

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 2 May 2019

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

TABLE OF CONTENTS

Item	Page No.
SLPP AGENDA ITEMS	
SLPP - Report No. 1	
DA2019/021 - 29 Redmyre Road, Strathfield Lot 2 DP 935180.....	3
SLPP - Report No. 2	
DA2018/172 - 47 Merley Road, Strathfield Lot C in DP 394641.....	45

TO: Strathfield Local Planning Panel Meeting - 2 May 2019
REPORT: SLPP – Report No. 1
SUBJECT: DA2019/021 - 29 REDMYRE ROAD, STRATHFIELD
LOT 2 DP 935180
DA NO. 2019/021

SUMMARY

Proposal: Conversion of part of existing dwelling to an orthodontic practice operating from Monday to Friday 8am-5pm, provision of onsite car parking and tree removal.

Applicant: D. Sriram

Owner: D. Sriram

Date of lodgement: 21 February 2019

Notification period: 1 March 2019 to 15 March 2019

Submissions received: Nil

Assessment officer: ND

Estimated cost of works: \$85,000

Zoning: R2 Low Density Residential - SLEP 2012

Heritage: Located in the Redmyre Road Heritage Conservation Area

Flood affected: Yes

Is a Clause 4.6 variation proposed? No

Reason for referral to SLPP Sensitive development – Located in Heritage Conservation Area.

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

The application seeks Council approval for the conversion of part of existing dwelling to an orthodontic practice, provision of onsite car parking and tree removal.

The plans and documentation were notified in accordance with Part L of the Strathfield Consolidated Development Control Plan (SCDCP) 2005 from 1 March 2019 to 15 March 2019. No written submissions were received.

During the assessment process the vehicle parking and manoeuvring area was re-located 1.5m west to provide adequate separation between two (2) on-site trees identified to be retained and to enable sufficient vehicle accommodation for the proposed orthodontic practice.

To mitigate potential impact between adjoining properties a condition of consent is recommended for landscaping to be planted along the eastern and western side property boundaries adjacent to the proposed vehicle parking area.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

The proposed works appropriately respond to the heritage significance of the Redmyre Road Heritage Conservation Area and enable the continuation of residential use at the rear of the existing dwelling.

The proposal is considered acceptable and recommended for approval subject to the recommended conditions of consent.

BACKGROUND

17 January 2019: Pre-Da meeting held with Council's Planning Officers.

21 February 2019: The current development application (DA2019/021) was lodged.

1 March 2019 to 15 March 2019: The application was publicly notified. No written submissions were received.

19 March 2019: A letter requesting additional information was sent to the applicant seeking clarification relating to waste storage and collection arrangements of the orthodontic practice and identified inconsistencies in the architectural and Arboricultural Impact Assessment.

28 March 2019: Amended architectural plans were submitted to Council.

17 April 2019: Correspondence was sent to the applicant that requested the re-location of the proposed vehicle parking area and turning bay to provide additional separation between the retained trees.

18 April 2019: Amended plans were submitted to Council.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is located on the northern side of Redmyre Road, opposite the T-intersection of Redmyre Road and Margaret Street and has an area of 777.5m² (Figure 1). The site is rectangular in shape, with a 15.24m frontage to Redmyre Road and a depth of 51.115m. The site slopes gently to the rear boundary. It is currently occupied by a two (2) storey dwelling house (Figure 2).

The subject site is located within the Redmyre Road Heritage Conservation Area with dwellings located in the immediate streetscape traditional in style, comprising of brown facebrick exterior walls, and terracotta tiled roof forms and decorative timberwork.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)



Figure 1: Locality plan with the subject site outlined in yellow and Redmyre Road Heritage Conservation Area in red.



Figure 2: View of the existing dwelling from Redmyre Road.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)

The application seeks Council approval for the part conversion of the existing dwelling house to facilitate the operation of an orthodontic practice.

The specific elements of the internal reconfiguration of the existing dwelling involve:

Orthodontic Practice:

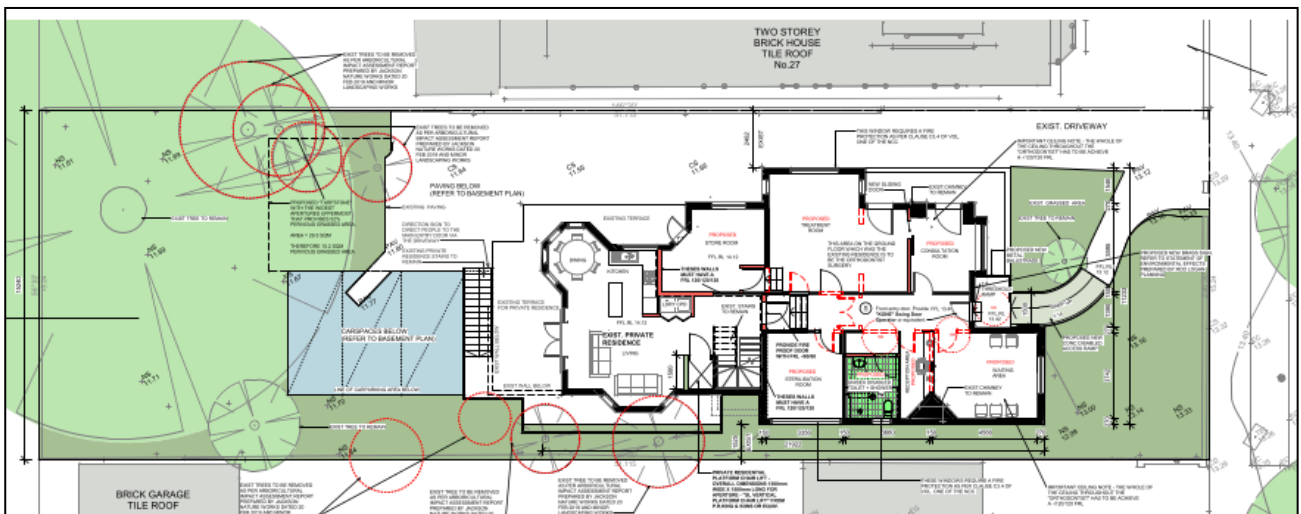
- Treatment Room;
- Consultation Room;
- Storage Room;
- Sterilisation Room;
- Unisex disabled toilet and shower;
- Reception and waiting area;

Residence:

- Open plan dining, kitchen and living room (existing);
- Laundry;
- Master bedroom with walk-in-wardrobe and ensuite;
- Three (3) bedrooms;
- Bathroom;
- Storage room; and
- Terrace.

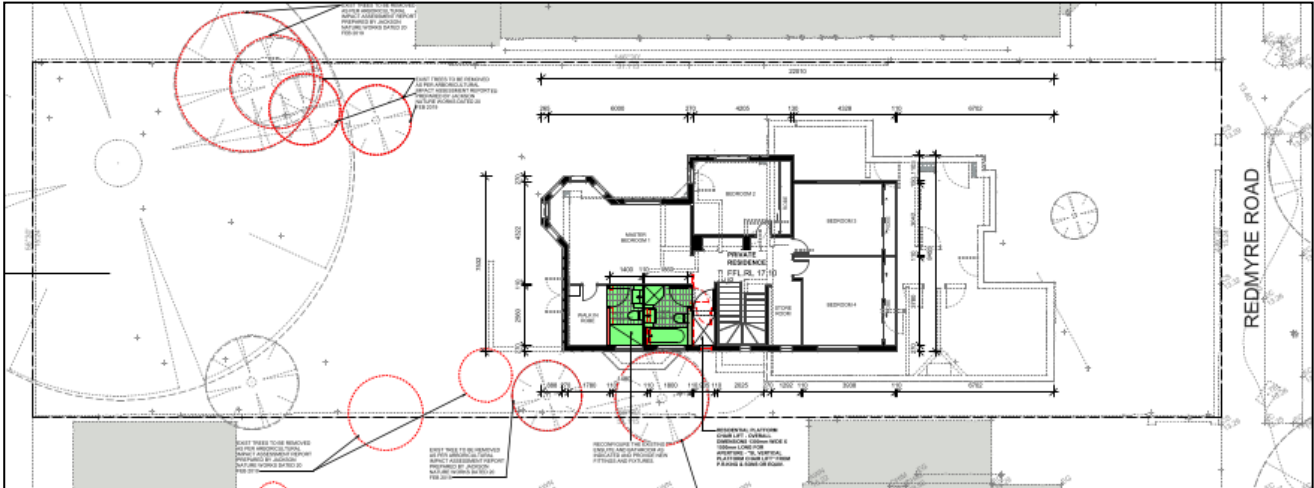
The external works of the proposal involve:

- Construction of an accessibility ramp from Redmyre Road to the front porch of the existing dwelling;
- Construction of a vehicle parking and manoeuvring area at rear of the building to accommodate three (3) vehicle spaces; and
- Installation of business identification signage on the main building façade.



Proposed Ground Floor

DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)



Proposed First Floor

Operation of the Orthodontic Practice involves:

Hours of Operation:

- 8am to 5pm Monday to Friday with patients restricted to two (2) days a week;

Staff:

- Three (3) staff comprising one (1) orthodontist and two (2) support employees;

Car Parking:

- Two (2) provided for the residents in the existing garage; and
- Four (4) allocated for the orthodontic practice at the rear.

REFERRALS

INTERNAL REFERRALS

Building Comments

Council's Building Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Waste Comments

Council's Waste Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Landscaping Comments

Council's Tree Coordinator has commented on the proposal as follows:

"The Arborist report by Jacksons Nature Works dated 20 February is noted.

Tree number 1 is not in any way impacted by the development proposal. Trees number 5 and 6 are to be retained and protected at all times. This will also require the redesign of the vehicle parking area and turning bay to delete all excavation and soil level changes from the dripline of these two retained trees. These amendments are required prior to be submitted for further consideration.

Trees numbered 2, 3, 4, 7, 8, 9, 10, and 11 can be removed provided 1 replacement tree is planted from 45 litre containers capable of a potential mature height of 8m."

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

Amended plans were submitted re-locating the proposed vehicle parking area and turning bay 1.5m towards the western boundary. Council's Tree Coordinator offered no objections to the amended design. It is recommended that two (2) replacement canopy trees are planted with their location approved by the project Arborist prior to the issue of a Construction Certificate.

Traffic Comments

Council's Traffic Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Heritage Comments

Council's Heritage Advisor has commented on the proposal as follows:

"The proposal seeks consent for the use of the building as an orthodontic surgery. The plans submitted indicate that the majority of the works to accommodate this are internal. Where feasible, nib walls should be retained where internal walls are being removed to permit legibility of the previous arrangements.

The proposal includes the addition of a disabled access ramp in the front setback in the same alignment as the current pedestrian access pathway. The finishes that are noted on the plans are concrete with no information provided as to colours or finishes. The existing pathway is of brick and does not warrant retention. The proposal is acceptable subject to the provision of information regarding the finishes of this ramp. This matter can be addressed by way of a condition.

The plaque proposed is discrete and appropriate in size and location. The proposed signage would not give rise to any undue impact on the Redmyre Road Conservation Area and sets a positive precedent for appropriate signage in the area. The proposal is acceptable on heritage grounds.

It is recommended that a condition is imposed requiring the fixings for the sign to be placed into the mortar joints rather than into the face brick units to minimise the impact on the extant fabric and permit greater reversibility, to result in a good heritage outcome."

Environmental Health Comments

Council's Environmental Health Officer offered no objections to the proposal, subject to the imposition of the recommended conditions of consent including the following special conditions:

- *"Business and practitioner is to be registered with Australian Health Practitioner Regulation Agency (AHPRA).*
- *Business is to comply with Australian Guidelines for the Prevention and Control of Infection in Healthcare (2010).*
- *Business is to comply with the Dental Board of Australia - Guidelines on Infection Control 2010.*
- *Sterilisation of reusable articles and other equipment to comply with AS/ NZS 4815: Office-based health care facilities – Reprocessing of reusable medical and surgical instruments and equipment, and maintenance of the associated environment, or AS/NZS 4187: Cleaning, disinfecting and sterilising reusable medical and surgical instruments and equipment, and maintenance of associated environments in health care facilities)."*

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

- (i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

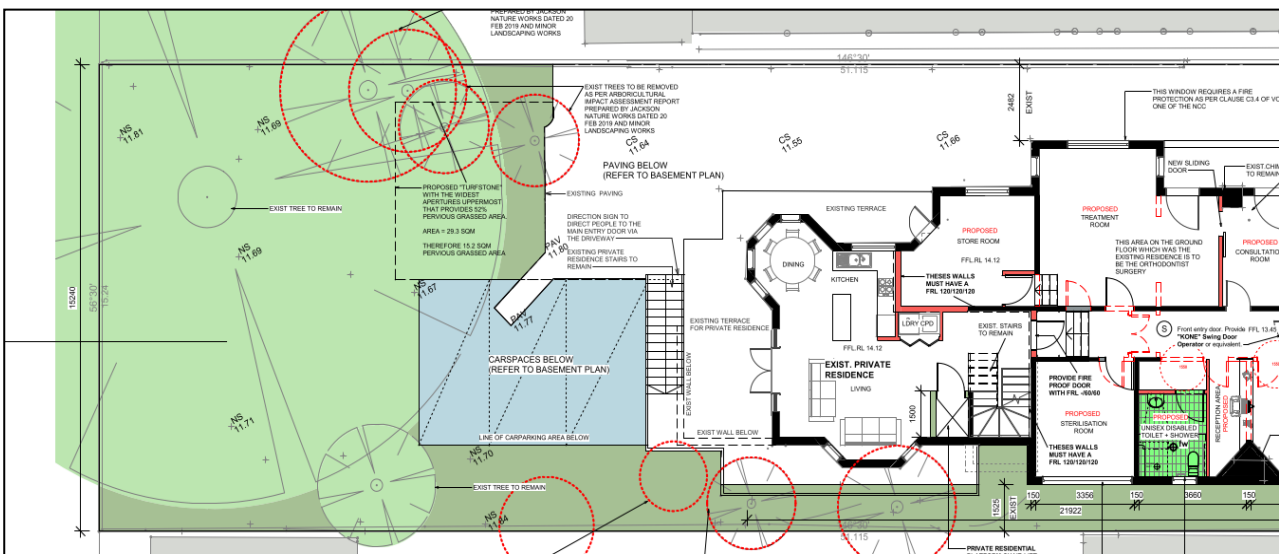
State Environmental Planning Policy No 55 – Remediation of Land

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations. The objectives outlined within SEPP55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation). The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

During the assessment process Council’s Tree Management Officer raised concerns regarding the retention and protection of Trees No. 5 and 6 due to the close proximity of the proposed vehicle parking and maneuvering area to the Tree Protection Zone (Figure 3). In order to provide adequate separation between the proposed structures and trees to be retained, the vehicle parking and maneuvering area was re-located 1500m towards the western boundary (Figure 4). Council’s Tree Management Officer offered no objections to the revised on-site parking arrangements and the removal of multiple trees subject to the recommended conditions of consent including replacement planting.



DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)

Figure 3: Original vehicle parking area

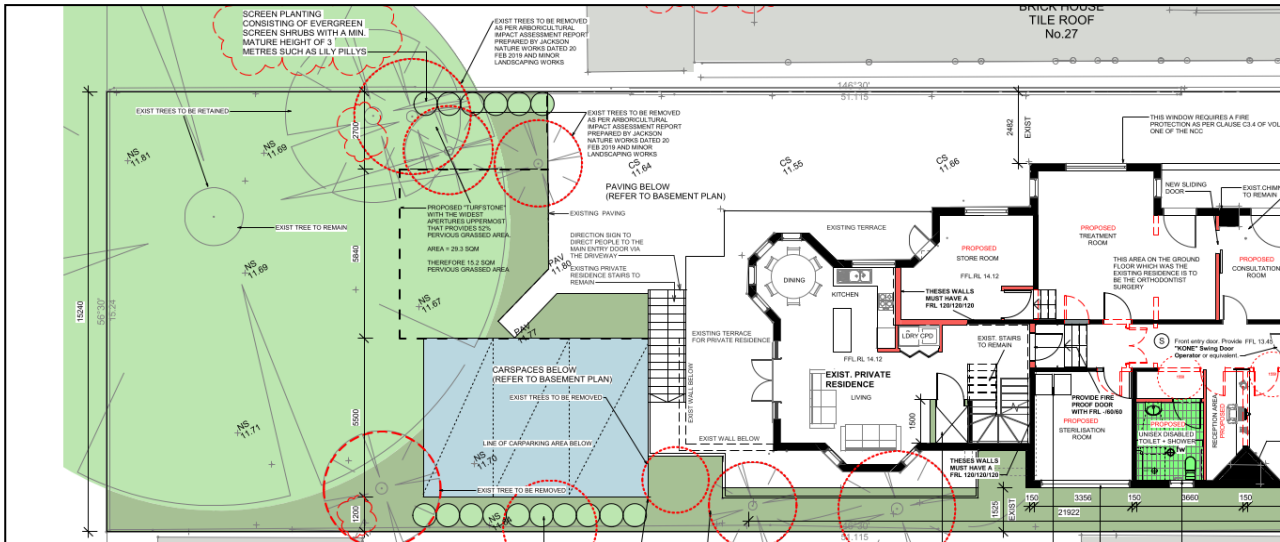


Figure 4: Amended design of vehicle parking area.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield	Yes
(b)	To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development	Yes
(c)	To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community	Yes
(d)	To provide opportunities for economic growth that will enhance the local community	Yes
(e)	To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use	N/A
(f)	To identify and protect environmental and cultural heritage	Yes
(g)	To promote opportunities for social, cultural and community activities	N/A
(h)	To minimise risk to the community by identifying land subject to flooding and restricting incompatible development	N/A

Comments: The proposal is considered appropriate to the character of the Redmyre Road Heritage Conservation Area. The proposal facilitates the provision of an orthodontic surgery in the community in addition to maintaining the predominant residential usage.

Permissibility

The subject site is Zoned R2 Low Density Residential under Strathfield Local Environmental Plan (SLEP) 2012.

‘Dwelling Houses’ and ‘Health consulting rooms’ are permissible within the R2 Low Density Residential Zone with consent and are defined under SLEP 2012 as follows:

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

“health consulting rooms means premises comprising one or more rooms within (or within the curtilage of) a dwelling house used by not more than 3 health care professionals at any one time.”

