Section 7 - provides a conclusion on the proposal.

1.2 Supporting Plans and Documentation

This statement is supported with the following documents:

Document name
Architectural Drawings
(DA01 Rev.F)

Prepared by
Koturic and Co.



2.0 Site Description and Context

2.1 Site Description

The site is located at 222-238 Parramatta Road, Homebush. The site is legally described as Lot 2 DP1036274, Lot 4 DP90683, Lot 5 DP1103489, Lots A & B DP82177, and Lots 8 & 9 DP78385. The site borders Parramatta Road to the north, Automobile Gallery car yard to the east, Dalton Avenue to the south and Unigas Homebush to the west.

The location of the site is shown in Figure 1 below.



Figure 1: Aerial view of site and locality (Source: SIX Maps)

The site is generally rectangular in shape and has a frontage of 105m to Parramatta Road to the north, and an overall area of 0.5ha (5,650.9m²).

2.2 Context and Locality

The site is located approximately 11km west of the Sydney CBD, on the southern side of Parramatta Road and the M4 Western Motorway corridor, on the northern side of Sydney Markets.

The locality is a mixed use area, comprising a mix of industrial, commercial, and residential uses in a busy area, adjacent to Parramatta Road and the M4 Western Motorway, Centenary Drive, and adjoining railway line.

The Sydney Markets site dominates the area, and comprises a mix of large warehouse buildings, multistorey car park complexes and commercial buildings, interspersed with roads and large loading and manoeuvring areas. The Sydney Markets site generally occupies the whole street block between Parramatta Road to the north, Centenary Drive to the west, the railway line to the south, and (with the exception of a number of residential properties) Smallwood Avenue in the east.



The location of the site in this context is shown in Figure 2.



Figure 2: Location plan (Source: Google Maps)



3.0 Description of Modifications

This s4.55(1A) Application seeks consent to modify the development approved under DA 2016/160, which relates to development at 222-238 Parramatta Road, Homebush ('the site').

DA 2016/160 was approved on 4 May 2017 for demolition of existing structures on-site and construction of a warehouse and distribution centre with two (2) levels of office space above, and one (1) level of basement car parking below. The development has subsequently been modified by way of the following applications:

- DA 2016/160/2 which was approved by Strathfield Independent Hearing and Assessments Panel (SIHAP) on 2 November 2017, permitting modification of Condition DACCO43 in relation to S94 Contributions and deletion of conditions relating to a Voluntary Planning Agreement (VPA); and
- DA 2016/160/3 which was approved by Strathfield Internal Development Assessment Panel (SIDAP) on 12 July 2018, permitting modification of external building materials and finishes and signage.
- DA 2016/160/4 which was approved by Strathfield Internal Development Assessment Panel (SIDAP) on 10 January 2019, permitting modification of new mezzanine office level, reconfiguring loading docks, off street parking, water treatment plant enclosure and dispatch office.

The modifications proposed by this Application are directly resultant from modification to intersection at Dalton Avenue and Potts Street and comprise the following:

DA-01 Rev.F (Site Plan):

- Widening of intersection swing to southern direction (changes coloured in yellow on the supporting architectural drawing).

3.1 Development Statistics

Development Statistics	Approved proposal	Proposed modified proposal
Site Area	5,650.9m ²	No change
Warehouse GFA	3,724m ²	No change
Warehouse Office/amenities GFA	713m ²	No change
Office Accommodation	2,490m ²	No change
Total Gross Floor Area	6,927m ²	No change
Floor Space Ratio	1.12:1	No change
Building Height	21m maximum (at lowest site level)	No change
Car Parking Spaces	93	No change
Loading Docks	6	No change
Motorcycle parking	8	No change

No alterations are proposed to the landscaping approved by DA/2016/160. The proposed development will comply with the relevant Australian Standards and provisions of the Building Code of Australia (BCA).

No alterations are proposed to the access arrangements approved by DA/2016/160 and the proposal maintains provision of three (3) parking spaces for persons with disabilities. Access will continue to be provided in accordance with the relevant Australian Standard AS1428 as approved.

4.0 Section 4.55 Assessment

4.1 Section 4.55(1A) of the EP&A Act 1979 – Modifications

Section 4.55(1A) of the EP&A Act 1979 states:

"A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the proposed modification is of minimal environmental impact, and*
- (b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (c) it has notified the application in accordance with:*
 - (i) the regulations, if the regulations so require, or*
 - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
- (d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*

Subsections (1), (2) and (5) do not apply to such a modification."

The proposed modifications do not materially alter the character or essence of the approved development, which will remain as a warehouse and distribution centre, with separate commercial office accommodation. The proposed modifications maintain the external appearance of the approved development, maintain compliance with the requirements of SDCP 2005 in relation to car parking and maintain compliance with the approved hours of operation. The categorisation of the approved development will not change as a result of the proposed modifications.

Accordingly, the proposed modifications satisfy Section 4.55 1(a) of the EP&A Act 1979 as they result in a development that is substantially the same as the development originally approved by Council, being for a warehouse and distribution centre, with office accommodation above and a basement level for car parking.

In relation to Subclause (b), there is no known requirement for consultation with any Minister, public authority or approval body.

In relation to Subclause (c) and (d), Clause 119(3) of the EP&A Regulation 2000 requires that the application be notified or advertised in accordance with the relevant development control plan. The consent authority is required to consider any submissions made in accordance with that notification.

It is demonstrated above, and illustrated in the architectural drawings, that the modification to the approved DA will result in a development that is the same as the approved development, and subject to the procedures provided by Subclauses (c) and (d), may be considered by the consent authority under Section 4.55(1A) of the EP&A Act 1979.



5.0 Statutory Assessment

5.1 Section 4.15

Section 4.15(1) of the EP&A Act 1979 sets out the statutory matters for consideration against which the proposed development is to be evaluated. The matters for consideration under Section 4.15(1) are as follows:

- The provision of any applicable EPI;
- The provisions of any applicable proposed instrument that is or has been the subject of public consultation;
- The provision of any applicable development control plan (DCP);
- The provisions of any applicable planning agreement entered into under Section 7.4 of the EP&A Act 1979, or draft planning agreement offered; and
- The provisions of the relevant regulations.

The matters for consideration identified in Sections 4.15(1)(b) to (e) of the EP&A Act 1979 are addressed in this of the SoS.

5.2 Overview of Statutory and Policy Controls

The EPIs and other statutory planning documents and policies which are relevant to the assessment of the proposed development pursuant to S4.15(1)(a) are identified below.

5.2.1 Local Environmental Plans

- Strathfield Local Environmental Plan (SLEP) 2012.

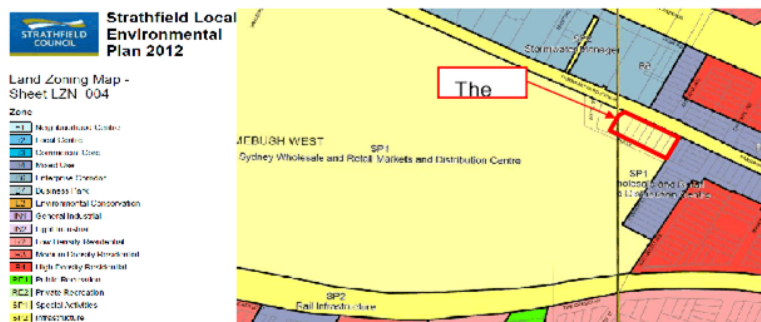
5.2.2 Development Control Plans

- Strathfield Consolidated Development Control Plan (SDCP) 2005; and
- Strathfield Development Control Plan No. 20 (SDCP20).

5.3 Strathfield Local Environmental Plan (SLEP) 2012

5.3.1 Land Use and Permissibility

The site is located within a SP1 Special Activities (Sydney Wholesale and Retail Markets and Distribution Centre) zone, as illustrated in the extract of the Land Zoning.



The proposed modifications maintain the approved uses and are permissible with consent in the SP1 Special



Activities (Sydney Wholesale and Retail Markets and Distribution Centre) zone, pursuant to Clause 3(1) of Schedule 1 of LEP 2012 and associated permissible ancillary uses.

5.3.2 Height of Buildings (Clause 4.3)

Clause 4.3 of SLEP 2012 establishes the height controls for development across the Strathfield local government area (LGA) via the Height of Buildings Map.

No Height of Building control applies to the proposed development site under SLEP 2012.

5.3.3 Floor Space Ratio (Clause 4.4)

Clause 4.4 (floor space ratio) establishes FSR controls. No FSR is applicable to the site under SLEP 2012.

5.3.4 Heritage Conservation (Clause 5.10)

The site is not a heritage item and is not within a heritage conservation area.

5.3.5 Acid Sulfate Soils (Clause 6.1)

The site is located within the Class 5 acid sulfate soils zone. Clause 6.1 requires an acid sulfate soils management plan to be submitted prior to the granting of consent to development in areas where acid sulfate soils are likely to be affected.

The proposed modifications involve no changes to the approved volume of excavation. The original DA was considered satisfactory with respect to Clause 7.14 and the proposed modifications will maintain the status quo in this regard.

5.3.6 Earthworks (Clause 6.2)

The extent of excavation or earthworks approved as part of the development remains unchanged by the proposed modification.

5.3.7 Erection or display of signage (Clause 6.6)

No changes are proposed to the approved signage at the site and further consideration of Clause 6.6 is not required in this regard.



6.0 Impacts of the Development

This section of the SoS identifies potential impacts which may occur as a result of the proposed modifications of the development, and are relevant matters for the consideration under S4.15(1)(b) to (e) of the *EP&A Act 1979*.

6.1 Stormwater and Other Services

No alterations to the approved stormwater and services are proposed as part of this modification application.

6.2 Appearance

The proposed modifications maintain the approved architectural language/style and external colours and materials, and will consequently maintain the status quo in terms of contribution to the public domain. The proposed modifications will not have any material impact on the remaining elevations of the approved development.

6.3 Amenity Impacts on Neighbouring Properties

No change to the amenity of adjoining properties will occur as a result of this proposed modification. The proposed modification do not change the nature of the approved development, approved hours of operation or provision of an acoustic screen adjacent to Hudson Street. Therefore, it is not expected that any adverse impact will arise as a result of this modification of DA/2016/160.

6.3.1 Bulk and Scale

The proposed modifications will not have any material impact on visual massing of the approved built form when compared to the approved development, as the additional floorspace is contained within the approved building envelope. The proposed change(s) do not alter the height, footprint, excavation or layout of the approved development.

The approved development had an FSR of 1.12:1 and the proposed modification results in an FSR of 1.22:1. The proposed modifications are considered acceptable for the following reasons:

- The proposed FSR is lower than the FSR of the adjacent sites and approvals in the vicinity;
- The additional FSR is contained within the approved building envelope and has no impact on the approved height, building footprint or external appearance;
- The proposed modified development maintains compliance with the car parking requirements of DCP 2005 (see below); and
- The proposal incorporates additional office accommodation which is required in order to support the primary function of the warehouse and distribution centre at the site.

6.3.2 Solar Access and Overshadowing

There are no changes to the approved solar access arrangements or overshadowing as a result of this proposed modifications.

6.4 Traffic and Parking

As outlined above, the proposed modification maintain compliance with SDCP 2005 in relation to the provision of car parking and loading facilities. The Traffic and Parking Assessment accompanying this Application also confirms that the proposed modifications will have a negligible impact in relation to traffic generation.



6.5 Social Impacts and Economic Impacts

The social and economic impacts of the completed development have been assessed as acceptable by the approved DA. The proposed modifications will ensure the efficient and functional operation of the market-related business within the building, to the benefit of the local economy.

6.6 The Suitability of the Site for the Development

The site has been assessed as suitable for the proposed development by the granting of DA/2016/160. No changes to the approved uses are proposed as part of this modification.

The proposed design changes do not materially alter the external appearance of the approved development and will therefore maintain the status quo in terms of the contribution that the development makes to the local streetscape.

6.7 The Public Interest

The proposed modifications presented by this application will result in a development which has an improved functionality for the future occupants of the building, without any adverse impacts in relation to the local streetscape, nearby residential properties or the streetscape generally. The overall bulk, scale, footprint, excavation, and height remain the same as the development approved under DA/2016/160 and the proposed modifications maintain compliance with SDCP 2005 in relation to the provision of on-site car parking and loading facilities.

On the basis of the above, it is considered that the proposed modifications are within the public interest.



7.0 Conclusion

The proposed modification does not alter the building envelope, footprint, excavation or height of the development approved by DA/2016/160.

The modifications are resultant from subsequent review of the design was going to be detrimental to the function of the Services Station north of the intersection and was changed to swing in the southern direction. Existing in ground services were avoided in this area which further warrant the design change. The modifications will result in no visual external appearance of the approved development, thereby maintaining the status quo in terms of contribution to the local streetscape.

The application seeks to modify the DA under Section 4.55(1A) of the *EP&A Act 1979*, and has been assessed against the provisions of Section 4.55 of the *EP&A Act 1979*.

The proposal remains consistent with the desired future character that is envisaged for the local area under SLEP 2012, and the relevant Development Control Plans.

The proposal does not result in significant adverse environmental, social, economic or amenity impacts on the neighbourhood, and based on the assessment undertaken herein, approval of the modification is warranted.

TO: Strathfield Local Planning Panel Meeting - 5 November 2020
REPORT: SLPP – Report No. 41
SUBJECT: DA NO 2020/124 - 19-21 SOUTH STREET STRATHFIELD - LOT 65 AND 66 DP 8778
DA NO. DA2020/124

SUMMARY

Proposal: Part demolition and alterations to a Heritage Item and landscaping including a fence between the two properties that comprise the site (19-21 South Street).

Applicant: POC+P Architects Pty Ltd (Patrick O’Carrigan)

Owner: Magaline Mouawad

Date of lodgement: 14 July 2020

Notification period: 14/07/2020 – 07/08/2020

Submissions received: 3

Assessment officer: EB

Estimated cost of works: \$225,500.00

Zoning: R2 Low Density Residential - SLEP 2012 - SLEP 2012

Heritage: Heritage Item – (Item 196 - Local significance – Georgian Revival house and garden).

Flood affected: No

Is a Clause 4.6 variation proposed? No

Extent of the variation supported? No

Peer review of Clause 4.6 variation: No

RECOMMENDATION OF OFFICER: APPROVAL

EXECUTIVE SUMMARY

1.0 This application is to alter a local heritage listed house and its garden at 19-21 South Street, Strathfield (known as Lot 65 and Lot 66 DP8778). The property is listed as “*Item 196 - Georgian revival house and garden*” under Schedule 5 of the Strathfield Local Environmental Plan 2012. The majority of the dwelling is located on the southern lot (Lot 66). An in-ground swimming pool, cabana, cubby house and tennis court are located on the adjoining lot 65. A sandstone front fence, secondary privacy fence (garden wall) and loop driveway are located across both the lots. This proposal seeks to remove the northern wing of the original dwelling, which encroaches on Lot 65, and partly rebuild the wing to allow for the adjoining lot at 19 South Street to be used for future development. The application then aims to restore the existing house, reuse the original fabric (windows and tiles), and alter part of the internal walls to allow for better circulation and configuration of the living/guest zones. A subdivision plan has been submitted, but further information received from the applicant confirms that the current subdivision pattern is remaining and therefore is not part of this application.

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

- 2.0 The existing building c. 1940s has undergone various alterations and additions between 1977 and 1988. The proposed changes to the dwelling are detailed in the Heritage Impact Statement and include demolition and rebuilding of the northern wing which will essentially decrease its projection by 3m. It also includes changes to the garden such as replacement of the rear tennis court on lot 66 with a cabana, pool and lawn. A fence is proposed along the boundary of 65 and 66. The Heritage Impact Statement prepared by the applicant includes the previous Urbis heritage assessment and recommendations for delisting of the property but also states that *“despite being an inferior design, should not be delisted and demolished”* (Heritage Impact Statement POC and P architects– Proposed Design Philosophy, p15). Therefore, a Planning Proposal to remove the item from schedule 5 of the SLEP 2012 has not been submitted to Council.
- 3.0 The previous DA submission, DA2019/085, was refused by the Local Planning Panel in November 2019. This scheme encompassed the site as a whole and sought to demolish part of the heritage item and then add a two story addition in the Georgian style. This was refused on the grounds that it *“would have a detrimental impact on the significance of the item and its contribution to the streetscape”* as it sought to replica the existing building.
- 4.0 Three Submission were received during the public notification period. Two submissions did not support any delisting of the item and the development proposal. Reasons include that the heritage item would not retain its integrity and that the curtilage of the item was as significant as the heritage item. One submission was not opposed but concerned over the potential loss of the “whole package” this includes the curtilage, significant fabric and that the additional gate within the existing fence would be of the same low profile as the fence and of wrought iron.
- 5.0 The principle issues are:
- i) That a portion of the existing fabric (59.2msq) is removed from the house with the rear of the property being internally altered to allow for modern updates including 5 new skylights.
 - ii) That there is no proposal for the adjoining lot.
 - iii) That the streetscape is currently changing with the neighbouring property at 23 South Street, now dominating this heritage listed dwelling.
 - iv) Changes to the garden with landscaping and a fence across the central driveway that will physically separate the two lots that form the subject site.
 - v) New vehicular gate in existing front fence.
 - vi) Loss of the tennis court from the garden.

BACKGROUND

Application History	
Date	Action
08/07/2020	• Development application lodged
14/07/2020	• Application completed
17/07/2020-07/08/2020	• Application notified
21/07/2020	• Initial site visit – unable to access dwelling due to COVID 19 restrictions. The deterioration of the heritage item (including garden) and the bulk and scale of the adjoining neighbouring development at 23 South Street was noted.
05/08/2020	• Telephone discussion with applicant and architect to state that the application would not consider a subdivision as the site was already subdivided. Confirmation by email received.

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

08/09/2020	<ul style="list-style-type: none"> Telephone discussion with applicant that both sites should be considered together if development is being proposed on the second lot. Applicant was not willing to submit any plans for the neighbouring lot. It was explained to the owner and applicant that both the garden and the house are listed as local heritage items.
08/09/2020	<ul style="list-style-type: none"> Site visit – unable to access dwelling house again due to new tenants changing locks, boarding up windows and doors of the property. Owner on site with real estate agents. Informed owner that the garden was part of the heritage listing as well as the house and therefore the landscape plan was significant part of the assessment. Also reiterated that the circular driveway needed to be kept. Suggested that a lot adjustment would result in a similar outcome but would keep the heritage item intact.
22/09/2020	<ul style="list-style-type: none"> Correspondence with applicant on details of dividing fence. Photomontage of the fence details received.
25/09/2020	<ul style="list-style-type: none"> Discussions on the demolition of the northern wing and the retention of material to ensure that the northern elevation would still be articulated with a hip roof. Plans modified.
25/09/2020	<ul style="list-style-type: none"> New plans received that did not address the retention of the roof form. Requested an additional 0.2m retention of original fabric at least to create articulation of the northern elevation.
28/09/2020	<ul style="list-style-type: none"> Amended plans received that kept the shape of the roof line by keeping a segment of the northern Wing.
Other relevant history	
<ul style="list-style-type: none"> A pre-DA meeting was held in December 2018 for a previous design which extended the dwelling over both sites in a similar style to the current dwelling. The written feedback from this meeting identified a number of areas where the proposal departed from the provisions of <i>Part P: Heritage</i> of the Strathfield Development Control Plan (SCDCP) 2005. DA2019/075 lodged in June 2019. An unsatisfactory heritage referral led to, various meetings (September and October 2019) to discuss heritage issues such as height, bulk, and scale. This was due to interpretation of the heritage item and its setting is not readily discernible. The applicant requested significant time to review the application but this was rejected on the basis that time had already been provided. November 2019 – the application was rejected at the Local Planning Panel Meeting. 	
Compliance History	
Nil	
LEC Appeals	
Nil.	

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 65 & 66 in DP8778 and is commonly known as 19-21 South Street, Strathfield (Figure 1 and Figure 2). The site is located on the west side of South Street and has a total site area of 2426.6m² across two lots. Each lot is 20.118m by 60.35m (1214.12msq).

The site is rectangular in shape and has a frontage of 40.225m to the South, a rear boundary of 40.235m to the west, and side boundary length of 60.35m. The site has a minor fall from front to rear of approximately 2.04m measured at the mid-point along the front and rear boundaries (RL36.87 to RL 34.83).

Existing Development is currently a two (2) storey 'Georgian Revival' rendered brick residence on the southern-most lot (Lot 66) (Figure 3 and 4). An attached single width garage structure is located on the southern side of the building. An in-ground swimming pool and detached cabana

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

structure is located on the northern most lot (Lot 65) and tennis court at the rear over both lots (Figure 5). A curved driveway over both lots connects two (2) vehicular crossings located in the front north-eastern and south-eastern corners. A low-lying sandstone wall runs along the front boundary (see Figure 6). A masonry wall extends across both lots from the front building alignment to the northern side boundary, providing privacy to the swimming pool and rear yard (see figure 4).

The surrounding streetscape is characterised by mainly two storey dwellings of varying architecture styles with formal gardens and mature street trees.

To the north: Two (2) storey rendered brick dwelling house at 17 South Street (Figure 7).

To the south: Two (2) storey brick dwelling house at 23 South Street, currently being constructed (Figure 8 and 9).

To the east: Mature street trees on Council's road reserve (Figure 6). One (1) and two (2) storey dwellings of varying architectural styles on the eastern side of South Street directly opposite the site (Figure 10).

To the west: Rear yards of detached dwelling houses at 20, 22 and 24 Myrna Road (Figure 2).

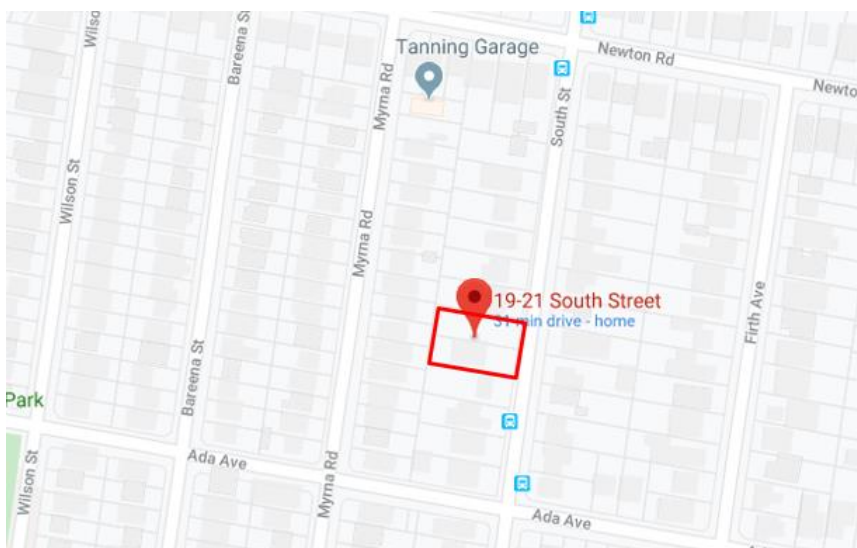
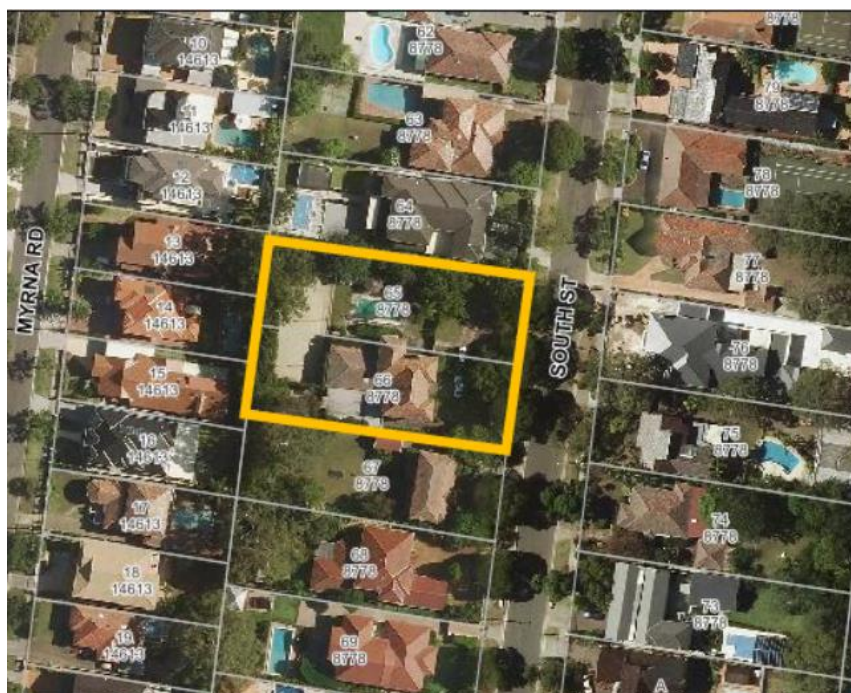


Figure 1: Locality plan (Source: Google Maps)



DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

Figure 2: Locality plan – (Source: Intramaps).



Figure 3: (2) storey 'Georgian Revival' rendered brick residence on the southern-most lot (Lot 66)



Figure 4: View to the Northern Elevation and garden fence of the 'Georgian Revival' rendered brick residence.



Figure 5: An in-ground swimming pool and detached cabana structure is located on the northern most lot (Lot 65) and tennis court at the rear over both lots (Figure 4)



Figure 6: A low-lying sandstone wall runs along the front boundary also showing Council trees on verge. This view from South Street.



Figure 7: **North:** Two (2) storey rendered brick dwelling house at 17 South Street.

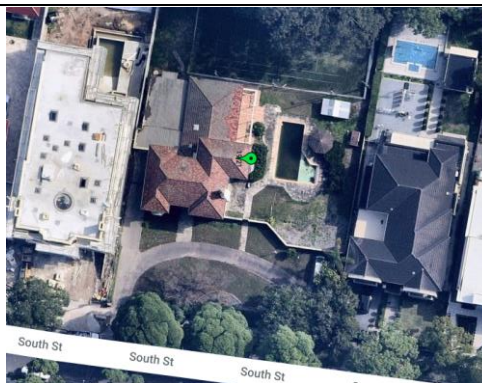


Figure 8: 23 South Street, currently being constructed.

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)



Figure 9: 23 South Street, currently being constructed.

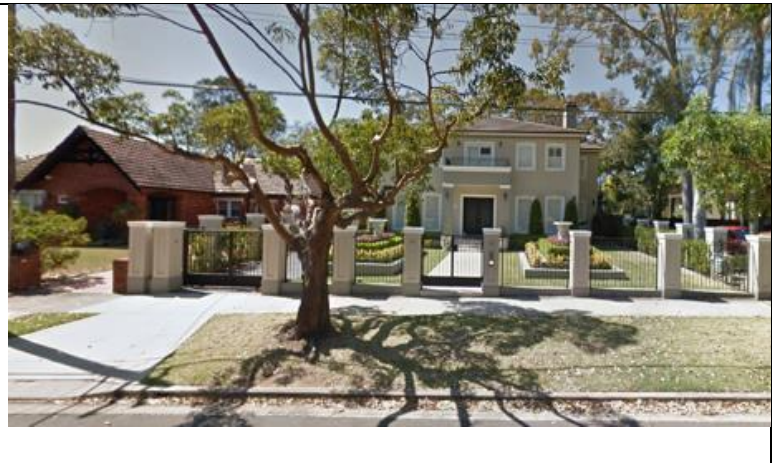


Figure 10: Varying architectural styles on the eastern side of South Street directly opposite the site (Figure 11 and 12).

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for demolition of 3m (length) and 5.2m (width) of original fabric of the Northern Wing (not including bay window). Approximately 1m (2m with bay window) of the original wing is located over the adjoining lot (lot 66). It also seeks partial demolition of the garage and internal walls to create a guest wing and internal flow between the kitchen and living spaces. The removal of part of the garage behind the garage façade will create room for a pantry and a courtyard. The application then seeks to rebuild a smaller portion of the northern wing (40cm) and to reinstate the 1980's bay window (which is part of the heritage significance of the site), the original 1940's window and the hip roof form (see Figures 11 and 12).

External changes to the garden include a new 1.8m boundary fence between the two lots (65 and 66) which will be located behind the garden wall with a 1m high fence in front of the garden wall (See Figure 14). The 1m fence will span the front yard and will cross the circular driveway. Planting of Paroo Lily and Blue Flax Lily a dwarf Lily Pilli (height 0.45-0.6) is proposed along this boundary (see Figure 15).

In addition the section of the rear deck and stairs that currently encroaches on lot 65 will be removed and the rear of the deck extended (approx. 2m x 6m). A new in-ground swimming pool (approx. 10m (L) x 4m (W) x 1 -1.8 m (D)) with an adjoining new flat roof cabana (5m x 3m) is proposed with a small extension to the rear patio. One (1) metre of landscaping is within the fence line of the pool (see Figure 15).

A new gate is also to be inserted into the existing garden wall on Lot 66 (see Figure 13). Details of the changes are outlined in the tables below (see table 1-4). Two new drainage pits in the front garden and two in the rear garden is also proposed as well as a below ground rainwater tank.

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)



Figure 11: Existing development

Figure 12: Proposed Development

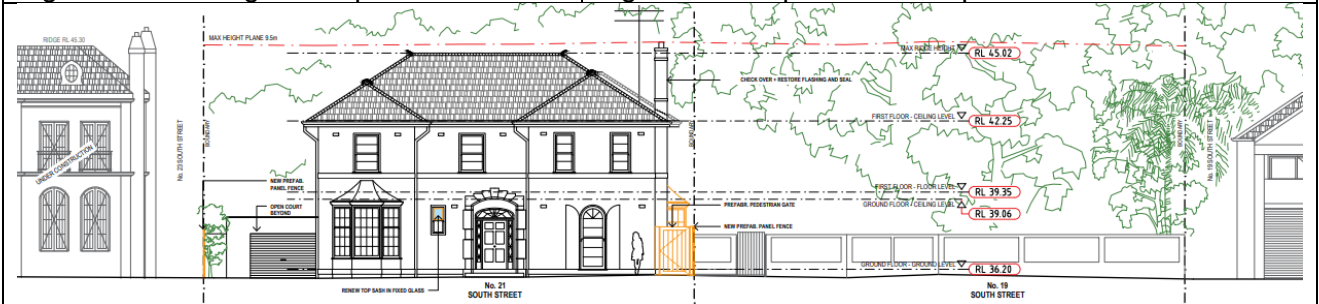


Figure 13: Showing location of a new gate in the existing garden wall

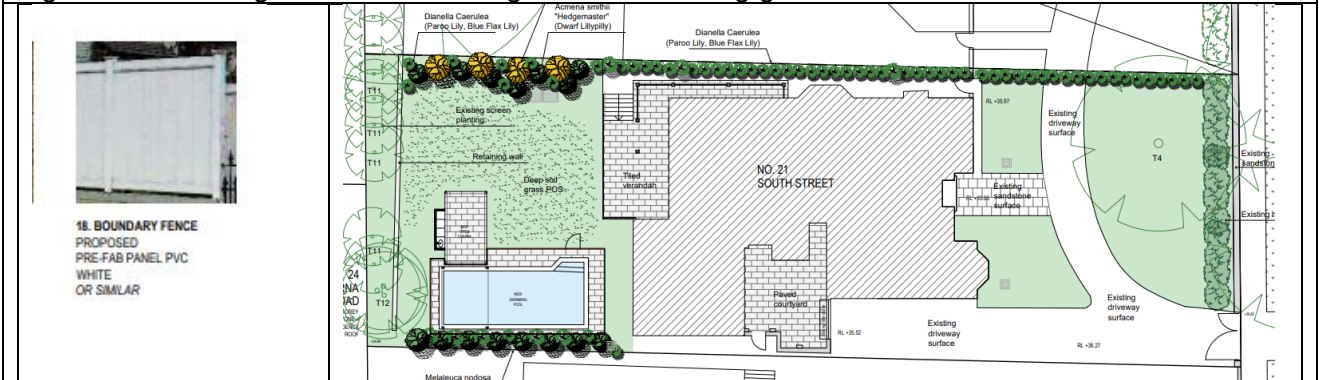


Figure 14: The new boundary fence

Figure 15: New landscaping long the boundaries including behind the new pool. The neighbours wall (2.4) is part of the pools fence line.

First floor level (Table 2)

Refurbishments	Preservation	Alteration
Rebuild the hip roof with original tiles.	Relocate existing c. 1981 infill study window	Demolish existing c. 1940s north facing hip consisting of ground floor study and first floor study
Reinstate the upper floor window.	Retention and reuse of roof tiles	

Ground floor level (Table 3):

Refurbishments	Preservation	Alteration
New kitchen refurbishment in existing c. 1985 kitchen -	Relocate existing 1940s internal sliding door between kitchen and dining room.	New 5x skylights in existing c. 1985 ground floor living area roof
Renew top sash of existing c. 1940 WC window in fixed glass		New pantry constructed in part of demolished c. 1977 garage footprint
New c. 1985 balcony	Retention of existing c. 1985 bay	New WC + pool equipment

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

extension + awning roof + balustrade/ railing	window on Northern elevation	in existing c. 1977 garage
	Retention of the façade of the garage with partial demolition of the existing c. 1977 garage + wc behind the façade.	Partial demolition and reconfiguration of the existing c. 1985 ground floor rear additions (partially) including kitchen fittings and north-facing terrace + pergola – north-facing terrace + pergola partly retained

External works (Table 4)

Refurbishments	Preservation	Alteration
Refurbish driveway cement.	Preserve/protect existing driveway	Fence across driveway
	dual vehicular entries	New gate within existing opening on lot 66
	Preserve/protect existing landscaping and landmark trees + lawns	New landscaping along the length of the Northern boundary. New trees along the
Preserve/protect existing front fence		New swimming pool and cabana on lot 66 with fencing around 3 sides and the adjoining boundary fence 2.4m being the fourth fence. New landscaping within the pool boundary (Including planting of ball honey myrtle (5-10m).
		New boundary fence between lot 65 and 66
		New pedestrian gate in existing c. 1987 garden wall on lot 66
		New vehicular gate + pedestrian pass gate in existing opening in c. 1940s front fence on lot 66
		Demolish existing c. 1977 tennis court on lot 66
Deck		Removal of approximately 2m of the rear deck which is currently located over the adjoining lot 65, change location of stairs and extension of the deck to the rear.
		New landscaping around the boundary of Lot 66 including beside the swimming pool.
		An outside toilet within the garage space opening to the rear yard.
		Pool equipment storage in the garage space opening to the year yard.
		New secondary roller shutter door within the existing garage footprint.
		3521 litres rainwater tank installed in back yard – shown on ground floor drainage plan as a 10,000L underground rainwater tank from Kingston water tanks.
		Demolition of outside toilet and part of the garage roof , hills hoist and part of the tennis court
		4 drainage pits (2 front and 2 rear of dwelling)
		0.5m retaining wall along the rear boundary

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

REFERRALS

INTERNAL REFERRALS

The application was referred to Councils Heritage Advisor and the Flood Engineer.

Engineering Comments

Council's Engineer has commented on the proposal as follows:

. "Dwelling roof runoff on the northern and western boundary drain into proposed below ground rainwater tank in accordance with BASIX requirements by charged means via downpipes. Overflow from the tank and all other roof runoff drain into the below ground OSD/pump out tank by gravity means via overflow pipe and downpipes. OSD/pump out tank pressure pipe pumps to the boundary pit. From an engineering perspective, the concept plan is feasible and there are no objections to its approval subject to the following conditions attached."

Special Condition:

Absorption Trench

Drainage concept plan doesn't reflect backup absorption trench for emergency overflow from the OSD/pump out tank. Amended drainage plans shall be submitted to Council for approval prior to issue of a Construction Certificate.

Council's Engineer offered no objections to the proposal, subject to the imposition of standard recommended conditions of consent and the above mentioned special condition.

Heritage Comments

Council's Heritage Advisor has commented on the proposal as follows:

"... The changes to the item have been assessed against the Burra Charter, NSW Alterations to heritage items and the Strathfield DCP. The changes to the fabric will still allow the item to be interpreted as a 1940's Georgian Revival Dwelling and will still allow prominent views of the Northern Elevation to be maintained with the latest amended plan (28 September 2020). The listing being over both sites will ensure that any future development on Lot 65 will be assessed as a heritage item. Whilst the Tennis Court is part of the significance of the site it is a later addition to the original garden layout. The interpretation signage can include the social aspect of the Tennis court being used by the community to learn tennis.

On balance, in order to ensure ongoing maintenance and restoration of the house the proposal is approved with conditions on retention of a circular driveway, front garden and all fences on site. In addition new fences in the front setback must be of an open design, such as a woven wire fence to enable the circular driveway to be viewed. Future plantings should not be located over the driveway.

A Conservation Management plan has also been included to ensure that any development that is considered on the garden lot (Lot 65) and the maintenance of the front setback and fence over both lots are consistent, if they are owned by different owners.

In addition an "Interpretative sign" in relation, but is not limited to, the original owners of the house "Mr. Nigel B. Love" is also conditioned to be located on the front gate and able to be viewed from the public domain. This is supported by the applicants previous Statement of Heritage Impact by Urbis.

Special conditions:

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

Boundary Fence

Amended landscape plans to be submitted to and approved by Council's Heritage Advisor which show a woven wire fence in the front setback along the boundary between Lot 65 and Lot 66 and removes the landscaping that is located on the driveway.

Front Gate - Heritage Items

Amend the Fence plan (DA16) to show a front gate that is in a 1940s style wrought iron period gate of similar height to the sandstone piers. Details are to be submitted and approved by Council's Heritage Advisor prior to the issue of the Construction Certificate.

Heritage Interpretation Plan

- (a) *An interpretation plan for a sign, plaque or similar for the historical associations of the dwelling and the social aspects of the tennis court must be submitted to and approved by Council's Heritage Advisor prior to a Construction Certificate being issued. The plan is to be prepared by a suitably qualified and experienced heritage practitioner or historian.*
- (b) *The plan must specify the location, type, making materials and contents of the interpretation device being proposed.*
- (c) *Prior to the occupation certificate being issued the approved interpretation plan must be implemented to the satisfaction of the Heritage Advisor.*

Conservation Management Plan - Garden

Prior to a Construction Certificate being issued, a Conservation Management Plan for the garden over lot 65 and Lot 66, which identifies how the significant landscape features and views, that includes but is not limited to, the sandstone front fence, garden wall, paths, circular drive and the current views to the northern elevation of the Georgian revival dwelling are to be managed in the future is to be submitted and prepared to Council's satisfaction.

Council's Heritage Advisor offered no objections to the proposal, subject to the imposition of standard conditions of consent and the above mentioned special conditions.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

- (i) any environmental planning instrument**

State Environmental Planning Policy (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

State Environmental Planning Policy No 55 – Remediation of Land

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl.	Aims	Complies
1.2(2)		
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	N/A
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	N/A
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	N/A
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	N/A
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

Comments: The proposed development will allow for retention and refurbishment of a heritage item which has historical and architectural significance. The proposal will allow for minor upgrades within the additional fabric whilst retaining the significant elements of this site, such as the fence, circular driveway entrance and copper bell bay windows. Both sites will continue to be heritage listed. Interpretative signage in the public domain will allow for the site to be recognized for its contribution to the historical and social past of Strathfield.

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Permissibility

The subject site is Zoned R2 low density residential under Strathfield Local Environmental Plan (SLEP) 2012.

Dwelling houses are permissible within the R2 Zone with consent and is defined under SLEP 2012 as follows:

“**dwelling** means a room or suite of rooms occupied or used or so constructed or adapted as to be capable of being occupied or used as a separate domicile.

dwelling house means a building containing only one dwelling.”

The proposed development for the purpose of R2 zone is consistent with the definition above and is permissible within the R2 Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the 2(a) Zone is included below:

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	Yes
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	Yes
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	Yes

Comments: The changes to the dwelling and garden will not adversely impact on the significance of the item. It can still be interpreted as a “Georgian Revival House and garden”. The changes in the front setback will be minimal and maintain the view of the circular driveway.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Minimum subdivision lot size

Cl.	Standard	Controls	Proposed	Complies
4.2	<i>Minimum subdivision lot size (excluding strata subdivision)</i>	560m2 (min)	Lot 65 - 1213.1 m ² Lot 66:1213.5m2	Yes

	Objectives	Complies
(a)	<i>To promote consistent subdivision and development patterns that reflect and reinforce the predominant subdivision pattern of the area</i>	Yes
(b)	<i>To ensure a variety of lot sizes are maintained of sufficient size and shape to accommodate a variety of development types</i>	Yes
(c)	<i>To preserve large industrial lots in order to provide a range of large-scale sites suitable for industrial activities that require integrated and large floorplates</i>	Yes

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Comments: The lot size complies with the DCP controls.

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	<i>Floor space ratio</i>	0.5:1	Lot 66: 0.34:1 (FSR)	Yes

Comments: Lot 66: The proposed floor space ratio complies with the control indicated in the SLEP 2012. The size and bulk of the proposed alterations and additions are minimal with a reduction of existing floorspace within the north wing.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.10 Heritage Conservation

The 'Georgian Revival house and garden' on land at 19-21 South Street are listed as a heritage item of local significance under Schedule 5 of SLEP 2012.

The NSW Heritage Inventory provides the following description of the subject heritage item (last updated 31 July 2018):

"This two-storey Georgian Revival house is constructed of rendered brick with a tile hip roof. It is situated on a large allotment and is set well back from the street. It features one storey timber bay windows to the north and east with copper bellcast roofing. A recessed entry has fan and side lights to the door. Other elements include rendered chimneys and rendered string course. A mature garden, stone fence, tennis court and circular drive are important elements.

This well-maintained Georgian revival home was built in 1941 for Nigel B. Love of N.B Love Limited, flour millers. This firm is still active in the area with premises in Braidwood Street. The house is of local significance for its architectural qualities and for its association with a prominent local business." (Ref No. 2450130).

Pursuant to Clause 5.10(4), Council's Heritage Advisor has considered the effect of the proposed development on the heritage significance of the item. The proposal is supported on heritage grounds, with detailed referral comments provided in the 'Referrals' section of this Report.

Therefore, the proposal is acceptable with regard to Clause 5.10 of the SLEP 2012.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

Clause 6.1 requires Council to consider any potential acid sulfate soil affectation so that it does not disturb, expose or drain acid sulfate soils and cause environmental damage. The subject site is within a Class 5 area as specified in the Acid Sulfate Soils Map. The site is not located within 500m of any adjacent Class 1, 2, 3 or 4 land. As such, there are no further matters for consideration.

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6.2 Earthworks

Excavation of approximately 62 cubic metres is proposed for the pool. The excavation is 1.6m away from the nearest property boundary. It is unlikely to have any adverse effects on the neighboring development. It is unlikely to result in any adverse effects on waterways.

6.4 Essential services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's storm water drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Heritage and Conservation

Cl. 1.11 Aims	Complies
A <i>To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield</i>	Yes
B <i>Ensure all new development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area</i>	N/A
C <i>Ensure that development in the vicinity of a heritage item or conservation area does not have any adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area</i>	Yes
D <i>Conserve archaeological sites and places of Aboriginal significance</i>	N/A
Cl. 1.11 Controls	Complies
(1) <i>A Statement of Heritage Impact is required for proposed development:</i> <i>a) affecting a heritage item;</i> <i>b) within a heritage conservation area; or</i> <i>c) in the vicinity of an item or heritage conservation area</i>	Yes
(2) <i>This statement must set out the heritage significance of the structure or place and assess the extent to which carrying out of the proposed development would affect the significance of the heritage item or heritage conservation area concerned and outline measures to minimise any identified impact</i>	Yes

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Comments: Whilst the Northern wing is reduced much of the original fabric will be retained and reused. The property will be repaired and updates mainly to the 1980's extension is proposed. This will ensure that the heritage item can continue to be used as the high quality home that it was originally built for. No proposal has been provided for the adjoining garden on Lot 65.

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

An assessment of the proposal against the objectives contained within Clause 1.3 of Part A of SCDPC 2005 is included below:

Comment: The alteration to the dwelling are generally compliant.

2: Architectural Design & Streetscape Presentation

2.1 Objectives	Satisfactory
G. <i>To retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserve the appearance of dwellings set in the treelined streets and park-like environment.</i>	Yes
I. <i>To ensure fencing is sympathetic to the design of the dwelling and the street and enhances the character of both the individual house and street whilst maintaining casual surveillance of the neighbourhood.</i>	Yes
J. <i>To protect and retain the amenity of adjoining properties.</i>	Yes

Comments: the fences in the front setback will be low and allow for surveillance. The sandstone front fence and landscaping will be retained and therefore there will be no change to the appearance of the property from the public domain.

2.2 Development Controls	Complies
.1. <i>Streetscape Presentation</i>	
2 Consistently occurring building features integrated within dwelling design.	Yes
.3. <i>Building Forms</i>	
1 Building form articulated.	Yes
.4. <i>Roof Forms</i>	
1 Roof form complements predominant form in the locality	Yes
2 Roof form minimises bulk and scale of building and remains an important architectural element in the street.	Yes
3 First floor additions complement the architectural style of the ground floor and delineate the existing roof form, slope and ridge	yes
4 Roof structures are not visible from the public domain	Yes
<i>Materials</i>	
5 Materials compatible with the existing dwelling house, adjoining dwelling houses and the streetscape (type, form	Yes

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	and colour)	
	<i>Colours</i>	
8	New development incorporates traditional colour schemes	Yes

Comments: The external alterations to the dwelling will reuse building materials. The proposed colour scheme is similar to the current scheme. The building form will remain articulated on the Northern side with an amendment to retain the roof and 40cm of the wing.

4: Building Envelope

4.2	Development Controls	Complies
.1.	<i>Floor Space Ratio</i>	
1	Floor Space Ratio permissible pursuant to SLEP 2012	Yes
.2.	<i>Building Height</i>	
2	Height of outbuildings, detached garages and carports is 3.5m (max) measured at the highest point on the roof above NGL	Yes

Comments: The height of the Cabana is 3.4m above Natural Ground Level and of a simple open design. The height is within the prescriptive control of 3.5m for outbuildings.

5: Landscaping

5.1	Objectives	Satisfactory
A.	<i>To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.</i>	Yes
C.	<i>To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.</i>	Yes
D.	<i>To ensure adequate deep soil planting is retained on each allotment.</i>	Yes
E.	<i>To ensure developments make an equitable contribution to the landscape setting of the locality.</i>	Yes
G.	<i>To encourage the use of native flora such as open woodland canopy trees, to provide a habitat for native fauna.</i>	yes
H.	<i>To ensure that landscaped areas are designed to minimise water use.</i>	Yes
I.	<i>To provide functional private open spaces for active or passive use by residents.</i>	Yes
J.	<i>To provide private open areas with provision for clothes drying facilities screened from the street and lane or a public place.</i>	Yes
K.	<i>To ensure the protection of trees during construction</i>	Yes

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L.	<i>To ensure suitable fencing is provided to reduce acoustic impacts and enhance visual privacy between neighbouring residents whilst enabling front fences passive surveillance of the street.</i>	Yes
M.	<i>To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.</i>	Yes

5.2 Development Controls**Complies**

	<i>Landscaped area</i>		
.1.	1	Landscaped area in accordance with Table A.3	Yes
	2	At least 50% of the minimum landscaped area located behind the building line to the rear boundary	Yes
	3	At least 50% of the front yard maintained as deep soil soft landscaping	Yes
	4	Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	Yes
	5	Planting areas soften the built form	Yes
	6	Front gardens respond and contribute to the garden character of Strathfield.	Yes
	7	Retain and reinforce the prevailing streetscape and surrounding locality	Yes
	8	Plant species must be retained, selected and planted to improve amenity	Yes

Tree Protection

.2.	1	Arboricultural Impact Assessment Report prepared by an AQF Level 5 Arborist	N/A
	2	The Arboricultural Impact Assessment Report address minimum criteria	N/A
	3	Development provides for the retention and protection of existing significant trees	N/A
	4	New dwellings and alterations and additions are set back in accordance with the Arboricultural Impact Assessment Report	N/A
	5	Council may request the applicant to engage a project Arborist	N/A
	6	Opportunities for planting new canopy trees within the front setback	Yes
	7	At least one (1) canopy tree provided in the rear yard.	Yes
	8	Trunk of a proposed canopy tree planted 4m (min) from built structures, or 3m (min) from pier beam footings	Yes
	9	Planting on side boundaries a 0.6m (min) deep root	Yes

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		deflection barrier provided 1.5m (min) either side of the tree center	
11		25% (min) of canopy trees and other vegetation shall be locally sourced indigenous species	Yes
.3.	<i>Private Open Space</i>		
	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes
	2	Includes a deep soil area compliant with the minimum landscaped area.	Yes
	3	Terraces and decks (at least 10m ²) with one length or width 3m (min) and directly accessible from an internal living area. Decks cannot be located more than 500mm above NGL	No
	4	Unless 3m (min) width, areas within setbacks are not to be included as private open space	Yes
	5	Private open space located at the rear of the property.	Yes
.4.	<i>Fencing</i>		
	1	Fencing designed to be compatible and sympathetic to the style of the dwelling, adjoining properties and the streetscape	No
	3	Fencing forward of FBL shall not exceed 1.5m. Solid components shall not exceed 0.7m above NGL with the exception of brick piers	Yes
	5	Side and rear fences limited to 1.8m (max)	Yes
	6	Side fences forward of the FBL taper down to the front fence.	No
	13	Significant trees maintained	Yes
	14	Stormwater flows through or under fencing on sloping sites	Yes
	15	Dividing fences constructed of timber palings (lapped and capped) with height of 1.8m (max)	Yes

Comments: The boundary fences forward of the front building line along the boundary between lot 65 and lot 66 are conditioned to maintain the circular driveway. Therefore the fence will not taper down. The trees (T12) are of a height of 5m and are 3m from the pool. The trees are unlikely to be affected by the pool as the pool is outside their Tree Protection Zone of 2.5m. No trees are proposed to be removed as part of this development application.

6: Solar Access

6.1	Objectives	Satisfactory
A.	To ensure the design of new dwelling houses and alterations and additions maximises solar access to living areas and open space areas.	Yes

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6.2 Development Controls		Complies
.1.	<i>Sunlight Access</i>	
	4 The proposed development does not further reduce the amount of solar access	Yes

7: Privacy

7.1 Objectives		Satisfactory
A.	<i>Development that is designed to provide reasonable privacy to adjacent properties</i>	Yes
B.	<i>To maintain reasonable sharing of views from public places and living areas</i>	Yes
C.	<i>To ensure that public views and vistas are protected, maintained and where possible, enhanced</i>	Yes
D.	<i>To ensure that canopy trees take priority over views</i>	Yes

7.2 Development Controls		Complies
.1.	<i>Visual Privacy</i>	
	1 Protect POS, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings from direct overlooking	Yes
	2 Provide adequate separation of buildings	Yes
	4 Improve privacy to adjacent properties with screen planting	Yes

Comments: No changes to visual privacy expected as the deck overlooks the pool only. The five proposed skylights will allow for better solar access to the year of the house.

8: Vehicle Access and Parking

8.1 Objectives		Satisfactory
A.	<i>To provide adequate and convenient on-site car parking.</i>	Yes
B.	<i>To ensure that the location and design of driveways, parking spaces and other areas used from the movement of motor vehicles are efficient, safe and convenient.</i>	Yes
C.	<i>To ensure garages, carports, basements and hard standing areas for cars do not visually dominate the street façade of the dwelling.</i>	Yes
8.2 Development Controls		Complies
.1.	<i>Driveway and Grades</i>	
	1 Existing driveways must be used (exceptions apply)	Yes
.2.	<i>Garages, Carports and Car Spaces</i>	
	1 Two (2) car parking spaces required behind the FBL of all	Yes

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	new dwellings (exceptions apply)		
2	Garages recessed behind the main front facade and/or non-dominant		Yes
3	Garages not more than 150mm above NGL at entry unless the slope of the site exceeds 1:8 (12.5%)		Yes
4	Dimensions of parking spaces and garages comply with the Australian Standards		Yes
5	Garages are not to be converted or used for any purpose other than that for which they are approved		No

Comments: The garage, which is located behind the FBL, will be reduced for a courtyard and a minor extension to allow for a pantry. However, two existing parking spaces will remain as well as the original garage door. This will meet the requirements under the Part A (SCDCP 2005) Dwelling Houses and Ancillary Structures.

9: Altering Natural Ground Level (Cut and Fill)

9.1	Objectives	Satisfactory
A.	To maintain existing ground levels and minimise cut and fill to reduce site disturbance.	Yes
B.	To ensure existing trees and shrubs are undisturbed, ground water tables are maintained and impacts on overland flow/drainage are minimised.	Yes
9.2	Development Controls	Complies
4	Vegetation or structural measures are implemented when the site is disturbed.	Yes
5	Areas of excavation setback from property boundaries in line with building setback controls. No excavation permitted within the minimum required setbacks.	Yes
6	The work does not affect or undermine the soil stability or structural stability of buildings and Council assets on adjoining properties.	Yes

Comments: The cut and fill will be minimal. The fill will be less than 55cm across the site and will include a 0.5m retaining wall. There will also be some excavation for the pool, 1.3m from the adjoining boundary, and the underground water tank. An excavation and fill condition has been included.

10: Water and Soil Management

10.1	Objectives	Satisfactory
A.	To encourage the incorporation of Water Sensitive Urban Design (WSUD) and Botany Improvement Plan principles in the development.	Yes
B.	To ensure compliance with Council's Stormwater Management Code	Yes

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C.	To ensure compliance with the NSW State Government's Flood Prone Lands Policy.	Yes
D.	To ensure that appropriate soil erosion and sediment control measures are implemented on all sites that involve soil disturbances during construction.	Yes
E.	To ensure new building work does not detrimentally affect the existing drainage system of any area of the Municipality.	Yes
G.	To appropriately manage stormwater and overland flow to minimise damage to occupants and property	Yes

10.2	Development Controls	Complies
	Soil Erosion and Sediment Control	Yes
.3.	1 Soil erosion and sediment control measures detailed and implemented prior to the commencement of work.	Yes
	2 Sediment control measures applied	Yes
	3 Plans provided detailing stormwater quality treatment	Yes

Comments: The drainage plans have been reviewed by council's engineer. A special condition for amended drainage plan for the emergency overflow to be submitted prior to construction certificate has been included.

Outbuildings		
	1 Outbuilding located behind the front building line	Yes
	2 Side and rear setback is 0.5m (min)	Yes
	3 New garden sheds, studios, cabanas and the like are limited 40sqm (max)	Yes
.2.	4 Windows do not face an adjoining property (exceptions apply)	Yes
	5 The roof area is not accessible for any purpose	Yes
	6 Outbuildings are not to be used for habitable purposes	Yes
	7 Kitchen facilities are not permitted in an outbuilding	Yes
	8 Any external lighting of an outbuilding is to be positioned or shielded to prevent glare to adjoining premises	Yes
Retaining Walls		
.3.	1 Retaining walls 1.2m (max) in height.	Yes
	2 Retaining walls in excess of 0.6m are fully designed and documented by a qualified practising engineer	Yes
Swimming Pools		
.6.	1 Side and rear setbacks from the outside edge of the pool concourse are 1m(min) wide and comprise deep soil soft	Yes

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	landscape area	
3	The pool filter and pump equipment designed and located to not emit a noise level that exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible	Yes
4	Lighting positioned to prevent light spillage and minimise any nuisance to adjoining premises	Yes
5	Enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.	Yes

13: Ecologically Sustainable Development

13.1 Objectives	Satisfactory
A. <i>To encourage passive and active strategies in the design of dwellings and ancillary structures that promotes the achievement of ecologically sustainable practices and BASIX requirements.</i>	Yes
B. <i>To ensure dwellings are designed to allow sufficient natural ventilation and lighting whilst minimising heat gain during summer and maximising solar access during winter, thereby reducing the need for artificial cooling and heating.</i>	Yes
C. <i>To minimise the over use of Sydney's limited high quality domestic water supply by ensuring new dwellings incorporate water storage tanks for use in toilet flushing, landscape irrigation and to encourage new dwellings, additions and alterations to incorporate water saving devices and water conservation strategies.</i>	Yes
D. <i>To encourage the use of new technology that reduces energy consumption, minimises greenhouse emissions and results in cost savings</i>	Yes
E. <i>To encourage the re-use of building materials, thereby reducing waste to landfill, transportation costs, conserving raw materials and reducing energy expenditure. (Refer to Part H Waste Minimisation and Management of SCDCP 2005).</i>	Yes

Water Tanks

1	Located behind the dwelling or behind the front building line and screened from view from the public domain	Yes
.3. 5	Overflow piped directly to the approved stormwater drainage system except in cases where stormwater is required to be directed to on-site stormwater detention (OSD) storage	Yes
7	Installation does not involve the filling of more than 1m above existing ground level	Yes
8	The tank not located over or adjacent to a water main or sewer main or installed over any associated structure or fittings	Yes

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9	Support structure installed to the requirements of a qualified practicing structural engineer or to the maker's specifications.	Yes
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Comments: The flood engineer noted that the drainage concept plan does not include an adequate absorption trench for emergency overflow. This will be rectified with a condition for amended drainage plans to address this prior to a Construction Certificate.

PART P- HERITAGE

An assessment of the proposal against the objectives and development controls contained within Part P of SCDP 2005 is included below:

1.5: Objectives of this DCP Part

1.5	Objectives	Satisfactory
a.	<i>To encourage development which complements existing heritage items and heritage Conservation Areas in a modern context.</i>	N/A
b.	<i>To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and heritage Conservation Areas.</i>	Yes
c.	<i>To protect those items and areas that are of value to the local community</i>	Yes
d.	<i>To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.</i>	Yes
e.	<i>To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.</i>	Yes

Comments: The majority of the house and the Georgian features are to be maintained. Changes to the fabric include removal of length of wall of 3m (D) and 5.2m (W) on both levels. Significant horticultures features such as the front sandstone front boundary wall, trees in the front setback, paths, driveway and the garden wall will be retained and will assist in the interpretation of the garden and house from the public domain. The evidence of historical themes will be enhanced through interpretive signs that are visible from the public domain.

2.1: General Objectives

2.1	Objectives	Satisfactory
a.	<i>To ensure that additions to a heritage item and new buildings on the site of a heritage item are of a scale, mass, bulk, orientation, setback and character consistent with the heritage item.</i>	Yes
b.	<i>To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape, and allows an ongoing application of its heritage significance.</i>	Yes
c.	<i>To retain or reinstate missing original details that contribute to the aesthetic quality and/or significance of a heritage item and to encourage the removal of inappropriate alterations and additions.</i>	Yes
d.	<i>To ensure that important elements of the form or fabric of a heritage item are not obscured or destroyed by alterations and additions.</i>	Yes
e.	<i>To ensure that materials and colours used on both the original heritage item and any alterations and additions are consistent</i>	Yes

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	<i>with the significance of the heritage item.</i>	
f.	<i>To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking.</i>	No

Comments: The proposal will use the same material. The alterations will retain the original house. A condition to change the fence and gate in the front setback will allow the gate to better fit into the stone wall and to retain the appearance of the circular driveway.

2.2: Setting

2.2.1	Objectives	Satisfactory
A.	<i>To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking; and</i>	No
B.	<i>To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape and retains the significance of the item.</i>	Yes
2.2.2	Controls	Complies
(1)	Original elements that contribute to the setting of a heritage item such as landscaping, fences and gates, driveways, seawalls etc. should not be removed and, traditional garden designs should be reinstated where possible.	Yes
(2)	New structures on land on which a heritage item is located such as swimming pools and outbuildings should be located so that they do not adversely impact on the significance of the heritage item.	Yes
(3)	The natural landform and character of the area within which a Heritage Item is located, should be maintained, avoiding any cut and fill to land when constructing new buildings and landscaping grounds.	Yes

2.3: Scale

2.3.1	Objectives	Satisfactory
A.	<i>To ensure that alterations and additions to a heritage item and new buildings on the site of a heritage item are of a scale consistent with the heritage item so as not to detract from the significance of the item.</i>	Yes
2.3.2	Controls	Complies
(1)	Development on the site of a heritage item must not dominate the item or detract from its significance.	Yes
(2)	Development shall not obstruct significant views to and from the item of significance.	Yes

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2.4: Form

2.4.1 Objectives		Satisfactory
A.	<i>To ensure that important elements of the form of a heritage item are not obscured or destroyed by alterations and additions</i>	Yes
B.	<i>To ensure that the form of a heritage item retains its importance in the streetscape and/or townscape.</i>	Yes
2.4.2 Controls		Complies
(1)	Important elements of the form of a heritage item such as main roof forms, chimneys, parapet walls, verandas etc. should not be demolished or obscured by alterations and additions.	Yes
(2)	Development of a heritage item must seek to reconstruct missing architectural detailing of a Heritage Item where possible, including gables, finial trims, front verandas or bays.	Yes
(3)	Verandas on the front and sides of a heritage item should not be filled in.	N/A
(4)	Additions and alterations to a heritage item should not detract from important aspects of the form of the heritage item.	Yes
(5)	The original shape of the roof of a Heritage Item should not be altered	No
(6)	The original wall treatment of a Heritage Item must be retained where possible. Unpainted brick or stone on a Heritage Item should not be painted or rendered.	Yes

Comments: The form of the Georgian house will be altered but it will still retain its overall appearance. The roof line will be altered however articulation of the northern façade is maintained. The original roof tiles and windows will be retained.

2.5: Materials and colours

2.5.1 Objectives		Satisfactory
A.	<i>To ensure that original materials that contribute to the significance of heritage items are not obscured.</i>	Yes
B.	<i>To ensure that colours of paintwork on heritage items are consistent with the significance of the heritage item.</i>	Yes
C.	<i>To ensure that materials on alterations and additions to heritage items are consistent with the materials of the heritage item.</i>	Yes
2.5.2 Development Controls		Complies
(1)	Original materials of heritage items should not be replaced with different materials or materials of different colour.	Yes
(2)	Non-original materials of heritage items that are being replaced shall, if possible, be replaced with material that	Yes

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	matches the original material as closely as possible	
(3)	Painting, rendering or bagging of original face brickwork and/or stonework is not permitted.	Yes
(4)	The texture of original rendered finishes should not be changed.	Yes
(5)	Materials for additions and alterations to heritage items should be compatible with the original materials of the heritage item.	Yes
(6)	Colour schemes for heritage items should have a hue and tonal relationship with traditional colour schemes for the period and style of the heritage item.	Yes
(7)	The use of fluorescent paint on heritage items is not permitted.	Yes
(8)	The use of modern finishes including stencilled concrete for driveways associated with heritage items is not permitted.	Yes
(9)	The original roof cladding of a heritage item (slate, tiles or corrugated iron) should not be changed if it is in good repair.	Yes
(10)	Sandblasting to remove paint from brick or stone should not be undertaken on a heritage item as it exposes it to weathering and may change its appearance	Yes

Comments: Original materials will be retained and reused. In accordance with the materials and finishes the walls will be rendered in similar colours as to those that are existing. Minor works will as outlined in the "Summary of Restoration Works for Conservation, (*Heritage Impact Statement POC and P Architects, July 2020, p26*) will be conditioned to ensure that original fabric not subject to this Development Application is retained and protected.

2.6: Alterations and additions

2.6.1 Controls		Complies
(1)	Alterations and additions must not adversely impact the significance of a heritage item.	Yes
(2)	Any alterations and additions must be consistent with the scale, form, proportion, details and materials of the heritage item.	Yes
(3)	Alterations and additions to heritage items must be located so as to minimise their visibility and prominence from the street or adjoining streets, and the height must not be seen above the main ridgeline of the building.	Yes
(4)	Ancillary buildings on the same site as a heritage item must be located so as to not obscure the significant elements of the Item.	N/A

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

Comments: The removal of part of the northern wing should not impact significantly on the overall heritage item, being both the garden and the dwelling. The item will still maintain the character of an interwar "Georgian Revival" dwelling in a garden setting. The listed significant details of the dwelling such as the entry, chimney, string course and the bellcast copper roofed bay windows will remain intact. A condition to retain the view to the Northern elevation which was identified at the previous Strathfield Local Planning Panel as significant has been included. On balance, the refurbishment and upgrades to the property will allow this heritage item to be continued to be utilized as a high quality home.

2.7: Doors and windows

2.7.1 Objectives		Satisfactory
A.	<i>To retain original windows and doors that contribute to the aesthetic quality and/or significance of a heritage item.</i>	Yes
B.	<i>To reinstate lost details that contributed to the aesthetic qualities and/or significance of a heritage item.</i>	Yes
C.	<i>To retain the proportions of walls and openings that contribute to the aesthetic quality of a heritage item.</i>	Yes
2.7.2 Controls		Complies
(1)	Original window and door openings in a heritage item should be retained. If the original doors or windows have been lost, they are to be replaced with one of similar size, type and material for the age and style of the Item.	Yes
(2)	Where original windows and doors in a heritage item have been removed and replacement of the new joinery is proposed, the form and detailing of the original windows and/or doors should be reconstructed.	N/A
(3)	New dormer and roof windows of a house should preferably be located on rear roof slopes in preference to roof slopes visible from the street.	N/A
(4)	New dormer windows visible from the street must be located to complement the design of the building with proportions and details which do not detract from the significance of the building.	N/A
(5)	Extensive areas of glazing visible from the Public Domain are not permitted unless this was a feature of the original design of the building.	N/A
(6)	New skylights are not permitted in roof slopes visible from the Public Domain.	Yes

Comments: Original windows will be reused. The proposed plans and documentation indicate that windows will be repaired where necessary. The five skylights are to the rear of the property within the newer fabric of the dwelling and are unlikely to be noticeable from the public domain.

2.8: Car parking

2.8.1 Objectives		Satisfactory
A.	<i>To ensure that garages and carports are designed to minimise the visual impact on views of heritage items.</i>	N/A

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2.8.2	Development Controls	Complies
1.	Garages and carports must be located behind the front building alignment	Yes
2.	Garages should generally not be incorporated into the front façade of a heritage item.	Yes

Comments: Two existing car parking spaces will be located behind the retained garage wall. An additional parking space is proposed to be located on part of the circular driveway. Whilst this space will be utilized for parking the driveway itself will not altered. The driveway will remain intact and visible as a circular driveway.

2.9: Fencing

2.9.1	Objectives	Satisfactory
A.	To conserve gates and fences that are contemporary with heritage items.	Yes
B.	To ensure that new fences and gates are in keeping with the character of the heritage item.	No
C.	To ensure that the significance of the heritage item is not diminished by inappropriate fencing.	No

2.9.2	Development controls	Complies
(1)	Original fencing styles and materials on a heritage item should be repaired and retained where possible.	Yes
(2)	New fencing and gates to a heritage item should be of a style and scale that is consistent with the style of the building.	No
(3)	Unless evidence is provided to establish a greater height, solid fencing (i.e. brickwork/stone) forward of the building line should not be greater than 1m in height above the adjacent public footpath level.	Yes
(4)	Unless evidence is provided to establish a greater height, fencing forward of the building line, constructed of material such as timber pickets, metal pickets or wrought metal panels or a combination of masonry and one of the above materials, should not be greater than 1.5m in height above the adjacent public footpath level.	Yes
(5)	Original face brick or sandstone fencing to a heritage item should not be painted.	Yes
(6)	For front boundaries where there is no existing front fence or the existing fence is not contemporary with the Heritage Item, a new low fence should be constructed. Materials used for front fencing of Heritage Items should be similar to those of the building or those for which there is historical evidence.	Yes

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Comments: The original low sandstone fence will be retained and repointed. A condition has been included to lower the new entry gate and to ensure that it is of an appropriate material and style. Further to this the new boundary fence within the front setback is not to dominate the setback and allow the circular driveway to be viewed. As such, a wire woven fence has been proposed and conditioned.

2.10: Landscape elements including paving and driveways

2.10.1 Objectives		Satisfactory
A.	<i>To retain important landscape elements that contribute to the significance of heritage items.</i>	Yes
B.	<i>To reinforce the significance of the heritage item through appropriate landscaping.</i>	Yes
2.10.2 Development Controls		Complies
(1)	Original driveways and footpath crossings that relate to a heritage item should not be relocated	Yes
(2)	Double driveways and footpath crossings will generally not be permitted for houses listed as heritage items.	Yes
(3)	Original or early garden layouts that contribute to the significance of the heritage item should not be altered.	No
(4)	Established trees and shrubs that contribute to the significance of the heritage item should not be removed unless it can be established by an arborist that the health of the tree or shrub is such that it must be removed.	Yes

Comments: The original garden to the front of the property is maintained with some alterations. A row of *Dainella caerulea* known as blue flax lily or paroo lilly would be planted along the boundary. A proposed boundary fence along the boundary is proposed of pre-fab panel (PVC) which is not in keeping with the heritage of the site. A condition to change the fence to a woven wire fence is proposed. This will maintain the view of the driveway. A condition that the driveway is not to be altered (including no planting within the driveway area) has been imposed.

2.11: Outbuildings

2.11.1 Objectives		Satisfactory
A.	<i>To minimise visual intrusion on views of heritage items due to outbuildings.</i>	Yes
2.11.2 Development Controls		Complies
1	<i>Outbuildings should be located in the rear yard of heritage items.</i>	Yes
2	<i>Outbuildings should be single storey and designed so that they have negligible if any impact on important views of heritage items and are not greater in height or bulk than the heritage item.</i>	Yes

Comments: Part of the adjoining garage will be changed into a courtyard but the façade will be maintained. The Cabana is to the rear of the property and will not be seen from the public domain.

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Currently the garden behind the garden wall has been modified to include pools and cabanas. The change to the layout will allow for a lawn, cabana and pool which will not be seen from the public domain.

2.13: Demolition

2.13.1 Objectives		Complies
1	<i>To retain buildings that are of heritage significance or contribute to the significance of a heritage item.</i>	Yes
2.13.2 Development Controls		Complies
(1)	Buildings that are listed as heritage items or contribute to the significance of a heritage item shall not be demolished.	Yes
(2)	Partial demolition of a heritage item may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the heritage item.	Yes
(3)	Outbuildings associated with heritage items can only be demolished where a Statement of Heritage Impact has established that the outbuilding does not contribute to the heritage significance of the place.	Yes

Comments: Part of fabric will be demolished. However, the HIS has an assessment against the Burra Charter Principals for new work (article 22) and change (article 15) which shows that the minor demolition will allow for conservation for the remaining item (internal and external).

This will include upgrades to the newer part of the item to ensure that it becomes a quality home that still retains its significance. The heritage Impact Statement sets out a "Summary of Restoration Works for Conservation" which is in line with the documentation required to enact 5.10(10) (c) which states:

"(c) the consent to the proposed development would require that all necessary conservation work identified in the heritage management document is carried out"

An assessment has been also made against the "Statement of Significance" and "Altering Heritage Assets (Heritage Council No.2)". Both assessments conclude that the majority of significant elements of this heritage item will be retained and therefore the significance and interpretation of the item is still maintained.

2.14: Subdivision

2.14.1 Objectives		Complies
1	<i>To ensure that subdivision of heritage items does not result in a loss of appropriate curtilage for the heritage item.</i>	No
2	<i>To ensure that subdivision of heritage items does not result in development that would obscure important views to or from the heritage item.</i>	N/A
2.14.2 Development Controls		Complies

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(1)	Subdivision of an allotment that includes a heritage item will not be approved unless it can be demonstrated in a Statement of Heritage Impact that an adequate curtilage of the heritage item is retained.	Yes
(2)	Subdivision of land that includes a heritage item should not be allowed unless it can be established in a Statement of Heritage Impact that proposed or future development on the created allotments will not impact on important views to or from the heritage item.	No

Comments: This is not a subdivision application as the lot is already existing. The HIS has proposed that an adequate curtilage will be maintained if redevelopment occurred on the adjoining lot. This is due to the retention of the front setback, the garden wall, circular driveway and paths. On balance, any future development will be on a listed heritage property and would need a development application. This will be assessed accordingly as to if further development is viable on this site.

PART H - WASTE MANAGEMENT (SCDCP 2005)

A Waste Management Plan was submitted as part of the development application and has demonstrated compliance with the relevant controls.

4.15 (1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) however it does involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(i) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

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The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

There is unlikely to be any environmental impacts on the surrounding built environment as the frontage, dwelling and garden are retained in this application. The item still retains its form and is able to be interpreted as a heritage item. The main impact is the dividing fence in the front setback. A condition has been included to change the fence to a see through fence to maintain the full visual of the circular driveway.

There is unlikely to be any social or economic impacts.

4.15 (1)(c) the suitability of the site for the development

The proposed development is considered to be suitable in that the alterations and upgrade to the dwelling will:

- Retain and maintain the item.
- The item will still be able to be interpreted as a Georgian Revival Building.
- The listed elements of the house are maintained
- An interpretation sign within the public domain will highlight to the public its local heritage significance and its association with prominent Strathfield families.
- The item and the garden across both items will remain listed.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with the Strathfield Community Participation Plan October 2020 from 17 July 2020 to 07 August 2020, with 3 submissions received, raising the following concerns:

1. *The Heritage Listing must be retained*

Assessing officer's comments: All three submissions were concerned with the removal of heritage items listing. The applicant has not submitted a planning proposal to remove the listing from the Strathfield Local Environmental Plan. The current Heritage Impact Statement that accompanies this report supports the listing. It states that the item:

"should not be delisted and demolished regardless of the recommendations of the Urbis Heritage Assessment Report 2018" (p15)

2. *That the significance is the "complete package" of both house and garden.*

Assessing officer's comments: The applicant has stated throughout this application of the intention of selling the adjoining lot. However, no development has been proposed for the adjoining lot which is also heritage listed. The application has proposed a dividing fence between the two lots and the retention of the front setback, the garden wall, curved driveway and front sandstone fence. Both

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sites are heritage listed as a garden and a house and therefore any future development on the adjoining site will need to be assessed in terms of its impact on the heritage item.

3. *Gate in driveway is of the wrong period and requires a wrought iron gate.*

Assessing officer's comments: Whilst, new development with a heritage item should be able to be interpreted as a modern element and not part of the original item, I agree with the submitters comments that a gate should fit into the front fence line, reflect the era and be of a good material. A special condition to achieve a better fit for the fence line has been included.

4. *That demolition of the Northern Structure is an integral part of the overall structure and no change to the circular driveway.*

Assessing officer's comments: Amendments have been made to the plans to reduce the Northern Structure to allow for articulation of the Northern elevation which will retain a similar roof form. The house and its setting is significant therefore development conditions aim to retain those important landscape elements which link the two lots such as a circular driveway, the front fence and the hedge.

5. *That Council disregard this application due to Number 19 being sold and built upon.*

Assessing officer's comments: Both Lot 65 and Lot 66 are listed as a House and Garden under the Heritage Schedule. The development application must be determined on the basis of the information that has been presented which is partial demolition of the northern wing, alterations, a new pool and cabana. The house is significant due to its association, architectural qualities which include the one storey timber bay windows to the north and east with copper bellcast roofing, the entry, chimney and rendered string course these are to be retained. The proposal will thus retain its form from the public domain.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is considered to be contrary to the public interest.

SECTION 7.11 CONTRIBUTIONS**STRATHFIELD INDIRECT SECTION 7.11 CONTRIBUTIONS PLAN**

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan 2010-2030 as follows:

All development not subject to Direct Development Contributions with a cost of development more than \$200,000.

Levy (%) = 1.0 % of \$225,500.00 = **\$2,255.00**

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions.

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PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

Signed: Joseph Gillies
Senior Planner

RECOMMENDATION

That Development Application No. 2020/124 for Part demolition and alterations to a Heritage Item in order to remove the existing dwelling footprint over adjoining Lot 66 and landscaping including a fence between the two properties at 19-21 South Street be **APPROVED** subject to the following conditions for the following reasons:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS1. **Approved Plans & Documentation**

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Analysis Plan	DA02	28/09/20	E	POC+P architects
Ground Floor Plan Existing +Demolition	DA03	28/09/20	E	POC+P architects
First Floor Plan Existing +Demolition	DA04	28/09/20	E	POC+P architects
South	DA05	28/09/20	E	POC+P architects

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Elevation Existing +Demolition		0		
Streetscape Elevation – Existing and Proposed	DA06	28/09/2 0	F	POC+P architects
Site Plan Proposed	DA07	28/09/2 0	F	POC+P architects
Ground Floor Plan Proposed	DA09	28/09/2 0	F	POC+P architects
First Floor Plan Proposed	DA10	28/09/2 0	F	POC+P architects
Roof Plan Proposed	DA11	28/09/2 0	F	POC+P architects
West (Rear) Elevation	DA12	28/09/2 0	F	POC+P architects
Materials and Finishes – East (Streetscap e) elevation	DA13	28/09/2 0	F	POC+P architects
South Elevation Proposed	DA14	28/09/2 0	F	POC+P architects
Section B-B Proposed	DA15	28/09/2 0	F	POC+P architects
Fence plan and Elevation and detail proposed	DA16	28/09/2 0	C	POC+P architects
Site Calculations	DA17	28/09/2 0	F	POC+P architects

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Proposed				
Proposed Landscape Plan	LC01	01/07/2020	B	Eco-scapes
Stormwater Plans Cover	A20115	25/06/2020	B	Alpha Engineering and Development
Sediment and Erosion Control Plan	A20115-SW01	25/06/2020	B	Alpha Engineering and Development
Ground Floor Drainage Plan	A20115-SW02	25/06/2020	B	Alpha Engineering and Development
First floor and Roof drainage Plan	A20115-SW03	25/06/2020	B	Alpha Engineering and Development
Stormwater sections and details	A20115-SW04	25/06/2020	B	Alpha Engineering and Development
Statement of Environmental Effects		June 2020		PATRICK O'CARRIGAN + PARTNERS P/L
BASIX Certificate	A381804	01/07/2020		POC+P architects
Certificate Number: A381804 Schedule of BASIX Commitments	01	19/10/2020		POC+P architects
Heritage Impact Statement		July 2020	C	PATRICK O'CARRIGAN + PARTNERS P/L
Waste Management Plan		19/10/2020		POC+P architects

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SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) Placing or storing materials or equipment;
- (b) Placing or storing waste containers or skip bins;
- (c) Erecting a structure or carrying out work
- (d) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (e) Pumping concrete from a public road;
- (f) Pumping water from the site into the public road;
- (g) Constructing a vehicular crossing or footpath;
- (h) Establishing a "works zone";
- (i) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (j) Stormwater & ancillary works in the road reserve; and
- (k) Stormwater & ancillary to public infrastructure on private land
- (l) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Road Opening Permit

A Road Opening Permit must be obtained from Council, in the case of local or regional roads, or from TfNSW, in the case of State roads, for every opening of a public road reserve to access services including sewer, stormwater drains, water mains, gas mains, and telecommunications before the commencement of work in the road.

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4. Building – Hoarding Application

Prior to demolition of the buildings on the site, or the commencement of work above ground level, a separate application for the erection of an 'A class' (fence type) or a 'B class' (overhead type) hoarding or 'C type' scaffold, in accordance with the requirements of SafeWork NSW, must be erected along that portion of the footways/roadway where the building is within 3 metres of the street boundary. An application for this work under Section 68 of the Local Government Act 1993 and the Roads Act 1993 must be submitted for approval to Council.

The following information is to be submitted with a Hoarding Application under Section 68 of the Local Government Act 1993 and Section 138 of the Roads Act 1993:

- a) Site and location plan of the hoarding with detailed elevation, dimensions, setbacks, heights, entry and exit points to/from the site, vehicle access points, location of public utilities, electrical overhead wire protection, site management plan and builders sheds location; and
- b) Hoarding plan and details that are certified by an appropriately qualified engineer; and
- c) The payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges (available at www.strathfield.nsw.gov.au) before the commencement of work; and
- d) A Public Risk Insurance Policy with a minimum cover of \$20 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained a copy provided to Council. The Policy is to note Council as an interested party.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES**5. Sydney Water – Tap in™**

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE**6. Fees to be Paid**

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate). Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

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A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$789.25
Security Damage Deposit	\$5,200.00
Tree Bond	\$20,000
Administration Fee for Damage Deposit	\$127.00
Administration Fee for Tree Bond	\$127.00
DEVELOPMENT CONTRIBUTIONS	
Indirect (Section 7.12) Contributions	\$2,255.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

The Section 7.11 contribution (s94) is imposed to ensure that the development makes adequate provision for the demand it generates for public amenities and public services within the area.

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

7. **Damage Deposit – Minor Works**

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: **\$5,200.00**
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: **\$127.00**

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- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

8. Tree Bond

A tree bond of **\$20,000** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

9. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. A381804 must be implemented on the plans lodged with the application for the Construction Certificate.