The proposed development involves the part conversion of the existing dwelling to an orthodontic practice. The proposal includes internal alterations to the dwelling house that will result in a residence that is capable of occupation as a separate domicile. As such, the proposal is consistent with the definition of a health consulting room and is permissible within the R2 Low Density Residential Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the R2 Low Density Residential Zone is included below:

Objectives	Complies
➤ <i>To provide for housing needs of the community within a low density residential environment.</i>	Yes
➤ <i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	N/A
➤ <i>To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.</i>	Yes

Comments: The proposed development involves alterations and additions to the existing dwelling resulting in the part conversion of the dwelling to an orthodontic surgery. The orthodontic practice is proposed to operate during weekdays with patients restricted to two (2) days clinical per week. The orthodontic practice is considered to be a low intensity use and ancillary to the predominant residential use of the dwelling. The proposal is consistent with the objectives of the R2 Low Density Residential zone, providing for the ongoing use of the existing dwelling and an ancillary orthodontic practice.

Part 4: Principal development standards

The proposed development will not alter the floor space ratio or the building height of the existing dwelling house.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.10 Heritage Conservation

Clause 5.10(5) of the *SLEP 2102* requires consideration of potential impacts of any development in heritage conservation areas including associated fabric, settings and views. The subject site is located within the Redmyre Road Heritage Conservation Area, with dwellings constructed predominantly in the early twentieth century. The existing dwelling is not heritage listed and has been the subject of substantial alterations and additions including a first floor addition.

The proposal involves internal works to the existing dwelling and minor associated external works. The layout of the existing dwelling is conducive to usage as an orthodontic practice and the residential dwelling to be habituated without major external works to the dwelling house being necessary. The main external works involve the construction of a three (3) additional vehicle parking spaces and maneuvering area to accommodate the on-site parking requirements of the orthodontic practice.

The proposed business identification signage is simple and sympathetic within the Heritage Conservation Area being a gold and black plaque located adjacent to the front entrance of the

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

dwelling. The design and location is considered to be discrete and a positive signage in the Heritage Conservation Area.

Council's Heritage Advisor has no objections to the proposal subject to the recommended conditions of consent. Overall, the proposal has been considered with respect to the objectives of Clause 5.10 Heritage Conservation of the *SLEP 2012* and is satisfactory.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the *SLEP 2012* are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is identified as having Class 5 soils and is not located within 500m of Class 1, 2, 3 or 4 soils. Accordingly, the provisions of this clause are not triggered.

6.2 Earthworks

The proposed development involves minimal excavation, confined to the removal of soil to accommodate the vehicle parking and maneuvering area. Accordingly, conditions of consent have been recommended to ensure the appropriate management of soils during the construction phases of the development.

6.3 Flood planning

The proposed works will not alter the stormwater drainage conditions of the subject site. The existing stormwater drainage infrastructure including stormwater drainage pits in the rear setback are sufficient to accommodate the proposed works.

6.4 Essential services

The subject site is located within a well serviced area and features existing water and electricity connections and access to Council's stormwater drainage system.

6.6 Erection or display of signage

Clause 6.6 of the *SLEP 2012* requires consideration be given to the compatibility of the proposed signage with the designed amenity and visual character of the area. The proposed signage comprises a small business identification plaque located on the main building façade near the entrance. The combination of a simplistic style, size and location of the proposed plaque will not give rise to any undue impact on the Redmyre Road Heritage Conservation Area. Council's Heritage Advisor has no objections to the proposed signage.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

The following assessment is in relation to the residential component of the dwelling house only.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

5: Landscaping

5.1 Objectives		Satisfactory	
A.	To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.	Yes	
C.	To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.	Yes	
D.	To ensure adequate deep soil planting is retained on each allotment.	Yes	
K.	To ensure the protection of trees during construction	Yes	
M.	To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.	Yes	
5.2 Development Controls		Complies	
Landscaped area			
.1.	1	Landscaped area in accordance with Table A.3	No. However acceptable on merit.
	4	Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	Yes
Tree Protection			
.2.	1	Arboricultural Impact Assessment Report prepared by an AQF Level 5 Arborist	Yes
	3	Development provides for the retention and protection of existing significant trees	Yes
Private Open Space			
.3.	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes

Comments:

The proposal provides 39% (308.48m²) of deep soil landscaping, resulting in a 25.95m² shortfall of the 43% (334.43m²) minimum requirement under Section 5.2.1 of the SCDP 2005. However, the shortfall has been supplemented through the use of 'turfstone' filled with grass to provide a pervious area over a portion of vehicle turning area. As the extent of turfstone in this instance is minor and also used to service the parking requirements of the proposed orthodontic practice its use is considered acceptable.

The application proposed the removal of multiple trees and shrubs with the retention of two (2) trees including a large lemon scented gum (*Corymbia citriodora*) and Jacaranda. As discussed earlier in the report, the vehicle parking and maneuvering area was relocated 1500mm west to provide adequate separation between the structures and the trees to be retained.

To maintain visual privacy between the adjoining properties and visitors utilising the vehicle parking area, screen planting comprising of evergreen shrubs with a minimum mature height of 3m are to be planted along eastern and western side boundaries in align with the vehicle parking and maneuvering areas.

In regards to private open space the open plan kitchen and living area of the private residence has direct access to a large terrace area.

DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)

8: Vehicle Access and Parking

8.1 Objectives		Satisfactory
A.	To provide adequate and convenient on-site car parking.	Yes
B.	To ensure that the location and design of driveways, parking spaces and other areas used from the movement of motor vehicles are efficient, safe and convenient.	Yes
C.	To ensure garages, carports, basements and hard standing areas for cars do not visually dominate the street façade of the dwelling.	Yes
8.2 Development Controls		Complies
Garages, Carports and Car Spaces		
.2.	1 Two (2) car parking spaces required behind the FBL of all new dwellings (exceptions apply)	Yes

Comments:The existing dwelling provides three (3) car parking spaces, two (2) of which are located in a double garage. The existing two (2) car parking spaces in the garage are to remain the use of the dwelling as required by Section 8.2.2 of Part A of the SCDCP 2005. The third existing residential vehicle space is to be allocated for the use of the orthodontic practice, this is in addition to three (3) vehicle spaces proposed to be constructed at the rear.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

11: Access, Safety and Security

11.1 Objectives		Satisfactory
D.	To ensure the safety of pedestrians by separating pedestrian access from vehicular access.	Yes
11.2 Development Controls		Complies
Pedestrian Entries		
.2.	1 Pedestrian entries and vehicular entries suitably separated	No, however acceptable on merit.
	2 Dwelling entrances easily identifiable	Yes

Comments: The existing garage and proposed vehicle parking area is located behind the dwelling. The proposed on-site parking arrangements include a maneuvering area to enable all vehicles to enter and exit the site in a forward direction to provide adequate sight distance for pedestrians.

PART H - WASTE MANAGEMENT (SCDCP 2005)

Section 2.1 of Part H of the SCDCP 2005 requires that all development applications be accompanied by a Waste Management Plan. The subject application was accompanied by a Waste Management Plan and Plan of Management, outlining the measures of minimising waste generation during the construction process and ongoing use of the proposed orthodontic practice.

The Waste Management Plan and accompanying architectural plans indicate that recycling and general waste generated from the residential and orthodontic practice will be stored and collected separately. The residential storage area is to be located within the existing garage and collected by Council waste services. With regards to the orthodontic practice, general waste, medical waste and recycling are to be collected by a private contractor. Further, the medical waste accumulated at the premises will be disposed of in accordance with the NSW Health Requirements in appropriate containers in the Sterilisation Room.

Overall the proposed Waste Management Plan is suitable for the use and location of the proposed development and will be enforced via conditions of consent.

PART I – PROVISION OF OFF-STREET PARKING FACILITIES

The proposal seeks to provide a total of six (6) on-site car parking spaces, two (2) allocated to the remaining residence (accommodated by the existing garage) and four (4) for the proposed orthodontist. Under Section 3.3.2 of Part I 'Provision of off-street parking facilities', professional consulting rooms must provide a minimum of three (3) spaces per surgery plus one (1) space per two (2) employees. The proposed orthodontist practice is to be staffed by one (1) orthodontist and two (2) support staff. Accordingly the four (4) vehicle spaces for the orthodontic practice and two (2) for residential usage achieve compliance with the minimum requirements. Conditions of consent have been recommended to ensure the vehicle parking area is constructed in accordance with Australian Standards.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

PART J – ADVERTISING SIGNS AND STRUCTURES (SCDCP 2005)

The proposal seeks to install a small business identification plaque on the main building façade of the existing dwelling beside the entrance. The simplistic design of the signage is compatible with the Redmyre Road Heritage Conservation Area in the same style as late nineteenth century and early twentieth century building house names. The proposed style and location of the business identification plaque is compatible to the predominant residential nature.

PART P- HERITAGE

1.5: Objectives of this DCP Part

1.5	Objectives	Satisfactory
a.	To encourage development which complements existing heritage items and heritage Conservation Areas in a modern context.	Yes
b.	To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and heritage Conservation Areas.	Yes
c.	To protect those items and areas that are of value to the local community	Yes
d.	To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item.	Yes
e.	To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.	Yes

Comments: The proposal utilises the existing driveway to provide additional vehicle spaces and maneuvering area for the proposed orthodontic practice. Doing so results in the proposal providing adequate vehicular parking and access to the proposed orthodontic practice and minimising visibility of parking from the streetscape. External works visible from the streetscape include the accessibility ramp to the entrance and the business identification plaque and are considered acceptable due to minimal heritage impact.

4.3: Form

4.3.1	Objectives	Complies
1	To ensure that new development in a Conservation Area relates positively to the dominant forms of existing contributory buildings in the Conservation Area.	Yes
2	To ensure that buildings that contribute to the character of a Conservation Area retain their importance in the streetscape and/or townscape.	Yes

4.3.2	Development Controls	Complies
(5)	Additions and alterations to existing buildings that contribute to the character of a Conservation Area should not detract from the original form of the existing building as viewed from the Public Domain.	Yes

Comments: The proposed works are appropriately located and are of a scale that will not give rise to any undue impact on the Redmyre Road Heritage Conservation Area. Specifically, the

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

positioning of the vehicle parking and maneuvering area behind the existing dwelling minimising its visibility from the streetscape.

4.9: Landscape elements including paving and driveways

4.9.1	Objectives	Complies
1	To retain important landscape elements that contribute to the significance of Conservation Areas.	Yes
2	To reinforce the qualities of the Conservation Area through appropriate landscaping	Yes

Comments: During the assessment process the proposed vehicle parking area was re-located 1.5m west of the original design to provide sufficient separation between the Jacaranda and Lemon-scented gum trees identified as necessary to be retained. Both trees are considered significant landscape elements worthy of retention and contribute to the landscape qualities of the Heritage Conservation Area.

4.14: Signage

4.14.1	Objectives	Complies
2	To ensure the original details of buildings in Conservation Areas are not obscured by inappropriate signage.	Yes
3	To ensure that signage does not have a detrimental impact on residential parts of Conservation Areas.	Yes

Comments: The proposal includes the installation of a business identification plaque near the front door. The size is compatible with the late nineteenth and early twentieth century trend of fixing of fixing house names near the front door and is acceptable.

4.15 (1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) however does involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

The subject site is located within the Redmyre Road Heritage Conservation Area and involves the part conversion of the existing dwelling to an orthodontic practice involving internal works and external to the existing dwelling and the construction of additional vehicle car parking area. During the assessment process the design of the vehicle parking area was amended to enable the protection of two (2) on-site trees including a substantial lemon-scented gum tree. The proposed works are appropriately located and are of a scale that will not give rise to any undue impact on the Redmyre Road Heritage Conservation Area.

The proposal has been appropriately designed, satisfying the definition of a 'health consulting room' with the orthodontic practice and residential component of the dwelling capable of independent function. Further, the intensity of the orthodontic practice is considered to be ancillary and appropriate for the residential zoning of the site, with clinical days with patients restricted to two (2) days per week and staff only on the other three (3) days. Special conditions of consent have been recommended to ensure the orthodontic practice operates in accordance with the relevant industry guidelines and regulations.

4.15 (1)(c) the suitability of the site for the development

The proposal is considered an acceptable outcome for the site which will not compromise the amenity of the adjoining residents or detract from the heritage characteristics of the Redmyre Road Heritage Conservation Area.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDPC 2005 from 1 March 2019 to 15 March 2019. No written submissions were received as a result.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

LOCAL INFRASTRUCTURE CONTRIBUTIONS

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are not applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as the cost of works are less than \$100,000.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

RECOMMENDATION

That Development Application No. 2019/021 for the conversion of part of an existing dwelling to an orthodontic practice, provision of onsite car parking and tree removal at 29 Redmyre Road, Strathfield be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. ORTHODONTIC PRACTICE (SC)

The orthodontic practice shall comply with the following at all times:

- i) Business and practitioner is to be registered with Australian Health Practitioner Regulation Agency (AHPRA).
- ii) Business is to comply with Australian Guidelines for the Prevention and Control of Infection in Healthcare (2010).
- iii) Business is to comply with the Dental Board of Australia - Guidelines on Infection Control 2010.
- iv) Sterilisation of reusable articles and other equipment to comply with AS/ NZS 4815: Office-based health care facilities – Reprocessing of reusable medical and surgical instruments and equipment, and maintenance of the associated environment, or AS/NZS 4187: Cleaning, disinfecting and sterilising reusable medical and surgical instruments and equipment, and maintenance of associated environments in health care facilities).

Written documentation demonstrating compliance with (i) shall be submitted to the Principal Certifying Authority prior to the operation of the orthodontic practice.

(Reason: To ensure compliance with legislation and regulations.)

2. BUSINESS IDENTIFICATION SIGNAGE – (SC)

The fixings of the business identification signage at the front entrance is to be placed into the mortar joints only.

(Reason: To minimise the impact on the extant fabric of the dwelling, permit greater reversibility and to result in a good heritage outcome.)

GENERAL CONDITIONS (GC)

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

3. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No.2019/021:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
03	Proposed Floor Plans	Katris Architects Pty Ltd	Issue D, dated 17 April 2019	18 April 2019
04	Proposed Floor Plans – First Floor	Katris Architects Pty Ltd	Issue C, dated 26 March 2019	28 March 2019
06	Waste Management Plan & Erosion & Sediment Control	Katris Architects Pty Ltd	Issue C, dated 26 March 2019	28 March 2019
-	Proposed sign	Katris Architects Pty Ltd		18 April 2019

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No.2019/021:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Arboricultural Impact Assessment Report	Jacksons Nature Works	Dated 20 February 2019	21 February 2019
BASIX Certificate	No. A340938	Issued 18 February 2019	21 February 2019
Access Report	Ergon Consulting	Rev C dated 20 February 2019	21 February 2019
Waste Management Plan	Katris Architects Pty Ltd	Dated 21 February 2019	21 February 2019
Plan of Management	Katris Architects Pty Ltd	Dated 21 February 2019	21 February 2019

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

4. SCREEN PLANTING (GC)

Evergreen shrubs with a minimum 5 litre container size achieving a minimum mature height of 3m shall be planted as illustrated on Drawing No. 03 Proposed Floor Plans, Issue D dated 17 April 2019. Screen planting shall be maintained at all times. Details of the selected plants shall be submitted to and approved by the Principal Certifying Authority. Compliance with this condition shall be certified by the Principal Certifying Authority, prior to the operation of the orthodontic practice.

(Reason: To maintain privacy amenity to neighbouring residences.)

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

5. **CONSTRUCTION HOURS (GC)**

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

6. **CONSTRUCTION WITHIN BOUNDARIES (GC)**

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

7. **DEMOLITION – GENERALLY (GC)**

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

8. **DEMOLITION - SITE SAFETY FENCING (GC)**

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

- payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and
- provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

9. **LANDSCAPING - TREES PERMITTED TO BE REMOVED (GC)**

The following listed trees are permitted to be removed to accommodate the proposed development:

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

Tree No. in Arborist Report	Tree	Location
2	<i>Cinnamomum camphora</i>	Eastern side boundary
3	<i>Cinnamomum camphora</i>	Eastern side boundary
4	<i>Lagerstroemia indica</i>	Eastern side boundary
7	<i>Agonis flexuosa</i>	Eastern side boundary
8	Dead Tree	Eastern side boundary
9	<i>Callistemon viminalis</i>	Western side boundary
10	<i>Callistemon viminalis</i>	Western side boundary
11	<i>Cotoneaster glaucophyllus</i>	Western side boundary

Two (2) replacement trees are to be selected from Council's recommended tree list and have a minimum mature height of 8 metres and a minimum 50 litre container size.

The location of the replacement trees are to be submitted and approved by the project Arborist prior to the issue of the Construction Certificate. The Arborist is to ensure that the excavation required for the replacement trees will not impact on the health of the trees to be retained (Trees No. 5 and 6.)

Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

Details demonstrating compliance with the planting requirements shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure appropriate planting back onto the site.)