10. Building Works To Comply With BCA – Heritage Buildings

Any building works required to ensure compliance with the BCA or new building standards not specified in the submitted/approved plan must not damage existing fabric and building features. If such upgrading works will potentially impact on existing fabric and features, details of the works must be submitted and approved by Council's Heritage Advisor prior to issue of a Construction Certificate.

11. General Heritage

- (a) The proposed works are to be carried out in a manner that minimises demolition, alterations and new penetrations/fixings to the significant fabric of the existing building which is listed as a Heritage Item.

- (b) The fabric and features to be retained by the proposal must be properly protected during the process of demolition and construction.

- (c) All conservation and adaptation works are to be in accordance with the [Articles of the Australian ICOMOS Burra Charter 1999](#).

- (d) Appropriately qualified tradespersons (as appropriate) are to be commissioned who

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

are skilled in traditional building and engineering trades to carry out the proposed scope of works.

- (i) The original roof cladding, of a heritage item, must be retained (OR is matched like to like).
- (j) No Sandblasting to remove paint from brick or stone should not be undertaken on a heritage item or contributory building in a Heritage Conservation area.
- (k) Original driveways and footpath crossings are not to be relocated.
- (l) Original or early garden layouts that contribute to the streetscape or to the significance of the heritage item are to be protected and not be altered.
- (m) Modern technologies should not be higher than the main ridge line of a building that is or is part of a heritage item (or within a heritage conservation area) is to be located so they are not visible from the Public Domain.
- (n) Original fencing styles and materials should be repaired and retained.
- (o) Original door and window joinery (not subject for removal under this consent) visible from the Public Domain is to be conserved.

12. Heritage Items - Works to be Consistent with Heritage Impact Statement and plans

- (a) A conservation work schedule detailing methodologies for implementation of the recommendations of the Heritage Impact Statement prepared by (POC and P Architects) and dated July 2020 and Conservation Actions on the Materials and Finishes (DA13) Plan must be submitted to and approved by Council, prior to a Construction Certificate being issued.
- (b) The work schedule must be implemented to the satisfaction of Council's Heritage Advisor prior to the issue of the Occupation Certificate.

13. Conservation Management Plan - Garden

Prior to a Construction Certificate being issued, a Conservation Management Plan for the garden over lot 65 and Lot 66, which identifies how the significant landscape features and views, that includes but is not limited to, the sandstone front fence, garden wall, paths, circular drive and the current views to the northern elevation of the Georgian revival dwelling are to be managed in the future is to be submitted and prepared to Council's satisfaction.

14. Photographic Archival Documentation (Minor Works)

Prior to a Construction Certificate being issued, an archival photographic recording of the Georgian Revival House and Garden is to be prepared to Council's satisfaction. The recording is to be in digital form, or a combination of both, prepared in accordance with Heritage NSW guidelines titled "Photographic Recording of Heritage Items using Film or Digital Capture". One copy of the record is to be submitted to Council to be lodged with Council's Archives.

The form of the recording is to be as follows:

- (a) The Development Application number must be noted on the submitted information.
- (b) Include a summary report detailing the project description, date and authorship of the

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photographic record, method of documentation and limitations of the photographic record.

- (c) Include written confirmation, issued with the authority of both the applicant and the photographer that Strathfield Council is granted a perpetual non-exclusive licence to make use of the copyright in all images supplied, including the right to make copies available to third parties as though they were Council images. The signatures of both the applicant and the photographer must be included.
- (d) The report is to be submitted on a USB, CD or DVD, in PDF/A format, (created directly from the digital original), with the digital catalogue of images containing the following data for each: DOS title, image subject/description and data photograph was taken.
- (e) The electronic images are to be taken with a minimum 8 megapixel camera, saved as JPEG TIFF or PDF files with a size of approximately 4-6MB, and cross referenced to the digital catalogue sheets and base plans. Choose only images that are necessary to document the process, and avoid duplicate images.

15. Boundary Fence

Amended landscape plans to be submitted to and approved by Council's Heritage Advisor which show a woven wire fence in the front setback along the boundary between Lot 65 and Lot 66 and removes the landscaping that is located on the driveway.

16. Front Gate - Heritage Items

Amend the Fence plan (DA16) to show a front gate that is in a 1940s style wrought iron period gate of similar height to the sandstone piers. Details are to be submitted and approved by Council's Heritage Advisor prior to the issue of the Construction Certificate.

17. Heritage Interpretation Plan

- (a) An interpretation plan for a sign, plaque or similar for the history of the site including the use of the tennis court by Strathfield locals must be submitted to and approved by Council's Heritage Advisor prior to a Construction Certificate being issued. The plan is to be prepared by a suitably qualified and experienced heritage practitioner or historian.
- (b) The plan must specify the location, type, making materials and contents of the interpretation device being proposed.
- (c) Prior to the occupation certificate being issued the approved interpretation plan must be implemented to the satisfaction of the Heritage Advisor.

18. Building Works To Comply With BCA – Heritage Buildings

Any building works required to ensure compliance with the BCA or new building standards not specified in the submitted/approved plan must not damage existing fabric and building features. If such upgrading works will potentially impact on existing fabric and features, details of the works must be submitted and approved by Council's Heritage Advisor prior to issue of a Construction Certificate.

19. Compliance with Swimming Pool Act 1992

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

for the Construction Certificate.

20. Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) No ground level may be raised or filled except where shown specifically on the approved plans;
- (b) All pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) The swimming pool must not be used for commercial or professional purposes;
- (d) Drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) Arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

21. Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, and public reserves or on neighbouring properties.

22. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004.](#)

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

23. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed

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plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

24. On Site Detention

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

(a) Peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden,

(b) At Annual Recurrence Intervals of 2 years, 10 years and 100 years.

The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

25. **Absorption Trench**

Drainage concept plan doesn't reflect backup absorption trench for emergency overflow from the OSD/pump out tank. Amended drainage plans shall be submitted to Council for approval prior to issue of a Construction Certificate.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

26. **Demolition & Asbestos**

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance

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with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

27. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

28. Disposal of Surplus Salvaged Materials

Salvaged traditional building materials surplus to the requirements of this project including windows, bricks, tiles, skirting boards and flooring material are to be sold to an established dealer in second hand heritage building materials. Documentation of the salvage methodology must be submitted for the approval of Council prior to the commencement of demolition.

29. Materials for Making Good

New materials for making good and repairs, are to match the existing in terms of colours, finishes, sizes, profile and properties.

30. Structural Integrity of Retained Building Elements

Prior to a commencement of demolition, excavation or construction work, a report or certification from a practicing structural engineer experienced in dealing with heritage buildings must be submitted to and approved by Council's Heritage Advisor. The report must explain how the retained building elements, such as building facades or chimneys are to be retained, supported and not undermined by the proposed development and give details of any intervention or retrofitting needed.

31. Use of Heritage Consultant

A heritage consultant experienced in conserving buildings of significance is to be commissioned to work with the consultant team throughout the design development, contract documentation and construction stages of the project. The heritage consultant is to be involved in the resolution of all matters where existing significant fabric and spaces are to be subject to preservation, restoration, reconstruction, adaptive reuse, recording and demolition. The heritage consultant is to be provided with full access to the site and authorised by the applicant to respond directly to Council where information or

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clarification is required regarding the resolution of heritage issues throughout the project.

Evidence and details of the above commission on the above terms are to be provided to Council's Heritage Advisor prior to commencement of work on site. The heritage consultant must sign off the completed project and submit a final report to Council's Heritage Advisor specifying how the heritage conditions are satisfied prior to the issue of an Occupation Certificate or the commencement of the use, whichever is earlier.

32. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

33. Dust Control

Where a dust nuisance is likely to occur, suitable screens and/or barricades shall be erected during the demolition, excavation and building works. If necessary, water sprays shall be used on the site to reduce the emission of dust. Screening shall consist of a minimum 2 metres height of shade cloth or similar material secured to a chain wire fence of the like and shall be modified as required should it fail to adequately control any dust nuisance.

DURING CONSTRUCTION**34. Site Sign – Soil & Erosion Control Measures**

Prior to the commencement of works (including demolition and excavation), a durable site sign, issued by Council in conjunction with this consent, must be erected in a prominent location on site. The site sign warns of the penalties which apply to pollution, storing materials on road or footpath and breaches of the conditions relating to erosion and sediment controls. The sign must remain in a prominent location on site up until the completion of all site and building works.

35. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

36. Archaeological Discovery During Excavation

(a) Should any relics be unexpectedly discovered on the site during excavation, all excavation or disturbance to the area is to stop immediately and the Heritage Council of NSW should be informed in accordance with section 146 of the [Heritage Act 1977](#).

(b) Should any Aboriginal objects be unexpectedly discovered then all excavation or disturbance of the area is to stop immediately and NSW Government Office of

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Environment and Heritage is to be informed in accordance with Section 89A of the [National Parks and Wildlife Act 1974](#).

(c) Should any archaeological remains or Aboriginal objects be discovered, a copy of recording of the finds and the final archaeological summary report is to be submitted to Council prior to the Occupational Certificate;

(d) If the discovery is on Council's land, Council must be informed.

37. **Swimming Pools – Filling with Water**

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the PCA.

38. **Obstruction of Road or Footpath**

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

39. **Restriction to User and Positive Covenant for On-Site Detention Facility**

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, water sensitive urban design, surface flow path, finished pavement and ground levels etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and or 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

40. **Maintenance Schedule – On-site Stormwater Management**

A Maintenance Schedule for the proposed on-site stormwater management measures is to be prepared and submitted to Council. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

41. **Stormwater Certification of the Constructed Drainage Works (Minor)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

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42. **Stormwater Drainage Works – Works As Executed**

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (c) Pipe invert levels and surface levels to Australian Height Datum;

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

43. **Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

44. **Appointment of a PCA**

The erection of a building must not commence until the applicant has:

- (a) Appointed a PCA for the building work; and
- (b) If relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) Appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) Notify the PCA of the details of any such appointment; and
- (e) Notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

45. **Notification of Critical Stage Inspections**

No later than two days before the building work commences, the PCA must notify:

- (a) The consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) The applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

46. **Notice of Commencement**

The applicant must give at least two days notice to the Council and the PCA of their intention to commence the erection of a building.

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47. **Critical Stage Inspections**

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

48. **Notice to be Given Prior to Critical Stage Inspections**

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out.

PRESCRIBED CONDITIONS

49. **Clause 98 – Building Code of Australia & Home Building Act 1989**

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

50. **Erection of Signs**

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

51. **Home Building Act 1989**

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

52. **Site Excavation**

Excavation of the site is to extend only to that area required for building works depicted upon the approved plans. All excess excavated material shall be removed from the site.

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.

All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil shall be provided and adequate provision shall be made for drainage.

ADVISORY NOTES

i. **Review of Determination**

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an

DA No 2020/124 - 19-21 South Street Strathfield - Lot 65 and 66 DP 8778 (Cont'd)

application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

ii. Appeal Rights

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. Lapsing of Consent

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. Register your Swimming Pool

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

v. Long Service Levy

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

ATTACHMENTS

1. [↓](#) Site, demolition and architectural Amended Plans - September 2020
2. [↓](#) BASIX
3. [↓](#) Heritage Impact Statement
4. [↓](#) Statement of Heritage Effects
5. [↓](#) Stormwater, Sediment and Erosion Control Plans
6. [↓](#) Survey
7. [↓](#) Waste Management Plan
8. [↓](#) Landscape Plan
9. [↓](#) Schedule of BASIX commitments



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 Nominated Architect Patrick O'Carrigan FRAIA NSW ARB # 5025

**MAGDALINE
MOUAWAD**

PROPOSED RESTORATION AND SUBDIVISION OF A LOCAL HERITAGE ITEM
 19+21 SOUTH STREET, STRATHFIELD NSW 2135
 LOT 65+66 DP 8778
 FOR MAGDALINE MOUAWAD
 FOR DEVELOPMENT APPLICATION JULY 2020, AMENDED SEPTEMBER 2020

PROJECT NO: 180302



DRAWING	TITLE	SCALE	SIZE	ISSUE
--	COVER PAGE	--	A3	--
--	LEGEND	--	A3	--
DA 01	BASIX COMMITMENTS	--	A3	B
DA 02	EXISTING SITE ANALYSIS	1:300	A3	D
DA 03	EXISTING GROUND FLOOR PLAN + DEMOLITION	1:200	A3	E
DA 04	EXISTING FIRST FLOOR & ROOF PLAN + DEMOLITION	1:200	A3	E
DA 05	EXISTING ELEVATIONS + DEMOLITION	1:200	A3	E
DA 06	STREETSCAPE ELEVATION EXISTING + PROPOSED	1:300	A3	F
DA 07	PROPOSED SITE PLAN	1:300	A3	F
DA 08	PROPOSED SUBDIVISION PLAN	1:200	A3	B
DA 09	PROPOSED GROUND FLOOR PLAN	1:200	A3	F
DA 10	PROPOSED FIRST FLOOR PLAN	1:200	A3	F
DA 11	PROPOSED ROOF PLAN	1:200	A3	F
DA 12	PROPOSED EAST (FRONT) + WEST (REAR) ELEVATIONS	1:150	A3	F
DA 13	PROPOSED MATERIALS + FINISHES ELEVATION	1:100	A3	F
DA 14	PROPOSED NORTH + SOUTH ELEVATIONS	1:150	A3	F
DA 15	PROPOSED SECTION A-A + B-B	1:150	A3	F
DA 16	PROPOSED FRONT FENCE	1:100	A3	C
DA 17	DIAGRAM GROSS FLOOR AREA + LANDSCAPE AREA	1:200	A3	F

SURVEY PLAN -	W BUXTON PTY LTD	2
STORMWATER ENGINEERING PLAN -	ALPHA ENGINEERING AND DEVELOPMENT PTY LTD	B
SEDIMENT AND EROSION CONTROL PLAN -	ALPHA ENGINEERING AND DEVELOPMENT PTY LTD	A
LANDSCAPE PLAN -	ECOSCAPES PTY LTD	B

28/09/2020



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MAGDALINE MOUAWAD

PROJECT NO: 180302



LEGEND	LEGEND	LEGEND	LEGEND
<p>GENERAL</p> <p>ACR ASHLAR CEMENT RENDER AC AIR CONDITIONING ADJ ADJUSTABLE BALC BALCONY BATH BATHROOM BCE BRICK ON EDGE BRM BEDROOM CJ CONTRCL JOINT CL CENTRE LINE CLN CLEANERS CUPBOARD COR CORR'DOR CPBD CUPBOARD CR CEMENT RENDER DAR DRESSED ALL ROUND ENS ENSUITE EXTG EXISTING GAR GARAGE KB KITCHEN BENCH KIT KITCHENETTE LAM LAMINATE LR LOUNGEROOM LDY LAUNDRY OFF OFFICE P PAINT FINISH POR PORCH SHR SHOWER RECESS SEL SELECTED SKTG SKIRTING S/S STAINLESS STEEL ST STORE ROOM TER TERRACE TYP TYPICAL VER VERANDAH VP VENT PIPE VT VENT WC TOILET WINR WALK IN ROBE WR WARDROBE WRC WESTERN RED CEDAR</p> <p>STRUCTURAL</p> <p>CHS CIRCULAR HOLLOW SECTION TO ENG. DETAIL CONC CONCRETE HDG HOT DIPPED GALVANISED UB UNIVERSAL BEAM / I-BEAM LVL LAMINATE VENEER LUMBER RC REINFORCED CONCRETE SB GALVANISED ROD STEEL BRACING SHS SQUARE HOLLOW SECTION STC STEEL TROWELLED FINISHED CONCRETE TB TIMBER BEAM TFJ TIMBER FLOOR JOIST TK 75 x 100mm HARDWOOD KEEN BRACING TP HARDWOOD TIMBER POST TS 75 x 35mm TIMBER STUD FRAME / MPG12 TT TIMBER TRUSS</p> <p>ELECTRICAL</p> <p>EDB ELECTRICAL DISTRIBUTION BOARD POE POINT OF ENTRY POWER SCL SECURITY LIGHT EXISTING GPO DOUBLE GPO SINGLE GPO PERMANENT CONNECTION SWITCH 2 WAY SWITCH DIMMER SWITCH SMOKE DETECTOR TO BCA 3.7.2 TV COAX OUTLET TELEPHONE OUTLET LOW VOLTAGE D / L LIGHT SENSOR DATA POINT</p>	<p>ELECTRICAL</p> <p>LOW VOLTAGE WALL WASHER RECESSED D / L COMPACT FLUORESCENT INCANDESCENT TUBE PELMET FLUORESCENT TWIN TUBE FLOOD LIGHT OYSTER FITTING EXHAUST FAN FAN EMERGENCY LUMINAIRE + BATTERY BACKUP SPRINKLER WALL LEVEL LAMP PENDANT LAMP FAN WEATHER LIGHT DISTRIBUTION BOARD METER BOARD LAMP LIGHT POINT STEREO SPEAKER KEYPAD SECURITY INTERCOM POINT INTERCOM LINE SECURITY CAMERA DYNALITE CONTROLLER 4 / 6 / 8 BUTTON CHANDELER EXTERNAL LIGHTING BOLLARD DIMMABLE DOWNLIGHT</p> <p>LEVEL</p> <p>AFL ATTIC FLOOR LEVEL EGL EXISTING GROUND LEVEL FCL FINISHED CEILING LEVEL FFL FINISHED FLOOR LEVEL FGL FINISHED GROUND LEVEL GFL GROUND FLOOR LEVEL GRL GUTTER RELATIVE LEVEL HEAD TOP WINDOW HEAD NGL NEW GROUND LEVEL RL RELATIVE LEVEL TO AHD RRL RIDGE RELATIVE LEVEL S SILL LEVEL SL SLAB LEVEL</p> <p>FLOOR</p> <p>CFT CERAMIC FLOOR TILE CPT CARPET ET CLEAR EPOXY MEMBRANE FINISH TO TIMBER FLOORING</p> <p>DIRECTION OF FLOW</p> <p>MAR MARMOLEUM SKTG SKIRTING SST SELECTED STONE TILE TC TERRACOTTA TCT TERRACOTTA TILE T&G TONGUE & GROOVE STRIP FLOORING VVL VINYL FLOOR VFT VINYL FLOOR TILE PWF PLYWOOD FLOORING</p> <p>WALLS</p> <p>BRICK VENEER WALL CAVITY BRICK WALL COLORBOND COMPRESSED FIBRE CEMENT SHEETING CEMENT RENDER COLORBOND STEEL 'CUSTOM ORB' CLADDING CERAMIC WALL TILE EXISTING ASHLAR RENDER EXISTING CEMENT RENDERED EXISTING FACE BRICK FACE BRICK 6mm VILLABOARD (FLUSH JOINT) NEW BLUEBOARD RENDER + PAINT NEW CEMENT RENDER</p>	<p>WALLS</p> <p>PLASTERBOARD REVERSE BRICK VENEER WEATHERBOARD</p> <p>WINDOW / DOOR / LOUVRES / BALUSTRADE</p> <p>ALD ALUMINIUM FRAMED DOOR ALL ALUMINIUM LOUVRES ALLS ALUMINIUM LOUVRE SCREEN ALW ALUMINIUM FRAMED WINDOW D DOOR DH DOUBLE HUNG EGP EXISTING GLAZED PANEL EW EXISTING WINDOW FG FIXED GLAZING FGP FIXED GLAZED PANEL GB GLAZED BALUSTRADE GD GLAZED DOOR GL GLAZED LOUVRES HW HOPPER WINDOW HWS HARDWOOD SELECT NACL NEW ALUMINIUM FRAMED GLAZED LOUVRES NALS NEW ALUMINIUM LOUVRES SCREEN NALSS NEW ALUMINIUM LOUVRES SUNSHADE NASW NEW ALUMINIUM FRAMED SLIDING WINDOW Nbfd NEW BI-FOLD DOOR NBW NEW BAY WINDOW ND NEW DOOR NFGP NEW FIXED GLAZED PANEL NFW NEW FIXED WINDOW NGB NEW GLAZED BALUSTRADE NGL NEW GLAZED LOUVRES NHW NEW HOPPER WINDOW NRS NEW ROLLER SHUTTER NSD NEW SLIDING DOOR NSWB NEW STAINLESS STEEL WIRE BALUSTRADE NTD NEW TIMBER DOOR NTGP NEW TINTED GLASS PANEL NTGSS NEW TINTED GLAZED SUNSHADING NW NEW WINDOW OG OBSCURE GLASS RS ROLLER SHUTTER SD SLIDING DOOR SSB STAINLESS STEEL WIRE BALUSTRADE TB TIMBER BALUSTRADE TF TIMBER FRAMED TG TINTED GLAZE TLS TIMBER LOUVRES SCREEN TW TIMBER FRAMED WINDOW TD TIMBER DOOR W WINDOW WRC WESTERN RED CEDAR</p> <p>ROOF</p> <p>BOX GUTTER BULK INSULATION BLANKET & SARKING BARGE ROLL METAL COLORBOND COLORBOND METAL ROOF CORRUGATED STEEL ROOF DOWN PIPE Ø 75 EAVES GUTTER EXISTING TILE ROOF EXISTING CORRUGATED ROOF EXHAUST GABLE HIP HIP CAPPING (ROLL TOP) SKYLIGHT METAL DECK ROOF METAL RIDGE CAPPING (ROLL TOP) NEW CORRUGATED ROOF NEW METAL ROOF NEW TILE ROOF OVERFLOW RIDGE RAKING GUTTER</p>	<p>ROOF</p> <p>ROOF TURBINE RAINWATER HEAD SUSPENDED SET PLASTERBOARD SOLAR TUBE TIMBER BARGE BOARD TIMBER FINIAL VALLEY VALLEY LOUVRE SCREEN VALLEY GUTTER VENT PIPE</p> <p>MISCELLANEOUS</p> <p>ALUM. ALUMINIUM BS BASIN CTO COOKTOP DR DRAWER FRIDGE FIRE BLANKET FIRE EXTINGUISHER FIREPLACE FLOOR WASTE GOING TREAD GRAB RAIL HOSE COCK HOT WATER UNIT IMPERVIOUS KICK BOARD KERB OUTLET LAMINATED FLOOR TILE MIRROR OVEN POWDER COATED RISER RANGEHOOD RAIN WATER TANK SHOWER CURTAIN SHOWER CURTAIN RAIL SOAP DISH HOLDER SINK SHOWER MIXER SOAP DISPENSER SHOWER ROSE STORM WATER PIT TAP TOILET BRUSH TOWEL RING TOWEL RAIL TOILET PAPER HOLDER VANITY CABINET WASHING MACHINE UNPLASTICISED POLYVINYL CHLORIDE</p> <p>WALL TYPES</p> <p>BRICK WORK INFILL CREATE OPENING ON EXTG STRUCTURE EXISTING WALL EXISTING WALL ETC. REMOVED NEW TIMBER STUD WALL NEW 110 BRICKWORK HEBEL NEW HDG STEEL COLUMN</p>



MAGDALENE
MOUAWAD
PROJECT NO: 180302

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments

Rainwater Tank

- The applicant must install a rainwater tank of at least 3521 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
- The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.
- The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Rainwater Tank

- The swimming pool must be outdoors.
- The swimming pool must not have a capacity greater than 60 kilolitres.
- The applicant must install a pool pump timer for the swimming pool.
- The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Hot Water

- The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

- The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or lightemitting-diode (LED) lamps.

Swimming Pool

- The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
- The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
- The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Thermal Comfort Commitments

Insulation Requirements

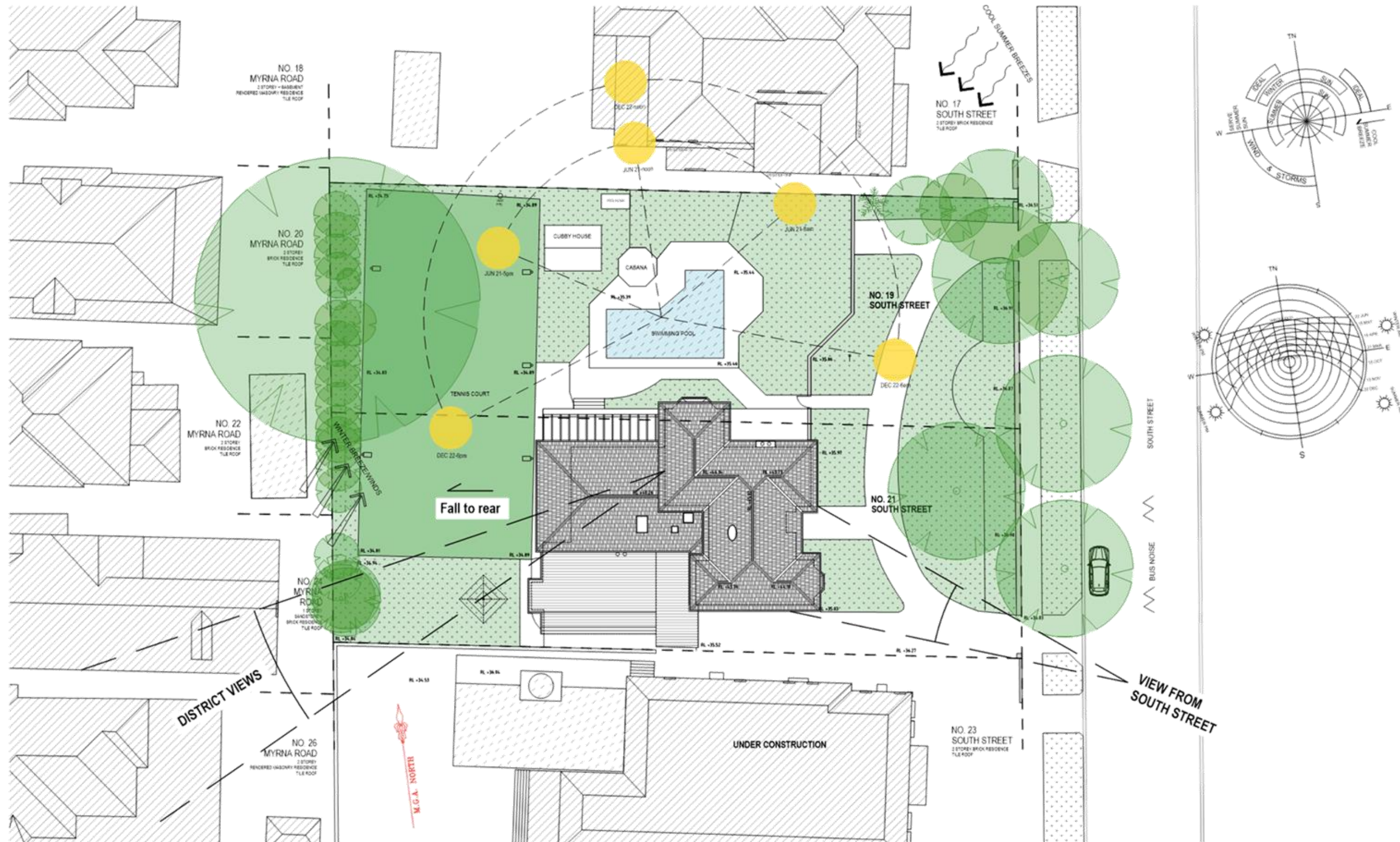
- The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
- External wall: cavity brick nil
- Internal wall shared with garage: plasterboard (R0.36) nil

Glazing Requirements

Skylights

- The applicant must install the skylights in accordance with the specifications listed in the table below.
- The following requirements must also be satisfied in relation to each skylight
- Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below:

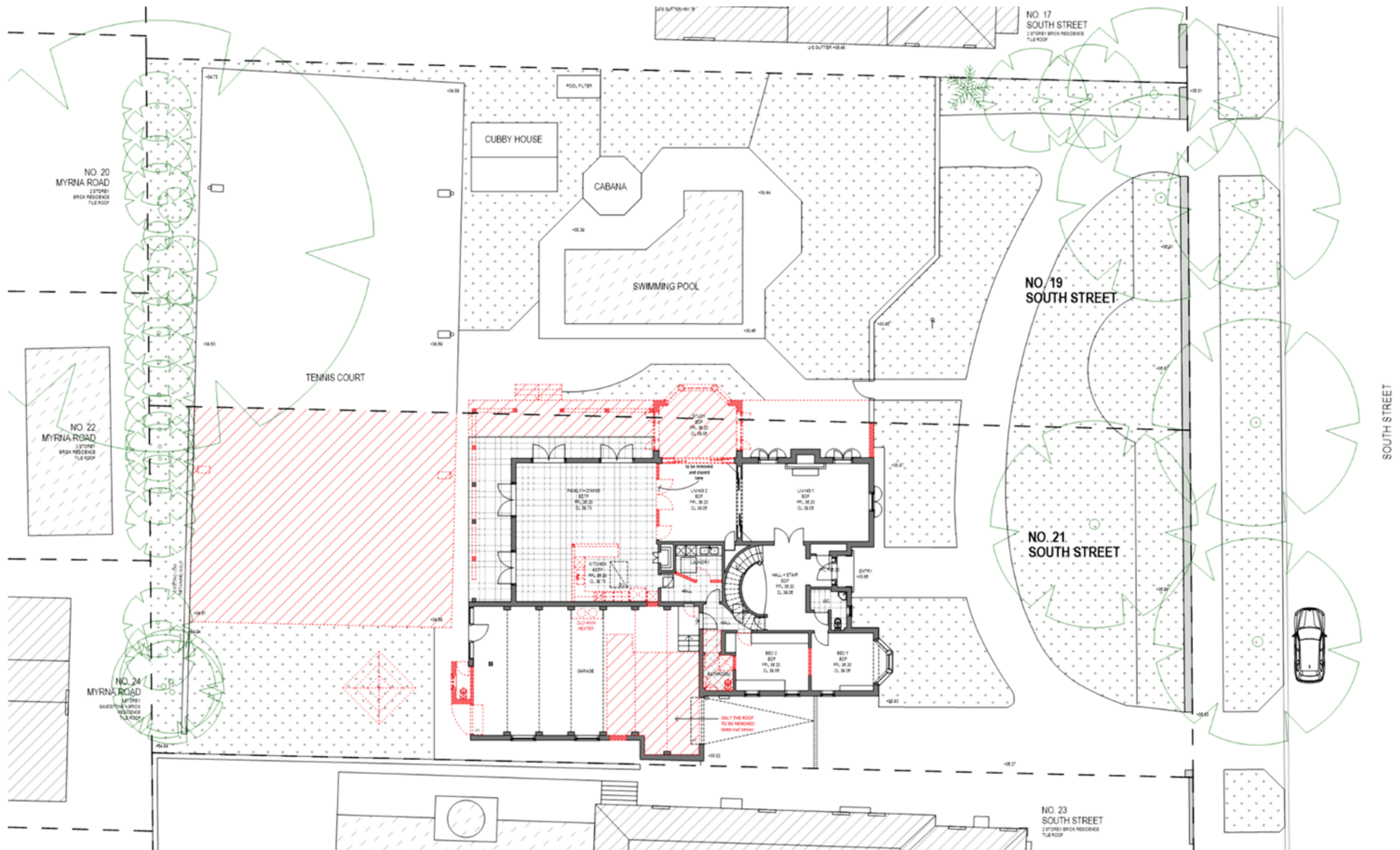
Skylight Number	Area of Glazing	Shading Device	Frame and Glass Type
S1	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC 0.456)
S2	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC 0.456)
S3	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC 0.456)
S4	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC 0.456)
S5	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC 0.456)



01 SITE ANALYSIS PLAN
EXISTING - 1:300

FOR DA

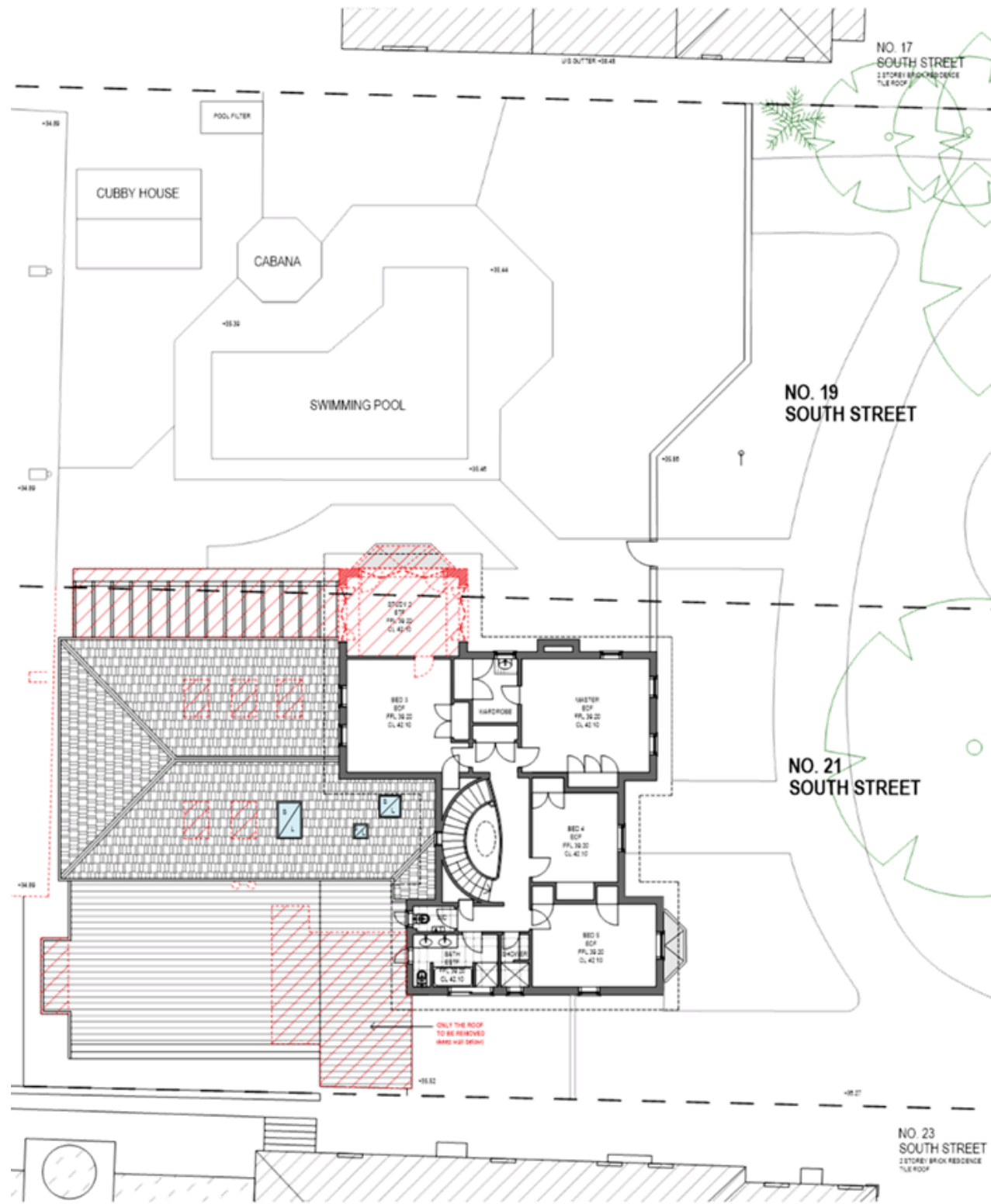
<p>© PATRICK O'CARRIGAN + PARTNERS PTY LTD ACN: 086 693 781</p> <p>Notes</p> <p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose.</p> <p>Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work.</p> <p>Changes are to be made in consultation with all contract documents.</p> <p>Use Scaled dimensions only. Do not scale from drawings.</p> <p>Patrick O'Carroll and Partners cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>The completion of the site details checked and authorised section is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.</p>	<p>LEGEND</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>FOR DA</td> <td>22/07/20</td> </tr> <tr> <td>2</td> <td>FOR DA</td> <td>25/08/20</td> </tr> <tr> <td>3</td> <td>FOR DA DRAFT</td> <td>25/09/20</td> </tr> <tr> <td>4</td> <td>FOR CLIENT REVIEW</td> <td>25/09/20</td> </tr> <tr> <td>5</td> <td>FOR CLIENT REVIEW</td> <td>25/09/20</td> </tr> </tbody> </table>	NO.	REVISIONS	DATE	1	FOR DA	22/07/20	2	FOR DA	25/08/20	3	FOR DA DRAFT	25/09/20	4	FOR CLIENT REVIEW	25/09/20	5	FOR CLIENT REVIEW	25/09/20	<p>TRUE NORTH</p>	<p>CLIENT John and Magdaline Mouawad</p> <p>BUILDER</p>	<p>PROJECT PROPOSED ALTERATIONS AND RESTORATION TO 19-21 South Street, Strathfield DP 8778 Lot 65 + 66</p> <p>ARCHITECT POC+P architects</p> <p>UNP1 76 Essex St North Croydon NSW 2132 Country: Australia P: 02 9799 8900 F: 02 9799 8011 www.pocpp.com.au 0871040000.com.au 02 988 693 781</p> <p>CHECKED/AUTHORISED NOTIFIED ARCHITECT Patrick O'Carroll PRACK NOVARS & SOLO INITIAL/SIGNATURE</p>	<p>DRAWING TITLE SITE ANALYSIS EXISTING</p> <p>SCALE 1:300 @ A3</p> <p>PLOT DATE 28/09/20</p> <p>PROJECT NO. 180302</p> <p>DRAWN EF + PA</p> <p>ISSUE E</p> <p>DRAWING NO. DA02</p>
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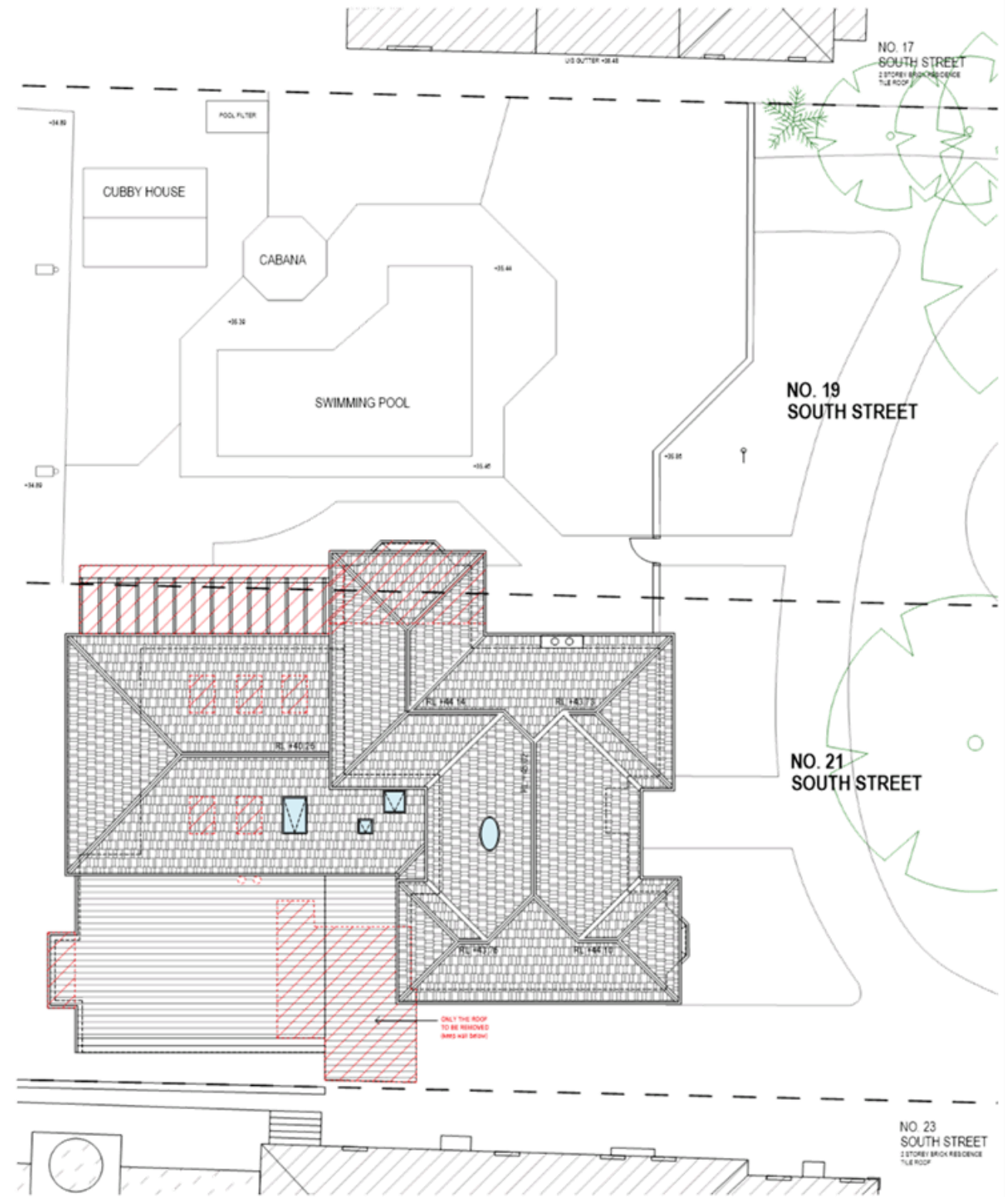
01 GROUND FLOOR PLAN
EXISTING + DEMOLITION - 1:200

FOR DA

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01 FIRST FLOOR PLAN
EXISTING + DEMOLITION - 1:200



02 ROOF PLAN
EXISTING + DEMOLITION - 1:200

FOR DA

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4	FOR DA DRAFT	26/03/20
5	FOR CLIENT REVIEW	23/08/19
6	ISSUE DESCRIPTION	DATE



CLIENT
John and Magdaline Mouawad

BUILDER

PROJECT
PROPOSED ALTERATIONS AND RESTORATION TO
19-21 South Street, Strathfield DP 8778 Lot 65 + 66

ARCHITECT
POC+P
architects

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CHECKED/AUTHORISED
NOTIFIED ARCHITECT
Patrick O'Garrigan
PRACTIC NUMBER # 5525

INITIAL/SIGNATURE

DRAWING TITLE
FIRST FLOOR & ROOF PLAN
EXISTING + DEMOLITION

SCALE 1:200 @ A3

PLOT DATE
28/09/20

DRAWN
EF + PA

PROJECT NO.
180302

ISSUE
E

DRAWING NO.
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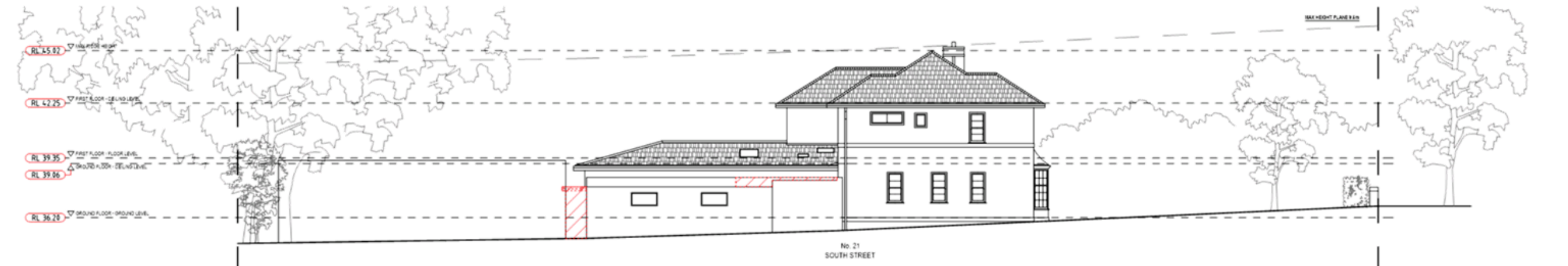


01 EAST (FRONT) ELEVATION
EXISTING + DEMOLITION - 1:200

02 WEST (REAR) ELEVATION
EXISTING + DEMOLITION - 1:200



03 NORTH ELEVATION
EXISTING + DEMOLITION - 1:200




04 SOUTH ELEVATION
EXISTING + DEMOLITION - 1:200

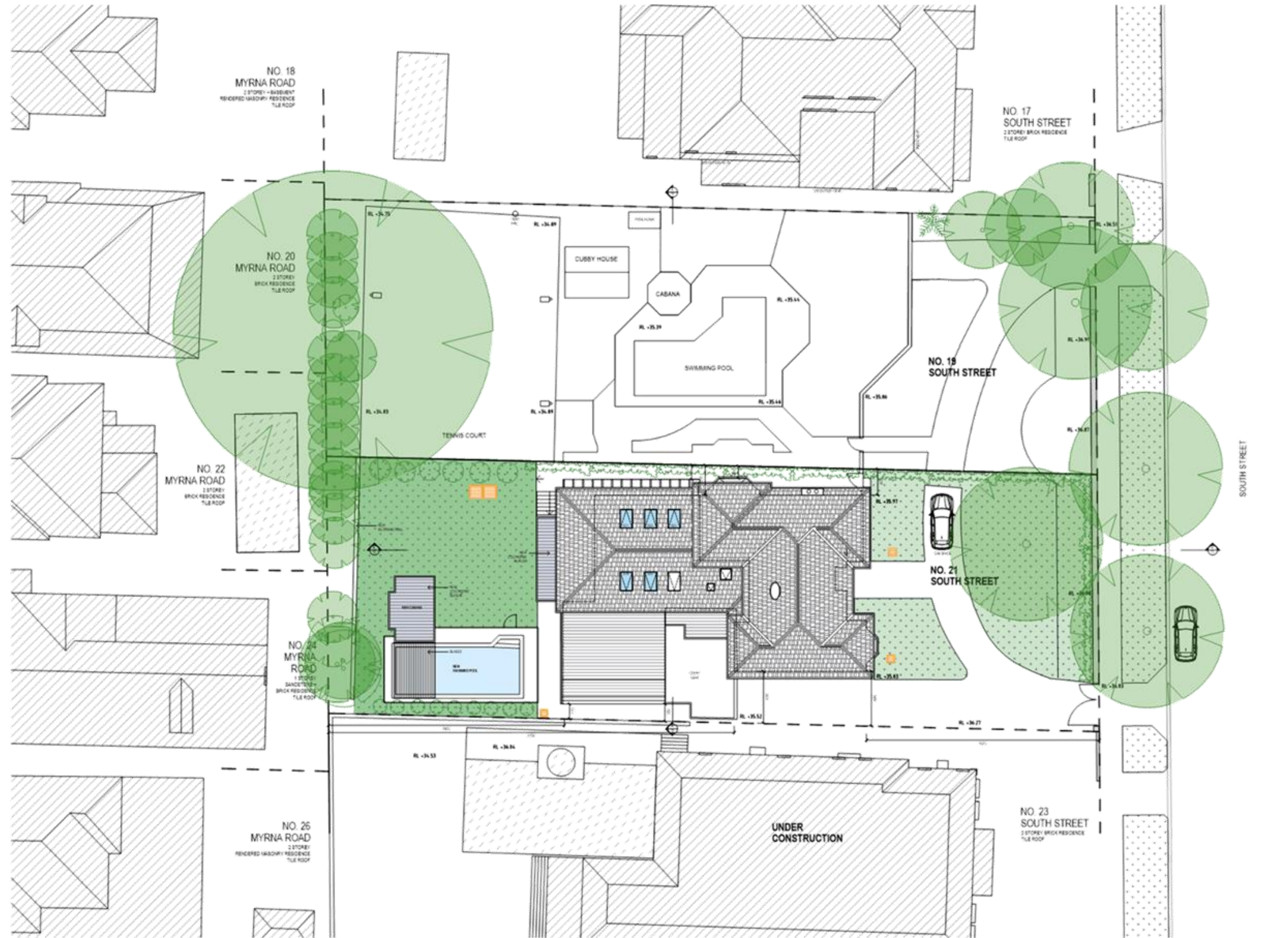
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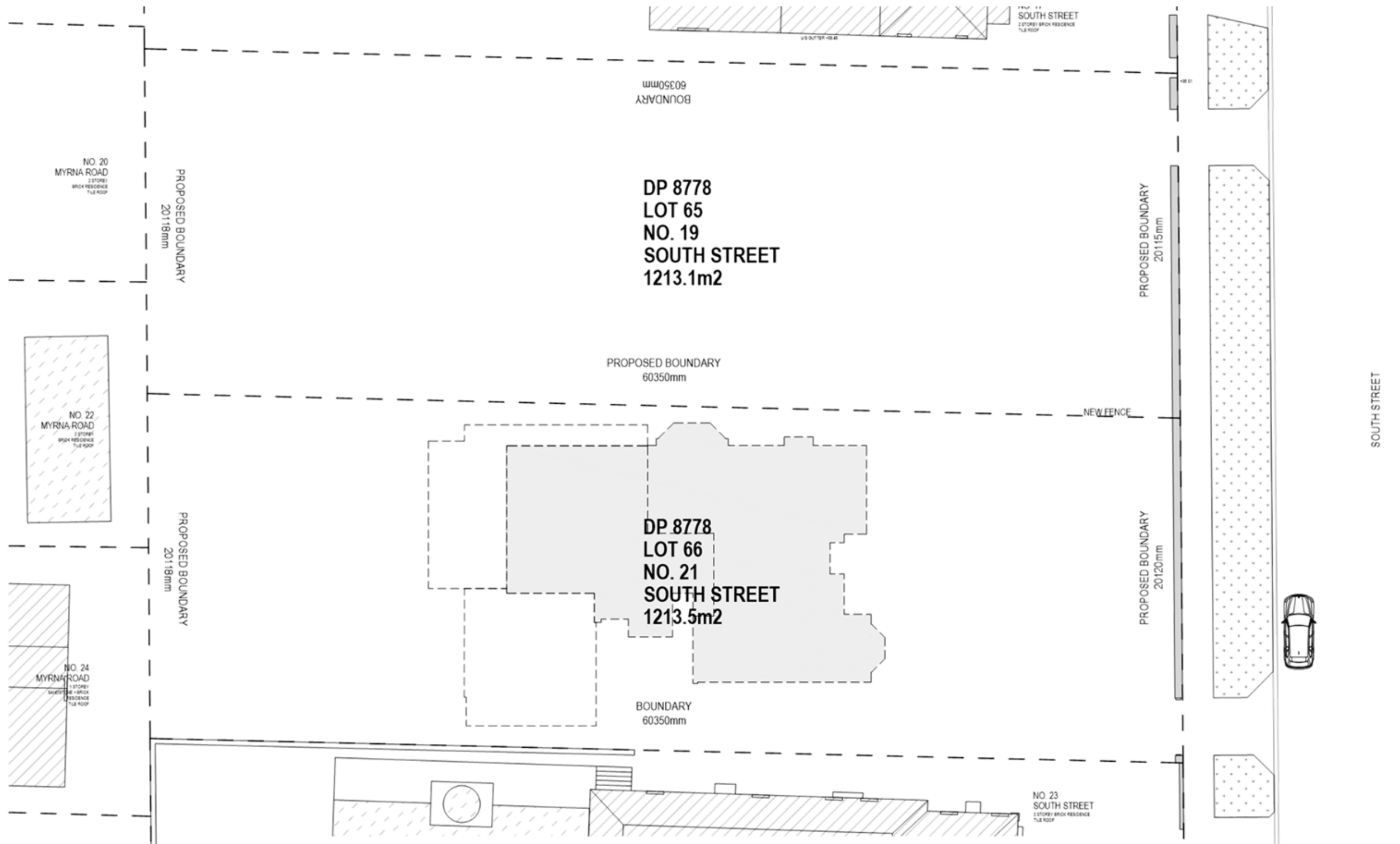
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01 SITE PLAN
PROPOSED - 1:300

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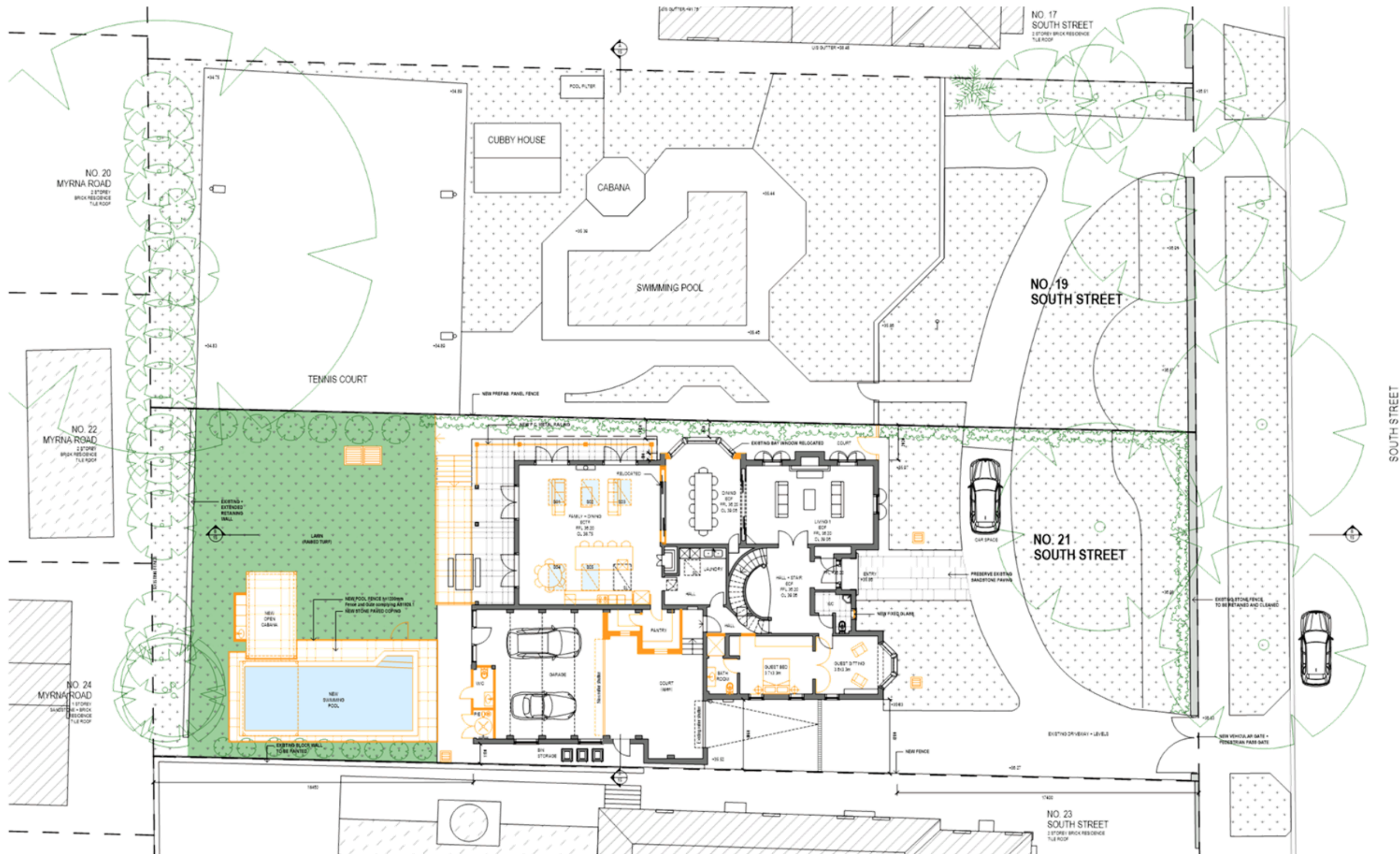
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01 SUBDIVISION PLAN
PROPOSED - 1:200

FOR DA

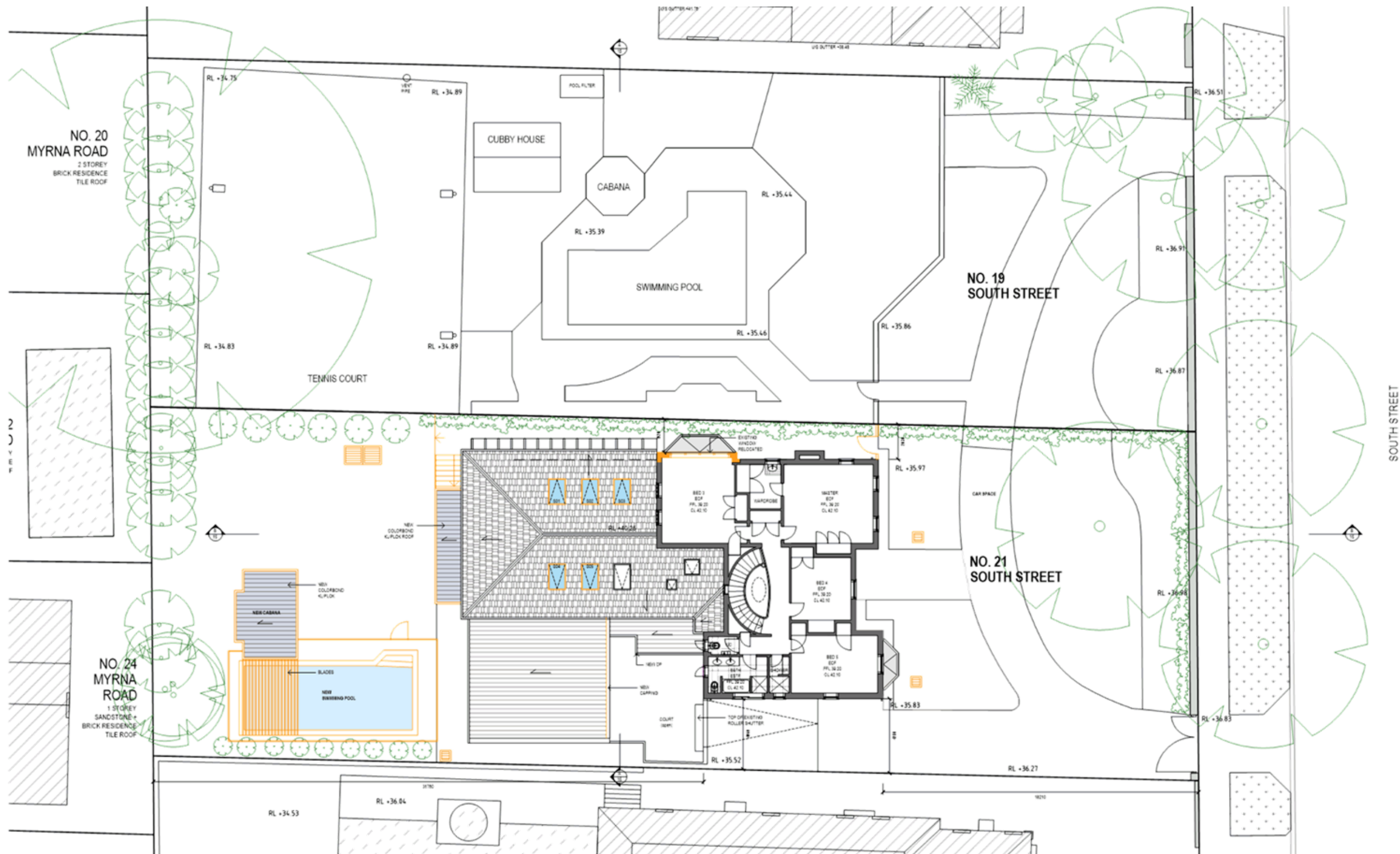
<p>© PATRICK O'CARRIGAN + PARTNERS PTY LTD ACN 086 693 781</p> <p>Notes</p> <p>The information contained in this document is copyright and may not be used or reproduced for any other project or purpose.</p> <p>Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work.</p> <p>Changes are to be made in conjunction with all contract documents.</p> <p>Use figured dimensions only. Do not scale from drawings.</p> <p>Patrick O'Carroll and Partners cannot guarantee the accuracy of content and format for copies of drawings issued electronically.</p> <p>The completion of this issue details checked and authorised section is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.</p>	<p>LEGEND</p>	<table border="1"> <thead> <tr> <th>NO</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>TOP ASSESSED SUBMISSION</td> <td>23/09/20</td> </tr> <tr> <td>2</td> <td>FOR DA</td> <td>02/10/20</td> </tr> <tr> <td>3</td> <td>ISSUE DESCRIPTION</td> <td>DATE</td> </tr> </tbody> </table>	NO	REVISIONS	DATE	1	TOP ASSESSED SUBMISSION	23/09/20	2	FOR DA	02/10/20	3	ISSUE DESCRIPTION	DATE	<p>TRUE NORTH</p>	<p>CLIENT John and Magdaline Mouawad</p>	<p>PROJECT PROPOSED ALTERATIONS AND RESTORATION TO 19-21 South Street, Strathfield DP 8778 Lot 65 + 66</p>	<p>DRAWING TITLE SUBDIVISION PLAN PROPOSED</p> <p>SCALE 1:200 @ A3</p>
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<p>BUILDER</p>	<p>ARCHITECT POC+P architects</p> <p>Unit 1 76 Essex St North Croydon NSW 2132 Country, Australia P 02 9793 8800 F 02 9793 8011 www.pocpp.com.au 0810020020.com.au 02 986 693 781</p>	<p>CHECKED/AUTHORISED NOTIFIED ARCHITECT PATRICK O'CARRIGAN FRANK NGUYEN & SOLO</p> <p>INITIAL/SIGNATURE</p>	<p>PLOT DATE 28/09/20</p> <p>PROJECT NO. 180302</p>	<p>DRAWN EF + JT + PA</p> <p>ISSUE B</p>	<p>DRAWING NO. DA08</p>													



01 GROUND FLOOR PLAN
PROPOSED - 1:200

FOR DA

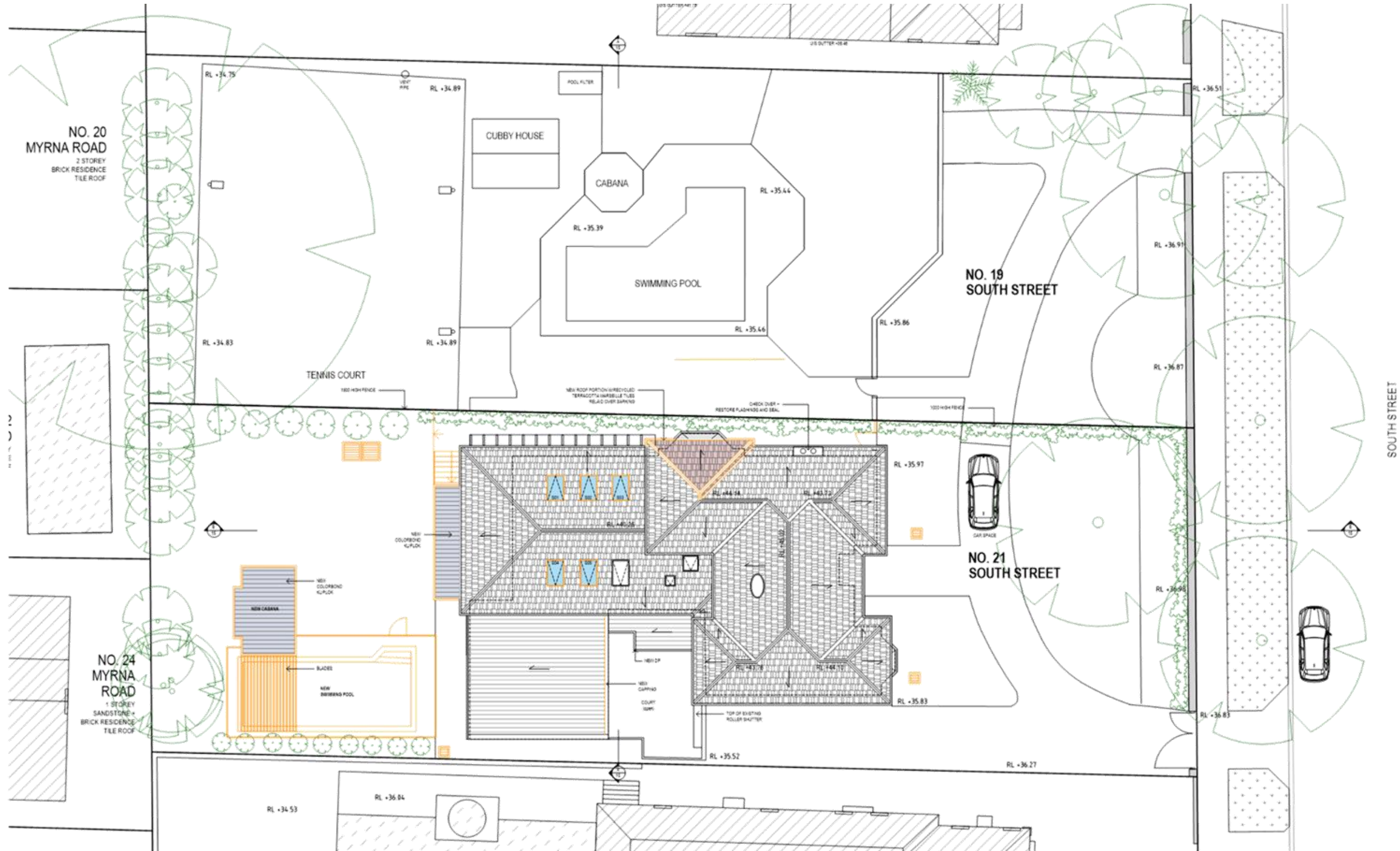
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<p>01 GROUND FLOOR PLAN PROPOSED - 1:200</p>																											



01 FIRST FLOOR PLAN
PROPOSED - 1:200

FOR DA

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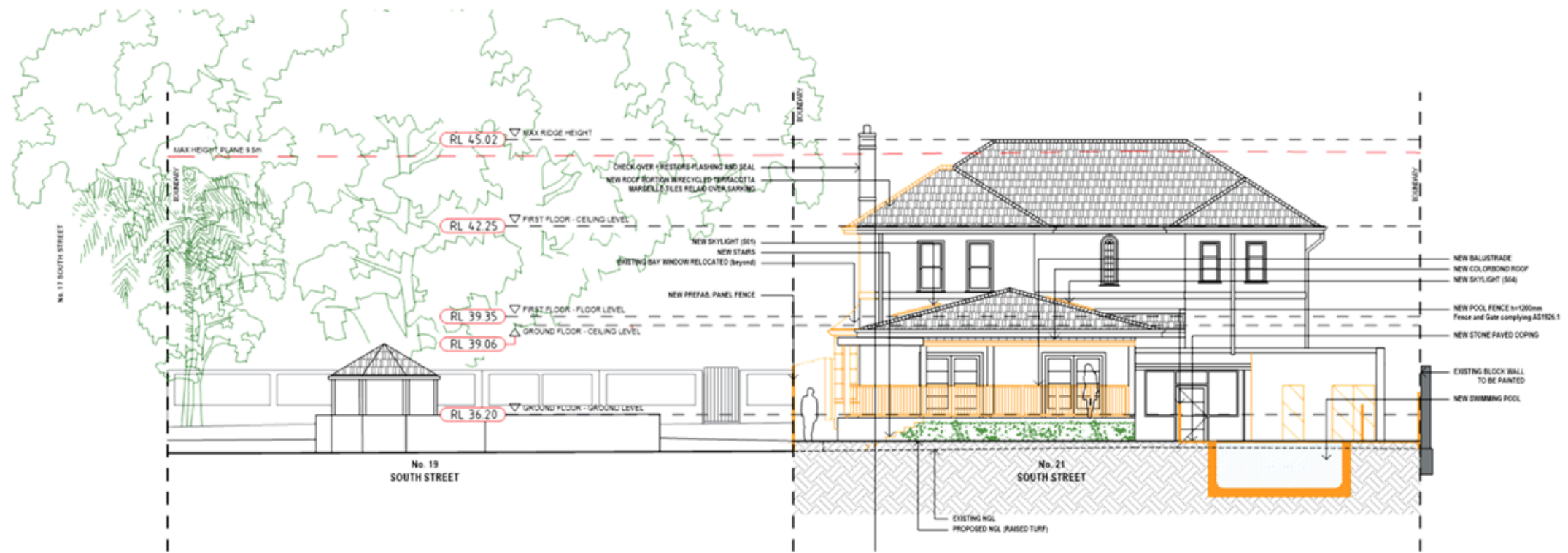
01 ROOF PLAN
PROPOSED - 1:200

FOR DA

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<p>NOTES</p>																														



01 EAST (FRONT) ELEVATION
PROPOSED - 1:150



02 WEST (REAR) ELEVATION
PROPOSED - 1:150

FOR DA

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MATERIALS AND FINISHES - EAST (STREETSCAPE) ELEVATION



1. ROOF
PRESERVE EXISTING
TERRACOTTA TILE



4. RENDERED WALLS PAINTED
PRESERVE EXISTING
REGENCY WHITE
OR SIMILAR



5. FENESTRATION
PRESERVE EXISTING
TIMBER, WHITE ON WHITE
OR SIMILAR



6. SHUTTERS
PRESERVE EXISTING
TIMBER, WHITE ON WHITE
OR SIMILAR



7. BAY WINDOW ROOF
PRESERVE EXISTING
COPPER ROOF



13. GARAGE DOOR
PRESERVE EXISTING
METAL ROLLER



15. DRIVEWAY
PRESERVE EXISTING
CONCRETE



17. FENCE
PRESERVE EXISTING
ROUGH HEWN SANDSTONE
BLOCKS, CLEANED



18. NORTHERN BOUNDARY
FENCE
PROPOSED
PRE-FAB PANEL PVC
WHITE
OR SIMILAR



19. GARDEN WALL GATE
PROPOSED
TIMBER
WHITE
OR SIMILAR

CONSERVATION ACTIONS

HOUSE

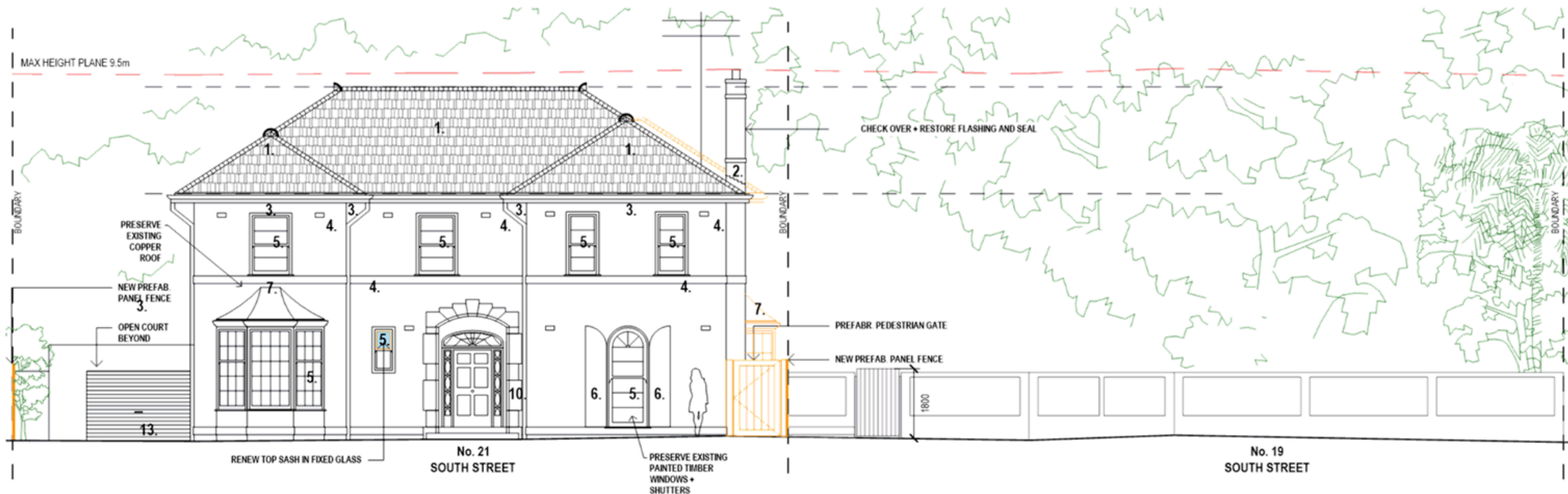
1. Preserve existing terracotta tile roof, clean tiles, re-set and re-point
2. Check over and restore existing chimney flashing and seal
3. Restore downpipes and gutters to operation
4. Preserve and re-paint existing rendered and painted external walls
5. Preserve and re-paint existing painted fenestration (repair timber rot)
6. Preserve, re-pair and re-paint existing shutters, restore to operational (repair timber rot)
7. Preserve existing copper roofs of bay windows
8. Clean vine traces off shutters and soffits
9. Re-point sandstone details
10. Ease windows to make operational
11. Relocate the pocket doors
12. Salvage and re-use major windows
13. Retain side articulation of former north wing

INTERNAL

14. Upgrade plumbing/ electricals
15. Carpet/ wallpapers as appropriate

SETTING

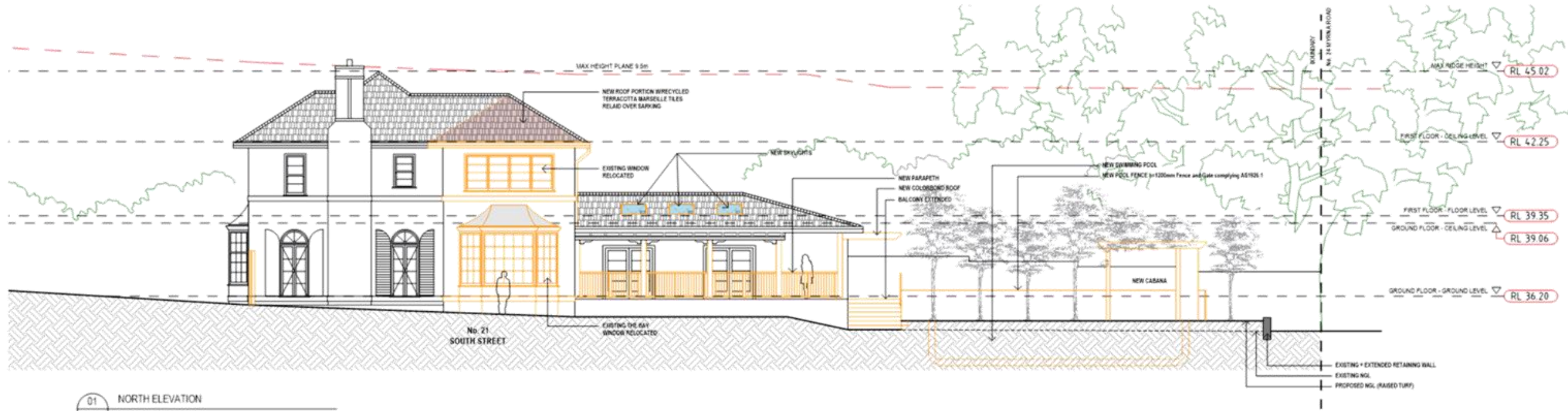
16. Restore landscape setting as contemporaneous with the House
17. Refurbish front driveway, retain existing location and concrete finish



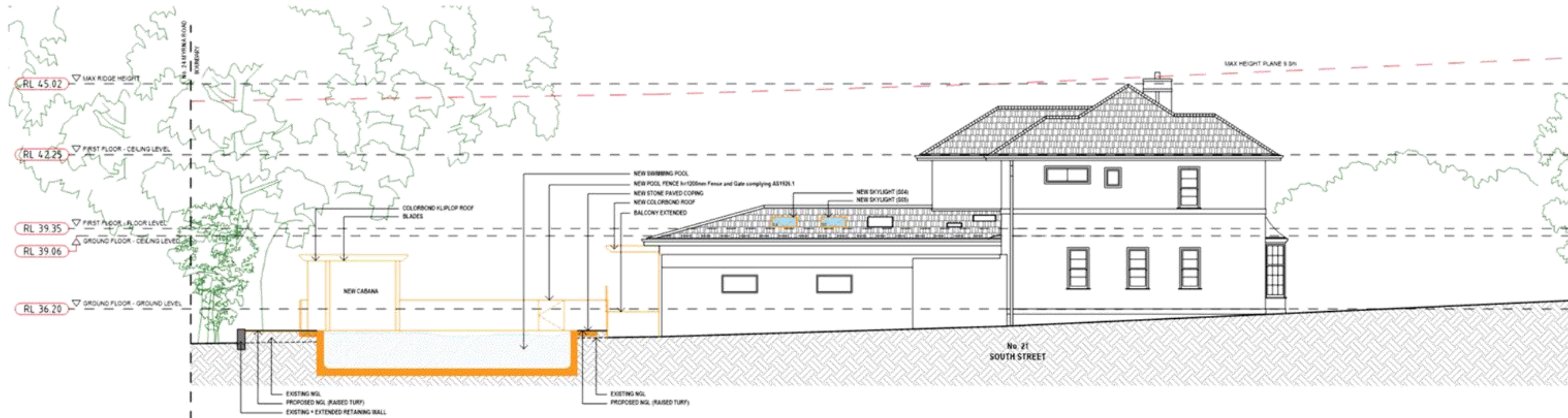
01 MATERIALS + FINISHES
PROPOSED - 1:100

FOR DA

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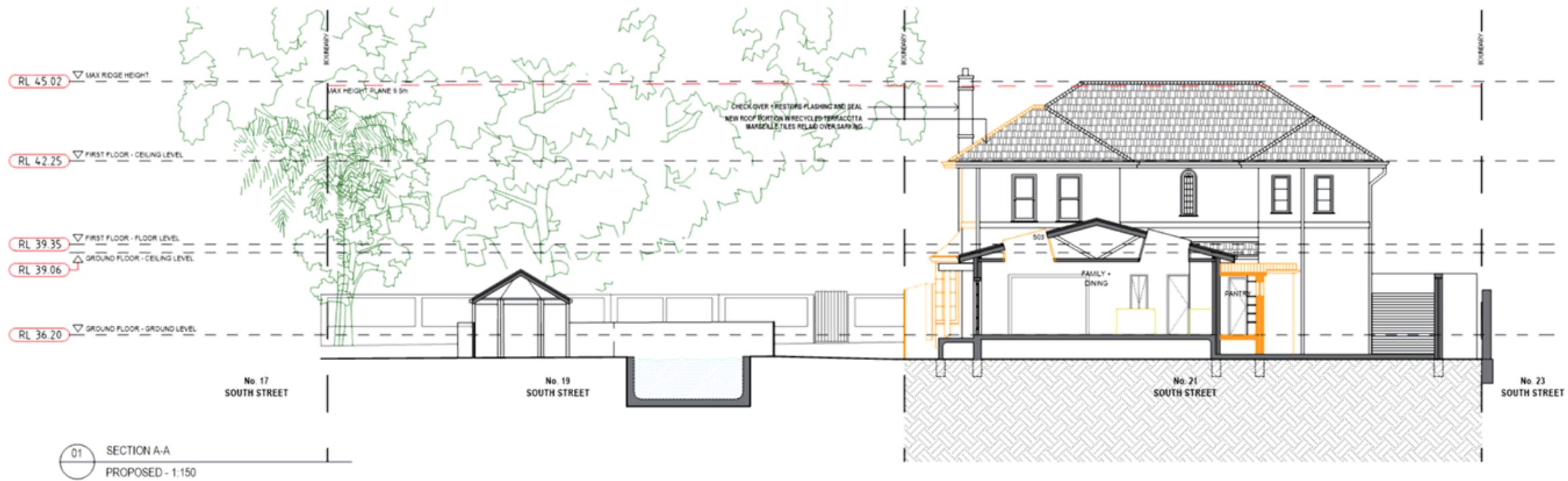
01 NORTH ELEVATION
PROPOSED - 1:150