10. ENVIRONMENTAL PROTECTION – TREE (GC)

The following trees are to be retained:

Tree No. in Arborist Report	Tree	Location
1	<i>Lophostemon confertus</i>	Road Reserve
5	<i>Jacaranda mimosifolia</i>	Eastern side boundary
6	<i>Corymbia citriodora</i>	Rear yard

All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

DA2019/021 - 29 Redmyre Road, Strathfield
 Lot 2 DP 935180 (Cont'd)

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Section 4, Tree protection measures, and Appendix C Tree Protection Zone Sign, of Australian Standard AS4970 - 2009, Protection of Trees on Development Sites, prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

In this regard the street tree and all protected trees on or adjacent to the site will be protected as described below;

- i. A Tree Protection (Management) Plan prepared by a AQF Level 5 Arborist is to be available on site at all times prior to the issue of the Constriction Certificate, for all demolition and site works. This Tree Protection (Management) Plan must be shown on the demand of Authorised Council staff.
- ii. Protective perimeter fencing must be consistent with AS 4687, using metal fence posts greater than 20mm diameter and solid or chain wire mesh 2 metres in height supported on concrete pads/feet at 2-2.5 metre spacing. Fencing placement should not be closer than 2.5 metres from the trunk of each protected tree, or at a distance as specified by the approved Tree Protection (Management) Plan and approved by Council's Tree Management Officer. Shade cloth is to be used to prevent entry of dust and contaminated liquids into the root protection area.
- iii. Signs must be placed on the Fencing. These signs must comply with AS1319. The signs must state the purpose of the fencing and the name and contact details of the builder and the appointed AQF Level 5 consultant arborist.
- iv. Root protection is to be provided in the form of mulching to a depth of 50-100mm, inside of the fenced tree protection zone.
- v. Ground (Root) Trunk and Branch Protection must comply with the diagram of Figure 4 of AS4970 – 2009. Ground protection within the tree protection zone and drip line should be in the form of heavy steel plates or timber rumble boards over mulch or aggregate. Trunk and branch protection should be to a minimum height of 2 metres and must include measures to protect the tree/s against damage from the movement of trucks, plant equipment and materials at greater heights above ground level.
- vi. Temporary signs, cables, wires must not be attached to, or suspended, on any street tree or protected tree.
- vii. Above ground utilities must not be placed within the canopy of an existing protected tree, or create the future need for clearance pruning.
- viii. Below ground utilities/services must not be located inside the fenced tree protection zone.
- ix. Scaffolding must not be located in the fenced tree protection zone unless authorised by the approved Tree Protection (Management) Plan and Council's Tree Management Officer
- x. Council must be notified in writing within 24 hours, for all temporary removal of the tree protection fencing ground (root) trunk and branch protection within the root protection area.
- xi. Pruning of a street tree is prohibited without the written consent of Council.

(Reason: To ensure the protection of trees to be retained on the site.)

11. **LANDSCAPING - TREE PRUNING PERMITTED (GC)**

Pruning of the following tree/s is permitted:

Species	Location
<i>Jacaranda mimosifolia</i>	Eastern side boundary
<i>Corymbia citriodora</i>	Rear yard

**DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)**

No more than 10% of the entire crown is to be removed as part of this approval. The pruning shall not give the crown an unbalanced appearance. All pruning work must be undertaken by a minimum level 2 (AQF 3) qualified Arborist who is currently a member or eligible for membership to Arboriculture Australia (AA) or the Tree Contractors Association Australia (TCAA), in accordance with AS4373—Pruning of Amenity Trees.

(Reason: To ensure tree preservation and pruning is undertaken in accordance with AS4373:2007 – Pruning of amenity trees.)

12. MATERIALS – SCHEDULE OF EXTERNAL FINISHES TO BE SUBMITTED (GC)

A schedule detailing all external materials, colours and finishes for the disabled access ramp in the front setback shall be submitted to Council.

All external materials, colours and finishes must be of high quality and compatible with those of the surrounding streetscape and locality. All external materials and colours shall be of low glare and reflectivity. Details demonstrating compliance with this condition shall be provided to the Principal Certifying Authority, prior to the issue of any Construction Certificate.

(Reason: To ensure a positive contribution to the streetscape.)

13. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

14. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. Protection pads are to be installed to the kerb, gutter and nature strip where trucks and vehicles enter the site.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

- observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
 - viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
 - ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
 - x) All waste must be contained entirely within the site.
 - xi) A site plan including temporary waste storage locations, construction material storage areas and vehicular access to and from the site must be included with application.
 - xii) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
 - xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling and must be presented to Council and/or Principal Certifying Authority upon request.
 - xiv) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
 - xv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
 - xvi) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
 - xvii) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
 - xviii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
 - xix) Any work must not prohibit or divert any natural overland flow of water.
 - xx) Toilet facilities for employees must be provided in accordance with WorkCover NSW.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

15. **WASTE – TRACKABLE (GC)**

Removal of trackable waste (as defined by the NSW Environment Protection Authority) from the site must comply with the Protection of the Environment Operations (Waste) Regulation 2005 for the transportation, treatment and disposal of waste materials. Waste materials must not be disposed on land without permission of the land owner and must with the provisions of the Protection of the Environment and Operations Act 1997.

(Reason: To ensure compliance with legislation.)

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

16. HAZARDOUS GOODS AND WASTE (GC)

Dangerous and hazardous goods shall be stored in accordance with NSW WorkCover requirements and AS1940-2004 - The Storage and Handling of Flammable and Combustible Liquids.

Hazardous waste must be contained, managed and disposed of in a responsible manner in accordance with the Protection of Environment and Operations Act 1997, NSW Environment Protection Authority (EPA) and the New South Wales WorkCover Authority.

Material Safety Data Sheets of all hazardous substances used, such as bleaches and nail products must be kept on site and readily available to all staff. Staff must be trained how to safely use and store these chemicals prior to the commencement of work.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

(Reason: Health and safety.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (PCC)

17. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

18. ACCESS - DISABLED TOILETS (CC)

Plans and details of the disabled toilet/s complying with the relevant Australian Standards, the Building Code of Australia, and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

19. **BASIX COMMITMENTS (CC)**

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 4.55 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance.)

20. **BUILDING CODE OF AUSTRALIA – COMPLIANCE WITH (CC)**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the [Home Building Act 1989](#) requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

21. **CAR PARKING - VEHICULAR ACCESS RAMPS (CC)**

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.
- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
- iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
- iv) Location of verge trees, street furniture and service installations.
- v) Superimposition of vehicle turning circles for access into parking spaces.
- vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

22. **CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)**

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

23. **COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)**

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

24. **COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement.)

25. **EROSION AND SEDIMENTATION CONTROL PLAN (CC)**

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

(Reason: Environmental protection.)

26. **FIRE SAFETY UPGRADE - CHANGE OF BUILDING USE (CC)**

Council considers pursuant to clause 93 of the Environmental Planning and Assessment Regulation 2000 that it is appropriate to require the existing building to be upgraded to total or partial conformity with the BCA.

The Construction Certificate plans and specification required to be submitted to the Certifying Authority pursuant to clause 139 of the Regulation must detail building upgrade works required by for the approved use.

The Certifying Authority must be satisfied that such work, to be implemented as part of the development, will upgrade the building to bring it into compliance with the provisions of the BCA in force at the date of issue of the Construction Certificate.

Note: The Certifying Authority issuing the Construction Certificate has no power to remove the requirement to upgrade the existing building as required by this condition. Where this condition specifies compliance with performance requirements of the BCA, the Certifying Authority (subject to their level of accreditation) may be satisfied as to such matters. Where this condition specifies compliance with prescriptive (deemed to satisfy) provisions of the BCA, these prescriptive requirements must be satisfied and cannot be varied unless this condition is reviewed under section 82A or amended under section 4.55 of the Act.

(Reason: Fire safety.)

27. **FIRE SAFETY SCHEDULE (CC)**

A Fire Safety Schedule specifying the fire safety measures (both current and proposed) which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979.)

28. **TREE BONDS (CC)**

A tree bond of **\$16,000** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

height.

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

29. **SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)**

A security (damage deposit) of **\$2,700.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

(Reason: Protection of Council infrastructure.)

30. **SEPARATE WASTE AREAS FOR MIXED-USE DEVELOPMENTS (CC)**

Generate waste and recycling for the residential component and orthodontic practice of the dwelling shall be stored and collected separately.

All waste generated by the orthodontic practice is to be collected by a private contractor.

(Reason: To ensure separation of commercial and municipal waste.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (PCW)

31. **APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)**

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

- notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
- appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the person having the benefit of the development consent has given at least 2 days' notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

32. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

33. HOME BUILDING COMPENSATION FUND (CW)

No residential building work within the meaning of the Home Building Act 1989 may commence until:

- i) A contract of insurance in accordance with Part 6 of the Home Building Act 1989 is entered into and in force, where such a contract is required under that Act (this is a prescribed condition of consent pursuant to clause 981(b) Environmental Planning and Assessment Regulation 2000.
- ii) The PCA is satisfied that the principal contractor for the work is the holder of the appropriate licence and is covered by the appropriate insurance, in each case if required by the Home Building Act 1989 (unless the work is to be carried out by an

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

- owner-builder).
- iii) If the work is to be carried out by an owner builder, that the owner builder is the holder of any owner -builder permit required under the Home Building Act 1989.
 - iv) Written notice of the following information has been provided to Council (this is a prescribed condition of consent pursuant to clause 98B of the Environmental Planning and Assessment Regulation 2000):
 - In the case of work for which a principal contractor is required to be appointed:
 - the name and licence number of the principal contractor; and
 - the name of the insurer by which the work is insured under Part 6 of the Home Building Act 1989.
 In the case of work to be done by an owner-builder:
 - the name of the owner-builder; and
 - if the owner-builder is required to hold an owner-builder permit under the Home Building Act 1989, the number of the owner-builder permits.

Where Council is not the PCA, the PCA is responsible for notifying Council of the above matters.

Note: Where arrangements for doing residential building work change while the work is in progress so that the above information becomes out of date, the PCA (where not the Council) must provide Council with written notice of the updated information.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DBW)

34. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (POC)

35. FIRE SAFETY CERTIFICATION (OC)

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

A fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- i) has been assessed by a properly qualified person; and
- ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

**DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)**

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

A copy of the fire safety certificate and fire safety schedule shall be:

- i) submitted to Strathfield Council;
- ii) submitted to the Commissioner of the New South Wales Fire Brigade; and
- iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

36. LANDSCAPING - ARBORIST'S FOLLOW UP REPORT OF TREE/S TO BE RETAINED (OC)

As part of the on-going assessment of the tree/s to be retained, the consulting arborist engaged by the applicant is to assess their health and any impacts suffered by them as a result of the proposed approved development, prior to the issue of an Occupation Certificate. Findings are to be compiled in a detailed report and submitted to the Principle Certifying Authority, which documents the following:

- i) methods of excavation or construction used to carry out the works;
- ii) any damage sustained by the tree/s as a result of the works;
- iii) any subsequent remedial works required to be carried out by the consulting arborist as a result of the damage; and
- iv) any future or on-going remedial work required to be carried out to ensure the long term retention of the tree/s.

(Reason: To ensure the survival of trees to be retained.)

37. OCCUPATION OF BUILDING (OC)

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)

38. COMMERCIAL PREMISES - NO SIGNAGE OR GOODS ON PUBLIC FOOTWAY (OU)

At no time may any signs including sandwich boards and the like or goods for sale or display, be placed on the public road, public footpath, service land, parking area and driveways, public or private pedestrian walkways outside the premises or in the immediate vicinity without the prior approval of Council.

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

(Reason: Safety and amenity.)

39. FIRE SAFETY ANNUAL STATEMENT (OU)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

- i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and
- ii) Prominently displayed in the building.

(Reason: Fire safety.)

40. HOURS OF OPERATION - COMMERCIAL PREMISES (OU)

The hours of operation of the premises (i.e. hours open for business) must not exceed the following, without the prior approval of Council:

Days	Approved hours of operation
Mon-Friday	8am – 5pm
Saturday	Closed
Sunday and public holidays	Closed

Clinical days with patients are restricted to two (2) days per week.

(Reason: To ensure the business operates between the approved hours.)

41. OFFICE / COMMERCIAL USE - PERMITTED ONLY AS ANCILLARY USE (OU)

No part of the premises may be used as offices or for any other commercial activity, including a showroom or display area, except where such facility is ancillary and subordinate to the principal use of the premises. The proportion of floor space of the building used for offices or showrooms and the like, must not be increased above that shown on the approved plan(s).

(Reason: To ensure development undertaken on the site is consistent with the approval.)

42. POLLUTION - COMPLIANCE WITH PEOA 1997 GENERALLY (OU)

The activities carried out on site shall not constitute a nuisance in relation to noise, air or water pollution as specified under the Protection of the Environment Operations Act 1997.

(Reason: Environmental protection.)

43. STAFF RESTRICTION - HEALTH SERVICES FACILITIES (OU)

A maximum number of three (3) staff may occupy the dwelling house for uses as medical consulting rooms. The one (1) orthodontist must practice in partnership and there can be no more than two (2) employees associated with the practice.

(Reason: To ensure compliance with the consent.)

DA2019/021 - 29 Redmyre Road, Strathfield
Lot 2 DP 935180 (Cont'd)

44. WASTE AND RECYCLING COLLECTION (COMMERCIAL AND INDUSTRIAL) (OU)

- i) The collection of commercial waste and recycling must only occur between 6.00am and 8.00pm weekdays and 9.00am and 5.00pm on weekends and public holidays, to avoid noise disruption to the surrounding area.
- ii) Commercial garbage and recycling must be collected on site unless expressly agreed to in OC.
- iii) Where consent is given for commercial garbage and recycling to be placed kerbside for collection bins must not be placed on the kerbside more than one hour before the scheduled collection time. Bins and containers are to be removed from the kerbside within one (1) hour of collection and returned to the designated garbage storage area(s).
- iv) The garbage and recyclable storage area and bins must be adequate to contain the volume and type of garbage and recyclable matter of the food premises.
- v) All garbage and recyclable matter must be enclosed in the waste bins with lids completely closed at all times. (Reason: To regulate noise and garbage collection arrangements.)

45. WATER COOLING AND WARM WATER SYSTEMS - MICROBIAL CONTROL (OU)

The installation and ongoing operation of the water cooling systems, evaporative coolers and hot/warm water systems within the premises shall be undertaken in accordance with the relevant provisions of:

- i) Public Health Act 2010 and Public Health Regulation 2012;
- ii) Australian Standard AS/NZS 3666 - Air Handling and Water Systems of Buildings - Microbial Control, Parts 1, 2 & 3 of 2011; and
- iii) 2004 NSW Health Code of Best Practice for the Control of Legionnaires Disease.

Any systems are required to be registered with Council and the Public Health Authority.

(Reason: Health and safety.)

ATTACHMENTS

1. [↓](#) Architectural Plans

AMENDMENTS TO LANDSCAPING, FURTHER TO THE NOTIFICATION FROM CIL DATED 19TH MARCH 2019.
 INCLUDE THE REMOVAL OF INCONSISTENCIES WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY JACKSON REWORKS. THE TREES ARE NUMBERED IN ACCORDANCE WITH XURE B - "TREE IMPACT PLAN" WITH NUMBERS BY JACKSON NATURE IS CONTAINED IN THE REPORT. WE SPECIFICALLY NOTE THAT ONLY TREES NOMINATED FOR REMOVAL ARE TO BE ASSESSED BY COUNCIL. OTHER TREES ARE TO REMAIN. THE INCONSISTENCIES RELATE TO THE THAT ON THE ARCHITECTURAL PLANS TREES 5 AND 10 WERE LISTED FOR REMOVAL, ALONG WITH TREES 4,3,2,7,8 AND 9, WHERE AS ARBORICULTURAL IMPACT ASSESSMENT INDICATES THAT TREES 5 AND 9 ARE TO BE RETAINED AND ONLY TREES 4,3,2,7,8 AND 10 ARE TO BE REMOVED. THE PLANS HAVE SINCE BEEN AMENDED TO REFLECT THE RECOMMENDATIONS OF THE ARBORICULTURAL IMPACT ASSESSMENT.

SECTION ON THE NCC REQUIREMENTS (NCC VOL. ONE) WITH SPECIFIC REFERENCE TO PART C1 AS DETAILED IN THE BCA REPORT PREPARED BY BUILDING CODE PROFESSIONALS PTY LTD.

SECTION C2.2: REGARDING MAXIMUM FLOOR AREA LIMITED REQUIREMENTS:
 PROPOSAL DOES COMPLY WITH THE REQUIREMENTS OF TABLE C2.2 IN NCC VOL ONE - MAXIMUM SIZE OF FIRE COMPARTMENTS, AS IT DOES NOT EXCEED THE FLOOR AREA AND VOLUMES LIMITATION THAT ARE APPLICABLE FOR A BUILDING THAT IS A "TYPE C" CONSTRUCTION.

SECTION C1.2:
 BCA REPORT REQUIRES THE BASEMENT LEVEL "STORE AND ENTRY" TO BE REFERRED TO AS "ENTRY STAIRWAY." IN ADDITION, THE INTERNAL WALL DOOR THAT SEPARATES THE "STORE AND ENTRY" FROM THE DRIVEWAY ARE TO BE DELETED. THIS WILL PERMIT THE BASEMENT LEVEL TO BE EXCLUDED FROM THE NCC DEFINITION OF BEING A "STOREY", THEREBY ALLOWING THE BUILDING TO HAVE A RISE IN STOREYS OF TWO (2) TYPE C CONSTRUCTION. THIS REQUIREMENT HAS BEEN IMPLEMENTED IN THE BASEMENT FLOOR PLAN. REFER TO DRAWING NO. 03

ADDITIONAL NOTE REGARDING THE BUILDING CODE REQUIREMENTS:
 BUILDING MUST COMPLY WITH THE FOLLOWING CLAUSE(S) OF THE NCC VOL ONE AS ITEMISED ON PAGES 8,9 AND 10 OF THE BCA ASSESSMENT REPORT PREPARED BY THE BUILDING CODE PROFESSIONALS PTY LTD.
 WE INCLUDE THE FOLLOWING:-
 JSE C1.1 - "RISE IN STOREYS"
 JSE C1.2 - "CALCULATING THE RISE IN STOREYS"
 JSE C1.3 - "BUILDING WITH MULTIPLE CLASSIFICATIONS"
 JSE C1.6 - "FRL'S AND SEPARATION FOR CLASS 4 PARTS"
 JSE C1.8 - "LIGHTWEIGHT CONSTRUCTION TO COMPLY WITH SPEC."

JSE C1.10 - "REQUIRES MATERIALS AND ASSEMBLIES TO COMPLY WITH FIRE HAZARD PROPERTIES AS OUTLINED IN SPEC C1.10 OF THE NCC VOL ONE"



EXISTING FRONT ELEVATION TO 29 REDMYRE ROAD, STRATHFIELD

IMPORTANT NOTE: THERE ARE NO BUILDING WORKS PROPOSED TO ANY OF THE EXISTING ELEVATIONS TO THE CURRENT BUILDING

NOTE: CLOUDED AREAS INDICATE AMENDMENTS

STRATHFIELD COUNCIL
 RECEIVED
 AMENDED PLANS
 DA2019/021
 28 MARCH 2019

DEVELOPMENT APPLICATION

FOR:
 29 Redmyre Road, Strathfield

ISSUE C

Date 26.03.2019

CLIENT

Dr Divya Sriram

PLEASE NOTE: NO EXTERNAL WORKS ARE PROPOSED TO THE EXTERIOR OF THE EXISTING BUILDING



Katris architects pty ltd

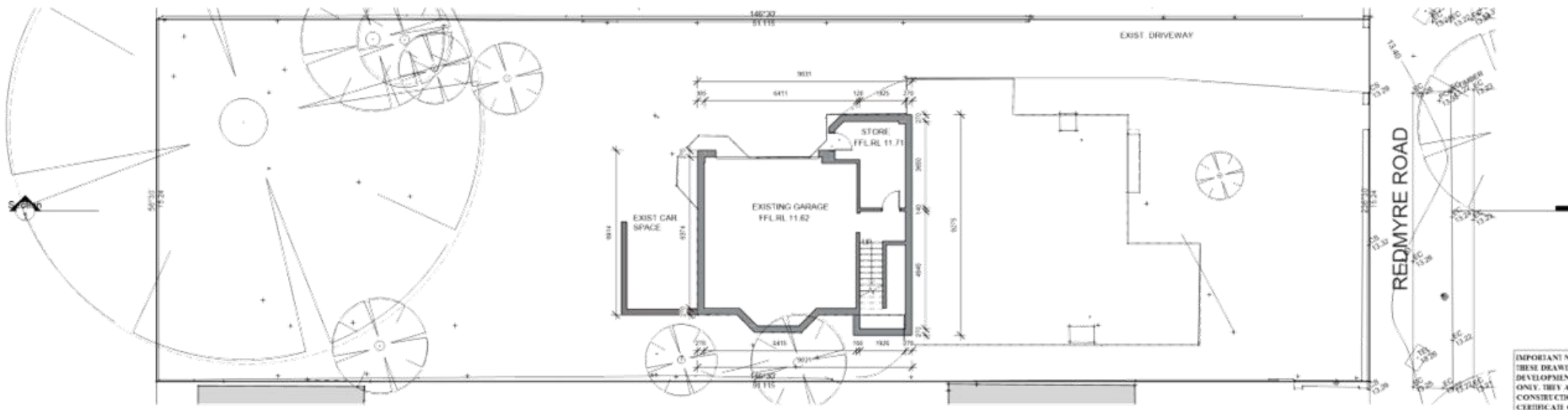
DISCLAIMER NOTE
 THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION

level 1, 3-5 burwood road, concord 2137 n
 po box 703 burwood 1805 n
 P 02 97 42 42



STRATHFIELD COUNCIL
RECEIVED
DA2019/021
21 FEBRUARY 2019

1 Ground floor (Existing)
1 : 100



2 Basement (Existing)
1 : 100

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR.

PLEASE NOTE: NO EXTERNAL WORKS ARE PROPOSED TO THE EXTERIOR OF THE EXISTING BUILDING

GENERAL NOTES

1. All dimensions are to be confirmed by site for the building construction. All construction is to be in accordance with the relevant building codes of NSW.

2. All construction is to be in accordance with the relevant building codes of NSW.

3. All construction is to be in accordance with the relevant building codes of NSW.

4. All construction is to be in accordance with the relevant building codes of NSW.

5. All construction is to be in accordance with the relevant building codes of NSW.

6. All construction is to be in accordance with the relevant building codes of NSW.

7. All construction is to be in accordance with the relevant building codes of NSW.

8. All construction is to be in accordance with the relevant building codes of NSW.

9. All construction is to be in accordance with the relevant building codes of NSW.

10. All construction is to be in accordance with the relevant building codes of NSW.

NO.	DATE	ISSUE	DESCRIPTION
01	12/02/19	A	FOR ARCHITECTURAL SUBMISSION
02	14/02/19	B	FOR CIVIL SUBMISSION
03	28/02/19	C	FOR DEVELOPMENT APPLICATION SUBMISSION

GRAPHICS

- EXISTING WALL
- EXISTING WINDOW
- EXISTING DOOR
- EXISTING FLOOR
- EXISTING ROOF
- EXISTING CEILING
- EXISTING STAIR
- EXISTING LIFT
- EXISTING PLUMBING
- EXISTING ELECTRICAL
- EXISTING MECHANICAL
- EXISTING SERVICES
- EXISTING STRUCTURE
- EXISTING FOUNDATION
- EXISTING EXTERIOR
- EXISTING LANDSCAPE
- EXISTING UTILITIES
- EXISTING SERVICES
- EXISTING STRUCTURE
- EXISTING FOUNDATION
- EXISTING EXTERIOR
- EXISTING LANDSCAPE
- EXISTING UTILITIES

ANNOTATIONS

1. ALL DIMENSIONS ARE TO BE CONFIRMED BY SITE FOR THE BUILDING CONSTRUCTION.

2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

3. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

5. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

6. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

7. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

8. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

9. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

10. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES OF NSW.

katris architects pty ltd
level 1 3-5 burwood road, concord nsw 2137
PO Box 703 burwood 1805 nsw australia
abs 79 001 639 970

p 02 9744 5421
f 02 9747 5046
www.katris.com.au

PROJECT: 29 Redmyre Road, Strathfield

CLIENT: Dr Debra Scazz

DRAWN: CL

ARCHITECTURAL APPROVAL: NL

DATE: 14/11/18

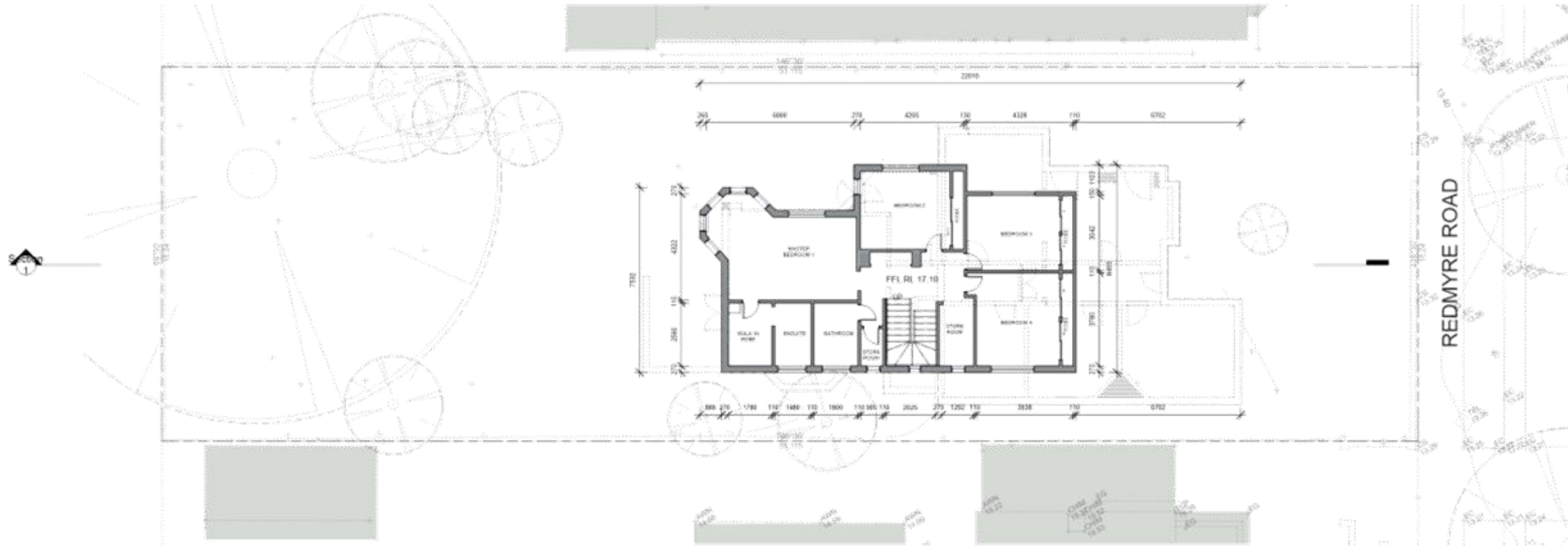
STRATHFIELD COUNCIL
RECEIVED
DA2019/021
21 FEBRUARY 2019

NOTES ON THE NCC REQUIREMENTS (NCC VOL. ONE) WITH SPECIFIC REFERENCE TO PART C1 AS DETAILED IN THE BCA REPORT PREPARED BY BUILDING CODE PROFESSIONALS PTY LTD.

CLAUSE C2.2: REGARDING MAXIMUM FLOOR AREA LIMITED REQUIREMENTS:
THIS PROPOSAL DOES COMPLY WITH THE REQUIREMENTS OF TABLE C2.1 AS PER NCC VOL ONE - MAXIMUM SIZE OF FIRE COMPARTMENTS, AS IT DOES NOT EXCEED THE FLOOR AREA AND VOLUMES LIMITATION THAT ARE STIPULATED FOR A BUILDING THAT IS A "TYPE C" CONSTRUCTION.

CLAUSE C1.2:
THE BCA REPORT REQUIRES THE BASEMENT LEVEL "STORE AND ENTRY" BE REFERRED TO AS "ENTRY STAIRWAY." IN ADDITION, THE INTERNAL WALL AND DOOR THAT SEPARATES THE "STORE AND ENTRY" FROM THE STAIRWAY ARE TO BE DELETED. THIS WILL PERMIT THE BASEMENT LEVEL TO BE EXCLUDED FROM THE NCC DEFINITION OF BEING A "STOREY", THEREBY ALLOWING THE BUILDING TO HAVE A RISE IN STOREYS OF TWO IN A TYPE C CONSTRUCTION. THIS REQUIREMENT HAS BEEN IMPLEMENTED ON THE BASEMENT FLOOR PLAN. REFER TO DRAWING NO. 03

SPECIAL NOTE REGARDING THE BUILDING CODE REQUIREMENTS:
THE BUILDING MUST COMPLY WITH THE FOLLOWING CLAUSE(S) OF THE NCC VOL. ONE AS ITEMISED ON PAGES 8, 9 AND 10 OF THE BCA ASSESSMENT REPORT PREPARED BY THE BUILDING CODE PROFESSIONALS PTY LTD. THESE INCLUDE THE FOLLOWING:-
-CLAUSE C1.1 - "RISE IN STOREYS"
-CLAUSE C1.2 - "CALCULATING THE RISE IN STOREYS"
-CLAUSE C1.3 - "BUILDING WITH MULTIPLE CLASSIFICATIONS."
-CLAUSE C1.8 - "FRL'S AND SEPARATION FOR CLASS 4 PARTS."
-CLAUSE C1.8 - "LIGHTWEIGHT CONSTRUCTION TO COMPLY WITH SPEC. C1.8"
-CLAUSE C1.10 - "REQUIRES MATERIALS AND ASSEMBLIES TO COMPLY WITH FIRE HAZARD PROPERTIES AS OUTLINED IN SPEC C1.10 OF THE NCC VOL. ONE"



1 First Floor (Existing)
1 : 100

NOTE: CLOUDED AREAS INDICATE AMENDMENTS

IMPORTANT NOTE
THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

PLEASE NOTE: NO EXTERNAL WORKS ARE PROPOSED TO THE EXTERIOR OF THE EXISTING BUILDING

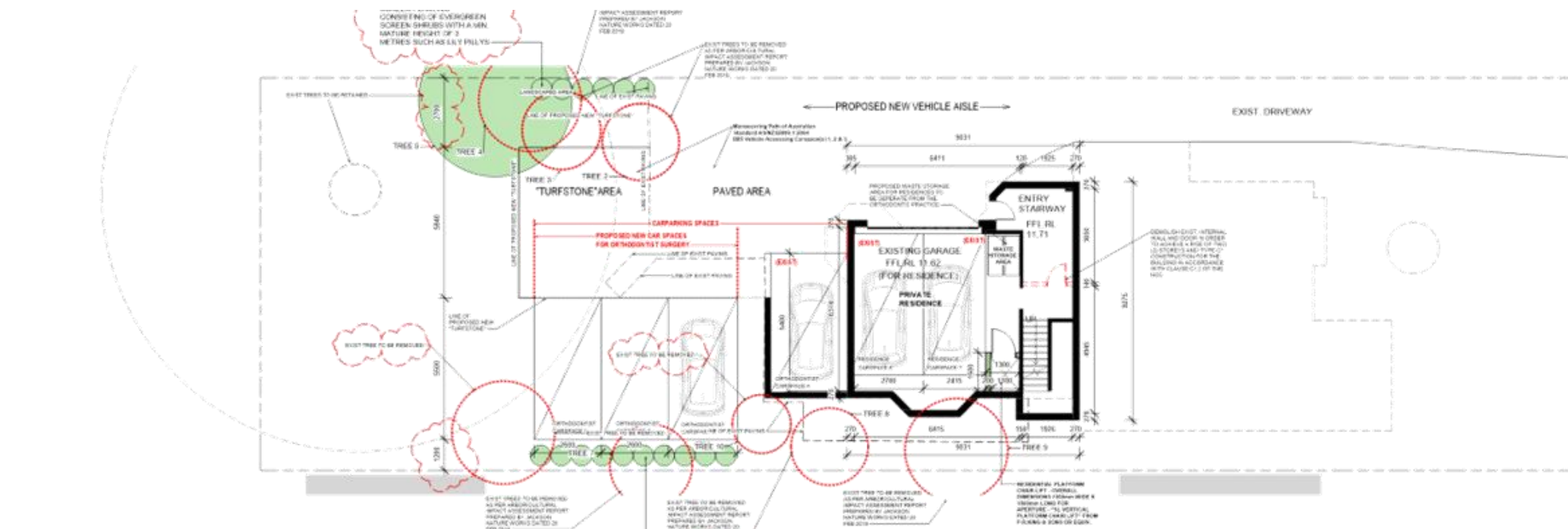
GENERAL - GENERAL NOTES
1. All works are to be completed in accordance with the Australian Standards, unless otherwise stated or approved by the architect.
2. The contractor is to be responsible for the completion of the works in accordance with the program of works.
3. The contractor is to be responsible for the completion of the works in accordance with the program of works.
4. The contractor is to be responsible for the completion of the works in accordance with the program of works.
5. The contractor is to be responsible for the completion of the works in accordance with the program of works.

NO.	DATE	ISSUE	DESCRIPTION
01	15/03/18	A	FOR PRELIMINARY SUBMISSION
02	14/02/19	B	FOR PRELIMINARY SUBMISSION
03	28/02/19	C	FOR PRELIMINARY SUBMISSION

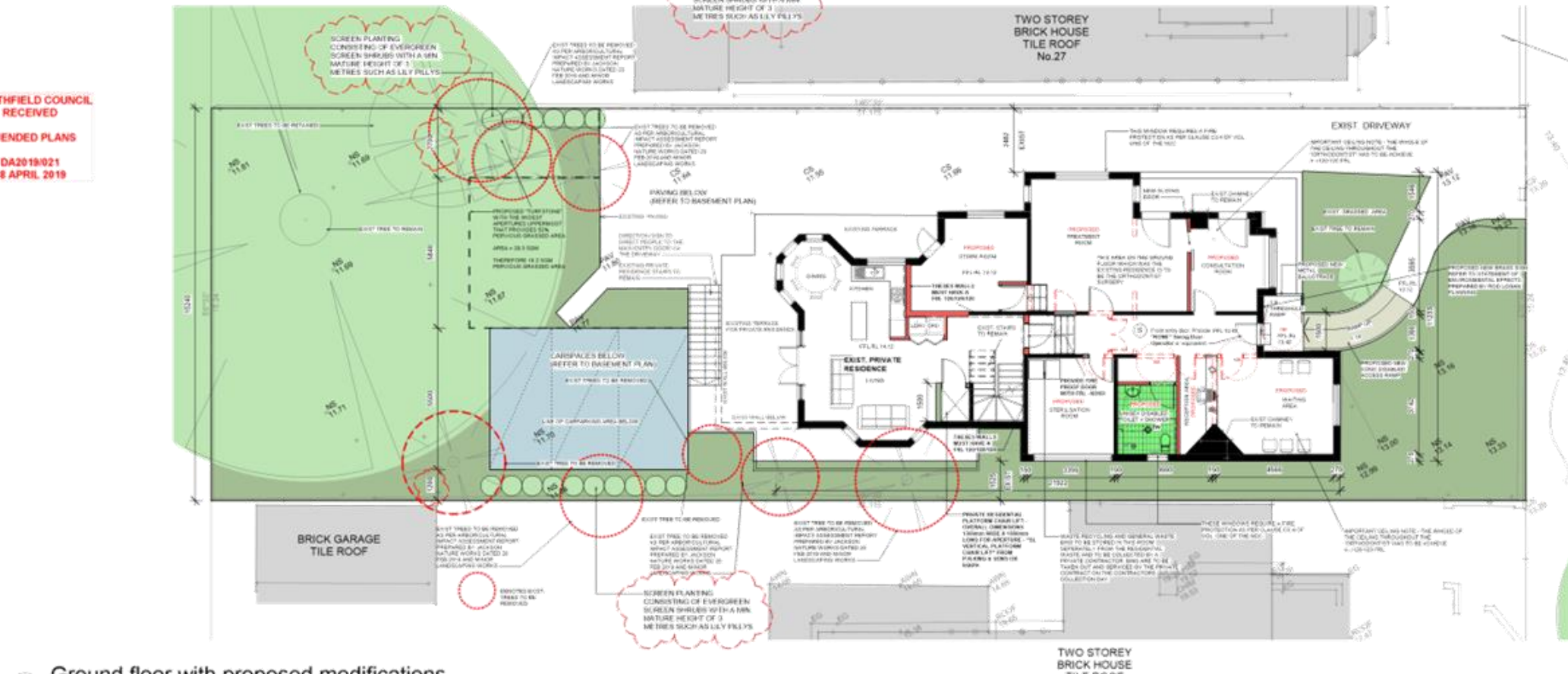
NO.	DATE	ISSUE	DESCRIPTION
01	15/03/18	A	FOR PRELIMINARY SUBMISSION
02	14/02/19	B	FOR PRELIMINARY SUBMISSION
03	28/02/19	C	FOR PRELIMINARY SUBMISSION

katriss architects pty ltd
level 1 3-5 burwood road, concord nsw 2137
PO Box 703 burwood 1805 nsw australia
abs 79 001 639 970

p 02 9744 5421
f 02 9747 5046
www.katriss.com.au



2 Basement with proposed modifications
1 : 100



1 Ground floor with proposed modifications
1 : 100

NOTE: CLOUDED AREAS INDICATE AMENDMENTS

BASIX COMMITMENTS:
 Lighting
 The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
 Fixtures
 The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
 The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
 The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

NOTES ON THE NCC REQUIREMENTS (NCC VOL. ONE) WITH SPECIFIC REFERENCE TO PART C1 AS DETAILED IN THE BCA REPORT PREPARED BY BUILDING CODE PROFESSIONALS PTY LTD.