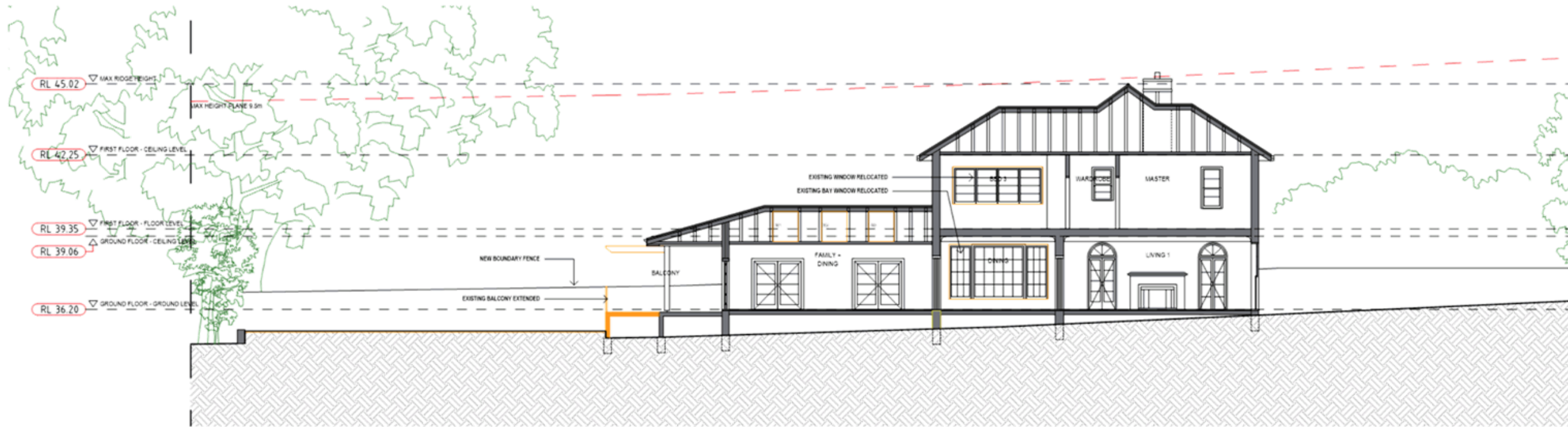
02 SOUTH ELEVATION
PROPOSED - 1:150

FOR DA

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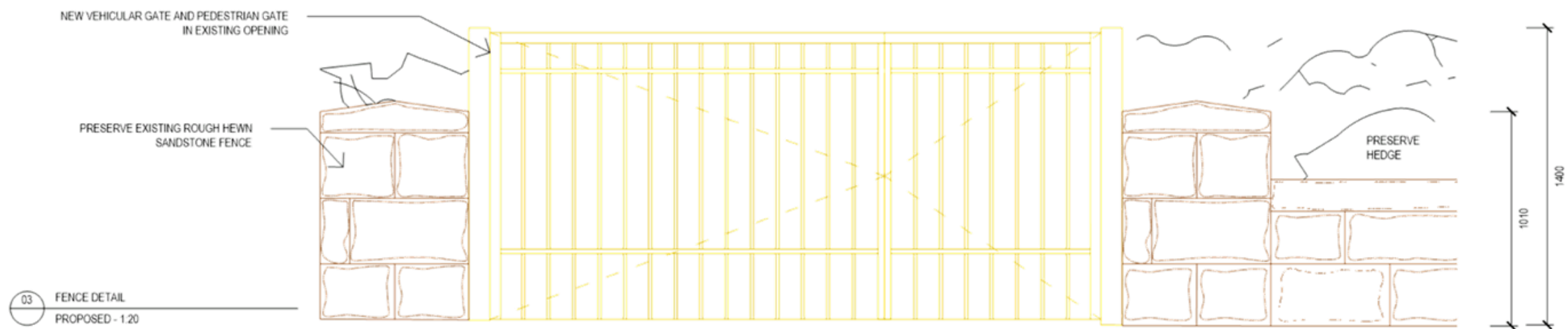
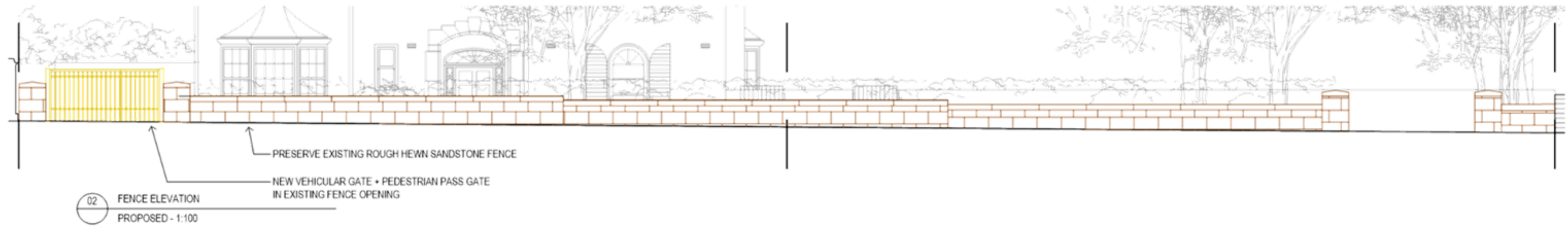
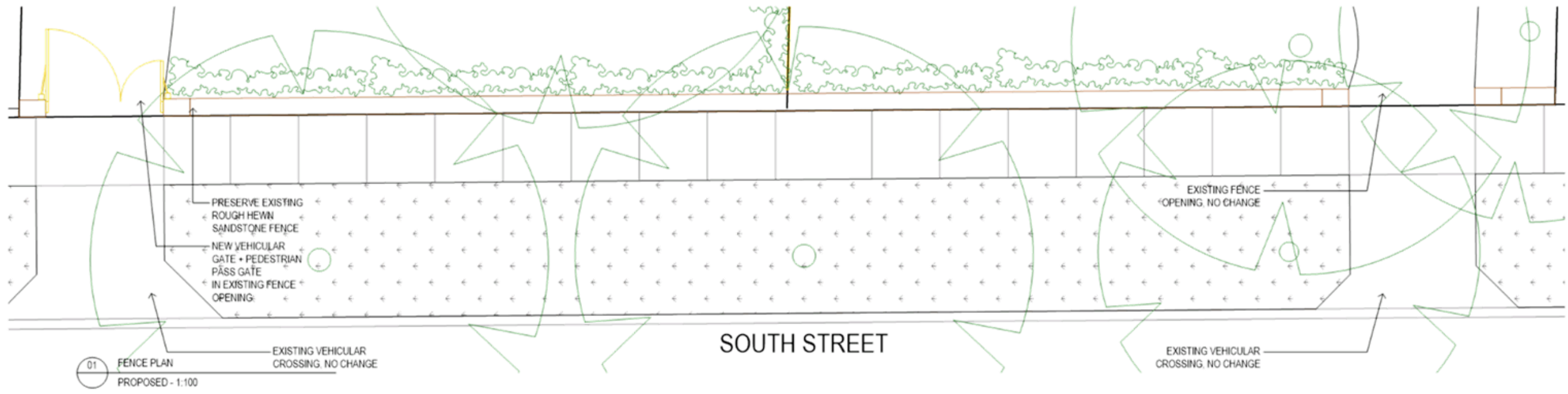
01 SECTION A-A
PROPOSED - 1:150



02 SECTION B-B
PROPOSED - 1:150

FOR DA

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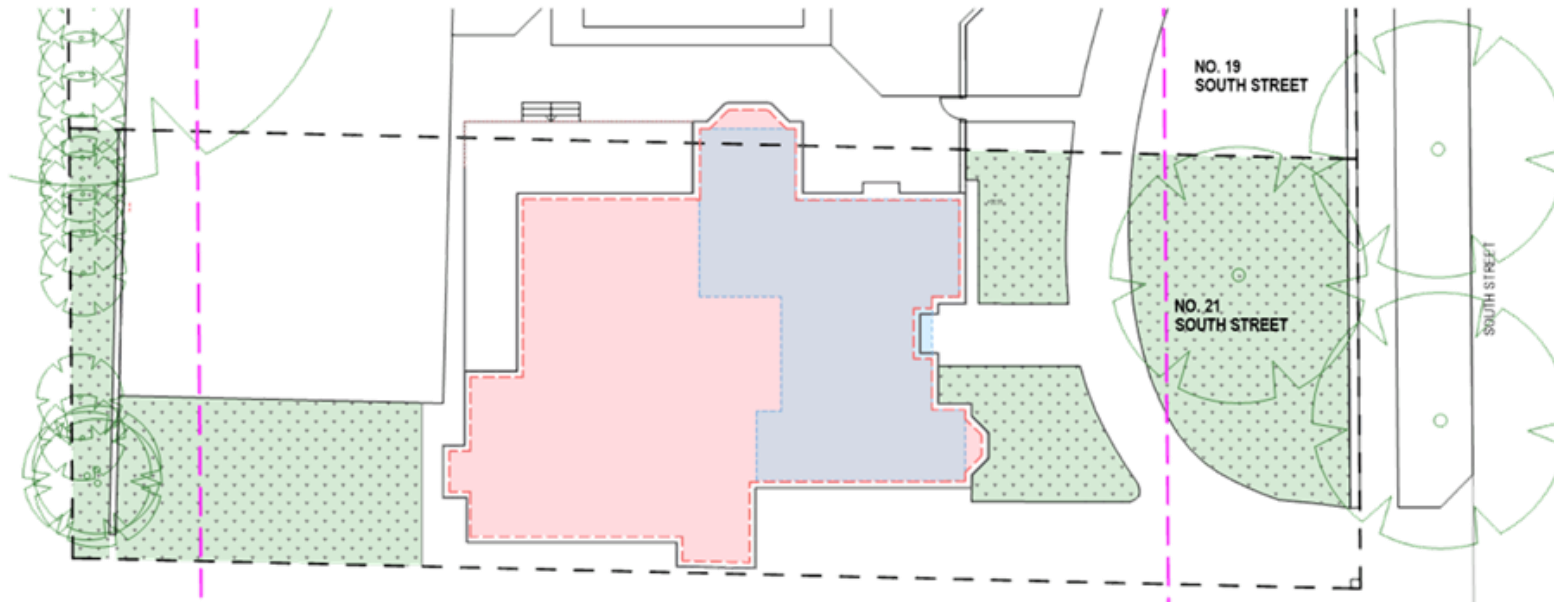


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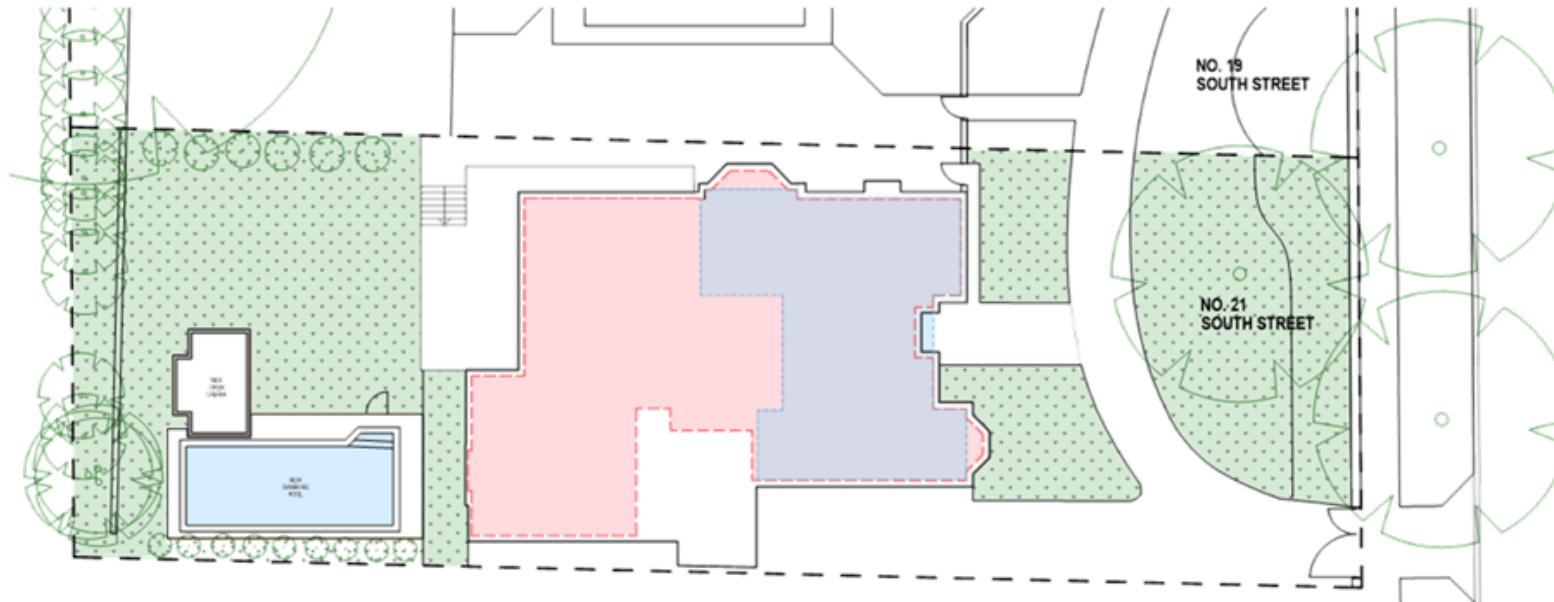
No. 21 SOUTH STREET

LOT SIZE	1213.5 m ²
LOT WIDTH	20.1 m
MAX FSR allowed	0.5:1 (GFA 607 m ²)
MIN LANDSCAPE AREA	45% for site area 800-1300m ² ----> (546.30 m ²)
Max. height	9.5 m
Min. combined side setback	20% of the width of block ----> 20% of 20.135m = 4.02m side setback (combined)
Min. front setback	9.0 m
Min. rear setback	6.0 m



01 SITE CALCULATIONS
EXISTING - 1:300

BOUNDARY	---	
MIN. SETBACK	---	
OUTLINE OF THE BUILDING		
GFA Ground Floor	332m ²	
GFA First Floor	140m ²	
GFA TOTAL	472m ² (FSR 0.39:1)	< 607 m ² (FSR Max 0.5:1)
Landscaped area	369m ² (30%)	< 546.30 m ² (Min. 45%) - DOES NOT COMPLY
Deep soil	220m ² (61% front setback)	> Min. 50% (178 m ²) (Front setback 356 m ²)



02 SITE CALCULATIONS
PROPOSED - 1:300

BOUNDARY	---	
MIN. SETBACK	---	
OUTLINE OF THE BUILDING		
GFA Ground Floor	285.5m ²	
GFA First Floor	127.3m ²	
GFA TOTAL	412.8m ² (FSR 0.34:1)	< 607 m ² (FSR Max 0.5:1)
Landscaped area	471 m ² (39%)	< 546.30 m ² (Min. 45%) - DOES NOT COMPLY
Deep soil	220m ² (61% front setback)	> Min. 50% (178 m ²) (Front setback 356 m ²)

FOR DA

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BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A381804

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 01, July 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	21 South Street
Street address	21 South Street Strathfield 2135
Local Government Area	Strathfield Municipal Council
Plan type and number	Deposited Plan 8778
Lot number	66
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Patrick O'Carrigan Partners
ABN (if applicable): 086 693 781

BASIX Certificate number: A381804

page 2 / 6

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 3521 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 60 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

BASIX Certificate number: A381804

page 3 / 6

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A381804

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
external wall: cavity brick	nil				
internal wall shared with garage: plasterboard (R0.36)	nil				

BASIX Certificate number: A381804

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Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylights						
<p>The applicant must install the skylights in accordance with the specifications listed in the table below.</p> <p>The following requirements must also be satisfied in relation to each skylight:</p> <p>Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.</p>				✓	✓ ✓ ✓	✓ ✓ ✓
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S4	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S5	1.5	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

BASIX Certificate number: A381804

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Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

HERITAGE IMPACT STATEMENT

Proposed Restoration and Subdivision of a Local Heritage Item

19-21 South Street, Strathfield

On behalf of

Magdaline Mouawad



POC+P
architects

PATRICK O'CARRIGAN + PARTNERS P/L

ARCHITECTS | URBAN DESIGNERS | HERITAGE CONSULTANTS
STUDIO 1ST FLOOR
76 EDWIN STREET NORTH
CROYDON NSW 2132
T 9799 8600 F 9799 8011 E patrick@pocp.com.au
ABN 99088781693
www.pocparchitects.com.au

19-21 SOUTH STREET, STRATHFIELD

Proposed Restoration and Subdivision of a Local Heritage Item

- PROPOSAL** This Heritage Impact Statement forms part of the Development Application for 19-21 South Street, Strathfield.
- DATE** July 2020
- REFERENCE** - Strathfield Council Local Environmental Plan (SLEP) 2012
- Strathfield Council Development Control Plan (SDCP) 2005 - Part A (Residential), Part P (Heritage)
- ADDRESS** 19-21 South Street Strathfield, 2135
- AUTHOR** Patrick O'Carrigan FRAIA, AIAMA NSW Registered Architect # 5025
Studio 1st Floor 76 Edwin Street North, Croydon NSW 2132
Tel 9799 6600, Fax 9799 6011 Email patrick@pocp.com.au
- Patrick O'Carrigan FRAIA is a recognised heritage architect listed by the Heritage Office of NSW. He has over 28 years experience in the field, having previously worked with Clive Lucas and Howard Tanner. He is the author of many Heritage Impact Statements, conservation plans and award winning heritage refurbishment projects including Customs House [City of Sydney], Story of Sydney, Pilgrim House, and Pitt Street Uniting Church. He was a Heritage Adviser of four years standing, for two rural shires, Merriwa and Murrurundi. He was appointed the Heritage Professional Member of the Heritage Review Panel for Woollahra Council 2006. He undertook the Stage IV heritage inventory for Hornsby Shire Council.
- METHODOLOGY** The report has been generally prepared in accordance with the requirements of Australia ICOMOS Burra Charter, the NSW Heritage Manuals "Statements of Heritage Impact" as issued by NSW Heritage Office 1996.
- PREPARED** Magdaline Mouawad
19-21 South Street, Strathfield
- LIMITATIONS** The report has been prepared by Patrick O'Carrigan FRAIA, and Emily Flanagan of Patrick O'Carrigan + Partners Pty. Ltd., and is based upon site inspections on nine occasions.

Issue	Description	Date	Initial
A	For Draft DA	09/04/19	PO'C
B	For DA	20/05/19	PO'C
C	For DA	02/07/20	PO'C

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2.0	-----	Assessment of Significance
2.1	-----	Site History
		Occupation of Subject Site
2.2	-----	Site Alterations and Additions
2.3	-----	Heritage Listing I196
2.4	-----	Heritage Items in the Vicinity
2.5	-----	Architectural Style
2.6	-----	Significance
		Urbis Heritage Assessment Report Conclusion
3.0	-----	Description of Scope of Work
3.1	-----	Design Philosophy
3.2	-----	Alternate Designs Considered
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4.1	-----	NSW Heritage Inventory
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6.0	-----	Recommendations
7.0	-----	Attachments
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1.0 GENERAL

1.1 SITE INFORMATION

The site is listed as an item of local heritage significance, I196 "Georgian revival house and garden", under the SLEP 2012.

The site is located at 19-21 South Street, Strathfield and comprises of Lot 65+66 in Deposited Plan (D.P) 8778. The subject site is an almost square block of 2426.6m² with a frontage of 40.225m to South Street on the eastern side. The site slopes about two meters towards the rear boundary, from east to west.

The site is occupied by a two storey heritage house c. 1940s which has been extensively altered, especially internally and along the side and rear boundaries. These alterations date from the c. 1970s-80s and include a new single storey rear addition, covered rear terrace, infill of existing balcony, four car garage, tennis court, swimming pool, gazebo, garden fence/ gate and driveway re-configuration.

The site has a generous front setback and noteworthy landscaping which contributes to its character. At the rear of the site is a forest gum with a 25m spread and 21m height.



Figure 1: Aerial Photo
Source: Maps



Figure 2: Heritage Map
Source: MLEP

19-21 South Street, Strathfield

POC+P Architects

May 2019 - Heritage Impact Statement 4

2.0 ASSESSMENT OF SIGNIFICANCE

2.1 SITE HISTORY

The following site history is sourced from both Strathfield Council's website and the Urbis Heritage Assessment Report attached:

The Strathfield district was once inhabited by the Wangal clan of the Darug tribe. Little remains of the former Aboriginal occupation of this area. The Wangal clan's country or territory was known as Wanne and it originally extended from the suburbs of Birchgrove and Balmain in the east, to Silverwater and Auburn in the west, the northern boundary was the Parramatta River but the southern boundary is unknown.

The Wangal clan's neighbours were the Cadigal to the east, the Wategora to the west, the Wallumedegal to the north and the Bediagal to the south. All these clans of the Darug tribe spoke the coastal or Eora dialect of the Darug language. The Darug tribe's inland clans known as the 'woods tribes' spoke a different dialect.

Strathfield would have been an integral part of the Wangal clan's territory being close to the Parramatta River, a source of food. The Strathfield Municipality once supported large forests of eucalypt trees with many native grasses growing as an understorey as well as areas of very dense scrub. It is unlikely that the Wangal clan camped in the district as Strathfield does not have any rock shelters or overhangs suitable for camping, but they probably frequented the area to gather or hunt food.

In 1793 the first land grants to free settlers including Thomas Rose and Edward Powell and their families were made in the Strathfield Municipality. These grants were awarded in response to Governor Philip's request for the introduction of 'practical farmers' to the settlement. In the early 1800's other land grants were awarded to D'Arcy Wentworth, William Roberts and John Alford.

The Strathfield suburb, (then known as Redmire) initially comprised of a number of estates including the Wentworth Estate, the Redmire Estate, the Underwood Estate and St Ann's Village. The oldest houses (that are still standing) were 'Fairholm' and 'Llandilo', not constructed until 1870. These properties were part of the subdivided Redmire Estate.

The subject site is part of the former Redmire Estate. In 1867 the Redmire Estate was subdivided and offered for sale, including the land of the subject site. The area purchased in 1867 was slowly subdivided, with the first subdivision taking place in 1918. The land on which the subject site is located was not subdivided until 1924. The two lots that now make up the subject site were purchased by two separate owners in 1927 and 1931. It is unknown what type of dwellings, if any, occupied the lots at this time.

The subject site was formed in 1936 when Nigel Borland Love and his wife, Phyllis Eloise Love, purchased both lots 65 and 66. The subject dwelling was constructed for the couple in 1941. The dwelling and landscaping, including the extensive pathways around the house can be seen in the 1943 aerial photograph.

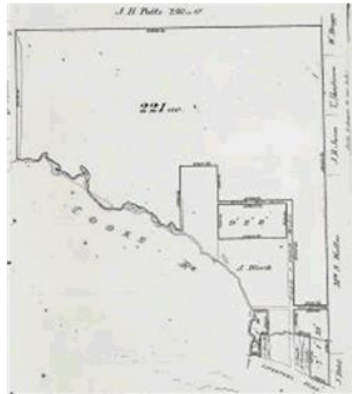


Figure 3: Area of Redmire Estate Included in Titles Certificate Dated 1876
Source: Titles Vol. 271 Fol. 159



Figure 4: Area of Redmire Estate Included in Titles Certificate Dated 1918
Source: Titles Vol. 2888 Fol. 4

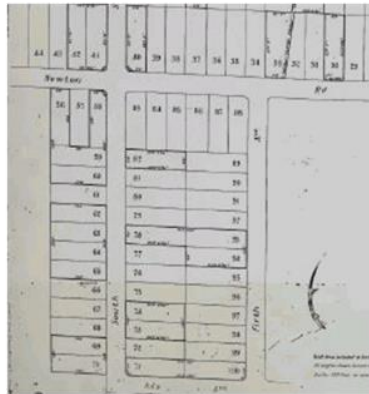


Figure 5: Area of Redmire Estate Included in Titles Certificate Dated 1924
Source: Titles Vol. 4071 Fol. 142



Figure 6: 1943 Aerial View
Source: Six Maps

Occupation of Subject Site

The first occupants of the subject site were Nigel Borland Love and Phyllis Eloise Love. Nigel Love was the owner of N.B Love Pty Ltd, which was a large and well known flower mill company. In the 1920s he was also managing director of the Australian Aircraft and Engineering Co, a company created to spread an interest in aviation through joy flights and charter operations. By 1940, Love had taken over Edwin Davey and Sons. After Love had built up his Mill business, he went back to aviation for the duration of WWII. He was appointed wing commander in the Royal Australian Air Force in August 1941 and commanded No. 2 of the Air Training Corps for boys aged 16-18. Love died in 1979 and the property was left to his family. The subject site was sold in 1980 to Harold and Margaret Laundry who, over the course of the 1980s, made many alterations to the property.

The following table outlines the history of occupation/ ownership of the subject site.

DATE	OCCUPANT
Crown Grant, September 1841	Joseph Newton
By 1876	Joshua Frey Josephson
By 1918	Sydney Arthur Josephson
1922	Strathfield Land Company Limited. (Subdivision)
1927	Lot 66 Mary Eveline Lucy Noakes
1931	Lot 65 Charles Johnson (with consent of Mortgage)
1935	Lot 65 Florence Longshaw
1936	Lot 65 and 66 Phyllis Eloise Love
1980	Lot 65 and 66 Arthur Harold Laundy and Margaret Anne Laundy
Current Owner	Magdaline Mouawad

2.2 SITE ALTERATIONS AND ADDITIONS

The subject site has had extensive alterations and additions, most dating from the 1980s. The alterations and additions have involved the entire site, including landscaped areas, driveway, rear and side elevations of the building and the interiors.

The following table outlines the history of alterations and additions. The details have been sourced from the Urbis Heritage Assessment Report, Council archives and information from the owner:

YEAR	BA/DA	TYPE OF WORK	DATE OF APPROVAL
Unknown c. 1943- 1977	Unknown	Tennis Court <i>Note: the tennis court does not appear in the 1943 Six Maps aerial view (Figure 6)</i>	Unknown
c. 1977	BA 44/77	Construction of a carport including toilet	19/04/1977
c. 1981	Unknown	Alterations to first floor bathrooms <i>Note: the date of the infill of the original north-facing first floor verandah is unknown, it appears as already infilled on the 1985 plans and is presumed to have been altered as part of the first floor alterations</i>	Unknown
c. 1985	BA 312/84	In-ground swimming pool (although not completed with this DA); Alterations and additions to existing dwelling including the demolition of a section of the rear of the property and the addition of a combined kitchen/family room and rear terrace; The construction of a 4-car garage attached to the southern side of the dwelling to the southern boundary <i>Note: the original driveway configuration encircling the property appears on the 1981 plans, but no longer on the 1985 plans, it is presumed to have been altered as part of the rear additions</i>	Approval granted with conditions on 13/11/1984 Plans approved on 28/03/1985
c. 1987	BA 333/87	Construction of a swimming pool <i>Note: the garden wall does not appear in the 1985 plans, it is presumed to have been constructed along with the swimming pool to ensure privacy from the street</i>	29/09/1987
c. 1988	BA 28/88	Construction of a timber Gazebo at the rear of the property	15/07/1988

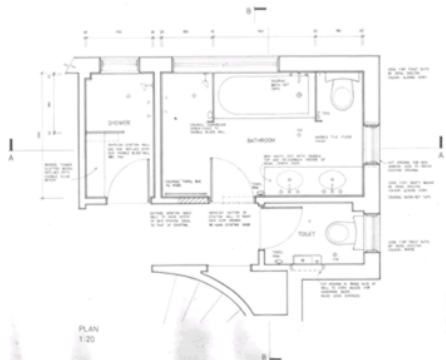


Figure 7: Plan of alterations to first floor bathrooms 1981
Source: Magdaline Mouawad



Figure 8: Site Plan 1981
Source: Magdaline Mouawad

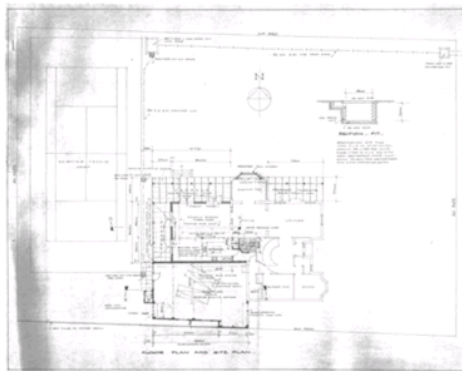


Figure 9: Site Plan 1985
Source: Magdaline Mouawad

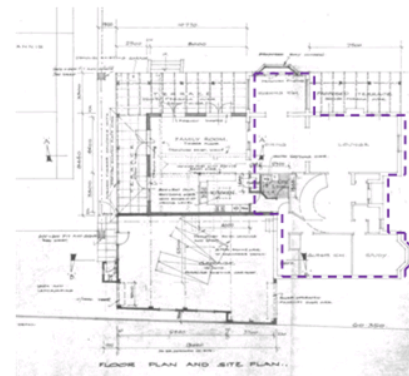


Figure 10: Plan of rear alterations and additions 1985. The purple line represents the remaining portion of the existing dwelling
Source: Magdaline Mouawad

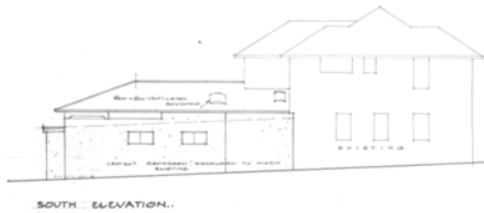


Figure 11: South Elevation 1985
Source: Magdaline Mouawad



Figure 12: North Elevation 1985
Source: Magdaline Mouawad



Figure 13: West Elevation 1985
Source: Magdaline Mouawad

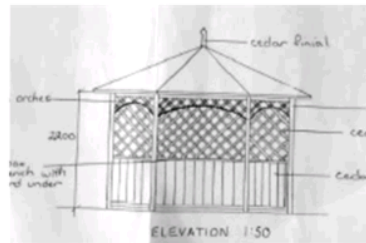


Figure 14: Gazebo 1988
Source: Magdaline Mouawad

By accessing old plans held by the previous owners, the architects have been able to piece together the dates and scope of alterations and additions to the dwelling, both before its heritage listing and after.



Figure 15: Existing Ground Floor Plan
Source: POC+P Architects

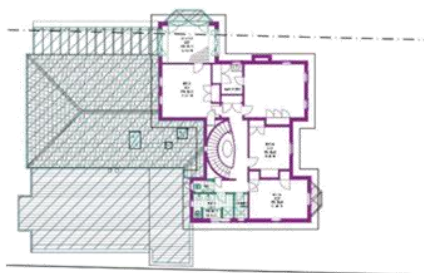


Figure 16: Existing First Floor Plan
Source: POC+P Architects

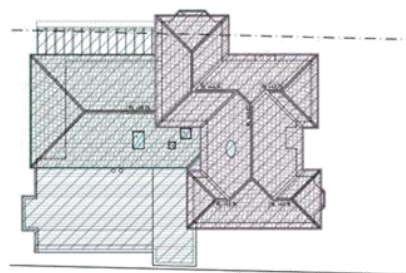


Figure 17: Existing Roof Plan
Source: POC+P Architects

Legend

- Original Building c. 1940s
- Existing Alterations and Additions c. 1977
- Existing Alterations and Additions c. 1981
- Existing Alterations and Additions c. 1985
- Existing Alterations and Additions c. 1987
- Existing Alterations and Additions c. 1988

2.3 HERITAGE LISTING I196

Statement of Significance

The following information is sourced from the entry "Georgian Revival House and Garden" in the NSW Heritage Inventory, reference number 2450130:

"This two-storey Georgian Revival house is constructed of rendered brick with a tile hip roof. It is situated on a large allotment and is set well back from the street. It features one storey timber bay windows to the north and east with copper bellcast roofing. A recessed entry has fan and side lights to the door. Other elements include rendered chimneys and rendered string course. A mature garden, stone fence, tennis court, and circular drive are important elements.

This well-maintained Georgian revival home was built in 1941 for Nigel B. Love of N.B. Love Limited, flour millers. This firm is still active in the area with premises in Braidwood Street. The house is of local significance for its architectural qualities and for its association with a prominent local business."

2.4 HERITAGE ITEMS IN THE VICINITY

There are no heritage items or heritage conservation areas in the immediate vicinity of the subject site. The closest heritage items are as follows:

Item Number	Distance from Subject Site	Item Name	Address	Property Description	Significance
I183	235m	Inter-war Old English Style House	23 Newton Road	Lot 2, DP 539835	Local
I93	300m	"Hillcrest" - Inter-war Californian Bungalow	58 Barker Road	Lot 11, DP 8778	Local
I217	365m	"Crosby" - Inter-war Old English Style House	12 Wallis Avenue	Lot 1, DP 329390	Local
I92	400m	Australian Catholic University, Strathfield Campus (Includes former "Mount Royal") - Various Buildings and Landscape	25A Barker Road (Formerly 179 Albert Road)	Lot 11, DP 869042	Local

2.5 ARCHITECTURAL STYLE

The subject site is a late example of the Georgian Revival Style.

The key characteristics of this style include:

- *Symmetrical facades with twelve pane windows (possibly with shutters)*
- *Gabled/hipped terracotta roofs*
- *Classical elements such as porticoes, pediments and classical columns*
- *Manicured and formal gardens, including classical garden ornaments*
- *Simple, symmetrical round archways and features*

The subject site does, to a certain extent, exhibit these features. The main facade has little symmetry, it is triple fronted, with the central recessed area flanked by two side protruding wings. These wings are of different widths and have different ridge heights. The south wing has a paned bay window on the ground floor and one non-paned sash window on the first floor. The north wing has a paned window with shutters on the ground floor and two smaller non-paned sash windows on the first floor. The central portion of the facade has a recessed front door, located off centre, with a small bathroom window to the south of it on the ground floor and a centrally located non-paned sash window on the first floor. There is also a single chimney, located on the north side.

The subject dwelling has a terracotta tile hip roof with unusual half-round end caps on the ridge-hip junctions.

The subject dwelling does not exhibit any porticoes, pediments or classical columns.

The garden, including front hedge, trees and circular drive, is established but neither manicured nor formal and does not include classical garden elements. Furthermore, in previous alterations and additions, the landscape has been extensively altered with some features removed, including the original layout of the driveway which was changed with the rear additions and construction of the swimming pool.

There are only three round arched windows in the subject site, one on the ground floor of the eastern facade, and the other two on the ground floor of the northern facade, either side of the chimney. The recessed front door has a shallow arch. All other windows/ doors are rectangular in shape. On the round arched windows, the Urbis Heritage Assessment Report concludes "these are not a strong representation of type and are not in keeping with the other features of the facade".

The Urbis Heritage Assessment Report, following a comparative analysis comparing the subject site to other examples of the Georgian Revival Style in both Strathfield and the wider Sydney region concludes that: "*the subject site is no longer a strong example of its type*".



Figure 18: Streetscape View
Source: Google Maps



Figure 19: East (Front) Facade View
Source: POC+P Architects

2.6 SIGNIFICANCE

The heritage significance of the subject site is compromised due to its poor representation of the Georgian Revival Style and lack of design resolution. The following assessment of significance is sourced from the Urbis Heritage Assessment Report. Note: the Urbis Heritage Assessment Report concludes that the subject site should be delisted and demolished.

CRITERIA	SIGNIFICANCE ASSESSMENT
<p>A – Historical Significance An item is important in the course or pattern of the local area’s cultural or natural history.</p>	<p>The subject site has an association with local businessman, Nigel Love.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - shows evidence of a significant human activity <input type="checkbox"/> - is associated with a significant activity or historical phase <input type="checkbox"/> - maintains or shows the continuity of a historical process or activity <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> - provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> - has been so altered that it can no longer provide evidence of a particular association <input checked="" type="checkbox"/>
<p>B – Associative Significance An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area’s cultural or natural history.</p>	<p>The subject site was the residence of Nigel Love and his family. Nigel Love was the owner of the N.B Love Pty Ltd. Which was a large and well-known flour mill company.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - shows evidence of a significant human occupation <input type="checkbox"/> - is associated with a significant event, person, or group of persons <input checked="" type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - has incidental or unsubstantiated connections with historically important people or events <input type="checkbox"/> - provides evidence of people or events that are of dubious historical importance <input type="checkbox"/> - has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
<p>C – Aesthetic Significance An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</p>	<p>The subject dwelling is not a strong representation of a Georgian revival house/residence. The dwelling’s characteristics are not out-standing and there have been many alterations and additions. The original c. 1943 landscaping has also since been removed and altered with the addition of the, tennis court, swimming pool and paving. These additions have removed any remaining evidence of the landscaping that would have initially surrounded the dwelling.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> - is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> - is aesthetically distinctive <input type="checkbox"/> - has landmark qualities <input type="checkbox"/> - exemplifies a particular taste, style or technology <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - is not a major work by an important designer or artist <input checked="" type="checkbox"/> - has lost its design or technical integrity <input type="checkbox"/> - its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> - has only a loose association with a creative or technical achievement <input checked="" type="checkbox"/>
<p>D – Social Significance An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</p>	<p>The subject site is not considered to have social significance.</p>

<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - is important for its associations with an identifiable group <input type="checkbox"/> - is important to a community's sense of place <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - is only important to the community for amenity reasons <input checked="" type="checkbox"/> - is retained only in preference to a proposed alternative <input type="checkbox"/>
<p>E – Research Potential An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.</p>	<p>The subject site is not considered to have further research potential. Please note that Archaeology is outside of the scope for this report.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> - is an important benchmark or reference site or type <input type="checkbox"/> - provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/> - has little archaeological or research potential <input checked="" type="checkbox"/> - only contains information that is readily available from other resources or archaeological sites <input type="checkbox"/>
<p>F – Rarity An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.</p>	<p>The subject site and dwelling are not considered rare.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - provides evidence of a defunct custom, way of life or process <input type="checkbox"/> - demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> - shows unusually accurate evidence of a significant human activity <input type="checkbox"/> - is the only example of its type <input type="checkbox"/> - demonstrates designs or techniques of exceptional interest <input type="checkbox"/> - shows rare evidence of a significant human activity important to a community <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - is not rare <input checked="" type="checkbox"/> - is numerous but under threat <input type="checkbox"/>
<p>G – Representative An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's): cultural or natural places; or cultural or natural environments.</p>	<p>The subject dwelling is a poor example of a Georgian Revival residence. The dwelling has limited representative features and these are not outstanding. These features include the entrance way and entry hallway, however the doorway is standard design and the curved stairs in the entry hallway are narrow and mean in proportions.</p>
<p>Guidelines for Inclusion</p> <ul style="list-style-type: none"> - is a fine example of its type <input type="checkbox"/> - has the principal characteristics of an important class or group of items <input type="checkbox"/> - has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input checked="" type="checkbox"/> - is a significant variation to a class of items <input type="checkbox"/> - is part of a group which collectively illustrates a representative type <input type="checkbox"/> - is outstanding because of its setting, condition or size <input type="checkbox"/> - is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	<p>Guidelines for Exclusion</p> <ul style="list-style-type: none"> - is a poor example of its type <input checked="" type="checkbox"/> - does not include or has lost the range of characteristics of a type <input type="checkbox"/> - does not represent well the characteristics that make up a significant variation of a type <input checked="" type="checkbox"/>

Urbis Heritage Assessment Report Conclusion

The Urbis Heritage Assessment Report concludes as follows:

"The dwelling is a stripped representative example of its style however it is not a well resolved design and exhibits thinner characteristics with the early 1940's windows and front detailing.

The interior has characteristics of the grander period dwellings such as a curved stair however the stair is extremely narrow and mean in proportions so that it is not a well resolved example of its type and is awkward to use. Poor design such as this should not be recognised as important aesthetically.

The dwelling has been designed to be impressive on a large block however has not been well resolved architecturally and appears to be a builder design with standard elements of the period, with earlier references. The landscaping has also been removed and the dwelling no longer sits in a formal garden setting. In this regard, it does not reach the threshold for individual aesthetic listing.

The association with Nigel Love, flour miller, is of interest and illustrates the aspirations of the successful family in the area. The association with his flying interests is tenuous in terms of the location and period of construction of the house however it does not reduce the local interest in the man and his local business enterprises. This may be interpreted in some form on the site.

The dwelling is on a large site and has had earlier alterations and additions. The site has potential for more additions and it is considered that the main form of the house is not well resolved and that maintaining this form and poor details will not provide a successful base for a larger addition in the future. The integrity of the dwelling is such that a new dwelling of a high quality is considered a better outcome than adding to a poor example of the type.

The door surround is not well resolved, the windows are of simple quality and are of a standard design of the time, the bay appears altered and the overall design is not distinguished.

It is recommended that the building be removed as a Heritage Item from Schedule 5 of the Strathfield Local Environmental Plan."

3.0 DESCRIPTION OF SCOPE OF WORK

3.1 DESIGN PHILOSOPHY

The subject site presents a number of design constraints and complications as a result of its Local Heritage listing. The proposed alterations and additions are designed on the basis that the original dwelling, despite being an inferior design, should not be delisted and demolished regardless of the recommendations of the Urbis Heritage Assessment Report 2018.

3.2 ALTERNATE DESIGNS CONSIDERED

A previous DA submission, DA2019/085, was rejected by the local planning panel in November 2019. This scheme encompassed the site as a whole and sought to add a two storey addition to the existing heritage house in the form of a balanced wing. Following the feedback from this DA submission, a revised design scheme is proposed which instead seeks consent for the restoration of the dwelling house and subdivision of the site.

This revised scheme has been designed to not compromise the existing amenity of the site, and to maintain its heritage value. The site is proposed to be subdivided along the existing boundary line between number 19 South Street (lot 65) and number 20 South Street (lot 66). The existing c. 1940s dwelling house occupies lot 66. In order to achieve the subdivision, minor demolition is proposed for the portions of the existing dwelling house which straddle this boundary.