CLAUSE C2.2: REGARDING MAXIMUM FLOOR AREA LIMITED REQUIREMENTS:
 THIS PROPOSAL DOES COMPLY WITH THE REQUIREMENTS OF TABLE C2.2 AS PER NCC VOL. ONE - MAXIMUM SIZE OF FIRE COMPARTMENTS. AS IT DOES NOT EXCEED THE FLOOR AREA AND VOLUMES LIMITATION THAT ARE STIPULATED FOR A BUILDING THAT IS A 'TYPE C' CONSTRUCTION.

CLAUSE C1.2:
 THE BCA REPORT REQUIRES THE BASEMENT LEVEL 'STORE AND ENTRY' TO BE REFERRED TO AS 'ENTRY STAIRWAY' IN ADDITION, THE INTERNAL WALL AND DOOR THAT SEPARATES THE 'STORE AND ENTRY' FROM THE STAIRWAY ARE TO BE DELETED. THIS WILL PERMIT THE BASEMENT LEVEL TO BE EXCLUDED FROM THE NCC DEFINITION OF BEING A 'STOREY', THEREBY ALLOWING THE BUILDING TO HAVE A RISE IN STOREYS OF TWO (2) IN A TYPE C CONSTRUCTION. THIS REQUIREMENT HAS BEEN IMPLEMENTED ON THE BASEMENT FLOOR PLAN. REFER TO DRAWING NO. 03.

SPECIAL NOTE REGARDING THE BUILDING CODE REQUIREMENTS:
 THE BUILDING MUST COMPLY WITH THE FOLLOWING CLAUSE(S) OF THE NCC VOL. ONE AS ITISED ON PAGES B.9 AND D OF THE BCA ASSESSMENT REPORT PREPARED BY THE BUILDING CODE PROFESSIONALS PTY LTD. THESE INCLUDE THE FOLLOWING:
 - CLAUSE C1.1 - 'RISE IN STOREYS'
 - CLAUSE C1.2 - 'CALCULATING THE RISE IN STOREYS'
 - CLAUSE C1.3 - 'BUILDING WITH MULTIPLE CLASSIFICATIONS.'
 - CLAUSE C1.6 - 'FRL'S AND SEPARATION FOR CLASS 4 PARTS.'
 - CLAUSE C1.8 - 'LIGHTWEIGHT CONSTRUCTION TO COMPLY WITH SPEC. C1.8'
 - CLAUSE C1.10 - 'REQUIRES MATERIALS AND ASSEMBLIES TO COMPLY WITH FIRE HAZARD PROPERTIES AS OUTLINED IN SPEC C1.10 OF THE NCC VOL. ONE.'

REDMYRE ROAD

REDMYRE ROAD

STRATHFIELD COUNCIL
 RECEIVED
 AMENDED PLANS
 DA2019/021
 18 APRIL 2019

IMPORTANT NOTE
 THESE DRAWINGS HAVE BEEN ISSUED FOR DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR.

PLEASE NOTE: NO EXTERNAL WORKS ARE PROPOSED TO THE EXTERIOR OF THE EXISTING BUILDING

GENERAL NOTES:
 1. All works are to be completed in accordance with the local laws, codes of practice and standards of work.
 2. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 3. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 4. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 5. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 6. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 7. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 8. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 9. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.
 10. The contractor is to be responsible for the construction details and to ensure that the construction is in accordance with the approved plans.

NO.	DATE	ISSUE	DESCRIPTION
01	15/04/2019	ISSUED	FOR PRELIMINARY APPROVAL
02	18/04/2019	AMENDMENTS	AS PER COUNCIL COMMENTS DATED 17 APRIL 2019

katris architects pty ltd
 level 1 3-5 burwood road, concord nsw 2137
 PO Box 703 burwood 1805 nsw australia
 abn 79 001 639 970

p 02 9744 5421
 f 02 9747 5046
 www.katris.com.au

PROJECT
 29 Redmyre Road, Strathfield

CLIENT
 Dr Ervin Szabo

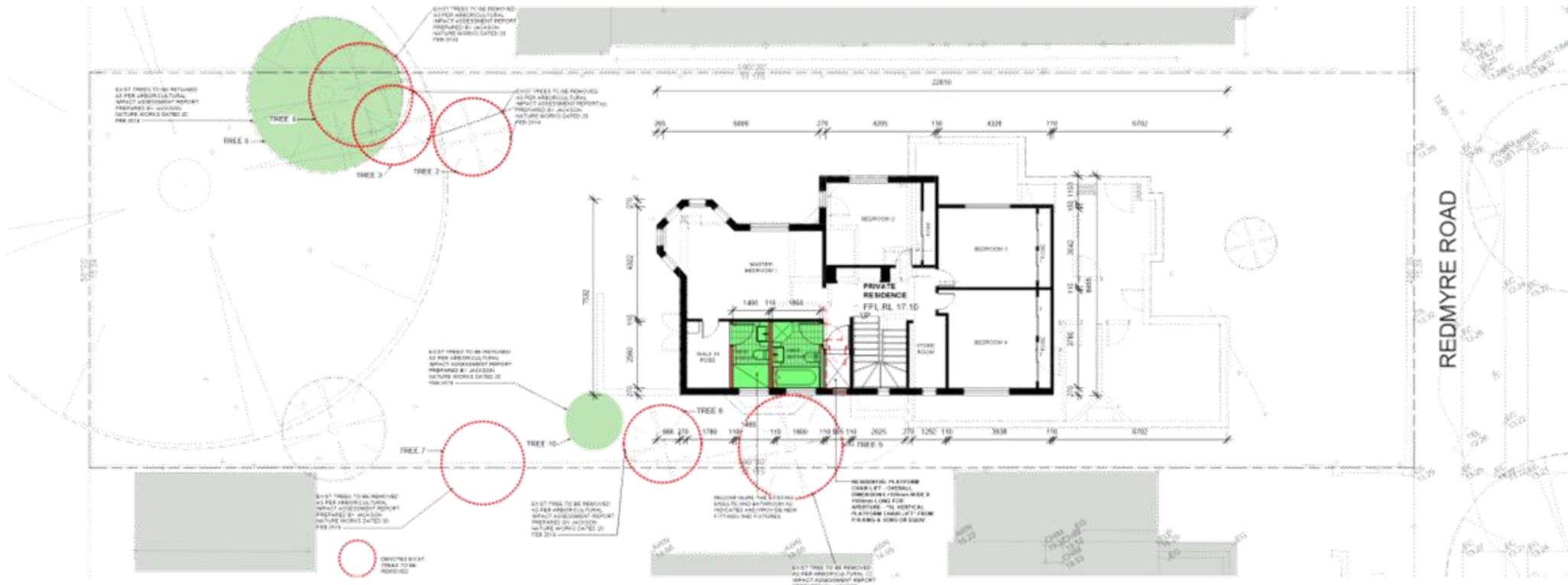
DESIGNER
 CL 1500/04/01

ARCHITECTURAL APPROVAL
 N/A

DATE
 14/11/18

AMENDMENTS TO LANDSCAPING, FURTHER TO THE NOTIFICATION FROM COUNCIL DATED 19TH MARCH 2019.
 THESE INCLUDE THE REMOVAL OF INCONSISTENCIES WITH THE ARBORICULTURAL IMPACT ASSESSMENT REPORT PREPARED BY JACKSON NATURE WORKS. THE TREES ARE NUMBERED IN ACCORDANCE WITH ANNEXURE B - "TREE IMPACT PLAN" WITH NUMBERS BY JACKSON NATURE WORKS CONTAINED IN THE REPORT. WE SPECIFICALLY NOTE THAT, ONLY THE TREES, NOMINATED FOR REMOVAL ARE TO BE ASSESSED BY COUNCIL. ALL OTHER TREES ARE TO REMAIN. THE INCONSISTENCIES RELATE TO THE FACT THAT, ON THE ARCHITECTURAL PLANS TREES 5 AND 10 WERE NOMINATED FOR REMOVAL, ALONG WITH TREES 4,3,2,7,8 AND 9. WHERE AS, THE ARBORICULTURAL IMPACT ASSESSMENT INDICATES THAT TREES 5 AND 10 ARE TO BE RETAINED AND ONLY TREES 4,3,2,7,8 AND 9 ARE TO BE REMOVED. THE PLANS HAVE SINCE BEEN AMENDED TO REFLECT THE REQUIREMENTS OF THE ARBORICULTURAL IMPACT ASSESSMENT.

**STRATHFIELD COUNCIL
 RECEIVED**
AMENDED PLANS
DA2019/021
28 MARCH 2019



BASIX COMMITMENTS:
Lighting
 The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
 The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
 The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
 The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

NOTES ON THE NCC REQUIREMENTS (NCC VOL ONE) WITH SPECIFIC REFERENCE TO PART C1 AS DETAILED IN THE BCA REPORT PREPARED BY BUILDING CODE PROFESSIONALS PTY LTD.

CLAUSE C2.2: REGARDING MAXIMUM FLOOR AREA LIMITED REQUIREMENTS:
 THIS PROPOSAL DOES COMPLY WITH THE REQUIREMENTS OF TABLE C2.2 AS PER NCC VOL ONE - MAXIMUM SIZE OF FIRE COMPARTMENTS. AS IT DOES NOT EXCEED THE FLOOR AREA AND VOLUME LIMITATION THAT ARE STIPULATED FOR A BUILDING THAT IS A "TYPE C" CONSTRUCTION.

CLAUSE C1.2:
 THE BCA REPORT REQUIRES THE BASEMENT LEVEL "STORE AND ENTRY" TO BE REFERRED TO AS "ENTRY STAIRWAY." IN ADDITION, THE INTERNAL WALL AND DOOR THAT SEPARATES THE "STORE AND ENTRY" FROM THE STAIRWAY ARE TO BE DELETED. THIS WILL PERMIT THE BASEMENT LEVEL TO BE EXCLUDED FROM THE NCC DEFINITION OF BEING A "STOREY", THEREBY ALLOWING THE BUILDING TO HAVE A RISE IN STOREYS OF TWO (2) IN A TYPE C CONSTRUCTION. THIS REQUIREMENT HAS BEEN IMPLEMENTED ON THE BASEMENT FLOOR PLAN. REFER TO DRAWING NO. 03

SPECIAL NOTE REGARDING THE BUILDING CODE REQUIREMENTS:
 THE BUILDING MUST COMPLY WITH THE FOLLOWING CLAUSE(S) OF THE NCC VOL ONE AS REFERRED ON PAGES 8,9 AND 10 OF THE BCA ASSESSMENT REPORT PREPARED BY THE BUILDING CODE PROFESSIONALS PTY LTD. THESE INCLUDE THE FOLLOWING -
 -CLAUSE C1.1 - "RISE IN STOREYS"
 -CLAUSE C1.2 - "CALCULATING THE RISE IN STOREYS"
 -CLAUSE C1.3 - "BUILDING WITH MULTIPLE CLASSIFICATIONS."
 -CLAUSE C1.6 - "FRL'S AND SEPARATION FOR CLASS 4 PARTS."
 -CLAUSE C1.8 - "LIGHTWEIGHT CONSTRUCTION TO COMPLY WITH SPEC. C1.8"
 -CLAUSE C1.10 - "REQUIRES MATERIALS AND ASSEMBLIES TO COMPLY WITH FIRE HAZARD PROPERTIES AS OUTLINED IN SPEC C1.10 OF THE NCC VOL ONE.

1 First Floor with proposed modifications
 1 : 100

NOTE: CLOUDED AREAS INDICATE AMENDMENTS

PLEASE NOTE: NO EXTERNAL WORKS ARE PROPOSED TO THE EXTERIOR OF THE EXISTING BUILDING

IMPORTANT NOTE
 THESE DRAWINGS HAVE BEEN ISSUED TO DEVELOPMENT APPLICATION PURPOSES ONLY. THEY ARE NOT ISSUED FOR CONSTRUCTION OR CONSTRUCTION CERTIFICATE OR FOR THE PURPOSES OF PRICING BY ANY CONTRACTOR

GENERAL NOTES:
 1. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 2. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 3. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 4. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 5. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 6. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 7. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 8. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 9. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.
 10. All construction work shall be in accordance with the Australian Standard AS/NZS 1170:2002 unless otherwise specified.

NO.	DATE	ISSUE	REVISION
01	14/03/2019	A	FOR PRELIMINARY SUBMISSION
02	14/03/2019	B	FOR PRELIMINARY SUBMISSION
03	28/03/2019	C	FOR PRELIMINARY SUBMISSION

GRAPHICAL LEGEND:

- PROPOSED CONSTRUCTION
- EXISTING CONSTRUCTION
- DEMOLITION
- LANDSCAPING
- TREES TO BE REMOVED
- TREES TO BE RETAINED
- BOUNDARIES
- SETBACKS
- UTILITIES
- LEVELS
- LEVEL 1
- LEVEL 2
- LEVEL 3
- LEVEL 4
- LEVEL 5
- LEVEL 6
- LEVEL 7
- LEVEL 8
- LEVEL 9
- LEVEL 10
- LEVEL 11
- LEVEL 12
- LEVEL 13
- LEVEL 14
- LEVEL 15
- LEVEL 16
- LEVEL 17
- LEVEL 18
- LEVEL 19
- LEVEL 20
- LEVEL 21
- LEVEL 22
- LEVEL 23
- LEVEL 24
- LEVEL 25
- LEVEL 26
- LEVEL 27
- LEVEL 28
- LEVEL 29
- LEVEL 30
- LEVEL 31
- LEVEL 32
- LEVEL 33
- LEVEL 34
- LEVEL 35
- LEVEL 36
- LEVEL 37
- LEVEL 38
- LEVEL 39
- LEVEL 40
- LEVEL 41
- LEVEL 42
- LEVEL 43
- LEVEL 44
- LEVEL 45
- LEVEL 46
- LEVEL 47
- LEVEL 48
- LEVEL 49
- LEVEL 50

ANNOTATION LEGEND:

- 1.000
- 1.001
- 1.002
- 1.003
- 1.004
- 1.005
- 1.006
- 1.007
- 1.008
- 1.009
- 1.010
- 1.011
- 1.012
- 1.013
- 1.014
- 1.015
- 1.016
- 1.017
- 1.018
- 1.019
- 1.020
- 1.021
- 1.022
- 1.023
- 1.024
- 1.025
- 1.026
- 1.027
- 1.028
- 1.029
- 1.030
- 1.031
- 1.032
- 1.033
- 1.034
- 1.035
- 1.036
- 1.037
- 1.038
- 1.039
- 1.040
- 1.041
- 1.042
- 1.043
- 1.044
- 1.045
- 1.046
- 1.047
- 1.048
- 1.049
- 1.050
- 1.051
- 1.052
- 1.053
- 1.054
- 1.055
- 1.056
- 1.057
- 1.058
- 1.059
- 1.060
- 1.061
- 1.062
- 1.063
- 1.064
- 1.065
- 1.066
- 1.067
- 1.068
- 1.069
- 1.070
- 1.071
- 1.072
- 1.073
- 1.074
- 1.075
- 1.076
- 1.077
- 1.078
- 1.079
- 1.080
- 1.081
- 1.082
- 1.083
- 1.084
- 1.085
- 1.086
- 1.087
- 1.088
- 1.089
- 1.090
- 1.091
- 1.092
- 1.093
- 1.094
- 1.095
- 1.096
- 1.097
- 1.098
- 1.099
- 1.100

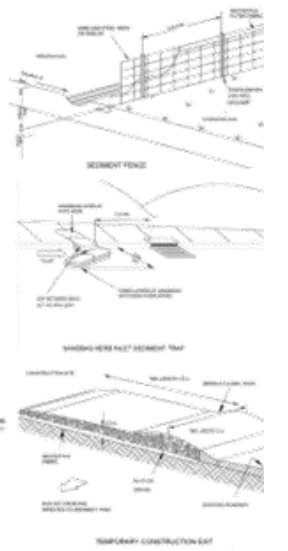
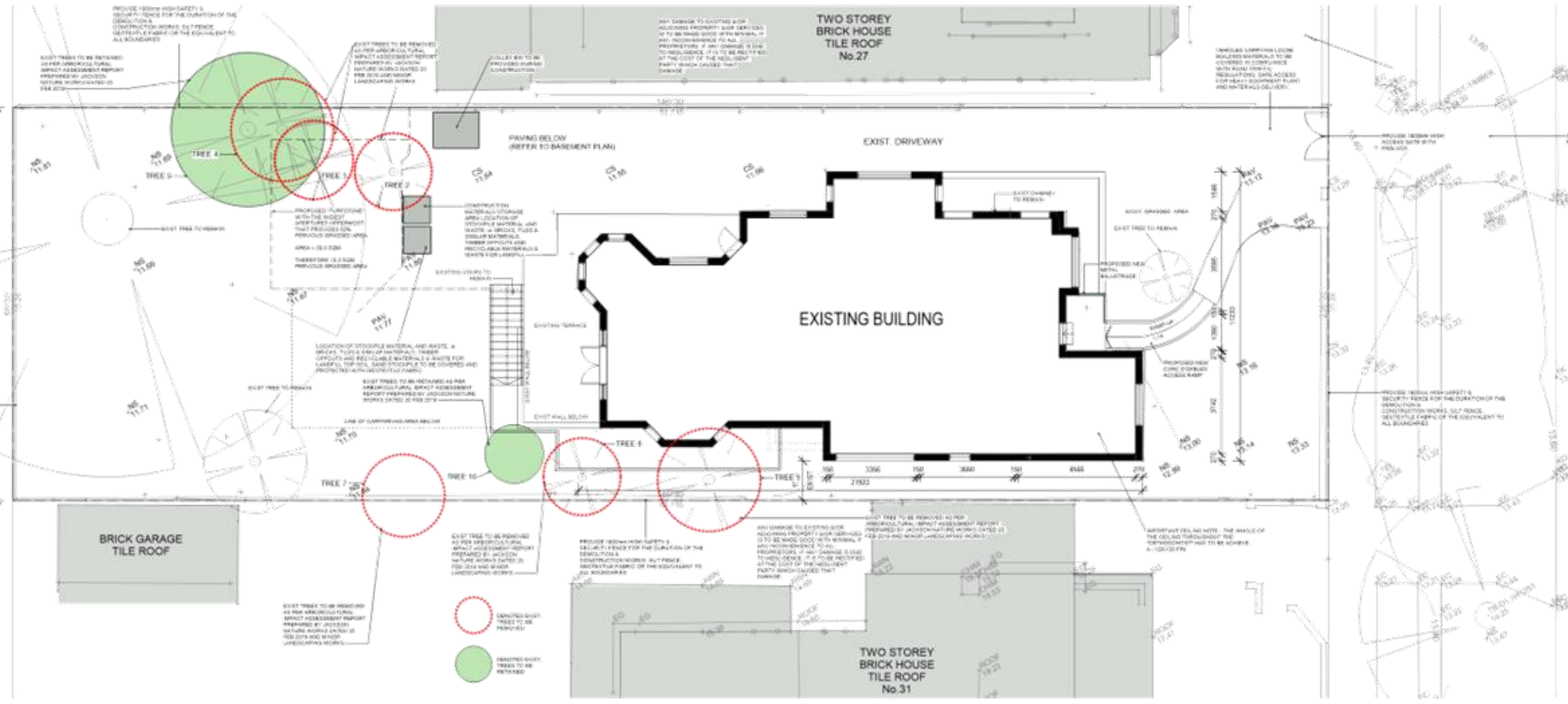
katris architects pty ltd
 level 1 3-5 burwood road, concord nsw 2137
 PO Box 703 burwood 1805 nsw australia
 abn 79 001 639 970
 p 02 9744 5421
 f 02 9747 5046
 www.katris.com.au

PROJECT: 29 Redmyre Road, Strathfield

CLIENT:	DR Drive Strath
DRAWN:	ARCHITECTS APPROVAL
CHECKED:	DATE:
DATE:	SCALE:

SOIL AND EROSION CONTROL MEASURES
 (1) FENCING OR STOCKPILING OF MATERIAL IS
 TO BE SET ON FOOTPATH
 (2) ACCESS IS TO BE GAINED VIA TEMPORARY
 BRIDGE
 (3) SILT STOP FENCING TO BE PLACED ALONG THE NORTH
 AND WEST BOUNDARIES. PROVIDE SILT STOP
 FENCING ON THE EASTERN SIDE WHERE SHOWING ON
 PLAN
 (4) MAINTENANCE PROCEDURES DURING CONSTRUCTION
 (5) EROSION CONTROL MEASURES ARE TO BE
 MAINTAINED AT ALL TIMES SO THAT THESE MEASURES
 REMAIN FULLY FUNCTIONAL OPERATIONAL DURING THE
 PERIOD OF WORK. ALL EROSION CONTROL MEASURES
 TO BE FULLY FUNCTIONAL OPERATIONAL SHOULD
 BE OPERATIONAL DURING TEMPORARILY
 (6) EROSION CONTROL MEASURES (E.C.M.)
 ALL FILTER BARRIERS ARE TO BE REGULARLY
 MAINTAINED PARTICULARLY FOLLOWING RAINFALL
 EVENTS. SO THAT THEY DO NOT BECOME INOPERATIONAL
 BEHIND STRIPPABLE SANDBAGS SHALL
 BE IMMEDIATELY REPLACED. SEDIMENT
 CUMULATIONS BEHIND STRIPPABLE SANDBAGS SHALL
 BE REMOVED
 (7) SPREAD MATERIAL GAINED DURING MAINTENANCE
 OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES
 (8) WHERE DISTURBED AREAS
 (9) ALL STOCKPILES TO BE CLEAR FROM DRAINS, OUTLETS
 (10) FOOTPATHS
 (11) ROADS AND FOOTPATHS TO BE SWEEP DAILY
 (12) ALL TRUCK LOADS ARE TO BE COVERED WHEN
 TRAVELLING AND LEAVING THE SITE TO AVOID
 DUST.

STRATHFIELD COUNCIL
 RECEIVED
 AMENDED PLANS
 DA2019/021
 28 MARCH 2019



REDMYRE ROAD

Waste Management Plan & Erosion and Sediment Control

1 Plan
 1:100

NOTE: CLOUDED AREAS INDICATE AMENDMENTS

IMPORTANT NOTE
 THESE DRAWINGS HAVE BEEN ISSUED FOR
 DEVELOPMENT APPLICATION PURPOSES
 ONLY. THEY ARE NOT ISSUED FOR
 CONSTRUCTION OR CONSTRUCTION
 CERTIFICATE OR FOR THE PURPOSES OF
 PRICING BY ANY CONTRACTOR

GENERAL NOTES
 (1) All work to be carried out in accordance with the latest relevant standards, specifications and codes of practice.
 (2) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (3) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (4) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (5) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (6) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (7) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (8) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (9) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.
 (10) The contractor shall be responsible for the completion of the work within the time period specified in the contract documents.

DATE	BY	REVISION
28/03/19	KL	ISSUED FOR TENDERS
28/03/19	KL	FOR SUBMISSION
28/03/19	KL	FOR SUBMISSION

katris architects pty ltd
 level 1 3-5 burwood road, concord nsw 2137
 PO Box 703 burwood 1805 nsw australia
 abs 79 001 639 970

p 02 9744 5421
 f 02 9747 5046
 www.katris.com.au

PROJECT: 28 Redmyre Road, Strathfield
 CLIENT: Dr Erna Sauer
 DRAWN: KL
 CHECKED: ML
 DATE: 14/11/18

**STRATHFIELD COUNCIL
RECEIVED**

AMENDED PLANS

**DA2019/021
18 APRIL 2019**



Approx. 300mm

Approx. 150mm

DR. DIVYA SRIRAM
ORTHODONTIST

TO: Strathfield Local Planning Panel Meeting - 2 May 2019
REPORT: SLPP – Report No. 2
SUBJECT: DA2018/172 - 47 MERLEY ROAD, STRATHFIELD
LOT C IN DP 394641
DA NO. 2018/172

SUMMARY

Proposal: Alterations and first floor additions to existing single dwelling including basement level, new in-ground pool and spa, cabana, front boundary fence and associated landscaping works.

Applicant: George Boumousa

Owner: G Boumousa

Date of lodgement: 14 December 2018

Notification period: 20 December 2018 – 17 January 2019

Submissions received: Two (2) written submissions received

Assessment officer: ER

Estimated cost of works: \$1,373,055.00

Zoning: R2 Low Density Residential - SLEP 2012

Heritage: Merley Road Heritage Conservation Area

Flood affected: No

Reason for referral to LPP: Sensitive development – Located in Heritage Conservation Area.

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

- 1.0 The proposal involves the alterations and first floor additions to existing single dwelling including basement level, new in-ground pool and spa, cabana, front boundary fence and associated landscaping works.
- 2.0 The plans and documentation submitted with the application were publicly notified from 20 December 2018 to 17 January 2019 in accordance with Part L of the Strathfield Consolidated Development Control Plan (SCDCP) 2005. Two (2) written submissions were received as a result. The most common concerns derived from the submissions included issues relating to privacy, bulk/scale and loss of amenity and heritage character of the area.
- 3.0 Council correspondence requesting additional information was issued to the applicant raising concerns relating to dwelling design especially bulk and scale, height of the rear addition, side setbacks, excessive basement size, heritage conservation, insufficient detail on plans, tree removal, front boundary fence height and privacy issues to the adjoining neighbours resulting from the rear first floor balconies. Further the siting, bulk and scale of the proposal, were considered to result in unreasonable adverse impacts on the amenity of the surrounding residential area and streetscape character.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

- 4.0 Amended plans were provided which modified the roof design with three (3) pitched 'gable' style and a composite material palette. Further amendments by the applicant, included replacing the two storey void entry way with a single storey open porch and deleted rear first floor balconies and added privacy screens. The Survey and Landscape Plan has been updated to reflect the current trees on site. Additional information from the applicant in the form of a Planning Statement and Heritage Impact Assessment addressed the design changes and impacts on the surrounding Heritage Conservation Area.
- 5.0 Further submission of amended plans deleted the pitched roof element and responded to the issue privacy, side setbacks, bulk and scale of the dwelling through increased side setbacks and first floor step-in. The proposal does comply with the objectives of Part A and Part P of the DCP and the alterations are more responsive and sympathetic to the wider streetscape.
- 6.0 The proposal is acceptable on its merits and recommended for approval subject to recommended conditions of consent.
- 7.0 The subject application was referred to Strathfield Local Planning Panel (SLPP) for consideration on 2 May 2019.

BACKGROUND

- 23 March 2018: A Pre-Development Application meeting was held at Council regarding a proposal for demolition and construction of a new two (2) storey dwelling with basement parking and swimming pool. Full demolition of the dwelling was not endorsed by Council and alterations and part demolition of the rear of the building was the preferred approach.
- 14 December 2018: DA2018/172 was lodged for the alterations and first floor additions to existing single dwelling including basement level, new in-ground pool and spa, cabana, front boundary fence and associated landscaping works.
- 20 December 2018: The application was notified for four (4) weeks in accordance with Council's extended notification during the Christmas holiday period until the 17th of January 2019.
- 24 December 2018: A request for a Quantity Surveyors Report was sent to the applicant in accordance with Council's Indirect Contributions Plan 2010.
- 27 December 2018: One (1) written objection to the development proposal was received. The main issues raised was a loss in privacy to their rear yard, flat roof addition is out of context with the surrounding Heritage Conservation Area and insufficient detail on plans showing recent tree removal.
- 4 January 2019: A site inspection was completed and the following matters of interest were noted including proposed side setback, first floor depth, first floor rear balconies, neighbour privacy and height of the rear addition.
- 14 January 2019: One (1) written objection to the development proposal was received. The main issues raised were its impacts on the Merley Road Heritage Conservation Area, rear setback, rear first floor balconies, privacy loss and insufficient detail to on plans.
- 17 January 2019: A letter requesting further information was sent to the applicant requesting:
(i) Changes to the dwelling design and reduction in bulk;
(ii) Heritage Conservation and appropriate materials;

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

- (iii) Reducing the basement size;
- (iv) Reduction in front boundary fence height;
- (v) Tree removal and landscaping;
- (vi) Privacy concerns and neighbour amenity.

18 January 2019: Council Planner conducted a site visit to those properties which objected to the proposal and confirmed the neighbour's contentions relating to with overlooking from the proposed rear addition and first floor rear balconies.

15 March 2019: Amended plans and additional information was submitted to Council, which responded to the matter of the proposed roof design, visual privacy by deleting the rear first floor balconies and adding a privacy screen, increasing landscaped area and reducing the height of the front fence.

27 March 2019: The Quantity Survey Report was submitted to Council detailing the proposed development will cost \$1,373,055.00, more than the original nominated estimated cost of works.

4 April 2019: Council's Heritage Adviser conducted a site visit and entered the existing dwelling to discuss internal and external alterations to the dwelling. Further amendments to the plans were required to reduce the overall bulk and scale of the additions within the Heritage Conservation Area.

15 April 2019: Amended plans were received addressing issues with the roof design, increasing first floor setbacks and curving the entrance to the basement.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot C DP 394641 and is commonly known as 47 Merley Road, Strathfield. The site is located on the north western side of Merley Road and has an area of 929.7m². The site is rectangular in shape and has a street frontage of 20.12m and a side boundary length of 45.49m. The site has a moderate slope and cross-fall of 1.28m from the south western corner to the rear boundary. Existing development on the site comprises of a single storey dwelling with an attic space, outdoor swimming pool, decking area, double detached garage and shed. The current Californian Bungalow is not a significant contribution to the Merley Road Heritage Conservation Area, due to unauthorised works removing original elements and rendering the front brick façade and is considered a neutral item. Vehicular access is provided to the site via an existing driveway from Merley Road along the western boundary to an existing garage located in the rear yard.

The subject site is located within the C13 – Merley Road Heritage Conservation Area under Schedule 5 of the SLEP 2012. The dwelling is adjacent to a listed heritage item being the St Patrick's College – Broth Hickey Building (Item No. 132) located opposite the site at 2 Edgar Street, Strathfield. The proposal does not adversely impact upon the heritage significance of this item. The existing streetscape comprises of original housing stock dominated by Inter-War California bungalow style houses. The few Federation period houses in the street blend well with the Inter-War houses due to the use of gables facing the street, front verandahs, terracotta tiled roofs and face brick walling contrasted with small areas of render and/or battened fibre and shingles.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

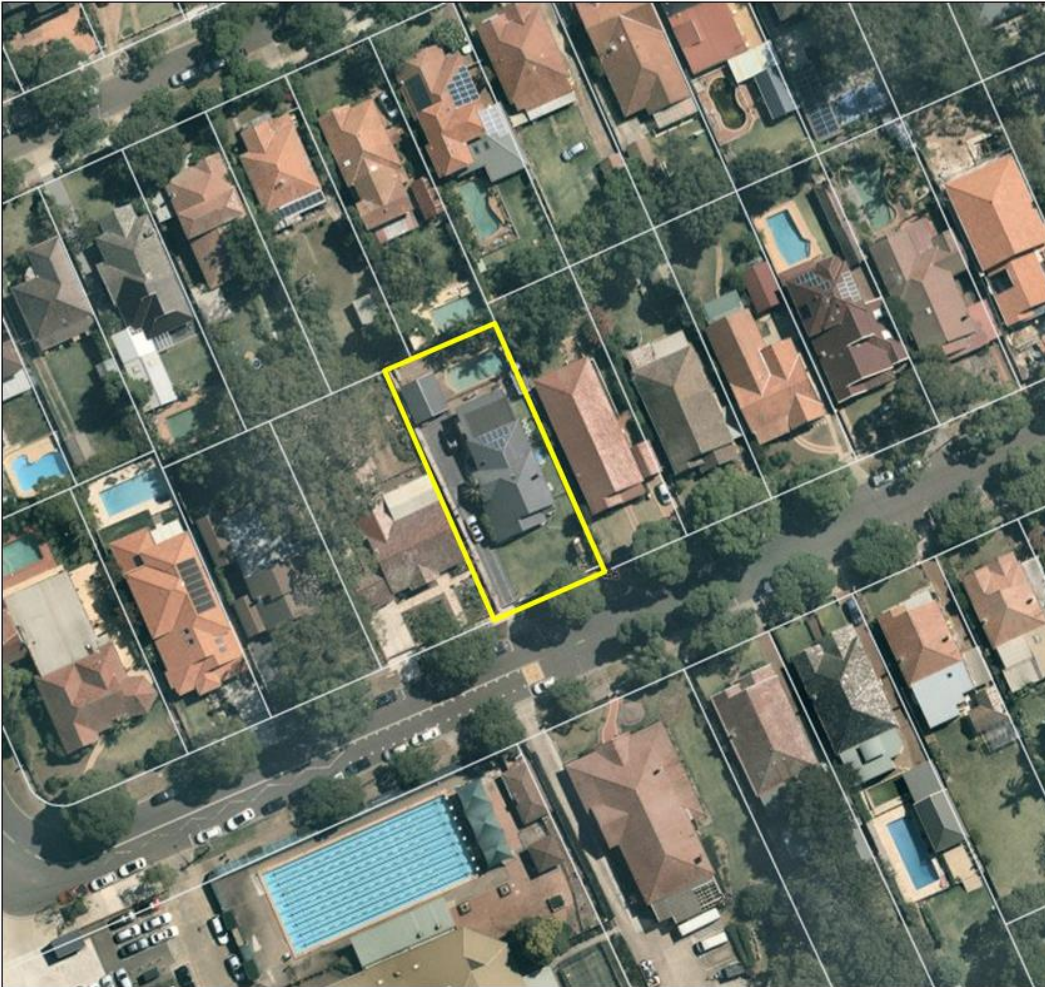


Figure 1: Locality plan with the subject site shown in yellow.

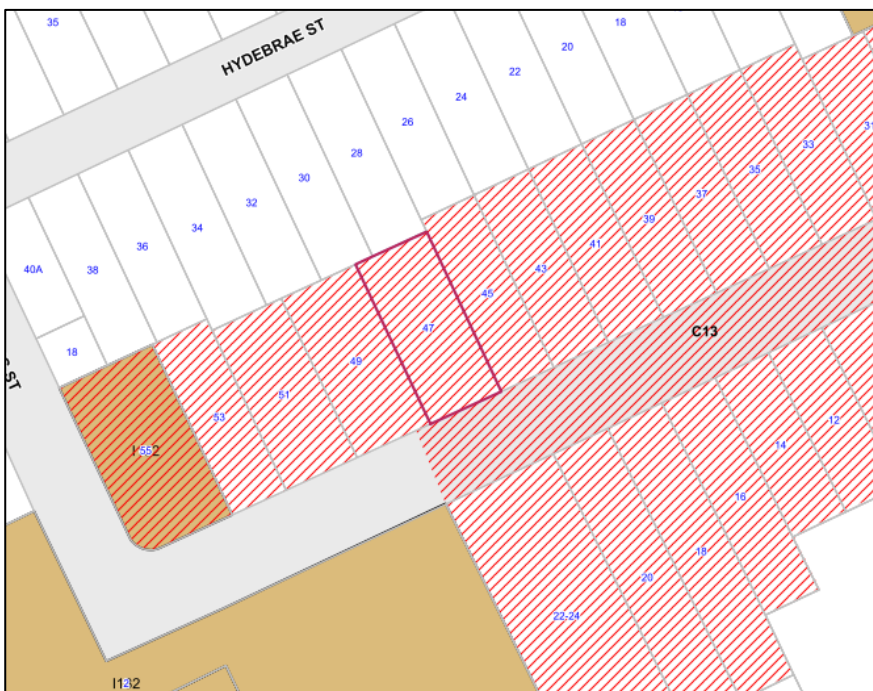


Figure 2: Strathfield Local Environmental Plan 2012 Heritage Items and Conservation Areas.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)



Figure 3: Front façade of the subject site at 47 Merley Road, Strathfield.



Figure 4: View of 22 Merley Road apart of St Patrick's College directly opposite the site.