The choice of this subdivision design option, rather than continuing to pursue a two storey addition, was made with consideration of the heritage significance of the original dwelling house and a desire to preserve as much of this dwelling as possible. The choice was also made in response to the feedback from council's Local Planning Panel Meeting dated 7 November 2019, SLLP Report No. 2. Details of this new design proposal in relation to the Local Planning Panel Feedback is outlined in the following tables, the first table is in response to the comments made in the Meeting Minutes, the second table is in response to the comments made by the assessing officer in the Meeting Agenda.

Strathfield Local Planning Panel Meeting Minutes - 7 November 2019

REPORT: SLPP – Report No. 2

SUBJECT: DA2019/085 - 19-21 SOUTH STREET, STRATHFIELD LOTS 65 & 66 DP 8778

DA NO. DA2019/085

RECOMMENDATION	RESPONSE
<p>1. Inconsistency with aims of Strathfield Local Environmental Plan 2012 – Clause 1.2: Aims of plan (SLEP 2012)</p> <p>The proposed development should be refused because it does not achieve a high-quality urban form and does not protect environmental and cultural heritage. As such, the proposal is contrary to aims (a) and (f) under Clause 1.2(2) of SLEP 2012, as follows:</p> <p>Clause 1.2(2):</p> <ul style="list-style-type: none"> - Objective (a): To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield. - Objective (f): To identify and protect environmental and cultural heritage. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed. Consequently, the heritage, urban form and character are protected and promoted.</p> <p>The subdivision of the site realises the existing boundary between lots 65 and 66. Both lots have a generous frontage of approximately 20m which is consistent with the urban form of the surrounding streetscape.</p>
<p>2. Inconsistency with the objectives for heritage conservation in Strathfield LGA - Clause 5.10: Heritage conservation (SLEP 2012)</p> <p>The proposed development should be refused because it does not conserve or respect the environmental heritage of Strathfield LGA. The proposed additions would have a detrimental impact on the significance of the heritage listed 'Georgian Revival house and garden' under SLEP 2012. As such, the proposal is contrary to aims (a) and (b) under Clause 5.10(1) of SLEP 2012, as follows:</p> <p>Clause 5.10(1):</p> <ul style="list-style-type: none"> - Objective (a): To conserve the environmental heritage of Strathfield - Objective (b): To conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views. 	<p>The new proposal has been designed primarily to better protect the heritage significance of the property. It protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>
<p>3. Inconsistency with the zone objective pertaining to protection of heritage significance of heritage items – Land Use Table (SLEP 2012)</p> <p>The proposed development should be refused because the proposal would adversely impact upon the heritage significance of the heritage item and its setting. As such, the proposal is contrary to the following zone objective for the R2 Low Density Residential zone under the Land Use Table of SLEP 2012, as follows:</p> <p>Land Use Table – R2 Low Density Residential Zone:</p> <ul style="list-style-type: none"> - Objective: To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>
<p>4. Inconsistency with objects of EP&A Act, 1979 – Clause 1.3: Objects of Act</p> <p>The proposed development should be refused because it is inconsistent with objects (f) and (g) under Clause 1.3 of the Act, as follows:</p> <p>Clause 1.3:</p> <ul style="list-style-type: none"> - Object (f): To promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage). - Object (g): To promote good design and amenity of the built environment. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>

<p>5. Insufficient information to enable a proper assessment of proposed earthworks – Clause 6.2: Earthworks (SLEP 2012) The proposed development should be refused because there is insufficient information to enable a proper assessment of the impact of the proposed basement level and proposed additions on the structural integrity of the existing heritage item and impact to the adjoining properties. This is required at the DA stage in order to ascertain the viability of the proposal given the heritage significance of the building. No detailed Structural Report or Geotechnical Report has been submitted with the application. The consent authority cannot be satisfied of the matters required to be considered under Clause 6.2(3) before granting consent for earthworks. As such, the proposal is not acceptable with regard to Clause 6.2 of the SLEP 2012.</p>	<p>The proposed works no longer include a basement.</p>
<p>6. Inconsistency with Part P: Heritage under SCDCP 2005 The proposed development should be refused because it does not respect the significance of the heritage item and its contribution to the streetscape and does not accord with the following objectives and controls under Part P: Heritage of SCDCP 2005: Clause 1.5: Objectives - Objectives (A), (B), (C). Clause 2.1: General Objectives - Objectives (A), (B), (C), (D), (E) Clause 2.2: Setting - Objectives (A), (B) - Controls (i), (iii), (iv) Clause 2.3: Scale - Objective (A) - Controls (i) and (ii) Clause 2.4: Form - Objectives (A), (B) - Controls (i), (ii), (iv) Clause 2.5: Materials and Colours - Objectives (A), (B), (C) - Controls (ii), (iii), (vi) Clause 2.6: Alterations and Additions - Objectives (A), (B), (C) - Controls (i), (ii), (iii) Clause 2.7: Doors and Windows - Objectives (A), (B), (C) - Controls (i), (ii), (iii), (iv) Clause 2.8: Car Parking - Objective (B) - Control (iv) Clause 2.9: Fencing - Objectives (B), (C) - Controls (ii), (iii), (iv) Clause 2.12: Modern Technologies - Objective (A) Clause 2.13: Demolition - Controls (ii), (iii)</p>	<p>Revised, see part 4.3 of this report</p>
<p>7. Inconsistency with Part A: Dwelling Houses and Ancillary Structures - SCDCP 2005 The application should be refused because it does not accord with the following objectives and controls under Part A: Dwelling Houses and Ancillary Structures of SCDCP 2005: Section 2: Architectural Design and Streetscape Presentation Clause 2.1: Objectives - Objectives (A), (C), (G), (I) Clause 2.2.1: Streetscape Presentation - Controls (2), (3) Clause 2.2.2: Scale, Massing & Rhythm of Street - Controls (1), (2) Section 4: Building Envelope - Clause 4.2.2: Building Height - Control (2) - Clause 4.2.3.2: Side and Rear Setbacks - Control (1)</p>	<p>Revised, see part 4.3 of the attached Statement of Environmental Effects</p>

<p>Section 5: Landscaping - Clause 5.2.4: Fencing - Control (1) Section 8: Vehicular Access and Parking - Clause 8.2.3: Basements - Controls (1), (2), (6) Section 9: Altering Natural Ground Level (Cut and Fill) - Clause 9.2: Development Controls - Control (5)</p>	
<p>8. The proposed development would give rise to unacceptable environmental impacts - Section 4.15(1)(b) of the EP&A Act, 1979. The proposed development should be refused because it would have a detrimental impact on the significance of the heritage item and its streetscape contribution. In this regard, the proposal would adversely impact upon the surrounding built environment.</p>	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed. Moreover, the proposed restoration works will have a positive contribution on the heritage item and the surrounding streetscape.</p>
<p>9. The proposed development is unsuitable to the site – Section 4.15(1)(c) of the EP&A Act, 1979. The proposed development should be refused because it is unsuitable to the site. The bulk, scale, siting and form of the new additions would physically overwhelm the heritage item and would have a detrimental impact on the significance of the heritage item and its interpretation from the public domain, particularly the northern and eastern facades of the heritage item and its curtilage.</p>	<p>The proposed works now include no additional wing, only minor ground-floor alterations located in the rear and not visible from the streetscape. Consequently, the heritage item is not overwhelmed and is easily distinguishable from the public domain.</p>
<p>10. The proposal development is not in the public interest - Section 4.15(1)(e) of the EP&A Act, 1979. The proposal should be refused because it is not considered to be in the public interest. With regard to the wider public interest, approval of the proposed development would have a detrimental impact on the wider community through the detrimental impact on a heritage item of local significance. With regard to the sectionalized public interest, the proposal would not enable interpretation of the heritage item in the immediate streetscape context. As such, the proposal is not considered to be in the public interest.</p>	<p>The proposed works now allow for the interpretation of the heritage item in the immediate streetscape context there are no longer proposed additions to the heritage item which are visible from the streetscape. Consequently, the heritage item is not overwhelmed and is easily distinguishable from the public domain.</p>
<p>ADDITIONAL COMMENTS BY THE PANEL</p>	<p>RESPONSE</p>
<p>1. Retention of more original internal fabric including the main stair.</p>	<p>The proposed works ensure the maximum retention of original internal fabric. The main stair is retained and demolition in general is limited.</p>
<p>2. Retention to view of the significant north elevation which is an important part of the original composition.</p>	<p>The proposed works no longer include a symmetrical two storey wing to the north of the original dwelling house. Therefore, there is a better view of the north side elevation with this new proposal. Additionally, the fenestration and roof plane along this elevation are now also better preserved, along with the preservation of the chimney. Consequently, the integrity of the north side elevation is generally improved. However, the northern protruding hip which straddles the boundary between lots 65 and 66 is proposed to be demolished. Despite being located in the rear portion of the north elevation, behind the chimney, the proposed demolition of this protruding hip still affects the overall articulation of the northern side boundary.</p>
<p>3. Any new wing to be subservient in scale, form, character and siting to the original dwelling.</p>	<p>The proposed works no longer include a new wing, only minor alterations to the existing non-original rear of the dwelling house. These alterations are single storey and therefore subservient to the original dwelling.</p>

Strathfield Local Planning Panel Meeting Agenda - 7 November 2019

REPORT: SLPP – Report No. 2

SUBJECT: DA2019/085 - 19-21 SOUTH STREET, STRATHFIELD LOTS 65 & 66 DP 8778

DA NO. DA2019/085

ASSESSING OFFICER'S COMMENTS	RESPONSE
The siting and form of the new additions is unsympathetic to the heritage building.	The new proposal sites all new additions at the rear.
The proportions and scale of the additions are inappropriate. The proposal would not enable interpretation of the heritage item.	The new proposal only includes minor ground floor works of a limited scale.
The bulk of the additions to the north should be relocated away from the building line of the existing dwelling house so as to not reduce the status of the existing heritage item to that of a less ornate wing of a grand mansion.	The new proposal locates the works behind the existing building line, at the rear of the property.
The addition of stone piers and disproportionately high gates to the new pedestrian entry and existing vehicular entries would alter the character of the existing low-lying stone front fence and are not supported.	The new proposal does not involve any changes to the existing low-lying stone front fence, no new stone piers and no new pedestrian entry. A new gate is proposed in one of the existing vehicular entries, this is at the height of the existing low-lying piers.
The existing circular driveway is to be retained.	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
The submitted drawings indicate the retention of existing trees within the front setback	All existing trees within the front setback to be retained.
The proposed outbuilding would not adversely impact upon the significance of the heritage building.	The new proposal includes an open outbuilding located in the rear.
The proposed outbuilding is located within the TPZ of a significant Forest Red Gum tree on the rear boundary, which is significant to the setting of the heritage item.	The new proposal sites the open outbuilding outside of the TPZ.
A structural certificate has been provided (not a Structural Report) with insufficient details to enable a proper assessment of the impact of the proposed basement and additions on the structural integrity of the heritage item.	The new proposal does not include a basement.
The extent of demolition and scale of new work proposed would have a detrimental impact on how the existing heritage item is viewed from the streetscape.	The new proposal only includes minor demolition and minor ground floor works. These new works are located at the rear. Consequently, the prominence of the existing heritage item from the streetscape is maintained.
The proposal would obscure the importance of the existing form of the heritage item in the streetscape through the virtual replication of the form as part of the proposal and does not accord with this objective.	The new proposal does not obscure the existing form of the heritage item, nor does it replicate this form.
The proposal retains the original entry recess, albeit, its integrity is compromised by the new ornate entry and portico structure and overwhelming scale of the additions.	The new proposal maintains the original entry recess as the front method of entry into the house. Its integrity is retained.
While the rear verandah with pergola structure are part of later additions to the heritage item, the new work does not respect the relationship of this addition to the building.	The relationship of the non-original rear verandah and pergola to the building is better preserved with the new proposal, however, some alterations are made. These alterations are considered appropriate because the rear verandah and pergola are non-original, dating from 1985. The west-facing verandah is extended for adequate private open space. The north-facing verandah is reduced to ensure an adequate setback from the proposed subdivided boundary.

The proposal retains the 'original shape' of the existing roof, but replaces the existing tiles with 'slate grey'.	With the new proposal, the original shape and original tiles of the existing roof are maintained.
The proposal involves demolition of the roof to the northern portion of the existing building.	The new proposal still involves some minor but reduced demolition to the roof in the northern hipped portion of the building. This is required because the building straddles the boundary between lot 65 and 66. The roof tiles removed will be reused to make good the existing roof.
A direct connection with new ornate window additions and replica chimney of the Georgian revival style to the front elevation is proposed between the existing roof and the new roofing. This undermines the significance of the heritage item.	The new proposal does not include this link.
The shape of the roof of the heritage item has been replicated for the roof to the new work. The reduced ridge RL of the new roof as an attempt to read as subservient to the heritage building is poorly conceived and would have a detrimental impact on the significance of the heritage item.	The new proposal does not include the roof referred to here. The new works only comprise of minor ground floor works located at the rear.
The existing materials and finishes to the front façade are obscured by the addition of ornate 'shutters' to the first-floor windows, and by the lack of distinction in the colour/material palette to the new work.	The new proposal does not include shutters for the windows. Furthermore, the new work is limited to the rear, leaving the original house distinguished in colour and material.
The materials and colours of the new work is not readily discernible as new fabric.	<p>The new works including the cabana located at the rear, western balcony extension and pantry located within the existing garage footprint are simple and distinguished in their materials and finishes, including timber framing and colorbond roofing. These new works are not visible from the streetscape.</p> <p>The new portion of external wall on the original dwelling house in the location where the northern hip is proposed to be demolished, is intended to be subtly discernible from the original work. The existing north facing ground floor bay and first floor infill windows will be relocated as part of this new wall. The wall finish itself will be of the same paint colour as the rest of the existing house, but a rougher render texture, with a vertical shadow line marking the junction of original and alteration. This ensures the material character of the dwelling remains while alterations are discernible.</p>
The rendered façade is retained.	The new proposal still retains the rendered façade.
The roof tiles do not match the existing.	The new proposal uses the existing roof tiles.
New window shutters to the front façade are inconsistent with the original building.	The new proposal does not include shutters for the windows.
The roof tiles in 'slate grey' do not match the existing terracotta colour.	The new proposal uses the existing roof tiles.
The roof tiles in slate grey do not preserve the original terracotta colour.	The new proposal uses the existing roof tiles.
The Marseilles roof tile pattern is maintained.	The new proposal uses the existing roof tiles.
The HIS states that no sandblasting is proposed.	The new proposal still uses no sandblasting.
The proposal fails to satisfy the provisions of the Clause 2.6.	See part 4.3 of this report.
The minor set down of the addition when compared to the existing building is barely discernible in the context of the bulk and massing of the proposed addition.	The new proposal does not include an addition of the bulk and massing previously proposed. Rather, the new work is single-storey and limited to the rear.
The proposed additions seek to replicate the existing building in a manner that is a more ornate reproduction of the Georgian Revival style. This undermines the significance of the heritage item and does not enable interpretation of the heritage item.	The new proposal no longer includes the additions referred to here. Instead, it comprises of minor ground floor works located at the rear. The heritage item retains its significance.
The bulk, scale, form, and siting of the new work physically overwhelms the heritage item and would have a detrimental impact	The new proposal no longer includes the additions referred to here. Instead, it comprises of minor

on the significance of the heritage item and its contribution to the streetscape.	ground floor works located at the rear. The heritage item retains its significance.
Notwithstanding the proposal involves demolition of existing windows/doors except for the majority of those along the front façade, the integrity of the building is undermined by the addition of ornate 'shutter' detailing to the first-floor windows.	With the new proposal, all original windows are retained except for two ground floor windows. These are required to be removed because they are part of the northern portion of the building which straddles the boundary between lot 65 and 66. Two non-original c.1981 first floor windows are also proposed to be removed. The existing non-original north facing bay window c.1985 and the existing non-original first floor infill window c.1981 are both proposed to be retained and relocated.
The east (front) facing windows to the existing study's at ground and first floor level are deleted along with this northern portion of the existing building.	The new proposal still removes the existing east-facing ground floor study window c.1940s and the existing east-facing first floor study infill window c.1981, along with the northern hipped portion of the existing building. This is required because this portion of the building straddles the boundary between lots 65 and 66, which are proposed to be subdivided.
The proposed northern-wing addition seeks to use Georgian Revival design elements in greater numbers than are found on the heritage item. This is not supported from a heritage perspective.	The new proposal no longer includes the additions referred to here.
The basement entry utilises the existing driveway and is located on the same side of the building as the existing garage. This is supported.	The new proposal no longer includes a basement, the existing driveway and existing garage are instead retained.
A letter has been submitted from a structural engineer explaining how this has been achieved on other jobs through the use of piling, etc. It is not considered that this constitutes a Structural Report.	The new proposal no longer includes a basement.
Insufficient details are provided to determine the impact of the basement excavation on the heritage item, and how the support for the existing building will be achievable in this instance.	The new proposal no longer includes a basement.
A geotechnical report has not been submitted with the application.	The new proposal no longer includes a basement.
The addition of stone piers to the new pedestrian entry and existing vehicular entries changes the entire character of the front fence and is not supported.	The new proposal does not add piers to the front fence. The character of the front fence is maintained.
The new gates proposed to the pedestrian and vehicular entries are disproportionately high.	The new proposal adds one gate to the existing vehicular entry on lot 66. This gate is a reduced scale, with a height that matches the existing fence.
The proposal outbuilding encroaches the TPZ of a significant tree (Tree 10) on the rear boundary and is not supported.	The new proposal includes an open outbuilding located in the rear but moved to be outside the TPZ.
The proposal retains the existing circular driveway. This is supported.	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
The submitted plans show the retention of all trees within the front setback.	All trees within the front setback are still proposed to be retained.
There is an inconsistency in the submitted Arborist report, which identifies Tree 7 (Umbrella Tree) on the northern side boundary within the front setback as being removed.	Whilst recommended to be removed in the arborist report, T7 is not intended to be removed. All trees within the front setback are proposed to be retained.
This can be conditioned for retention to ensure adequate screen planting.	Whilst recommended to be removed in the arborist report, T7 is not intended to be removed. All trees within the front setback are proposed to be retained.
No objections are raised to the proposed outbuilding on heritage grounds, albeit, the outbuilding is not supported due to its proximity to a significant tree (Tree 10) on the rear boundary.	The new proposal includes an open outbuilding located in the rear but moved to be outside the TPZ of T10.
Whilst located behind the existing ridgeline to be retained, the location of the AC platform and solar panels on the roof (newly constructed) of the heritage item is not supported.	The new proposal does not include an AC platform or solar panels.

The AC platform is highly visible from the rear and detracts from the significance of the item.	The new proposal does not include an AC platform or solar panels.
The application proposes extensive demolition of the heritage item. This is not supported.	The new proposal is designed to greatly reduce the amount of demolition.
Retention of the existing heritage item is generally limited to the front façade. Albeit, the addition of shutters to the original windows is not supported.	The new proposal retains the original dwelling, including internals, except for the north facing ground floor and first floor studies.
The submitted HIS states that demolition is limited to areas modified in the late 20th century and additions.	The new proposal seeks to demolish the north facing ground floor and first floor studies, both modified in the c. 1980s, the ground floor with a bay window, the first floor an infilled former verandah. All other demolition involves entirely new additions including partial demolition of the garage c.1977 and rear verandah c. 1985
The Urbis Heritage Assessment Report (Source: HIS) concludes that "the integrity of the dwelling is such that a new dwelling of a high quality is considered a better outcome than adding to a poor example of the type". This finding is inconsistent with the proposal.	Despite this Urbis Report finding, it is maintained that the heritage value of the dwelling is such that it should be retained, at least in part. The new proposal aims to retain as much of the original dwelling as possible.
The design approach of facadism together with additions that are not physically separate to the heritage item and seek to replicate the Georgian Revival style in a manner that is a more ornate reproduction, undermines the heritage significance of the item.	The new proposal retains both external and internal heritage fabric. Also, it no longer includes the additions referred to here.
The Statement of Significance on the NSW Heritage Inventory (Ref 2450130) identifies one storey timber bay windows to the north and east with copper bellcast roofing. The bay window to the north is proposed to be demolished. The HIS states that "the bay window on the north façade is of limited significance and suitable to be demolished".	The bay window to the north dates from c.1985, it is an addition to the original heritage dwelling rather than original. This consequently limits its significance when compared to the bay window to the east. Nevertheless, the new proposal seeks to relocate the north-facing bay window so that it is still north-facing, however no longer crossing the proposed subdivided boundary between lots 65 and 66. The bay window to the east is still intended to be retained and preserved in place.
It is considered that the eastern elevation of the heritage building should be preserved including restoration of the east facing bay window as this is identifiable from the streetscape.	The new proposal still intends to retain and preserve the east facing façade including the bay window. Restoration works of this facade are proposed to be undertaken.

Conclusion

The primary concerns raised by the Local Planning Panel and Assessing Officer in relation to the previous proposal were centred around: (1) the dominance of the proposed additions regarding their scale, bulk, siting and materiality as well as (2) the level of demolition (particularly internal) of the original dwelling. Consequently, the focus of the revised scheme presented in this DA proposal has been to create additions which are minor and do not dominate the original dwelling, as well as to retain and preserve as much of the original dwelling as possible.

It is the property owner's desire to realise a subdivision of the site after being thwarted in doing their preferred combined and holistic development. The subdivision allows the value of the unencumbered northern lot to be maximised while the dwelling house located on the southern lot no.66 is restored and preserved in the manner in which it was accustomed along with minor refurbishments at the rear to ensure its continued use as a private home.

3.3 DESIGN PROPOSAL

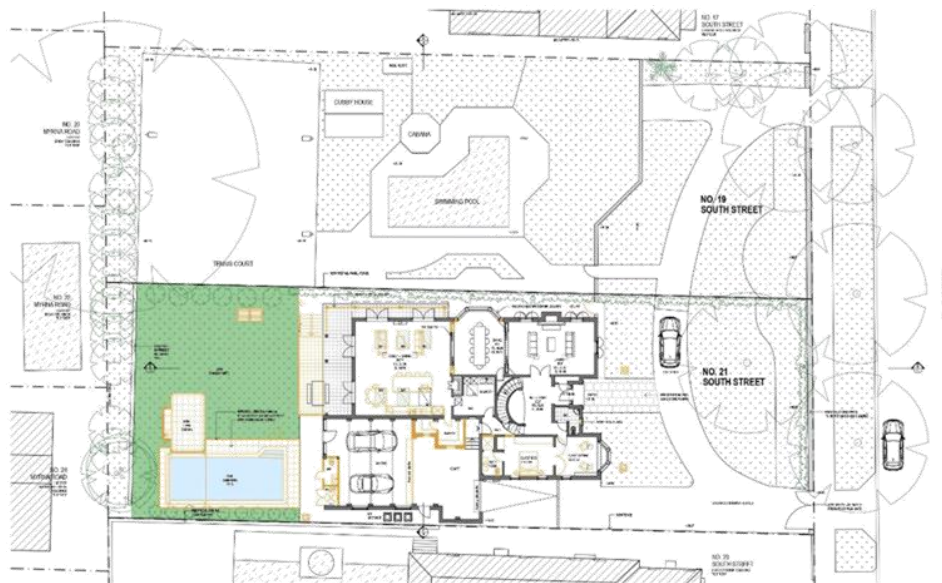


Figure 20: Ground Floor Plan
Source: POC+P Architects

Ground Floor Plan

- Demolish existing c. 1940s north facing hip consisting of ground floor study
- Relocate existing c. 1985 bay window to dining room
- Relocate existing c. 1940s internal sliding door to dining room/ family room connection
- Demolish existing c. 1985 ground floor rear additions (partially) including kitchen fittings and north-facing terrace + pergola – north-facing terrace + pergola partly retained
- Demolish existing c. 1977 garage (partially) + WC – entry part retained
- New WC + pool equipment in existing c. 1977 garage
- New kitchen refurbishment in existing c. 1985 kitchen
- New pantry constructed in part of demolished c. 1977 garage footprint
- Renew top sash of c. 1940 WC window in fixed glass

Site:

- New boundary fence between lot 65 and lot 66
- Demolish existing c. 1977 tennis court on lot 66
- New vehicular gate + pedestrian pass gate in existing opening in c. 1940s front fence on lot 66
- New pedestrian gate in existing c. 1987 garden wall on lot 66
- New swimming pool and open cabana on lot 66
- Preserve/ protect existing landscaping and landmark trees + new landscaping + lawns
- Preserve/ protect existing front fence
- Preserve/ protect existing driveway + dual vehicular entries
- New pedestrian gate in existing c. 1987 garden wall on lot 66



Figure 21: First Floor Plan
Source: POC+P Architects 2018

First Floor Plan

- Demolish existing c. 1940s north facing hip consisting of first floor study 2
- Relocate existing c. 1981 infill study window to Bed 3
- New 5x skylights in existing c. 1985 ground floor living area roof

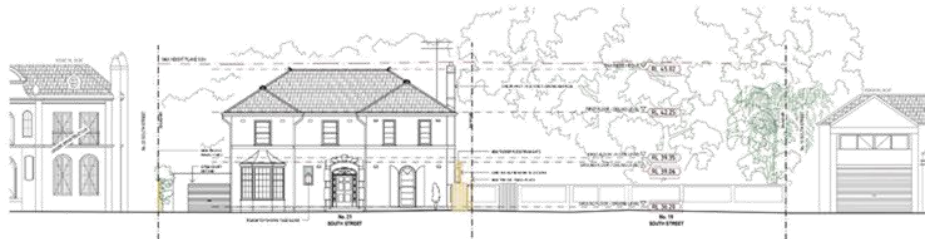


Figure 22: East (Front) Elevation
Source: POC+P Architects

East (Front) Elevation

- New pedestrian gate in existing c. 1987 garden wall on lot 66
- Renew top sash of c. 1940 WC window in fixed glass



Figure 23: West (Rear) Elevation
Source: POC+P Architects

West (Rear) Elevation

- Demolish existing c. 1977 WC
- New WC + pool equipment in existing c. 1977 garage
- New swimming pool
- New c. 1985 balcony extension + awning roof + balustrade/ railing

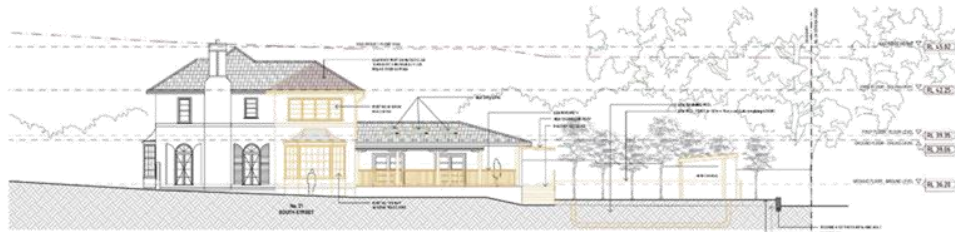


Figure 24: North (Side) Elevation
Source: POC+P Architects

North (Side) Elevation

- Demolish existing c. 1940s north facing hip consisting of ground floor study + first floor study 2
- Relocate existing c. 1985 bay window to dining room
- Relocate existing c. 1981 infill study window to Bed 3
- Demolish existing c. 1985 balcony (partially) + pergola
- New c. 1985 balcony awning roof + balustrade/ railing
- New open cabana
- New skylights in existing c. 1985 ground floor living area roof

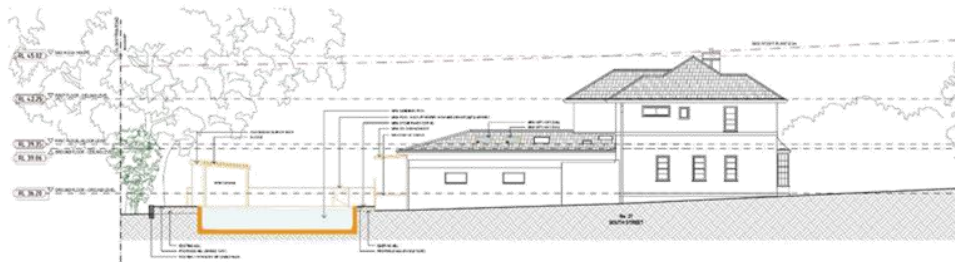


Figure 25: South (Side) Elevation
Source: POC+P Architects

South (Side) Elevation

- New open cabana
- New swimming pool
- New skylights in existing c. 1985 ground floor living area roof

Summary of Restoration Works for Conservation

HOUSE

1. Preserve existing terracotta tile roof, clean tiles, re-set and re-point
2. Check over and restore existing chimney flashing and seal
3. Restore downpipes and gutters to operation
4. Preserve and re-paint existing rendered and painted external walls
5. Preserve and re-paint existing painted fenestration (repair timber rot)
6. Preserve, re-pair and re-paint existing shutters, restore to operational (repair timber rot)
7. Preserve existing copper roofs of bay windows
8. Clean vine traces off shutters and soffits
9. Re-point sandstone details
10. Ease windows to make operational
11. Relocate the pocket doors
12. Salvage and re-use major windows

INTERNAL

13. Upgrade plumbing/ electricals
14. Carpet/ wallpapers as appropriate

SETTING

15. Restore landscape setting as contemporaneous with the House
16. Refurbish front driveway, retain existing location and concrete finish
17. Re-point and clean sandstone front fence

4.0 DESIGN ASSESSMENT

4.1 DESIGN ASSESSMENT: NSW HERITAGE INVENTORY

The following table assesses the proposed works according to the "Statement of Significance" in the NSW Heritage Inventory entry "Georgian Revival House and Garden", reference number 2450130:

"STATEMENT OF SIGNIFICANCE" ITEMS OF SIGNIFICANCE	COMMENT: PROPOSED ALTERATIONS AND ADDITIONS
Rendered brick construction	The existing rendered brick construction is important for the style of the property. This rendered brick construction, including the original render finish and the heritage off-white colour, is retained and preserved with the proposed works.
Tile hip roof	The existing tile hip roof is significant in both material and form to the property. This materiality and form is maintained with the proposed works.
Large setback from the street	The large landscaped setback is significant, it softens and almost entirely conceals the built form from the streetscape, while also creating a sense of grandeur. The important features within the front setback are retained despite the subdivision of the lots, including the existing curved driveway, the front hedge and all existing trees.
One storey timber bay windows to the north and east with copper bellcast roofing	The one storey timber bay window on the east facade is original, the one on the existing north facade is a replica from alterations and additions c. 1985. Therefore, the bay window on the north facade is of reduced significance and suitable to be relocated as part of the proposed works. The original bay window on the east facade is retained in place and preserved with the proposed works.
Recessed entry with fan and side lights to the door	The recessed entry, fan and side lights to the door are retained and preserved with the proposed works in both materiality and use.
Rendered chimney	The original rendered chimney is retained and preserved as part of the proposal.
Rendered string course	The rendered string course is retained and preserved as part of the proposal.
Mature garden	The garden is retained and preserved as part of the proposal.
Stone front fence	The stone front fence is original to the dwelling house and important for the subject site's presentation in the streetscape. The stone front fence is preserved with the proposed works. A new vehicular gate is proposed in the existing vehicular entry on lot 66. This alteration to the front fence will not adversely impact the heritage significance of the fence. It is also reversible and makes no permanent change to the original fabric.
Tennis court	The tennis court is necessarily removed as part of the proposed subdivision works because it is split between lot 65 and lot 66. It is proposed to be removed entirely from lot 66 to allow for adequate deep soil landscaping and private open space. The tennis court is not original to the property, and does not exist in the 1943 Aerial Photograph of the site (Figure 6). Its estimated time of construction is between 1943 and 1981. Therefore, its heritage significance is reduced and its removal is considered worthy of council's support.
Circular drive	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
Well maintained	Both internals and externals will be largely maintained with the proposed works, especially the east-facing main facade.
Association with a prominent local business (N. B. Love Limited)	The subject site has an association with the local businessman Nigel Love, it was the residence for him and his family. This association with Love is of interest and is not compromised by the proposed works, as the original dwelling is preserved.

4.2 DESIGN ASSESSMENT: BURRA CHARTER PRINCIPLES

The following discussion concerns Principles that are sourced from the Burra Charter, 2013:

Article 22. New Work

22.1 New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.

Note: New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.

Comment on the Proposal:

The proposed new works are located at the rear of the property, they affect the existing alterations and additions, rather than the original dwelling. The new works are subservient to and concealed by the original dwelling.

Article 15. Change

15.1 Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.

15.2 Changes which reduce cultural significance should be reversible, and be reversed when circumstances permit.

15.3 Demolition of significant fabric of a place is generally not acceptable. However, in some cases minor demolition may be appropriate as part of conservation. Removed significant fabric should be reinstated when circumstances permit.

15.4 The contributions of all aspects of cultural significance of a place should be respected. If a place includes fabric, uses, associations or meanings of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

Comment on the Proposal:

The proposed works include minor demolition of original fabric. The northern hip consisting of the ground floor study and first floor study 2 is proposed to be demolished because it straddles the boundary between the subdivided lots 65 and 66. This demolition occurs where the original fabric has already been altered by earlier alterations and additions, specifically, the ground floor study has a north-facing single storey bay window added in c. 1985 and the first floor study was originally a balcony which was infilled in c. 1981. Despite being located in the rear portion of the north elevation, behind the chimney, the proposed demolition of this protruding hip still affects the overall articulation of the northern side boundary. However, the rest of this northern elevation, including the original chimney and original fenestration are proposed to be retained in place.

4.3 DESIGN ASSESSMENT: STRATHFIELD DCP 2005

Alterations and Additions

The table below details compliance according to SDCP 2005 (last revised 8 January 2019) Part P Section 1 and 2:

Note: in **bold** are the items which the Local Planning Panel identified the previous proposal did not satisfy. It is proposed that these have now been better satisfied with the design changes.

CLAUSE	PROPOSED/ COMMENT	COMPLY
1.5 Objectives of this DCP Part	A. To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and Heritage Conservation Areas.	Original dwelling house to be maintained and restored. YES✓
	B. To protect those items and areas that are of value to the local community.	Original dwelling house to be maintained and restored. YES✓
	C. To encourage development which complements existing heritage items and Heritage Conservation Areas in a modern context.	Original dwelling house to be maintained and restored with minor complementary alterations/ additions. YES✓
	D. To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item and its setting.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item. YES✓
	E. To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.	The large trees along the front and rear frontage are retained. YES✓
2.1 General Objectives	A. To ensure that additions to a heritage item and new buildings on the site of a heritage item are of a scale, mass, bulk, orientation, setback and character consistent with the heritage item.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item. YES✓
	B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape, and allows an ongoing application of its heritage significance.	The contribution of the heritage dwelling to the streetscape is maintained, with the proposed works occurring at the rear. YES✓
	C. To retain or reinstate missing original details that contribute to the aesthetic quality and/or significance of a heritage item and to encourage the removal of inappropriate alterations and additions.	Original dwelling house to be maintained and restored including the original roof tiles, fenestration, internal stair and fireplace. YES✓
	D. To ensure that important elements of the form or fabric of a heritage item are not obscured or destroyed by alterations and additions.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item. These proposed works are situated with the existing alterations and additions rather than the original dwelling house. YES✓
	E. To ensure that materials and colours used on both the original heritage item and any alterations and additions are consistent with the significance of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and colorbond roofed rear additions. YES✓
	F. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking.	All trees in front setback, the rough hewn stone front fence YES✓

		and the carparking location on the southern boundary retained and preserved.	
2.2 Setting	A. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking; and	All trees in front setback, the rough hewn stone front fence and the carparking location on the southern boundary retained and preserved.	YES✓
	B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape and retains the significance of the item.	The contribution to the streetscape is respected, proposed new works concealed on the ground floor and at the rear, allow the dominance of the heritage item. The existing generous landscaped front setback is retained.	YES✓
	(i) Original elements that contribute to the setting of a heritage item such as landscaping, fences and gates, driveways, seawalls etc. should not be removed and, traditional garden designs should be reinstated where possible.	The front landscaping and fence are retained and preserved. The driveway is also retained and preserved in location and material, however its use as a continuous carriage loop is terminated half way through due to the subdivision and new boundary fence.	YES✓
	(ii) New structures on land on which a heritage item is located such as swimming pools and outbuildings should be located so that they do not adversely impact on the significance of the heritage item.	Pool and outbuilding are located in the rear, lower down on the site and concealed behind the existing dwelling.	YES✓
	(iii) The natural landform and character of the area within which a Heritage Item is located, should be maintained, avoiding any cut and fill to land when constructing new buildings and landscaping grounds.	Natural ground lines and existing floor levels are maintained. Minimal and partial fill <0.45m to allow for flatter and more usable private open space at the rear. Existing landscaped privacy screening is maintained.	PARTIAL
	(iv) Applications that propose basement additions may be required to provide a Structural Report from a practicing structural engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building or adjoining properties. This report should be provided as part of the development application.	No basement proposed.	NA
	(v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.	No basement proposed.	NA
2.3 Scale	A. To ensure that alterations and additions to a heritage item and new buildings on the site of a heritage item are of a scale consistent with the heritage item so as not to detract from the significance of the item.	Proposed new works located on the ground floor and at the rear, allow the dominance of the two storey heritage item. They are situated with and consistent in scale to the existing alterations and additions.	YES✓
	(i) Development on the site of a heritage item must not dominate the item or detract from its significance.	Proposed new works are concealed behind the heritage item, within existing alterations	YES✓

		and additions to the original dwelling. They are subservient to the original dwelling.	
	(ii) Development shall not obstruct significant views to and from the item of significance.	Proposed new works do not obstruct views to/ from the heritage item.	YES✓
2.4 Form	A. To ensure that important elements of the form of a heritage item are not obscured or destroyed by alterations and additions.	The important elements of form including the roof form, fenestration, chimney and recessed entry are retained and preserved.	YES✓
	B. To ensure that the form of a heritage item retains its importance in the streetscape and/or townscape.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. The original heritage dwelling retains its importance in the streetscape	YES✓
	(i) Important elements of the form of a heritage item such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.	Important elements of the form have been retained and preserved in the proposal. These include the original copper roofed bay window, chimney and the hipped roof.	YES✓
	(ii) Development of a heritage item must seek to reconstruct missing architectural detailing of a Heritage Item where possible, including gables, finial trims, front verandahs or bays.	There are no known architectural elements to be reconstructed.	NA
	(iii) Verandahs on the front and sides of a heritage item should not be filled in.	N/A	YES✓
	(iv) Additions and alterations to a heritage item should not detract from important aspects of the form of the heritage item.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. They do not mimic the form of the heritage item or detract from its significance in other ways.	YES✓
	(v) The original shape of the roof of a Heritage Item should not be altered.	The original shape of the hipped roof is not altered, the existing roof and roof tiles are proposed to be retained and preserved. The projection of roof on the north side elevation which straddles the boundary between lots 65 and 66 is proposed to be removed due to the subdivision.	PARTIAL
2.5 Materials and Colours	A. To ensure that original materials that contribute to the significance of heritage items are not obscured.	No original materials obscured.	YES✓
	B. To ensure that colours of paintwork on heritage items are consistent with the significance of the heritage item.	Suitable heritage paint colours proposed.	YES✓
	C. To ensure that materials on alterations and additions to heritage items are consistent with the materials of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and	YES✓

		colorbond roofed rear additions.	
	(i) The original wall treatment of a Heritage Item must be retained where possible. Unpainted brick or stone on a Heritage Item should not be painted or rendered.	The original rendered wall treatment is retained.	YES✓
	(ii) Original materials of heritage items should not be replaced with different materials or materials of different colour.	The original materials are retained and not replaced.	YES✓
	(iii) Non-original materials of heritage items that are being replaced shall, if possible, be replaced with material that matches the original material as closely as possible.	N/A	NA
	(iv) Painting, rendering or bagging of original face brickwork and/or stonework is not permitted.	No painting of original face stonework.	YES✓
	(v) The texture of original rendered finishes should not be changed.	The original texture of rendered finishes is retained.	YES✓
	(vi) Materials for additions and alterations to heritage items should be compatible with the original materials of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and colorbond roofed rear additions.	YES✓
	(vii) Colour schemes for heritage items should have a hue and tonal relationship with traditional colour schemes for the period and style of the heritage item.	The proposed colour scheme has a tonal relationship with the Georgian Revival Style.	YES✓
	(viii) The use of fluorescent paint on heritage items is not permitted.	No fluorescent paint used.	YES✓
	(ix) The façade of a heritage item is not to be painted in a corporate colour scheme.	No corporate colour scheme, this is a residential item.	YES✓
	(x) The use of modern finishes including stencilled concrete for driveways associated with heritage items is not permitted.	No modern finishes proposed. No change to the driveway material and finish.	YES✓
	(xi) The original roof cladding of a heritage item (slate, tiles or corrugated iron) should not be changed if it is in good repair.	The original terra cotta roof tiles are retained and preserved in the proposal.	YES✓
	(xii) Sandblasting to remove paint from brick or stone should not be undertaken on a heritage item as it exposes it to weathering and may change its appearance.	No sandblasting.	YES✓
2.6 Alterations and Additions	A. To support the retention of heritage properties and maintain their heritage significance.	Heritage dwelling retained.	YES✓
	B. To allow changes to the rear of heritage items where the new work does not impact the heritage significance of the heritage item.	Proposed changes occur at the rear.	YES✓
	C. To ensure that alterations or additions to heritage properties are sympathetic to the item and reflect the predominant scale, height, proportion, character and setbacks of the existing property, and surrounding development.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. The new outbuilding (which is outside the existing building footprint) is a simple open structure designed so as to recede in relation to the heritage dwelling house.	YES✓
	(i) Alterations and additions must not adversely impact the significance of a heritage item.	Maintains significance of the current fabric.	YES✓

	(ii) Any alterations and additions must be consistent with the scale, form, proportion, details and materials of the heritage item.	Proposed works are consistent with the heritage item.	YES✓
	(iii) Alterations and additions to heritage items must be located so as to minimise their visibility and prominence from the street or adjoining streets, and the height must not be seen above the main ridgeline of the building.	Proposed changes occur at the rear. They are not visible or prominent from the street.	YES✓
	(iv) Ancillary buildings on the same site as a heritage item must be located so as to not obscure the significant elements of the Item.	Ancillary buildings, including swimming pool and cabana are located in the rear garden, concealed behind the dwelling house.	YES✓
2.7 Doors and Windows	A. To retain original windows and doors that contribute to the aesthetic quality and/or significance of a heritage item.	Original windows and doors are retained except for two original windows which are not retained, the east and west facing windows in the ground floor study. These straddle the boundary between lots 65 and 66 proposed to be formalised with the subdivision.	PARTIAL
	B. To reinstate lost details that contributed to the aesthetic qualities and/or significance of a heritage item.	No known details for reinstatement.	NA
	C. To retain the proportions of walls and openings that contribute to the aesthetic quality of a heritage item.	Window proportions retained. No new windows are proposed.	YES✓
	(i) Original window and door openings in a heritage item should be retained. If the original doors or windows have been lost, they are to be replaced with one of similar size, type and material for the age and style of the Item.	Original window and door openings retained except for two original windows which are not retained, the east and west facing windows in the ground floor study. These straddle the boundary between lots 65 and 66 proposed to be formalised with the subdivision.	PARTIAL
	(ii) Where original windows and doors in a heritage item have been removed and replacement of the new joinery is proposed, the form and detailing of the original windows and/or doors should be reconstructed.	Where the northern hipped portion of the building straddles the boundary between lots 65 and 66 (to be formalised in the subdivision), and is therefore proposed to be demolished, the existing (non-original but sympathetic) north facing windows are proposed to be relocated. They will be included as part of the make good works of the altered northern external wall.	YES✓
	(iii) New dormer and roof windows of a house should preferably be located on rear roof slopes in preference to roof slopes visible from the street.	No new dormer or roof windows.	NA
	(iv) New dormer windows visible from the street must be located to complement the design of the building with proportions and details which do not detract from the significance of the building.	No new dormer or roof windows.	NA
	(vii) New skylights that involve the removal of significant fabric (e.g. decorative plaster ceilings) are generally not supported.	New skylights proposed are located in the rear existing alterations and additions c. 1985, therefore no original or	YES✓

		significant fabric will be affected.	
2.8 Car Parking	B. To ensure that car parking does not compromise the structural integrity of heritage items.	Proposed carparking in existing location and structure.	YES✓
	(i) Garages and carports must be located behind the front building line.	Proposed carparking in existing location and structure. This is a garage located behind the front building line.	YES✓
	(ii) Garages should not be incorporated into the front façade of a heritage item.	No garage incorporated into the front façade.	YES✓
	(iii) Where a new garage or carport is on the same side of a building as a front verandah, the garage or carport must be located entirely behind the verandah.	N/A	NA
	(iv) Applications that propose basement additions are required to provide a Structural Report from a practicing structural and geotechnical engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building as part of the development application.	No basement proposed.	NA
	(v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.	No basement proposed.	NA
	(vi) Refer to the Controls for Garages and Carports in the Residential section of this Development Control Plan for general provisions regarding garages and carports.	No new garage, existing garage to be retained.	YES✓
2.9 Fencing	B. To ensure that new fences and gates are in keeping with the character of the heritage item.	The proposed gates/ fencing are appropriate in scale, style and finish.	YES✓
	C. To ensure that the significance of the heritage item is not diminished by inappropriate fencing	The proposed gates/ fencing do not destroy any original fencing in the property. They are appropriate in scale, style and finish.	YES✓
	(i) Original fencing styles and materials on a heritage item should be repaired and retained where possible.	The front fence is original rough-hewn stone at a low height. This is retained and preserved.	YES✓
	(ii) New fencing and gates to a heritage item should be of a style and scale that is consistent with the style of the building.	New gate proposed in the existing vehicular opening in the front fence on lot 66 is kept to a low height and scale consistent with the heritage fence. New panelled gate proposed in the garden wall c. 1987 to correspond with the style of the dwelling house and the existing panelled gate in the wall c. 1987. New boundary fence between lot 65 and 66 to be a simple panelled style pre-fab PVC fence so as to correspond with without detracting from the simple detailing of the original dwelling house.	YES✓
	(iii) Unless evidence is provided to establish a greater height, solid fencing (i.e. brickwork/stone) forward of the	No change to the front stone fence.	YES✓

	building line should not be greater than 1m in height above the adjacent public footpath level.		
	(iv) Unless evidence is provided to establish a greater height, fencing forward of the building line, constructed of material such as timber pickets, metal pickets or wrought metal panels or a combination of masonry and one of the above materials, should not be greater than 1.5m in height above the adjacent public footpath level.	No change to the front stone fence.	NA
	(v) Original face brick or sandstone fencing to a heritage item should not be painted.	Sandstone fencing unpainted.	YES✓
	(vi) For front boundaries where there is no existing front fence or the existing fence is not contemporary with the Heritage Item, a new low fence should be constructed. Materials used for front fencing of Heritage Items should be similar to those of the building or those for which there is historical evidence.	N/A	NA
	(vii) Refer to the Controls for Fencing in the Residential section of this Development Control Plan for general provisions regarding fencing.	No change to the front stone fence.	NA
2.10 Landscape Elements Including Paving and Driveways	(i) Original driveways and footpath crossings that relate to a heritage item should not be relocated.	Original driveway and footpath crossings maintained.	YES✓
	(ii) Double driveways and footpath crossings will generally not be permitted for houses listed as heritage items.	No new footpath crossings/ driveways are proposed. The existing and original footpath crossings/ driveway are retained.	YES✓
	(iii) Original or early garden layouts that contribute to the significance of the heritage item should not be altered.	Original driveway and garden layout maintained. The proposed fence on the boundary between lots 65 and 66 proposed to be formalised with the subdivision will divide the original garden layout.	PARTIAL
	(iv) Established trees and shrubs that contribute to the significance of the heritage item should not be removed unless it can be established by an arborist that the health of the tree or shrub is such that it must be removed.	No established trees or shrubs which contribute to the significance of the item (including T4, T6 and T10) will be removed as part of the proposal.	YES✓
	(v) Proposals involving substantial works should consider landscaping the front setback in a manner appropriate to the age and style of the dwelling.	The proposed works include landscaping of front setback. The landscaping is in a manicured/ formal style appropriate to the original Georgian Revival house.	YES✓
2.11 Outbuildings	(i) Outbuildings should be located in the rear yard of heritage items.	Outbuilding located in rear yard.	YES✓
	(ii) Outbuildings should be single storey and designed so that they have negligible if any impact on important views of heritage items.	Single storey outbuilding, does not impact important views of the heritage item.	YES✓
	(iii) Outbuildings must not be greater in height or bulk than the heritage item.	Outbuilding is not greater in height or bulk. It is single storey (compared to two storey house).	YES✓
2.12 Modern Technologies	A. To ensure that modern technologies do not impact on important views of heritage items	No new modern technologies including solar panels AC units proposed.	YES✓
2.13 Demolition	(i) Buildings that are listed as heritage items or contribute to the significance of a heritage item shall not be demolished.	Demolition of the building is not proposed, despite the	YES✓

		conclusion of the Urbis Heritage Report.	
	(ii) Applications for the demolition of a heritage item must be accompanied by a Demolition Report. The report is to provide details of the heritage significance of the heritage item and is to address the applicable matters within this Part of the DCP. Plans of the replacement development are to be submitted with any application for demolition. Note: Submitting the documentation to seek approval to demolish a heritage item or contributory item does not imply that approval will be granted. Council may seek independent advice on aspects of any application for demolition.	Demolition of the building is not proposed, despite the conclusion of the Urbis Heritage Report.	YES✓
	(iii) Partial demolition of heritage items may be possible subject to the merits of the proposal. Partial demolition of a heritage item may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the heritage item.	Partial demolition of the original dwelling is proposed. The north projecting portion of the property which straddles the boundary between lots 65 and 66 must be removed as part of the subdivision works.	YES✓
	(iv) Outbuildings associated with heritage items can only be demolished where a Statement of Heritage Impact has established that the outbuilding does not contribute to the heritage significance of the place and the demolition does not impact on the significance of the heritage item.	Existing outbuildings, the gazebo and pool equipment are of late and inferior construction, and are without integrity.	YES✓
	(v) Where demolition is allowed, a photographic record of the building must be prepared for the site and submitted to Council prior to the commencement of the demolition works.	A digital photographic record can be submitted as part of the CC.	YES✓
2.14 Subdivision	(i) Subdivision of an allotment that includes a heritage item will not be approved unless it can be demonstrated in a Statement of Heritage Impact that an adequate curtilage of the heritage item is retained.	It is proposed that adequate curtilage be maintained should the subdivided lot 65, no 19 be developed.	YES✓
	(ii) Subdivision of land that includes a heritage item will not be allowed unless it can be established in a Statement of Heritage Impact that proposed or future development on the created allotments will not impact on important views to or from the heritage item.	Important views of the east (front) façade continuing to the corner of the east and north facades as seen through a large and well landscaped front setback will be maintained with the proposed works.	YES✓

The primary issues of partial compliance are discussed in more detail below:

Circular Driveway and front landscaping layout

The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them. In the same way, the front landscaping layout and all existing trees are maintained and protected as part of the proposed works, however, the continuous and generous front setback will be divided into two with the construction of the boundary fence.

This is necessary as part of the subdivision of 19 and 21 South Street, with the formalisation of the existing boundary line between lots 65 and 66. It is suggested that with the retention and protection of the front fence and existing trees/landscaping across both lots, along with the preservation and restoration of the landscaped setting for the dwelling house at lot 66 as part of the proposed works, that adequate reference to the original double lot will remain.

Demolition

Demolition of the north hipped projection (ground floor study and first floor study 2) is proposed. This would include the demolition of two original windows and two non-original windows, as well as the re-location of two non-original windows (the ground floor bay window c. 1985 and the first floor infill window c. 1981). It would also include the demolition of the projecting hipped roof planes. The removal of this portion impacts the articulation of the rear-side corner of the house.

The demolition is necessary as part of the subdivision of 19 and 21 South Street, with the formalisation of the existing boundary line between lots 65 and 66. Whilst the majority of the existing dwelling house is located on lot 66 at 21 South Street, this north hipped projection crosses the boundary between the two lots.

This demolition occurs in a portion of the original house which has already been altered, the ground floor with the addition of the bay window in c. 1985 and the first floor with the infill of the former balcony terrace in c. 1981. Consequently neither space currently retains its original character.

The rest of the northern side elevation is retained and restored including the original chimney and original fenestration. The proposed demolition occurs well setback from the front building line, at the rear corner of the dwelling house.

The new portion of the external wall, in the location where the northern hip is proposed to be demolished, is intended to keep in character with and complement the original dwelling house whilst still being subtly discernible. The existing north facing ground floor bay and first floor infill windows will be relocated as part of this new wall. The wall finish itself will be of the same paint colour as the rest of the existing house, but a rougher render texture, with a vertical shadow line marking the junction of original and alteration.

Curtilage

The current prominence of the east (front) façade as well as the corner between the east and north (side) facades will only be partially affected by the proposed boundary fence positioned along the existing boundary between lots 65 and 66. The most important aspect of the curtilage for the original dwelling house is the generous landscaped front setback which provides a softened, partially obscured view of the house from the streetscape. This front setback is retained with the proposal. The other important aspects of the house are of the two front corners, with visibility down the side setbacks of the property. The south-east corner is not affected by the proposed works. The north-east corner is necessarily affected, however, with subdivision of the currently undeveloped lot 65 from the dwelling house on lot 66 and the construction of a boundary fence between them. Consequently, views of the northern side façade as a whole are reduced but the north-east corner remains visible and prominent due to the large landscaped front setback.

5.0 ASSESSMENT OF IMPACT

5.1 MEASURES TO MINIMISE IMPACT

The previous proposal submitted with DA2019/085 was rejected by the local planning panel in November 2019. This was the client's preferred option of a combined and holistic development consisting of a new wing of two storey alterations and additions. However, the feedback from the Local Planning Panel meeting lead to an enormous design revision to minimise the impact of the works. Consequently, with the design presented as part of this DA, measures have been made to better preserve the dwelling house and limit the dominance of any alterations and additions. This was primarily achieved by proposing a subdivision of the site which allows the value of the unencumbered northern lot to be maximised while the dwelling house located on the southern lot 66 is restored and preserved in the manner in which it was accustomed along with minor refurbishments at the rear to ensure its continued use as a private home.

5.2 CONCLUSION

The proposal is considered sympathetic to the heritage objectives of Strathfield Council, as well as the heritage items in the vicinity. It preserves the existing heritage dwelling house in terms of use, style, character, form and materials, allowing its continuing positive contribution to the streetscape and the surrounding locality. The proposal is supported and is presented to Council for support and approval.

6.0 RECOMMENDATIONS

After consideration of the above reasoning and the conclusion so formed, the following recommendations are made:

- a) Experienced tradespersons (as appropriate) are to be commissioned who are skilled in traditional building and engineering trades to carry out the restoration and alteration work;
- b) Paint colours, textures and roofing should be of suitable traditional colours as proposed to ensure the heritage integrity of the item;
- c) Care should be taken in the selection of materials – specifically the colours, finishes, detail and workmanship.

Patrick O'Carrigan and Emily Flanagan

Patrick O'Carrigan + Partners Pty Ltd

7.0 ATTACHMENTS

The Statement of Environmental Effects for the subject property prepared by POC+P Architects P/L.

8.0 REFERENCES

- Strathfield Council Draft Heritage Inventory Listing, December 2005, *Draft Local Environmental Plan No. 105 (Heritage)*.
- Mitchell Library Architectural Drawings Collection
- Apperly R., Irving R., Reynolds P., 1989, *A Pictorial Guide in Identifying Australian Architecture: Styles and terms from 1788 to the Present*. Angus and Robertson Publishers.
- M & I Stapleton, 1997, *Australian House Styles – Illustrated guide 1788 to Present*.
- Jones C., 2003, *Strathfield Heritage Tours 2003*.
- Henderson, C A., 'Sydney to Homebush', Royal Australian Historical Society Journal and proceedings Volume VIII supplement, 1923
- Jones, C., *Aboriginal History of Strathfield district*, on <http://strathfieldheritage.org/placenames/aboriginal-history-of-strathfield-district/>
- [https://strathfieldheritage.org/2017/03/30/know-your-street-redmyre-road-stathfield/by Cathy Jones, 30/03/2017](https://strathfieldheritage.org/2017/03/30/know-your-street-redmyre-road-stathfield/by-Cathy-Jones-30/03/2017).
- Australia ICOMOS, *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*, Australia ICOMOS, Burwood, 1999.
- *Design in Context: Guidelines for Infill in the Historic Environment, Parramatta*: Heritage Office, NSW Department of Planning in association with Royal Australian Institute of Architects, 2005.
- NSW Department of Lands 2010, Spatial Information Exchange, Land and Property Management Authority, Sydney, available at <http://imagery.maps.nsw.gov.au>.
- NSW Heritage Office and Department of Planning and Infrastructure, NSW Heritage Manual, Heritage Office and Department of Planning and Infrastructure, Sydney, 1996.

STATEMENT OF ENVIRONMENTAL EFFECTS

Proposed Restoration and Subdivision of a Local Heritage Item

19-21 South Street, Strathfield

On behalf of

Magdaline Mouawad



POC+P
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June 2020

Issue	Description	Date	Initial
A	For Client	04/04/19	PO'C
B	For DA	23/05/19	PO'C
C	For DA	02/07/20	PO'C

1.0 INTRODUCTION

This report is submitted to Strathfield Council in support of a development application seeking consent for the restoration and subdivision of an existing local Heritage item. The subject site is 19-21 South Street, Strathfield, a two storey dwelling on a large site, legally known as Lots 65+66 DP 8778. It is proposed to be split into 19 South Street with Lot 65 DP 8778 and 20 South Street with Lot 66 DP 8778.

The existing site conditions are described in Section 2.

A previous DA submission, DA2019/085, was rejected by the local planning panel in November 2019. This scheme encompassed the site as a whole and sought to add a two storey addition to the existing heritage house. Following the rejection of this previous proposal, the client decided to pursue a subdivision of the site, to retain more of the original fabric of the heritage building and minimise the impact on the character of the area and amenity of adjoining dwellings. A detailed description of the proposal is provided under Section 3.

The site is zoned Low Density Residential as shown in the Strathfield Local Environmental Plan (SLEP) 2012 Zoning Map. The statutory planning framework has been considered in Section 4.

This report also provides an assessment of the proposed development under the provisions of Section 79c of the Environmental Planning and Assessment Act, 1979 and relevant environmental planning instruments and development control plans:

- Environmental Planning and Assessment Act 1979 (as amended) and the Environmental Planning and Assessment Regulations (2000)
- Strathfield Council Local Environmental Plan 2012
- Strathfield Consolidated Development Control Plan 2005

A summary of the assessment of the proposal and issues identified are contained in Section 4.

Construction matters are detailed in Section 5.

This Statement of Environmental Effects should be read in conjunction with the following information:

- Architectural Plans - prepared by POC+P Pty Ltd – July 2020
- Heritage Assessment – prepared by Urbis - 2019
- Heritage Impact Statement - prepared by POC+P Pty Ltd – July 2020
- BASIX Certificate- prepared by POC+P Pty Ltd – July 2020
- Waste management plan - prepared by POC+P Pty Ltd – July 2020
- Finishes schedule - prepared by POC+P Pty Ltd – July 2020
- Landscape Plan - prepared by Ecoscapes Pty Ltd – June 2020
- Stormwater Concept diagram - prepared by Alpha Engineering Pty Ltd – June 2020

2.0 EXISTING CONDITIONS

2.1 LOCAL AND REGIONAL CONTEXT

The site is located in the south western part of Strathfield on a ridge between Strathfield and Freshwater Parks.

This area was developed following subdivision of the Redmire Estate in 1867 and subsequent subdivision in 1918 and 1924. A variety of architectural styles reflect the various eras of development in the area. Dating from as early as the 1880s, dwellings in Strathfield are characterised by a combination of one and two storey homes some of which are 19th century houses (detached) alongside predominantly 20th century houses (cottages, bungalows and two storeys). The immediate area also features a substantial number of contemporary dwellings and additions.

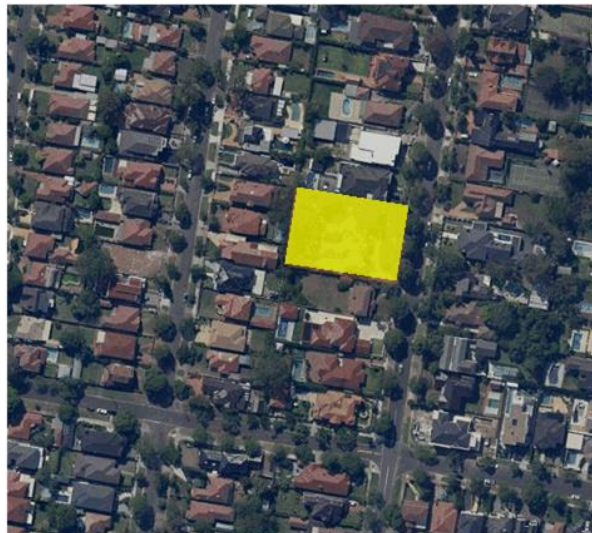


Figure 1: Aerial View of 19-21 South Street
Source: Six Maps



Figure 2: Aerial View of 19-21 South Street
Source: Maps

2.2 THE SITE

19-21 South Street, Strathfield

POC+P Architects

May 2019 B - SEE 2

The site is located at 19-21 South Street, Strathfield and comprises of Lot 65+66 in Deposited Plan (D.P)8778. The subject site is an almost square block of 2426.6m² with a frontage of 40.225m to South Street on the eastern side. The site slopes about two meters towards the rear boundary, from east to west.

The site is occupied by a two storey listed house on Lot 66, c. 1940s, which has been extensively altered, especially internally and along the side and rear boundaries. These alterations undertaken by the previous owners, the Laundys date from the c. 1970s-80s and include a new single storey rear addition, covered rear terrace, infill of existing balcony, four car garage, tennis court, swimming pool, gazebo, garden fence/ gate and driveway re-configuration.

The site has a generous front setback and noteworthy landscaping which contributes to its character. The rear of the site is dominated a forest gum with a 25m spread and 21m height, and a screening hedge of lillipilli.

2.3 SITE CONTEXT PHOTOGRAPHS



Figure 3: Street View Facing North
Source: Google Maps



Figure 4: Street View Facing South
Source: Google Maps



Figure 5: Subject Site View from Street
Source: Google Maps



Figure 6: Fence at Vehicular Entrance Facing South
Source: Urbis

Figure 7: Phases of Development Ground Floor Plan
Source: POC+P Pty Ltd 2019



Figure 9: Subject Site Facing West
Source: POC+P Architects

Figure 8: Phases of Development Ground Floor Plan
Source: POC+P Pty Ltd 2019



Figure 10: Subject Site Facing South-West
Source: POC+P Architects



Figure 11: Subject Site Facing South
Source: Urbis



Figure 12: Subject Site Facing North
Source: POC+P Architects



Figure 13: Rear Family Room + Verandah Extension c. 1980s
Source: POC+P Architects



Figure 14: Swimming Pool, Tennis Court and Gum Tree
Source: POC+P Architects 2018



Figure 15: Front Door
Source: POC+P Architects



Figure 16: Internal Staircase
Source: POC+P Architects



Figure 17: Living 2 c. 1940s
Source: POC+P Architects



Figure 18: Study + Bay Window c. 1985
Source: POC+P Architects



Figure 19: Country Form Kitchen + Rear Extension c. 1985
Source: POC+P Architects



Figure 20: Laundry + Bathroom c. 1985
Source: POC+P Architects



Figure 21: Garage c. 1977
Source: POC+P Architects



Figure 22: Study First Floor Verandah Infill c. 1977
Source: POC+P Architects



Figure 23: Bathroom First Floor c. 1977
Source: POC+P Architects



Figure 24: Bedroom First Floor c. 1977
Source: POC+P Architects

2.4 ADJACENT DEVELOPMENTS

The site on all sides has been subject to wholesale redevelopments including new houses and basements, as approved by Council. There are new houses built since the early 2000's on Myrna Avenue that back onto the subject property.

DA No. 2017/082/01: 23 South Street Strathfield - Currently under construction

Demolition of existing structures and construction of a new two (2) storey dwelling with basement parking, in-ground swimming pool and front fence. Construction is currently nearing completion.



Figure 25: 23 South Street, Under Construction
Source: POC+P Architects 2020



Figure 26: 23 South Street, DA Approved Front Elevation, under construction
Source: Strathfield Council

DA No. 2011/98:22 South Street Strathfield - Construction complete

Demolish existing house and associated structures and construct a new two storey dwelling of traditional proportions and features with basement cellar, cabana and swimming pool.



Figure 27: 22 South Street as completed
Source: POC+P Architects

DA No. 304/391:17 South Street Strathfield - Construction complete

Demolish existing dwelling and construct a new two (2) storey dwelling, swimming pool and attached outbuilding/ gazebo, front and side return fences, screen wall on southern boundary facing the courtyard, air-conditioning unit on the southern elevation and the removal of trees.



Figure 28: 17 South Street
Source: POC+P Architects



Figure 29: 17 South Street, View from Subject Site to 17 South
Source: POC+P Architects

3.0 PROPOSED DEVELOPMENT

3.1 DESIGN PHILOSOPHY AND GENERAL DESCRIPTION

The works proposed for 19-21 South Street Strathfield comprise of restoration and minor alterations to the existing dwelling house and subdivision to separate lots 65 and 66. There are both internal and external modifications. The house + grounds are a Local item listed in schedule 5 of the Strathfield LEP 2012.

The site is proposed to be subdivided along the existing boundary line between number 19 (lot 65) and number 20 (lot 66). In order to achieve this, minor demolition is proposed for the portions of the existing dwelling house which straddle the boundary. Finally, restoration of the dwelling house is proposed, including minor alterations to the rear c.1970s-80s additions, as well as a new pool and outbuilding located in the rear garden. The proposed works include the following:

- Demolish existing c. 1977 garage (partially) + wc – entry part retained
- Demolish existing c. 1985 ground floor rear additions (partially) including kitchen fittings and north-facing terrace + pergola – north-facing terrace + pergola partly retained
- Demolish existing c. 1940s north facing hip consisting of ground floor study and first floor study 2
- Relocate existing c. 1985 bay window
- Relocate existing c. 1981 infill study window
- Relocate existing c. 1940s internal sliding door
- Demolish existing c. 1977 tennis court on lot 66
- New vehicular gate + pedestrian pass gate in existing opening in c. 1940s front fence on lot 66
- New pedestrian gate in existing c. 1987 garden wall on lot 66
- New boundary fence between lot 65 and 66
- New c. 1985 balcony extension + awning roof + balustrade/ railing
- New swimming pool and cabana on lot 66
- New WC + pool equipment in existing c. 1977 garage
- New kitchen refurbishment in existing c. 1985 kitchen
- New pantry constructed in part of demolished c. 1977 garage footprint
- New 5x skylights in existing c. 1985 ground floor living area roof
- Renew top sash of existing c. 1940 WC window in fixed glass
- Preserve/protect existing landscaping and landmark trees + new landscaping + lawns
- Preserve/protect existing front fence
- Preserve/protect existing driveway + dual vehicular entries

The clients are long term local residents having previously added to and restored a traditional house in the Strathfield area.

4.0 PLANNING CONTROLS

The following Section assesses the proposal under the relevant planning controls which are:

- Environmental Planning and Assessment Act 1979 (as amended) and the Environmental Planning and Assessment Regulations (2000)
- Strathfield Local Environmental Plan 2012
- Strathfield Consolidated Development Control Plan 2005

4.1 COMPLIANCE WITH ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

79 (C) (1) (a) the provisions of any Environmental Planning Instrument

Strathfield Local Environmental Plan 2012

The subject site is zoned R2 Low Density Residential under the provisions of Strathfield Local Environmental Plan 2012. The proposed new dwelling is permitted with development consent of Council.

Strathfield Development Control Plan 2005

As indicated in the policy in Part A, the proposal complies with the provisions of the DCP.

79C (1) (b) The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

It is considered that the proposed works are unlikely to adversely impact on the amenity of the locality, either natural or built.

Section 79C (1) (c) - The suitability of the site for the development

The proposal is for single residential use of the site. Accordingly, the site is considered suitable with respect to the proposed development.

Section 79C (1) (e) - The public interest

The proposed development is considered satisfactory with respect to objectives and provisions under Strathfield Local Environmental Plan 2012 for the R2 Low Density Residential Zone and the Strathfield Consolidated Development Control Plan 2005.

The proposed development does not create any major environmental impacts in terms of privacy, overlooking, shadowing or landscape cover reduction. Accordingly, it is considered that the proposed development being fully compliant with statutory controls is in the public interest and is recommended for approval.

4.2 COMPLIANCE WITH STRATHFIELD LEP 2012

As the site is located within an R2 - low density residential zone, the proposed dwelling has been assessed under the relevant controls within Part 4 - Principal Development Standards of the Strathfield Local Environmental Plan 2012.

4.3 - Height - SLEP 2012

Clause 4.3 relates to the height of buildings and is relevant to the proposal.

The Height of Buildings Map identifies a maximum building height of 9.5m applicable to the subject site.

Lot 65: No built structures. No Change.

Lot 66: The proposed restoration and alterations do not change the building height of the existing dwelling house. All proposed external alterations are single storey and located at the rear.

4.4 - Floor Space Ratio - SLEP 2012

Clause 4.4 relates to floor space ratio (FSR) and is relevant to the proposal.

The Floor Space Ratio Chart identifies a maximum FSR of 0.5:1 applicable to the subject site.

Lot 65: No built structures. No Change.

Lot 66: The proposed FSR is 0.34:1 and therefore complies

5.10 - Heritage Conservation - SLEP 2012

Clause 5.10 relates to heritage items and is relevant to the proposal.

The subject site is a Heritage Item (I196) of local significance. Please refer to the accompanying Heritage Impact Statement prepared by Patrick O'Carrigan and Partners Pty Ltd in July 2020.

Summary of Compliance with Strathfield LEP 2012

STRATHFIELD LEP 2012 CONTROLS				
Clause	Existing	Proposed	Control	Complies
Land Zoning	R2	R2	R2 (Low Density Residential)	YES
Lot Size	2426.6m ²	Lot 65: 1213.1m ² Lot 66: 1213.5m ²	560m ² (min)	YES
Height of Buildings	9.3m	Lot 65: 0m Lot 66: 9.3m	9.5m	YES
Floor Space Ratio	472.4m ² :2426.6m ² 0.195:1	Lot 65: 0m ² :1213.1m ² 0.0:1 Lot 66: 409m ² :1213.5m ² 0.34:1	0.5:1	YES
Heritage Item	I196 Georgian Revival House and Garden	I196 Georgian Revival House and Garden	Local item 196	YES (Refer to Urbis Heritage Assessment)
Acid Sulphate Soil	N/A	N/A	Class 5	YES
Flooding	N/A	N/A	N/A	YES

4.3 COMPLIANCE WITH STRATHFIELD DCP 2005

Part A - Dwelling Houses and Ancillary Structures

4.2.1 - Floor Space Ratio - SDCP 2005

Clause 4.2.1 relates to floor space ratio and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed floor space ratio complies with the control indicated in the SLEP. The size and bulk of the proposed alterations and additions are minimal, with the proposed Gross Floor Area reduced compared to the existing dwelling. This is largely due to a reduction in the garage size, from four cars to two cars.

4.2.2 - Building Height - SDCP 2005

Clause 4.2.2 relates to building height and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed restoration and alterations do not change the building height of the existing dwelling house. The building height is 9.3m above NGL, which is less than the maximum control of 9.5m.

The proposed outbuilding is 3.4m above NGL. This complies with the maximum control of 3.5m.

4.2.3.1 - Street Setbacks - SDCP 2005

Clause 4.2.3.1 relates to street setbacks and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed alterations and additions make no change to the existing front setback of 18.2m. No additions are proposed forward of the existing building line.

4.2.3.2 - Side and Rear Setbacks - SDCP 2005

Clause 4.2.3.2 relates to side and rear setbacks and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed side setbacks are a minimum of 1.17m to the south boundary and 1.13m to the north boundary. This creates a combined side setback of 9%. These setbacks comply with neither council's minimum control of a 1.2m setback, nor councils minimum combined setback of 20%. However, these setbacks are generated from the existing building footprint. No new works are proposed on the side boundary, only at the rear. Furthermore, the minimum side setbacks of the dwelling house (not the rear verandah or rear garage) are 4.06m and 1.33m. This creates a combined side setback of 26%.

The proposed rear setback is 18.0m, which is greater than the required minimum of 6.0m and therefore complies with Council's controls. The proposed setbacks are considered worthy of Council's support.

5.2.1 - Landscaped Area - SDCP 2005

Clause 5.2.1 relates to landscaped area and is relevant to the proposal.

Lot 65: No Change

Lot 66: The existing landscape area is 369m². The proposed landscape area is 471m², or 39%. Therefore, the proposed restoration and alterations improve on the landscaped area of the existing dwelling house by 102m², this is largely due to the removal of the tennis court and reduction of hard paved areas. However, this is less than the required minimum of 45%. In order to achieve the required landscaped area, the existing curved driveway could be reduced. However, it is argued that the negative heritage impact of this outweighs the need for additional landscaped area.

The existing landscape area located behind the building line is 150m². The proposed landscape area located behind the building line is 252m² (an improvement of 102m²). This is a proposed 46% of the minimum landscape area, which is less than the minimum 50%. The unusually large landscaped front setback of 18.2m limits the ability to comply with the rear landscape area requirements. The dwelling house is located a further 8.6m behind the front building line of the two adjoining neighbours.

The proposed front garden deep soil landscaping area is 220m², or 61%, and therefore complies with the minimum 50%.

5.2.3 - Private Open Space - SDCP 2005

Clause 5.2.3 relates to private open space and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed restoration and alterations include generous private open space directly accessible from the living spaces along the rear of the dwelling house. The private open space includes a 48m² paved terrace and approximately 200m² of deep soil lawn area stepped to the slope of the site. Screening trees are maintained along the west (rear) boundary to ensure maximum privacy. The proposed private open space has maximum amenity and meets Council's requirements. The provision of private open space is considered worthy of Council's support.

5.2.4 - Fencing - SDCP 2005

Clause 5.2.4 relates to fencing and is relevant to the proposal.

A new pre-fab panel PVC fence is proposed along the boundary between Lot 65 and Lot 66.

Lot 66: The existing heritage front fence will be retained and cleaned. In the existing vehicular opening is proposed a new vehicular gate. This will be aluminium, heritage style, paint finish.

9.2 - Altering Natural Ground Level (Cut and Fill) - SDCP 2005

Clause 9.2 relates to cut and fill and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed restoration and additions include some fill in order to step the rear outdoor area down the natural slope of the site. The proposed fill does not exceed 0.45m above NGL. This is less than the maximum 1m and therefore complies.

12.2.2 - Outbuildings - SDCP 2005

Clause 12.2.2 relates to outbuildings and is relevant to the proposal.

Lot 65: No Change

Lot 66: A proposed open cabana located at the rear of the site, beside the proposed swimming pool. It is non-habitable. It is 14m² and has a minimum boundary setback of 4.7m.

12.2.6 - Swimming Pools - SDCP 2005

Clause 12.2.6 relates to swimming pools and is relevant to the proposal.

Lot 65: No Change

Lot 66: The proposed alterations and additions include a swimming pool located in the rear. The pool is setback a minimum of 1m from the adjacent boundary, with soft landscaping in the setback. The proposed pool fence is 1.2m high and complies with AS.1926.1-2012 and Swimming Pool's Regulation 2018. The pool filter is located in an enclosed room as part of the existing garage, it is designed to meet acoustic and visual requirements.

Part P - Heritage

The subject site is a Heritage Item (I196) of local significance. Please refer to the accompanying Heritage Impact Statement prepared by Patrick O’Carrigan and Partners Pty Ltd June 2019.

Part R - Subdivision

2.2.1 – Minimum Lot Size - SDCP 2005

Clause 2.2.1 relates to minimum lot size and is relevant to the proposal.

The proposed lot sizes following subdivision are:

Lot 65: 1213.1m², this is greater than the minimum lot size of 560m² and therefore complies.

Lot 66: 1213.5m², this is greater than the minimum lot size of 560m² and therefore complies.

3.1 – Residential Subdivision - SDCP 2005

Clause 3.1 relates to residential subdivision and is relevant to the proposal.

The proposed lot widths following subdivision are:

Lot 65: 20.1m, this is greater than the minimum lot width of 15.24m and therefore complies.

Lot 66: 20.1m, this is greater than the minimum lot width of 15.24m and therefore complies.

Summary of Compliance with Strathfield DCP 2005

STRATHFIELD DCP 2005 CONTROLS– A: DWELLING HOUSES AND ANCILLARY STRUCTURES				
Clause	Existing	Proposed	Control	Complies
2.2.1 Streetscape Presentation	Orientated to front Clear entry	Oriented to front Clear entry	Complement and reflect existing streetscape	YES
2.2.2 Scale, Massing and Rhythm of Street	Reflects street rhythm	Reflects street rhythm	Maintain height, scale and character of streetscape	YES
2.2.3 Building Forms	Articulated and stepped facades 18.2m Setback	Articulated and stepped facades 18.2m Setback	Articulate form	YES
2.2.4 Architectural Detailing	Pitched hip and gable roof Rendered facade	Restore, no change	Roof pitch, material and colour similar to immediate streetscape Materials compatible with existing dwelling and adjoining houses	YES
4.2.2 Building Height	9.3m N/A 2 stories	No Change 3.4m No Change	9.5m (max dwelling houses) 3.5m (max outbuildings) 2 stories (max height)	YES YES YES
4.2.3.1 Street Setbacks	18.2m Front Setback	Lot 65: No Change Lot 66: 18.2m Front Setback	9m (min primary setback)	YES

4.2.3.2 Side + Rear Setbacks	4.9m+21.6m = 66% 0.3m; 19.0m 18.5m	Lot 65: No Change Lot 66: 1.17m+1.13m = 9% 1.17m; 1.13m 18.0m	20% block width (combined side setback) 1.2m (min side setback) 6m (min rear setback)	NO NO YES
5.2.1 Landscaped Area	Lot 65: No Change Lot 66: 369m ² 150m ² 220m ²	Lot 65: No Change Lot 66: 471m ² =39% 252m ² =46% 220m ² =61%	45% (min landscaped area) 50% behind building line (min) 50% of front garden deep soil (min)	YES NO NO YES
5.2.3 Private Open Space	Lot 65: No Change Lot 66: >200m ² located at rear >3m min width	Lot 65: No Change Lot 66: >200m ² located at rear >3m min width	Located at rear 3m (min width) 500mm above NGL (min deck height)	YES
5.2.4 Fencing	Stone wall 0.7m high with 1.0m high piers (approx)	Existing stone wall + new vehicular gate New boundary fence between lots 65+66	1.5m (max fence height) 0.7m (max solid fence height)	YES
9.2 Cut + Fill	N/A N/A	<0.45m above NGL No overlooking	1m above NGL (max) No overlooking neighbours	YES
12.2.2 Outbuildings	N/A	4.7m setback N/A (open)	0.5m setback(min) 40m ² gfa (max)	YES
12.2.6 Swimming Pools	N/A	1m setback + landscaping Enclosed equipment	1m setback with deep soil landscaping (min) Enclose pool equipment	YES

5.0 CONSTRUCTION

Part A SDCP 2005 - Waste

Normal domestic waste collection is proposed for both 19 South Street on lot 65 and 21 South Street on long 66. Solo recycling bins and rubbish bins will be stored out of sight behind the building line in the side setback and brought to the kerb side on South Street for collection.

Erosion and barriers

The construction method and perimeter barriers will obviate the need to ensure that no muddy water or sedimentation leaves the site during construction.

Fire safety

The dwelling is proposed to be fitted with mains smoke and fire alarm systems as per AS12239-2004: Fire Detection + Alarm Systems – Smoke Alarms (ISO 12239:2003, mod).

Energy efficiency

The design takes advantage of passive and active solar aspects leading to greater energy efficiency for occupants and lower energy consumption and greenhouse gas emissions. Insulation and shading will be incorporated as per the BASIX Certificate.

Accessibility

There is no change to the pedestrian or vehicular site access. The site is accessible by both pedestrians and vehicles. The path to the entry is appropriately paved and graded.