Figure 5: View of adjoining neighbour at 45 Merley Road, Strathfield.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)



Figure 6: View of adjoining neighbours at 49 and 51 Merley Road, Strathfield.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for alterations & first floor additions to existing single dwelling including basement level, new in-ground pool and spa, cabana, front boundary fence and associated landscaping works.

The specific elements of the proposal are:

Basement level:

- Three (3) parking spaces, U-turning bay, plant room, storage/bin area;
- Theatre room, steam room and bathroom;
- A stair case, lift and associated foyer;

Ground floor level:

- Retention of the front portion of the dwelling, verandah and creating an office, guest bedroom with ensuite and entry way;
- Demolition of the rear of the dwelling and additions include
 - Formal lounge room and sitting room;
 - Open plan kitchen, dining area, butlers area, laundry and bathroom;

First floor level:

- Three (3) bedrooms with walk-in-wardrobes and one bedroom with an ensuite;
- Master bedroom with ensuite, side balcony, walk-in wardrobe positioned within the existing attic space;

External works:

- Covered outdoor living area with built in BBQ and swimming pool;
- Access into the basement through external stairs.
- Tree removal of four (4) trees and landscaping;
- Front boundary fence.

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)



Figure 7: Photomontage of the proposed alterations and additions to 47 Merley Road.

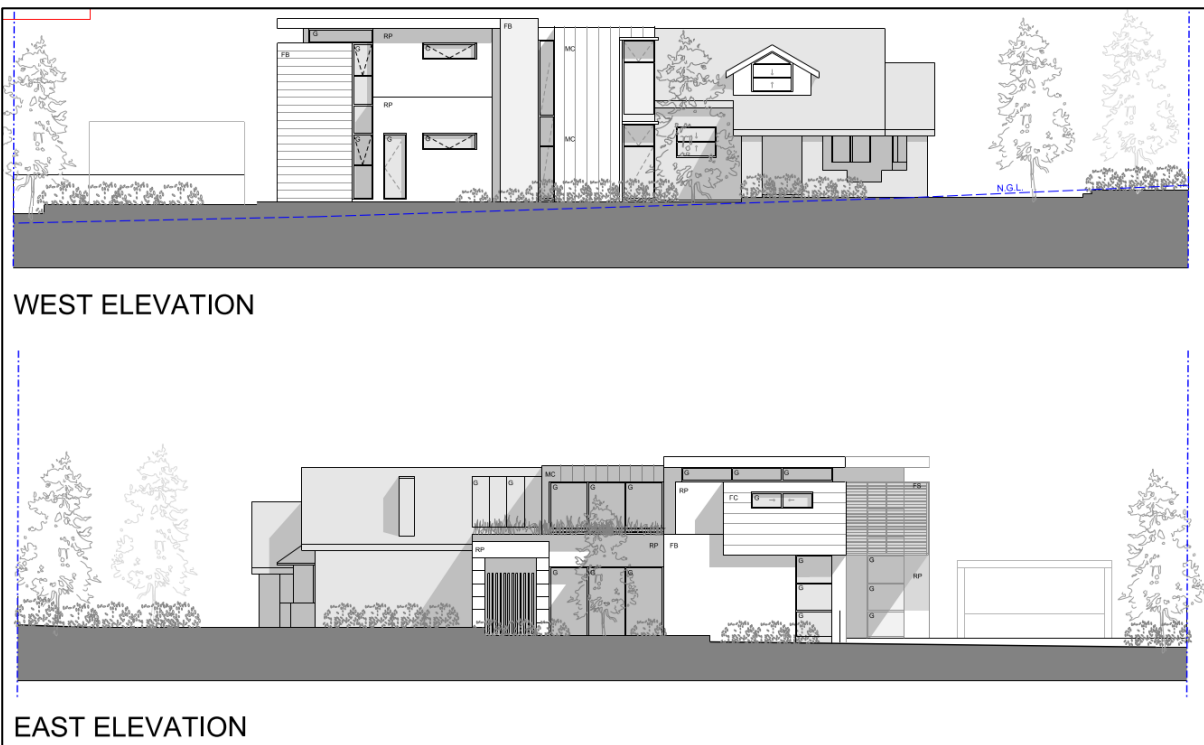


Figure 8: Extract from architectural drawings (east and west elevations).

REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council’s Engineer raised no objections to the proposal, subject to the imposition of recommended conditions of consent.

Landscaping Comments

Council’s Tree Coordinator has commented on the proposal noting that illegal tree removal of a large (15m high) Lilly Pilly Tree at the rear of the site occurred after the development application

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

was lodged at Council. Accordingly this is a serious breach of Council's Tree Protection Controls and two (2) replacement trees are to be planted for each one removed.

No trees are proposed to be removed as part of this application. Nevertheless, a condition of consent has been imposed to ensure the retention and protection of existing significant trees on site and is subject to a separate written development application if removal is proposed. Council's Tree Coordinator raised no objections to the proposed Landscaping Plan, subject to the imposition of recommended conditions of consent. All street trees and trees on private property proposed for removal are protected under Council's controls.

Traffic Comments

Council's Traffic Engineer raised no objections to the proposal, subject to the imposition of recommended conditions of consent including car parking - basement car parking requirements, car parking - vehicular access ramps, car parking - compliance with AS/NZS 2890.1:2004, Car Parking - vehicular crossing width at property boundary.

Heritage Comments

Council's Heritage Advisor has commented on the proposal as follows:

Initial Comments 15 January 2019:

"The site does not contain a listed heritage item however the site is located within the Merley Road Heritage Conservation Area and is diagonally opposite part of the St. Patrick's campus which is a listed item. The site is set away from the significant portions of the St Patrick's campus so as to not unduly affect the significance of the item.

The site was the subject of a Pre-DA meeting held in March 2018. The heritage advice provided in the minutes indicated that the proposal was not acceptable due to the demolition proposed and the proposed new building being unsympathetic to the Merley Road Conservation Area. The proposal submitted with the current development application seeks to retain a portion of the existing dwelling house which is an improvement on the previous proposal. However the proposed addition is overly bulky due to the combination of the flat-roofed design and the siting of two storey elements within the side setback areas defined by the existing dwelling house. This bulkiness is not adequately conveyed in the elevations submitted, which are misleading in their portrayal of the two storey element through the use of light grey. This is not acceptable and the proposal cannot be fully assessed until accurate drawings are submitted."

Revised Comments 16 April 2019:

"I refer to my previous comments of 15 January 2019, amended concept plans submitted to Council on 19 March 2019, the amended plans submitted for the above development application on 15 April 2019 following an on-site meeting of 2 April 2019.

I have reviewed the amended plans (Revision 03, dated 12.04.19) submitted having regard to the provisions of Part P of the SDCP2005 and Clause 5.10 of the SLEP2012. The amended plans involve an alteration to the roof form, including a deletion of the multiple-ridged zig-zag roof form (max RL38.00) which is a positive amendment to the scheme.

The side setbacks have been marginally reduced. The lift element has been set back an addition 500mm compared with the previous scheme. In this setback a garden space has been allocated for additional planting to the west and south of the lift to assist in softening both the lift element and the driveway entry wall below, which itself has been altered to a curvilinear shape from the previous square arrangement in an effort to soften the proposal when viewed from Merley Road.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

The site is unusually wide for the Merley Road Conservation Area, with a frontage of 20.117m by survey. The existing dwelling house on the site is a typical interwar bungalow dwelling footprint which is usually located on a narrower site and account for the existing large side setbacks, particularly to the south west.

Recommendation:

The amended proposal responds more favourably to the provisions of Part P – Heritage than the previous scheme and can be supported on heritage grounds, subject to the imposition of appropriate conditions:

Structural design detail is required prior to CC demonstrating that the basement design would not damage the portion of the existing dwelling house to remain. This design must be accompanied by certification from a suitably qualified structural engineer with experience in heritage buildings.

The south elevation (DA_200_00 Revision 04 dated 12.04.19) does not reflect the existing scalloped balustrade and indicates a new opening, which is not supported and must be deleted from the plan. This drawing must be amended prior to the issue of a Construction Certificate.

The PV Cells are to be installed in a manner that is not visible from Merley Road."

Council's Heritage Advisor raised no objections to the proposal, subject to the imposition of recommended conditions of consent.

SECTION 4.15 CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within Section 4.15 of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

4.15(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

State Environmental Planning Policy No 55 – Remediation of Land

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

The State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed Clause 5.9 of SLEP 2012 (Preservation of Trees and Vegetation).

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

Further, no objection was raised to the proposed Landscaping Plan. No trees are proposed to be removed as part of this application. Nevertheless, a condition of consent has been imposed to ensure the retention and protection of existing significant trees on site and street trees.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	Yes
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	N/A
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	N/A
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	N/A
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	N/A
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	N/A

Comments: The proposal retains the existing front portion of the dwelling while the addition to the rear is of high quality urban form and materials. The addition does not compromise the heritage value of the property as the original dwelling was already modified and original elements have been removed and it is not a contributory dwelling to Merley Road Conservation Area.

Permissibility

The subject site is zoned R2 Low Density Residential under Strathfield Local Environmental Plan (SLEP) 2012. The proposal constitutes development for a 'dwelling house' which is permissible with consent within the R2 Low Density Residential Zone.

The proposed development for the purpose of the alterations and additions to the rear covered area is consistent with the definition and is permissible within the R2 Low Density Residential Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the R2 – Low Density Residential Zone is included below:

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Objectives	Complies
➤ To provide for the housing needs of the community within a low density residential environment.	Yes
➤ To enable other land uses that provide facilities or services to meet the day to day needs of residents.	N/A
➤ To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.	Yes

Comments: The dwelling is not listed as a heritage item, however it is located within the C13 – Merley Road Heritage Conservation Area under Schedule 5 of the SLEP 2012. The subject site is adjacent to a listed heritage item being the St Patrick's College – Broth Hickey Building (Item No. 132) located opposite the site at 2 Edgar Street, Strathfield. The proposal does not adversely impact upon the heritage significance of this item.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	9.5m	7.32m	Yes

	Objectives	Complies
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area	Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area	Yes
(c)	To achieve a diversity of small and large development options.	Yes

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	0.525:1 (488.09m ²)	0.47:1 (437.8m ²)	Yes

	Objectives	Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area	Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas	Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties	Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items	Yes
(e)	In relation to Strathfield Town Centre: <ul style="list-style-type: none"> i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development 	N/A
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor	N/A

Comments: The proposal complies with the maximum floor space ratio in the LEP 2012.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.10 Heritage Conservation

The subject site is identified as being within Merley Road Conservation Area. The Heritage Conservation objectives under Clause 5.10 are as follows:

	Objectives	Complies
(a)	<i>To conserve the environment heritage of Strathfield,</i>	Yes
(b)	<i>To conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</i>	Yes

Comments: The building has been altered such that it does not represent a contributory building within the streetscape. The additions are to the rear of the dwelling which conserves the heritage character within the streetscape. Having regard to the Heritage Impact Statement accompanying with the development application, Council's Heritage Advisor has raised no objection to the proposed development on the grounds of heritage impacts.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is identified as having Class 5 soils, but is not located within 500m of Class adjacent 1, 2, 3 or 4 soils. Therefore, the proposed development was not required to be accompanied by an Acid Sulfate Soils Management Plan and has satisfied the requirements of Clause 6.1 of the SLEP, 2012.

6.2 Earthworks

The proposed basement is not completely confined within the building footprint of the ground floor level additions and extends further into the eastern court yard and entrance portico. The development proposes a 600mm separation zone between the basement wall and the existing dwelling to allow for structural underpinning/shoring system so as to maintain structural integrity of existing dwelling that is to be retained during construction. Additional earthworks are required for the swimming pool located within the rear yard. A condition of consent is recommended to ensure the appropriate management of exposed soils during the excavation and construction phases of the development through completing a Dilapidation Report and Geotechnical Report. The proposed earthworks do not have detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.

6.3 Flood planning

The application demonstrates that it minimises flood risk to life and property associated with the use of the land, is compatible with the land's flood hazard and avoids significant adverse impacts on flood behaviour and the environment. Council's Development Engineer has assessed the submitted Stormwater Plans and raises no significant issues in this respect.

6.4 Essential services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

4.15 (1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

4.151)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

PART A – DWELLING HOUSES AND ANCILLARY STRUCTURES

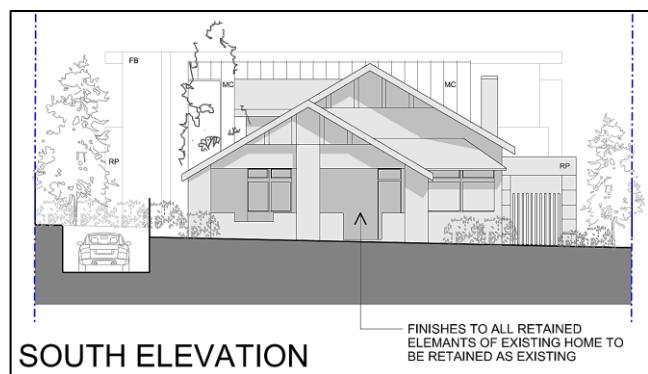
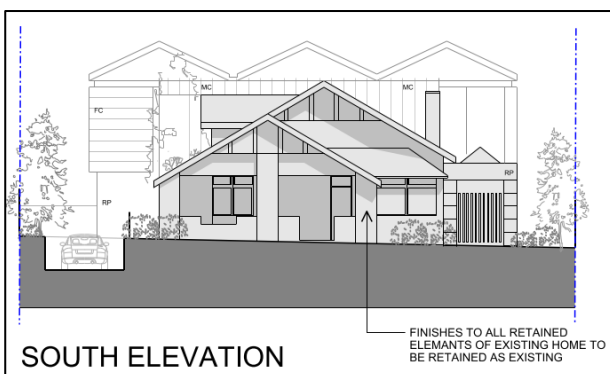
2: Architectural Design & Streetscape Presentation

2.1	Objectives	Satisfactory
A.	To ensure that development respects the predominant height, scale, character, type, form, colour, materials and architectural qualities of the existing dwelling house (in the case of alterations and additions) and surrounding neighbourhood especially any adjoining or nearby heritage item or heritage conservation area.	Yes
B.	To achieve quality architecture in new development through the appropriate composition and articulation of building elements.	Yes
C.	To ensure that the dominant building rhythm of the streetscape is reflected in the building design in terms of the spacing and proportion of the built elements.	No
D.	To ensure that new dwellings have facades, which define, address and enhance the public domain.	N/A
E.	To encourage contemporary architecture that is innovative, uses high quality detailing, and incorporates elements characteristic of Strathfield.	Yes
F.	To promote the continuance of pyramidal roof forms within Strathfield where they are already prevalent.	No
G.	To retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserve the appearance of dwellings set in the treelined streets and park-like environment.	No
H.	To reduce the use of highly reflective colours and materials that create visual prominence.	Yes
I.	To ensure fencing is sympathetic to the design of the dwelling and the street and enhances the character of both the individual house and street whilst maintaining casual surveillance of the neighbourhood.	Yes
J.	To protect and retain the amenity of adjoining properties.	Yes
2.2	Development Controls	Complies
	Streetscape Presentation	
.1.	1 New dwellings address street frontage with clear entry.	N/A
	2 Consistently occurring building features integrated within dwelling design.	Yes
	3 Consideration of streetscape elements	Yes
	4 Integrated security grilles/screens, ventilation louvres and garage doors	Yes
.2.	Scale, Massing & Rhythm of Street	

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

	1	Scale, massing, bulk and layout complement the existing streetscape and the dominant building rhythm	No
	2	Building height and mass maintains amenity to adjacent properties open space or the public domain	No
	<i>Building Forms</i>		
.3.	1	Building form articulated.	Yes
	3	Attic located within roof space of 1 or 2-storey dwelling or garage via internal stairs.	Yes
	<i>Roof Forms</i>		
	1	Roof form complements predominant form in the locality	No
	2	Roof form minimises bulk and scale of building and remains an important architectural element in the street.	Yes
	3	First floor additions complement the architectural style of the ground floor and delineate the existing roof form, slope and ridge	No
	4	Roof structures are not visible from the public domain	Yes
.4.	<i>Materials</i>		
	5	Materials compatible with the existing dwelling house, adjoining dwelling houses and the streetscape (type, form and colour)	Yes
	6	Monotone face brick walls and terracotta tiles for roofs where common in the streetscape	Yes
	7	New buildings and facades do not result in glare (Reflectivity Report may be required)	Yes
	<i>Colours</i>		
	8	New development incorporates traditional colour schemes	Yes
	9	The external colours integrate harmoniously with the external design of the building	Yes

Comments: The proposal will keep the front portion of the neutral dwelling, which maintains the streetscape presentation. The rear addition is contemporary in style proposing a flat roof form and the building materials chosen are sympathetic to the existing dwelling and do not detract from its heritage significance and juxtapose the original fabric from the proposed addition. The building is not a contributory building in the conservation area and the proposed addition is considered to respect the original building by not detracting from the cultural significance of the original dwelling within Merley Road Conservation Area. A pyramidal roof form was proposed in the amended plans (Figure 9), however this design did not achieve the street rhythm and a flat roof reduced the bulk and scale of the addition. The portion of the rear addition and basement entrance adjacent the south western boundary is visible from the street is considered acceptable due to the modern high quality materials and colours and improved landscaping design.



DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Figure 9: Extract from architectural drawings (south elevations), left image received 15 March 2019 and right image received 15 April 2019.

The addition is successfully articulated and the side setbacks are stepped out towards the rear of the site so that the apparent bulk of the addition is reduced when viewed from the street. However the addition does not keep the dominant rhythm of the streetscape in terms of spacing and proportion of built elements. Condition 2 requires the western side setback between the building outer wall and the western boundary be increase to 4.6m in order to retain a feeling of openness and space between built elements by maintaining landscaped setbacks and preserving the appearance Merley Road Heritage Conservation Area. This condition will result in a preferred building rhythm and the bulk maintains amenity to adjacent properties and the public domain. The existing attic space is to be altered into the walk-in wardrobe for the Master Bedroom and the modified pitch roof is similar to the original built form.