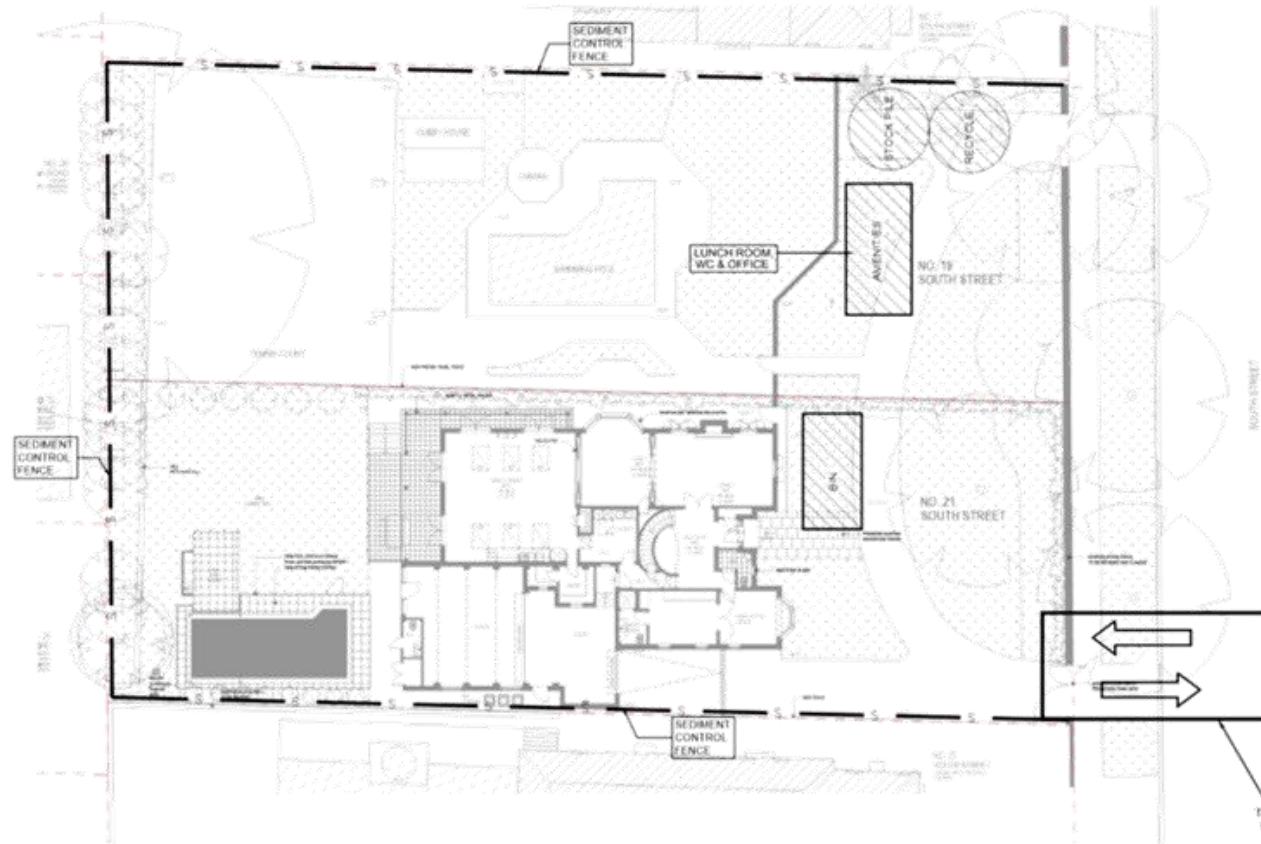
6.0 CONCLUSION

The proposed subdivision, restoration and alterations and additions to the heritage item preserve the character of the property and maintain the rhythm of the streetscape. They do not adversely affect the amenity of neighbouring properties. The proposal is considered worthy of Council support.

Patrick O'Carrigan + Partners Pty Ltd

Emily Flanagan

B. Des. Arch. (USYD)



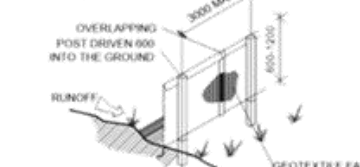
SEDIMENT & EROSION CONTROL PLAN
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SEDIMENT AND EROSION CONTROL NOTES

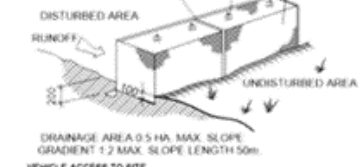
SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION. A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAY OVER NEEDLE PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS. THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS. THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE. SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAKE PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000mm INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL. ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING. **SOIL CONSERVATION NOTE** PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE SEDIMENT FENCE, SEDIMENT TRAP AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE. MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION AND CLEAR THE SEDIMENT TRAP AFTER EACH STORM. **SEDIMENT TRAP** 1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.



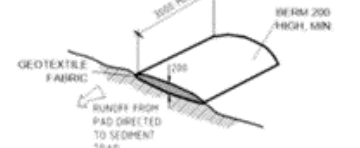
SEDIMENT FENCE PROVIDE SEDIMENT FENCE ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.



STAKES DRIVEN 600 INTO THE GROUND WITH FIRST STAKE ANGLED TOWARDS PREVIOUSLY Laid BALE. GEOTEXTILE FILTER FABRIC FASTEN ON TOP EDGE.



VEHICLE ACCESS TO SITE VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNLESS NOTED OTHERWISE. NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS. ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK. DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED. ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION. EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL. ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL. ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRASS AND GRANDED AREAS AND ROAD PAVEMENTS UNLESS DIRECTED OTHERWISE. CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 'STORMWATER DRAINAGE' & AS/NZS 3500.3.2 1998 'STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS'.

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF 100mm SW GRADE UPVC OR 100mm COLORBOND/ZINCALUME STEEL UNO.

SOIL COLORBOND OR ZINCALUME STEEL GUTTERS SHALL BE A MINIMUM OF 400 WIDE X 150 DEEP.

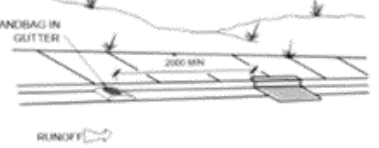
EAVES GUTTERS SHALL BE A MINIMUM OF 75 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

BUILDING MATERIAL STOCKPILES ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



SANDBAG KERB SEDIMENT TRAP IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



CONCEPT PLAN DA

REVISION	AMENDMENT	ISSUE DATE
B	ISSUED FOR DA	25-06-2020
A	ISSUED FOR COORDINATION - FIRST DRAFT	23-06-2020



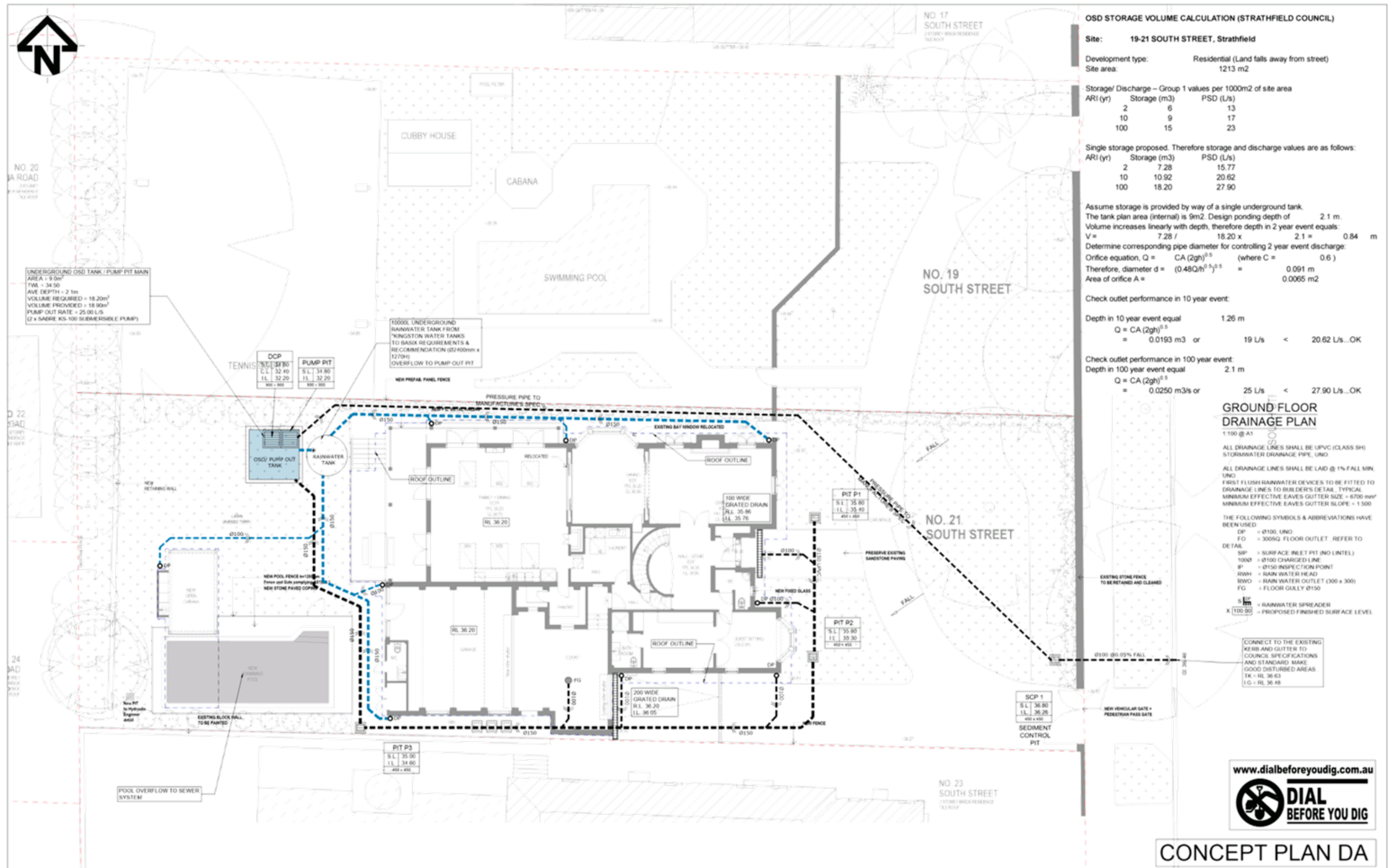
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PROJECT
 PROPOSED DEVELOPMENT
 19-21 SOUTH STREET
 STRATHFIELD, NSW

DRAWING TITLE SEDIMENT AND EROSION CONTROL PLAN		
SCALES AS SHOWN	DESIGNED KP	DRAFTED KP
DRAWING NO. A20115 - SW01	APPROVED JM	REVISION B

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OSD STORAGE VOLUME CALCULATION (STRATHFIELD COUNCIL)

Site: 19-21 SOUTH STREET, Strathfield

Development type: Residential (Land falls away from street)

Site area: 1213 m²

Storage/ Discharge – Group 1 values per 1000m² of site area

ARI (yr)	Storage (m3)	PSD (L/s)
2	6	13
10	9	17
100	15	23

Single storage proposed. Therefore storage and discharge values are as follows:

ARI (yr)	Storage (m3)	PSD (L/s)
2	7.28	15.77
10	10.92	20.62
100	18.20	27.90

Assume storage is provided by way of a single underground tank.
 The tank plan area (internal) is 9m². Design ponding depth of 2.1 m.
 Volume increases linearly with depth, therefore depth in 2 year event equals:
 $V = 7.28 / 18.20 \times 2.1 = 0.84 \text{ m}$
 Determine corresponding pipe diameter for controlling 2 year event discharge:
 Orifice equation, $Q = CA(2gh)^{0.5}$ (where C = 0.6)
 Therefore, diameter $d = (0.48Q/h^{0.5})^2 = 0.091 \text{ m}$
 Area of orifice $A = 0.0065 \text{ m}^2$

Check outlet performance in 10 year event:

Depth in 10 year event equal 1.26 m
 $Q = CA(2gh)^{0.5} = 0.0193 \text{ m}^3/\text{s}$ or 19 L/s < 20.62 L/s...OK

Check outlet performance in 100 year event:

Depth in 100 year event equal 2.1 m
 $Q = CA(2gh)^{0.5} = 0.0250 \text{ m}^3/\text{s}$ or 25 L/s < 27.90 L/s...OK

GROUND FLOOR DRAINAGE PLAN
 1:100 @ A1

ALL DRAINAGE LINES SHALL BE UPVC (CLASS SH) STORMWATER DRAINAGE PIPE, UNO.

ALL DRAINAGE LINES SHALL BE LAID @ 1% FALL MIN. UNO.

FIRST FLUSH RAINWATER DEVICES TO BE FITTED TO DRAINAGE LINES TO BUILDER'S DETAIL, TYPICAL MINIMUM EFFECTIVE EAVES GUTTER SIZE = 6700 mm² MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500

THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:

- OP = Ø100 UNO
- FO = 300SQ FLOOR OUTLET REFER TO DETAIL
- SIP = SURFACE INLET PIT (NO INTEL)
- 1000 = Ø100 CHARGED LINE
- IP = Ø150 INSPECTION POINT
- RWH = RAIN WATER HEAD
- RWO = RAIN WATER OUTLET (300 x 300)
- FG = FLOOR GULLY Ø150
- RSP = RAINWATER SPREADER
- X 100.00 = PROPOSED FINISHED SURFACE LEVEL

CONNECT TO THE EXISTING KERB AND GUTTER TO COUNCIL SPECIFICATIONS AND STANDARD MAKE GOOD DISTURBED AREAS
 TK = RL 36.63
 LG = RL 36.48



CONCEPT PLAN DA

REVISION	AMENDMENT	ISSUE DATE
B	ISSUED FOR DA	25-06-2020
A	ISSUED FOR COORDINATION - FIRST DRAFT	23-06-2020

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PROJECT

PROPOSED DEVELOPMENT
 19-21 SOUTH STREET
 STRATHFIELD, NSW

DRAWING TITLE

GROUND FLOOR DRAINAGE PLAN

SCALES	DESIGNED	DRAFTED
AS SHOWN	KP	KP
DRAWING NO.	APPROVED	REVISION
A20115 - SW02	JM	B



FIRST FLOOR DRAINAGE PLAN

1:100 @ A1
 ALL DRAINAGE LINES SHALL BE UPVC (CLASS SH) STORMWATER DRAINAGE PIPE, UNO.
 ALL DRAINAGE LINES SHALL BE LAID @ 1% FALL MIN UNO. FIRST FLUSH RAINWATER DEVICES TO BE FITTED TO DRAINAGE LINES TO BUILDER'S DETAIL. TYPICAL MINIMUM EFFECTIVE EAVES GUTTER SIZE = 6700 mm²
 MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500
 THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:
 DP = Ø100 UNO
 FO = 300SQ FLOOR OUTLET, REFER TO DETAIL
 SP = SURFACE INLET PVT (NO LINTEL)
 1000 = Ø100 CHARGED LINE
 IP = Ø150 INSPECTION POINT
 RWH = RAIN WATER HEAD
 RWO = RAIN WATER OUTLET (300 x 300)
 FG = FLOOR GULLY Ø150
 $\frac{5}{100}$ = RAINWATER SPREADER
 $\frac{5}{100.00}$ = PROPOSED FINISHED SURFACE LEVEL

ROOF DRAINAGE PLAN

1:100 @ A1
 ALL DRAINAGE LINES SHALL BE UPVC (CLASS SH) STORMWATER DRAINAGE PIPE, UNO.
 ALL DRAINAGE LINES SHALL BE LAID @ 1% FALL MIN UNO. FIRST FLUSH RAINWATER DEVICES TO BE FITTED TO DRAINAGE LINES TO BUILDER'S DETAIL. TYPICAL MINIMUM EFFECTIVE EAVES GUTTER SIZE = 6700 mm²
 MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500
 THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:
 DP = Ø100 UNO
 FO = 300SQ FLOOR OUTLET, REFER TO DETAIL
 SP = SURFACE INLET PVT (NO LINTEL)
 1000 = Ø100 CHARGED LINE
 IP = Ø150 INSPECTION POINT
 RWH = RAIN WATER HEAD
 RWO = RAIN WATER OUTLET (300 x 300)
 FG = FLOOR GULLY Ø150
 $\frac{5}{100}$ = RAINWATER SPREADER
 $\frac{5}{100.00}$ = PROPOSED FINISHED SURFACE LEVEL



CONCEPT PLAN DA

REVISION	AMENDMENT	ISSUE DATE
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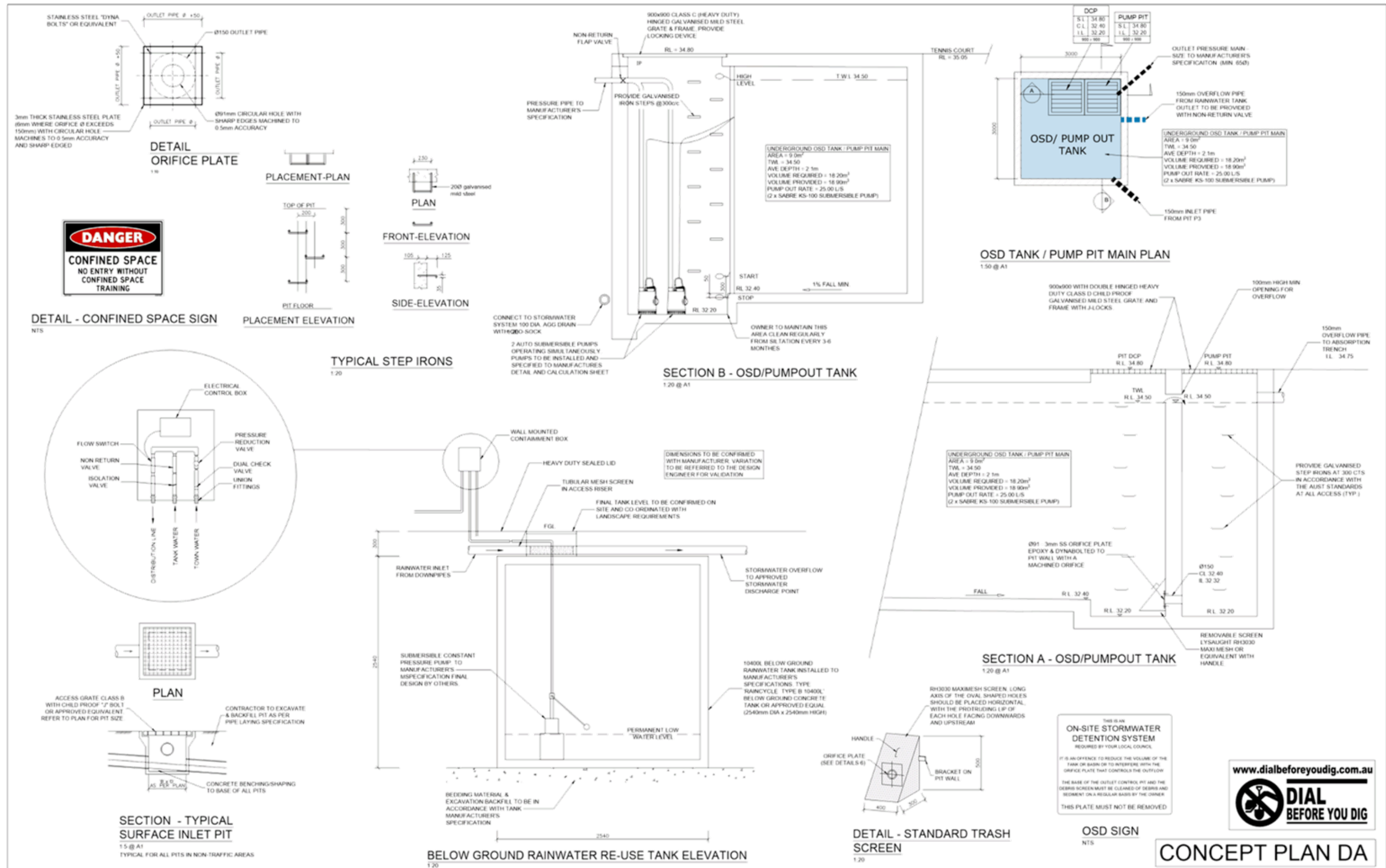
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PROJECT

PROPOSED DEVELOPMENT
19-21 SOUTH STREET
STRATHFIELD, NSW

DRAWING TITLE		
FIRST FLOOR & ROOF DRAINAGE PLAN		
SCALES	DESIGNED	DRAFTED
AS SHOWN	KP	KP
DRAWING NO.	APPROVED	REVISION
A20115 - SW03	JM	B



REVISION	AMENDMENT	ISSUE DATE
B	ISSUED FOR DA	25-06-2020
A	ISSUED FOR COORDINATION - FIRST DRAFT	23-06-2020

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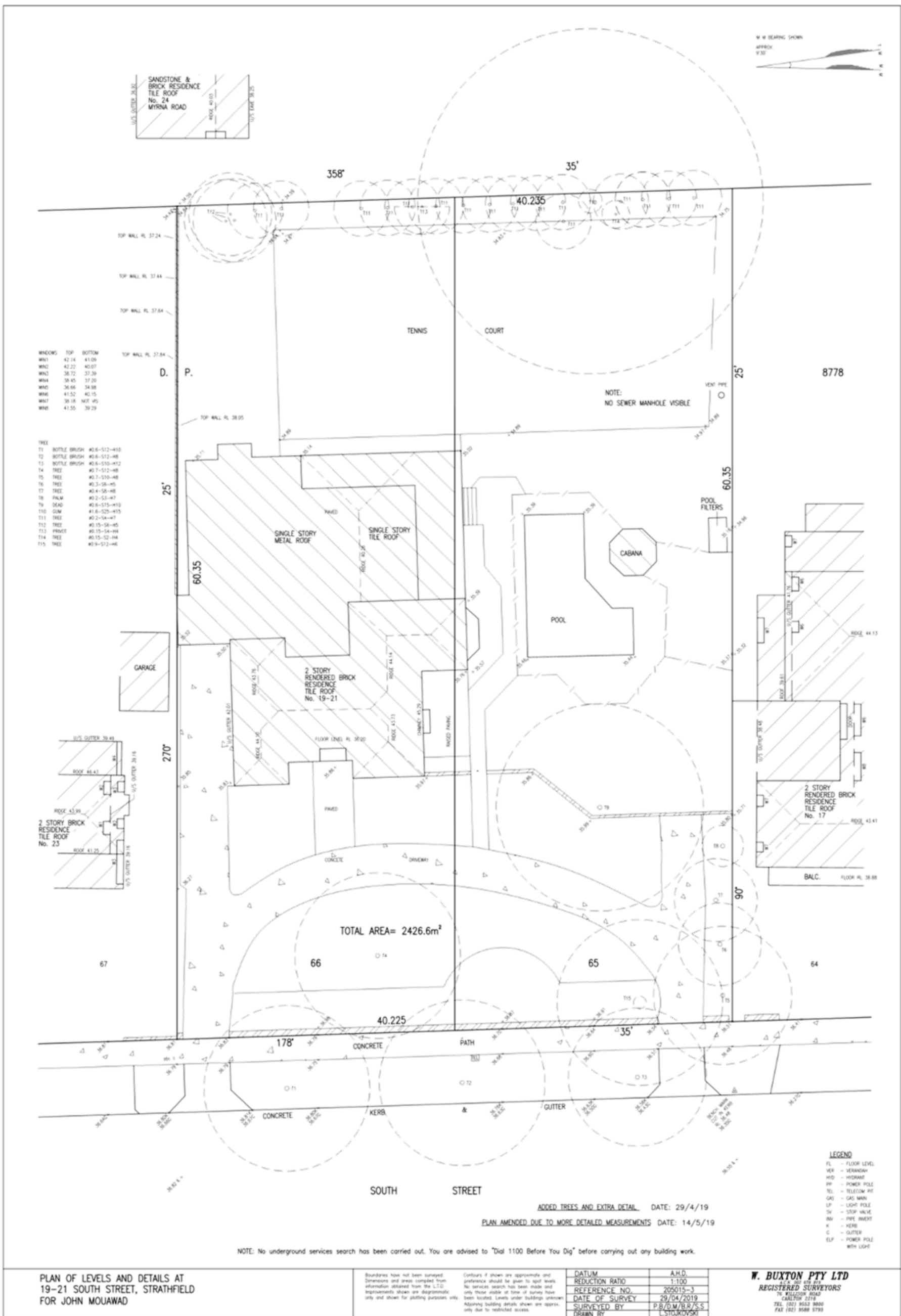
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PROJECT

PROPOSED DEVELOPMENT
19-21 SOUTH STREET
STRATHFIELD, NSW

DRAWING TITLE		
STORMWATER SECTIONS AND DETAILS		
SCALES	DESIGNED	DRAFTED
AS SHOWN	KP	KP
DRAWING NO.	APPROVED	REVISION
A20115 - SW04	JM	B



PLAN OF LEVELS AND DETAILS AT 19-21 SOUTH STREET, STRATHFIELD FOR JOHN MOUAWAD

Boundaries have not been surveyed. Dimensions and areas compiled from information obtained from the L.I.D. Improvements shown are diagrammatic only and shown for plotting purposes only.

Contours if shown are approximate and preference should be given to spot levels. No services search has been made and only those visible at time of survey have been located. Levels under buildings unknown. Adjoining building details shown are approx. only due to restricted access.

DATUM	A.H.D.
REDUCTION RATIO	1:100
REFERENCE NO.	205015-3
DATE OF SURVEY	29/04/2019
SURVEYED BY	P.B./D.M./B.R./S.S.
DRAWN BY	L. STOKOVSKI

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APPENDICES

APPENDIX A: Waste Management Plan Template

Applicant and Project Details (All Developments)	
Applicant Details	
Application No.	
Name	POC+P Architects Pty Ltd
Address	76 Edwin Street Nth CROYDON NSW 2132
Phone No.	612 9799 6600
Email	patrick@pcop.com.au
Project Details	
Site Address	21 South Street STRATHFIELD 2135
Existing building(s) and/or other structure(s) on site	2 Storey Dwelling House + Pool + Gazebo + Pool Equipment + Cubby House + Tennis Court

Description of proposed development	Restoration + alterations to existing home + outdoor pool
<p><i>The details on this form are the provisions and intentions for minimising and managing waste relating to this project. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, WorkCover NSW, NSW Environment Protection Agency and/or the NSW Department of Environment and Heritage.</i></p>	
Name	Patrick O'Carrigan
Signature	
Date	19/10/20

Demolition (all types of demolition works)				
	Reuse	Recycle	Disposal	
Type of Waste Generated	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material	NIL	NIL	NIL	N/A
Timber (specify)	NIL	0.5	NIL	Chullora Recycling
Concrete	NIL	0.5	NIL	Boral Quarries + Recycling
Bricks/Pavers	NIL	0.5	NIL	Boral Quarries + Recycling
Tiles	0.5	NIL	NIL	Re-use on-site
Metal (specify)	NIL	0.2	NIL	Parramatta Scrap Metal
Glass	NIL	NIL	0.2	Approved Waste Disposal

Furniture	NIL	NIL	NIL	N/A
Fixtures and fittings	NIL	0.2	NIL	Chullora Recycling
Floor coverings	NIL	0.2	NIL	Chullora Recycling
Packaging (used pallets, pallet wrap)	NIL	NIL	NIL	N/A
Garden Organics	1.0	1.0	NIL	Re-use on-site landscaping Ecocycle
Containers (cans, plastic, glass)	NIL	NIL	NIL	N/A
Paper/Cardboard	NIL	NIL	NIL	N/A
Residual Waste	NIL	NIL	NIL	N/A
Hazardous/Special Waste e.g. asbestos (specify)	NIL	NIL	NIL	N/A
Other (specify)	NIL	NIL	NIL	N/A

Construction (all types of construction developments)

	Reuse	Recycle	Disposal	
Type of Waste Generated	<i>Estimate Volume (m³) or weight (t)</i>	<i>Estimate Volume (m³) or weight (t)</i>	<i>Estimate Volume (m³) or weight (t)</i>	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material	10.0	NIL	112.0 m3	Re-use as topsoil/ backfill Landfill Enviroguard
Timber (specify) Framing	NIL	0.5	NIL	Chullora Recycling
Concrete	NIL	0.5	NIL	Boral Quarries and Recycling
Bricks/Pavers	NIL	0.5	NIL	Boral Quarries and Recycling
Tiles	0.5	NIL	NIL	Onsite Backfill Obsolete Tiles
Metal (specify)	0.5	NIL	NIL	Parramatta Scrap Metal
Glass	NIL	NIL	0.5	Approved Waste Disposal

Plasterboard (offcuts)	NIL	0.5	NIL	Chullora Recycling	
Fixtures and fittings	NIL	0.5	NIL	Chullora Recycling	
Floor coverings	NIL	0.5	NIL	Chullora Recycling	
Packaging (used pallets, pallet wrap)	NIL	0.5	NIL	Chullora Recycling	
Garden Organics	NIL	0.5	NIL	Ecocycle	
Containers (cans, plastic, glass)	NIL	NIL	NIL	N/A	
Paper/Cardboard	NIL	0.5	NIL	Chullora Recycling	
Residual Waste	NIL	NIL	NIL	N/A	
Hazardous/Special Waste e.g. asbestos (specify)	NIL	NIL	NIL	N/A	
Other (specify)	NIL	NIL	NIL	N/A	
Ongoing Operation (residential, multi dwelling, commercial, mixed-use and/or industrial)					
	Recyclables		Compostables	Residual Waste	Other
	<i>Paper/Cardboard</i>	<i>Metals/Plastics /Glass</i>			
Amount generated (L per unit per day)	N/A	N/A	N/A	N/A	N/A
Amount generated (L per unit per week)	20L	10L	20L	20L	NIL
Total amount generated for development	20L	10L	20L	20L	NIL
Any reduction due to compacting equipment	N/A	N/A	N/A	N/A	N/A
Frequency of collections	As Existing - Standard Council Residential Waste	As Existing - Standard Council Residential Waste	As Existing - Standard Council Residential Waste	As Existing - Standard Council Residential Waste	N/A

	Collection	Collection	Collection	Collection	
Number and size of storage bins required		240L "yellow" bin	240L "green" bin	120L "red" bin	N/A
Waste room floor area and dimensions required for storage of bins	N/A	N/A	N/A	N/A	N/A

Note: Show the total volume of waste expected to be generated by the development and the associated waste storage requirements.

Ongoing Operation (residential, multi dwelling, commercial, mixed-use and/or industrial)

ONSITE WASTE COLLECTION	
Driveway location	N/A Standard Council Residential Kerbside Waste Collection As Existing
Driveway and access route width	N/A
Type of waste collection area, ie basement, loading dock etc	N/A
Maximum reversing distance for collection vehicles and configuration of path (straight, curved etc)	N/A
Distance from collection area to the property boundary (<15m)	N/A
Headroom along vehicle travel path - measured at its lowest point from ceiling, ducting, conduits or any other obstruction.	N/A

Dimensions for vehicle manoeuvring/ turning circles, including on-street turning circles.	N/A
Structural capacity of slab for collection areas.	N/A
Ramp gradients	N/A
Vehicle turntable use <ul style="list-style-type: none"> - Weight capacity - Max wheel base - Provision for overhang 	N/A
Dimensions, layout and floor area provided at bin collection point	N/A
Dimensions, layout and floor area provided for collection vehicle standing/collection area.	N/A

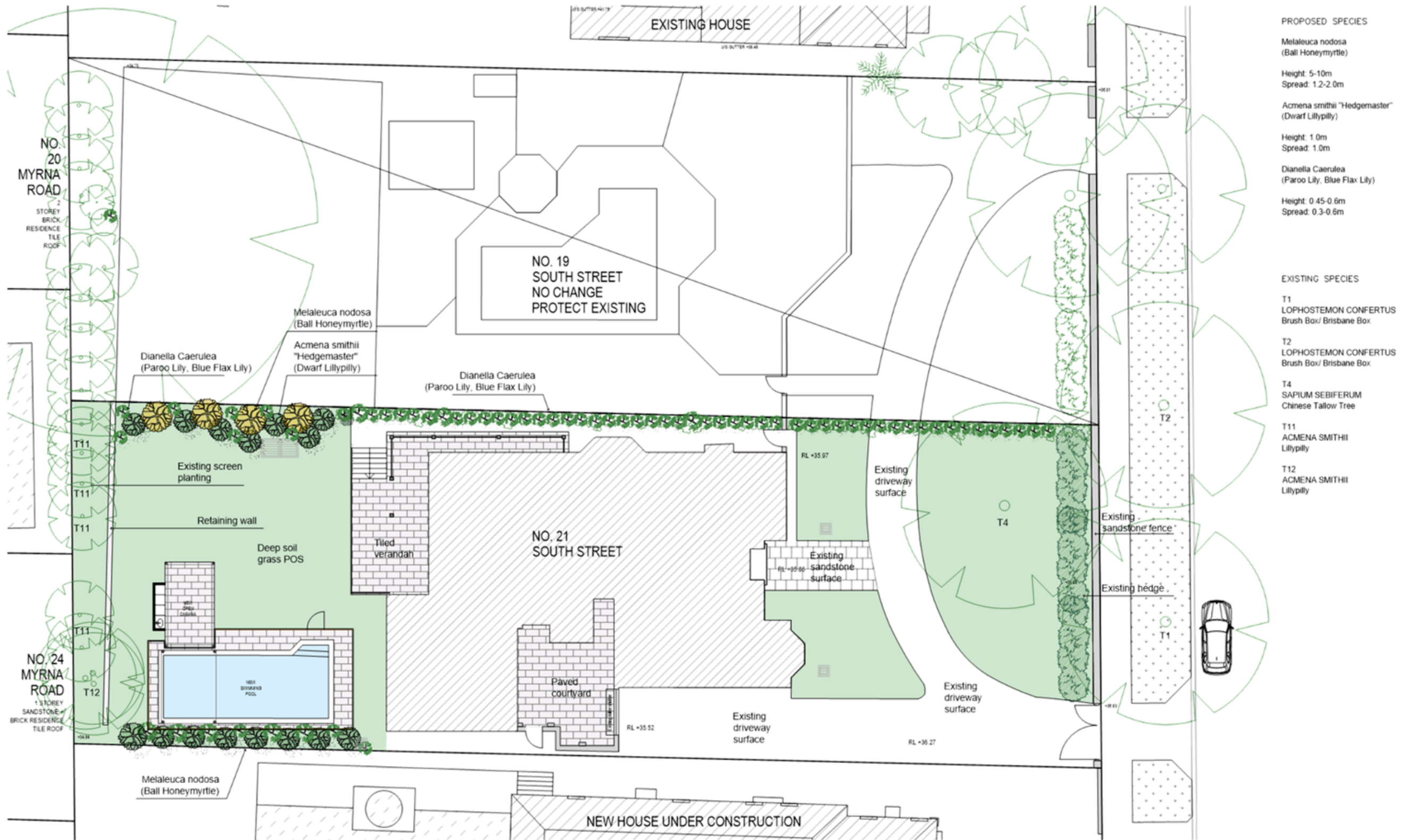
ONSITE WASTE COLLECTION	
--------------------------------	--

Grade of bin collection area, including for waste collection vehicle.	N/A
Obstructions to other users during waste collection	N/A
Legal arrangements for access for collection staff	N/A
Screening and amenity of collection areas.	N/A

Construction Design (all types of development)
<i>Outline how measures for waste avoidance have been incorporated into the design, material purchasing and construction techniques of the development (refer Section 3.2 of this Plan).</i>
Materials
Aim to minimise waste through accurate material estimation and material re-use/ recycling on site. No unnecessary excavation or demolition. Materials to be ordered on an 'as need' basis.
Lifecycle
Aim to avoid waste through promotion of recycling and reuse.
<i>Detail the arrangements that would be appropriate for the ongoing use of waste facilities as provided in the development. Identify each stage of waste transfer between residents' units/commercial tenancies and loading into the collection vehicle, detailing the responsibility for and location and frequency of, transfer and collection.</i>
Standard council residential kerbside waste collection as existing.

Plans and Drawings (all developments)	
All Drawings	Yes (Y) / No (N)
Submitted to scale (1:100, 1:200 or 1:500)	Y
Clearly indicate location of and provisions for storage and collection of waste and recyclables during: <ul style="list-style-type: none"> • Demolition • Construction • Ongoing operation 	Y
Demolition	
Size and location(s) of waste storage area(s)	Y
Access for waste collection vehicles	Y
Areas to be excavated	Y
Types and numbers of storage bins likely to be required	Y
Signage required to facilitate correct use of storage facilities	Y
Construction	
Size and location(s) of waste storage area(s)	Y
Access for waste collection vehicles	Y
Areas to be excavated	Y
Types and numbers of storage bins likely to be required	Y
Signage required to facilitate correct use of storage facilities	Y
Ongoing Operation	
<i>Space</i>	
Size and location(s) of waste storage areas	N/A
Recycling bins placed next to residual waste bins	N/A
Space provided for access to and the manoeuvring of bins/equipment	N/A
Any additional facilities	N/A
<i>Access</i>	
Access route(s) to deposit waste in storage room/area	N/A
Access route(s) to collect waste from storage room/area	N/A

Bin carting grade	N/A
Location of final collection point and space required for collection service	N/A
Clearance, turning circles, gradients and strength of internal access driveways and roads	N/A
Direction of traffic flow for internal access driveways and roads	N/A
<i>Amenity</i>	
Aesthetic design of waste storage areas	N/A
Signage – type and location	N/A
Construction details of storage rooms/areas including floor, walls, doors, ceiling design, sewer connection, lighting, ventilation, security, wash down provisions etc)	N/A



- PROPOSED SPECIES**
- Melaleuca nodosa (Ball Honeymyrtle)
Height: 5-10m
Spread: 1.2-2.0m
 - Acmena smithii "Hedgemaster" (Dwarf Lillypilly)
Height: 1.0m
Spread: 1.0m
 - Dianella Caerulea (Paroo Lily, Blue Flax Lily)
Height: 0.45-0.6m
Spread: 0.3-0.6m

- EXISTING SPECIES**
- T1 LOPHSTEMON CONFERTUS Brush Box/ Brisbane Box
 - T2 LOPHSTEMON CONFERTUS Brush Box/ Brisbane Box
 - T4 SAPIUM SEBIFERUM Chinese Tallow Tree
 - T11 ACMENA SMITHII Lillypilly
 - T12 ACMENA SMITHII Lillypilly

<p>© eco-scapes Pty Ltd</p> <p>Notes</p> <p>The information contained in the document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work. Drawings are to be read in conjunction with all contract documents. Use figured dimensions only. Do not scale from drawings.</p>	<p>21 South Street, Strathfield DP 8778 Lot 66</p> <p>eco-scapes</p> <p>Studio 1 13 Rozanna Street Strathfield NSW 2135 Sydney > Australia Tel: 612] 9758 8825</p>	<p>LEGEND</p> <ul style="list-style-type: none"> Existing tree Proposed building Paving Grass 	<p>CALCULATIONS:</p> <p>Site Area = 2426.6m² (min. 45% of site area to be landscaped)</p> <p>Landscaped Area = 940.1m² (This is 39% of site area)</p>	<p>PROPOSED LANDSCAPE PLAN</p> <p>SCALE 1 : 200 @ A3</p> <p></p> <table border="1"> <tr> <td>PLOT DATE 01/07/2020</td> <td>DRAWN K.Y.</td> <td rowspan="2">LC01</td> </tr> <tr> <td>PROJECT NO. 180501</td> <td>ISSUE B</td> </tr> </table>	PLOT DATE 01/07/2020	DRAWN K.Y.	LC01	PROJECT NO. 180501	ISSUE B
PLOT DATE 01/07/2020	DRAWN K.Y.	LC01							
PROJECT NO. 180501	ISSUE B								



MAGDALENE
MOUAWAD
PROJECT NO: 180302

Certificate Number: A381804

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments

Rainwater Tank

- The applicant must install a rainwater tank of at least 3521 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
- The applicant must configure the rainwater tank to collect rainwater runoff from at least 200 square metres of roof area.
- The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor Swimming Pool

- The swimming pool must be outdoors.
- The swimming pool must not have a capacity greater than 60 kilolitres.
- The applicant must install a pool pump timer for the swimming pool.
- The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Hot Water

- The applicant must install the following hot water system in the development: gas instantaneous.

Lighting

- The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or lightemitting-diode (LED) lamps.

Fixtures

- The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
- The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
- The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Thermal Comfort Commitments

Insulation Requirements

- The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
- External wall: cavity brick nil
- Internal wall shared with garage: plasterboard (R0.36) nil

Glazing Requirements

Skylights

- The applicant must install the skylights in accordance with the specifications listed in the table below.
- The following requirements must also be satisfied in relation to each skylight
- Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below:

Skylight Number	Area of Glazing	Shading Device	Frame and Glass Type
S1	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S4	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	1.5	no shading	timber, low-E internal/argol fill/clear external, (or U-value: 2.5, SHGC: 0.456)

DRAWING NO
01