4: Building Envelope

4.1 Objectives		Satisfactory	
A.	To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.	No	
B.	To minimise impact on the amenity of adjoining properties.	Yes	
C.	To establish and maintain the desired setbacks from the street and define the street edge.	Yes	
D.	To create a perception or reinforce a sense of openness in the locality.	No	
E.	To maintain view corridors between dwellings	No	
F.	To assist in achieving passive surveillance whilst protecting visual privacy.	Yes	
G.	To provide a transitional area between public and private space.	Yes	
4.2 Development Controls		Complies	
<i>Floor Space Ratio</i>			
.1.	1	Floor Space Ratio permissible pursuant to SLEP 2012	Yes
	2	Development compatible with the lot size	Yes
<i>Building Height</i>			
.2.	1	Height of building permissible pursuant to SLEP 2012	Yes
	2	The maximum height to the top of parapet for flat roofed dwelling houses is to be 7.8 metres.	Yes
	3	The maximum height of the parapet wall for flat roofed dwelling houses is to be 0.8 metres above the uppermost ceiling level.	Yes
	4	The maximum height of the external wall from the existing ground level to the underside of the uppermost ceiling level is to be 7.2 metres.	Yes
	5	The maximum internal floor to ceiling height is to be 3.0 metres for any residential level.	No

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

	6	Height of outbuildings, detached garages and carports is 3.5m (max) measured at the highest point on the roof above NGL	No
	7	Dwelling houses and any ancillary structures 2-storeys (max)	Yes
	8	Building height responds to the gradient of the site to minimise cut and fill	Yes
.3.1.	<i>Street Setbacks</i>		
	1	Setbacks consistent with minimum requirements of Table A.1	Yes
.3.2.	<i>Side and Rear Setbacks</i>		
	1	A combined side setback of 20% of the width of the block (incorporating a 1.2m min side setback on each side).	Yes
	2	A rear setback of 6m (min)	Yes
	3	1 Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site, ancillary facilities such as garages/outbuildings may be located within the rear setback area.	Yes

Comments: The proposal is compliant in FSR and maximum height. However, the internal floor to ceiling height of the ground floor addition is 3.29m which is over the maximum 3m clearance. This non-compliance is to be reduced as Condition 10 requires the maximum height of the rear addition be the same height or under the original dwelling ridge height at RL36.2. The proposed covered outdoor living area is recorded at 3.8m in height and Condition 1 reduces the maximum height of this building to 3.5m to comply with Council's development standards for outbuildings. The rear addition provides a 9.7m rear setback, which protrudes an additional 2.3m into the current dwelling rear setback. The proposed addition does comply with the side setback controls, however it takes advantage of the large setbacks and is not compatible with the existing rhythm of the built form. Condition 2 requires the western side setback to increase to 4.6m and be replaced with landscaping to reinforce a sense of openness in the locality and maintain view corridors between dwellings.

5: Landscaping

5.1	Objectives	Satisfactory
A.	<i>To encourage landscaping that is appropriate to the style and scale of the dwelling and adjoining development, and to the streetscape.</i>	Yes
B.	<i>To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings, structures, vehicle circulation and ancillary areas.</i>	Yes
C.	<i>To preserve existing landscape elements on site (such as existing trees) and encourage their integration into the design of proposals.</i>	Yes
D.	<i>To ensure adequate deep soil planting is retained on each allotment.</i>	Yes
E.	<i>To ensure developments make an equitable contribution to the landscape setting of the locality.</i>	Yes
F.	<i>To ensure both existing and new landscaping provides suitable shade and facilitates convective cooling breeze paths in summer.</i>	Yes
G.	<i>To encourage the use of native flora such as open woodland canopy trees, to provide a habitat for native fauna.</i>	Yes

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

<i>H.</i>	<i>To ensure that landscaped areas are designed to minimise water use.</i>	Yes
<i>I.</i>	<i>To provide functional private open spaces for active or passive use by residents.</i>	Yes
<i>J.</i>	<i>To provide private open areas with provision for clothes drying facilities screened from the street and lane or a public place.</i>	Yes
<i>K.</i>	<i>To ensure the protection of trees during construction</i>	Yes
<i>L.</i>	<i>To ensure suitable fencing is provided to reduce acoustic impacts and enhance visual privacy between neighbouring residents whilst enabling front fences passive surveillance of the street.</i>	Yes
<i>M.</i>	<i>To maximise the amenity of existing and proposed developments, including solar access, privacy and open space.</i>	Yes

5.2 Development Controls **Complies**

5.2 Development Controls		Complies	
<i>Landscaped area</i>			
.1.	1	Landscaped area in accordance with Table A.3	Yes
	2	At least 50% of the minimum landscaped area located behind the building line to the rear boundary	Yes
	3	At least 50% of the front yard maintained as deep soil soft landscaping	Yes
	4	Minimise hard surface area (concrete/brick/stone paving and bitumen). Run-off directed to permeable surfaces.	Yes
	5	Planting areas soften the built form	Yes
	6	Front gardens respond and contribute to the garden character of Strathfield.	Yes
	7	Retain and reinforce the prevailing streetscape and surrounding locality	Yes
	8	Plant species must be retained, selected and planted to improve amenity	Yes
<i>Tree Protection</i>			
.2.	1	Arboricultural Impact Assessment Report prepared by an AQF Level 5 Arborist	No
	2	The Arboricultural Impact Assessment Report address minimum criteria	N/A
	3	Development provides for the retention and protection of existing significant trees	No
	4	New dwellings and alterations and additions are set back in accordance with the Arboricultural Impact Assessment Report	N/A
	5	Council may request the applicant to engage a project Arborist	Yes
	6	Opportunities for planting new canopy trees within the front setback	Yes
	7	At least one (1) canopy tree provided in the rear yard.	Yes
	8	Trunk of a proposed canopy tree planted 4m (min) from built structures, or 3m (min) from pier beam footings	Yes
	9	Planting on side boundaries a 0.6m (min) deep root deflection barrier provided 1.5m (min) either side of the tree center	Yes
	10	Driveway construction does not result in the removal, lopping or root damage to any street tree	Yes
	11	25% (min) of canopy trees and other vegetation shall be locally sourced indigenous species	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Private Open Space

.3.	1	Provided in a single parcel rather than a fragmented space, directly accessible from internal living areas	Yes
	2	Includes a deep soil area compliant with the minimum landscaped area.	Yes
	3	Terraces and decks (at least 10m ²) with one length or width 3m (min) and directly accessible from an internal living area. Decks cannot be located more than 500mm above NGL	Yes
	4	Unless 3m (min) width, areas within setbacks are not to be included as private open space	Yes
	5	Private open space located at the rear of the property.	Yes

Fencing

.4.	1	Fencing designed to be compatible and sympathetic to the style of the dwelling, adjoining properties and the streetscape	Yes
	2	Landscaping used when the streetscape is characterised by the absence of front fences	Yes
	3	Fencing forward of FBL shall not exceed 1.5m. Solid components shall not exceed 0.7m above NGL with the exception of brick piers	Yes
	4	Solid fencing 1.8m (max) is permitted along a secondary street frontage to enclose a private open space	Yes
	5	Side and rear fences limited to 1.8m (max)	Yes
	6	Side fences forward of the FBL taper down to the front fence.	Yes
	7	Front fences visually permeable	Yes
	8	Front fences on busy roads designed to provide acoustic attenuation	Yes
	9	Listed undesirable materials and finishes not used forward FBL	Yes
	10	Corner allotments incorporate a 1.5m x 1.5m (min) splay adjacent to the road intersection	Yes
	11	Solid fences adjoining driveways are provided with 1m x 1m (min) splay	Yes
	12	A splay adjacent to a road intersection or driveway entrance must be landscaped	Yes
	13	Significant trees maintained	Yes
	14	Stormwater flows through or under fencing on sloping sites	Yes
	15	Dividing fences constructed of timber palings (lapped and capped) with height of 1.8m (max)	Yes
	16	Gates or entries from private property onto Council parks, reserves, open space, etc. are permitted	Yes

Comments: Based on the latest version of plans, adequate deep soil landscaped area will be provided both within the front and rear setbacks of the site. The landscaped area is well consolidated and will accommodate new canopy trees and screen plantings. The plans indicate a compliant landscaped area at 45% (418.8m²). After the proposal was lodged with Council, a large 15m high Lilly Pilly tree at the rear of the site was removed without consent resulting in Condition 16 requiring two (2) replacement trees to be planted in its place. No additional tree removal was proposed and an Arborist Report was not submitted with the application. The application proposes a new front fence along Merley Road with a maximum height of 1.5m, significantly improving the existing streetscape appearance which comprise a 1.8m brick fence. Planter boxes with shrubs are located in front of the fence to soften the visual impact of the fence and correspond with the existing landscaping along the street (Figure 10).

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

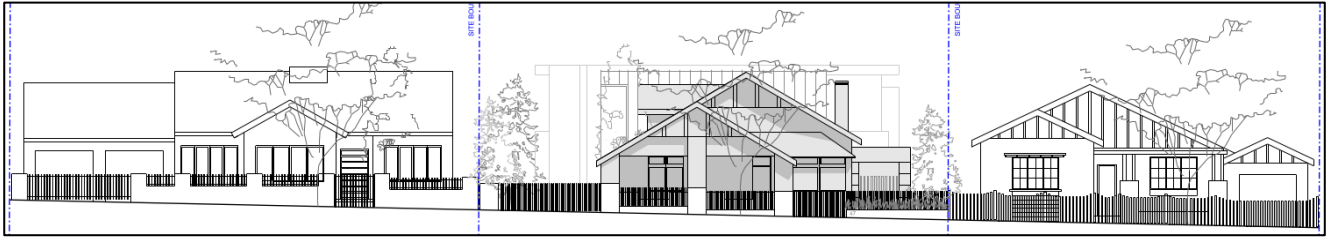


Figure 10: Merley Road Streetscape elevation of the proposed development.

6: Solar Access

6.1 Objectives		Satisfactory
A.	To ensure the design of new dwelling houses and alterations and additions maximises solar access to living areas and open space areas.	Yes
B.	To minimise overshadowing of adjoining properties.	Yes
6.2 Development Controls		Complies
Sunlight Access		
.1.	1 New dwellings - 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and 50% of private open space	Yes
	2 Alterations or Additions – maintain 3 hours solar access between 9.00am and 3.00pm on June 21 to the windows of habitable rooms and to the majority of private open space	Yes
	3 50% of the principal private open space of any adjoining premises receives 3 hours solar access between 9.00am and 3.00pm on June 21	Yes
	4 The proposed development does not further reduce the amount of solar access	Yes

Comments: The proposal will inevitably result in some loss of solar access for the adjoining properties to the west due to its two storey element. However, the north-south facing lot is beneficial for the development reducing the potential solar impact during the day. The supplied shadow diagrams indicate that adjoining dwelling at 49 Merley Road will receive at least 3 hours direct solar access in their private open space during the winter solstice.

7: Privacy

7.1 Objectives		Satisfactory
A.	Development that is designed to provide reasonable privacy to adjacent properties	Yes
B.	To maintain reasonable sharing of views from public places and living areas	Yes
C.	To ensure that public views and vistas are protected, maintained and where possible, enhanced	Yes
D.	To ensure that canopy trees take priority over views	Yes
E.	To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses	Yes
7.2 Development Controls		Complies
.1.	Visual Privacy	
	1 Protect POS, bedrooms, balconies and living rooms of proposed and any existing	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

		adjoining dwellings from direct overlooking	
	2	Provide adequate separation of buildings	Yes
	3	Ensure elevation of finished floor levels above NGL is not excessive	Yes
	4	Improve privacy to adjacent properties with screen planting	Yes
		<i>Windows</i>	
	1	Windows do not directly face the windows, balconies and courtyards of adjoining dwelling	Yes
.2.	2	A window within 9m of another window in a habitable room of an adjoining dwelling is offset by 0.5m (min) or a sill height of 1.7m (min) above the FFL	Yes
	3	Windows directly facing balconies or courtyards are narrow, incorporate obscure glazing and/or a sill height of 1.7m (min) above FFL	Yes
		<i>Elevated Decks Verandahs and Balconies</i>	
	1	Elevated decks, verandahs and upper storey balconies not permitted on side boundaries (exceptions apply)	No
.3.	2	Elevated decks, verandahs and balconies incorporate privacy screens	Yes
	3	Rear balconies (no more than 1m (depth) x 2m (length) permitted if the balcony does not unreasonably impact on adjoining premises	Yes
	4	Balconies extending the full width of the front façade are not permitted	Yes
		<i>Acoustic Privacy</i>	
	1	SEPP (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline considered	Yes
.4.	2	Noise-sensitive rooms located away from noise sources	Yes
	3	Suitable acoustic screen barriers or other noise mitigation measures are required where physical separation cannot be achieved	Yes
	4	An acoustic report (where relevant) demonstrates that habitable rooms achieve internal noise levels of no greater than 35 dBA	Yes

Comments: Neighbours located directly behind the subject site have raised issues with privacy loss and decreased visual amenity. The likelihood of overlooking into neighbouring private open space has decreased from the deletion of the rear balconies and the addition of the steel framed timber slat screen, which is further conditioned in Condition 38 for fixed or limited (between 33 degrees and a vertical position) adjustable horizontal louvered privacy screen. Condition 3 requires the deletion of the eastern side first floor balcony as this directly overviews existing windows at 45 Merley Road (Figure 11) and to comply with development controls.

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)



Figure 11: View of existing windows and courtyard of 45 Merley Road facing west.

8: Vehicle Access and Parking

8.1 Objectives		Satisfactory
A.	To provide adequate and convenient on-site car parking.	Yes
B.	To ensure that the location and design of driveways, parking spaces and other areas used from the movement of motor vehicles are efficient, safe and convenient.	Yes
C.	To ensure garages, carports, basements and hard standing areas for cars do not visually dominate the street façade of the dwelling.	Yes
D.	To ensure that construction materials used for driveways respect the architectural qualities of the dwelling.	Yes
E.	To minimise the area of access driveways to minimise impermeable surfaces and maximise landscaped areas.	Yes
F.	To ensure basements have discreet entries, safe access and a high degree of natural cross-ventilation.	Yes
G.	To minimise excavation to reduce disturbance to natural ground level particularly adjacent to site boundaries.	Yes
H.	To ensure that any proposed basement minimises disturbance to natural drainage systems and that flooding, drainage or ventilation impacts would not be created for the site, or for adjoining or nearby properties.	Yes
8.2 Development Controls		Complies
.1.	Driveway and Grades	
	1 Existing driveways must be used (exceptions apply)	Yes
	2 The width of driveways at the property boundary is to be 3m	Yes
	3 The edge of driveway crossings located 1m (min) clear of any existing stormwater pits or poles and 2m clear of tree trunks	Yes
	4 Parking and access points easily accessible and recognisable, non-disruptive to	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

	pedestrian flow and safety and located to minimise traffic hazards and potential for vehicles to queue.	
5	One (1) vehicular crossing (max) to any public road (exceptions apply)	Yes
6	Vehicles accessing sites which front main roads shall be capable of entering and exiting in a forward direction	Yes
7	Vehicular turning areas for garages complies with relevant Australian Standard	Yes
9	Driveways avoid long and straight appearance by using variations and landscaping	Yes
10	Driveway set back 0.5 metres (min) from side boundaries	Yes
11	Driveways incorporate unit paving into the design	Yes
12	Areas of concrete visible from a public road are to be minimal and coloured charcoal, grey or brown	Yes
13	Coloured concrete is not permitted in the driveway crossing outside the property boundary	Yes
<i>Basements</i>		
1	The area of a basement shall be limited to and contained within the ground level footprint of the dwelling	No
2	Excavation not permitted within the minimum side setbacks.	Yes
3	The maximum height of the basement above NGL is limited to 1m measured to the predominant finished floor level of the level above.	Yes
4	Internal clearance of 2.2m (min)	Yes
.3.	5 Driveways have a maximum 1:4 gradient and comply with Australian Standards	Yes
	6 Basement entries and ramps/driveways not greater than 3.5m wide	Yes
	7 Driveway ramps are perpendicular to the property boundary at the street frontage	Yes
	8 Basements permit vehicles to enter and exit the basement in a forward direction	Yes
	9 Basements are discretionary on flood affected sites	N/A
	10 Pump-out systems and stormwater prevention in accordance with Council's Stormwater Management Code	Yes
	11 Basements are not to be used for habitable purposes	Yes

Comments: The new driveway into the basement replaces the existing driveway location. The proposed curved entrance way into the basement and added landscaping around the lift shaft assistances in softening the vertical built element above the basement. Contrary to Section 8.2.3 the basement is not strictly contained within the footprint of the dwelling at the ground level, extending to the side central courtyard. However, as the application includes the retention of the original dwelling on the site with restoration and repair works both internally and externally, some flexibility on the location and extent of the basement is conceded as it provides sufficient car parking for the future residents. A Structural Engineering Statement was submitted by Australian Consulting Engineers Pty Ltd dated 5 March 2019 certifying the plans and construction methods will be outside the zone of influence of the footing of the existing house and that "we can confirm that the extent of the proposed works adjacent to the existing building will not adversely affect the remaining building or the adjoining properties".

9: Altering Natural Ground Level (Cut and Fill)

9.1	<i>Objectives</i>	<i>Satisfactory</i>
-----	-------------------	---------------------

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

A.	<i>To maintain existing ground levels and minimise cut and fill to reduce site disturbance.</i>	Yes
B.	<i>To ensure existing trees and shrubs are undisturbed, ground water tables are maintained and impacts on overland flow/drainage are minimised.</i>	Yes
9.2 Development Controls		Complies
1	Fill limited to 1m (max) above NGL	Yes
2	Clean fill used only	Yes
3	Cut and fill batters stabilised consistent with the soil properties	Yes
4	Vegetation or structural measures are implemented when the site is disturbed.	Yes
5	Areas of excavation setback from property boundaries in line with building setback controls. No excavation permitted within the minimum required setbacks.	Yes
6	The work does not affect or undermine the soil stability or structural stability of buildings and Council assets on adjoining properties.	Yes
7	A dilapidation report for all buildings which adjoin proposed excavation areas as required	Yes
8	Avoid excessive fill that creates the potential for overlooking of adjoining properties	No

Comments: A reasonable amount of cut is required to accommodate the proposed development including the basement, vehicular access and pool. Fill is proposed to level out the rear yard by 0.69m above the natural ground level along the rear northern boundary, which is considered to be unnecessary as the dwelling does not successfully step down and respond to the natural slope of the land. Condition 4 requires the rear yard be no higher than RL29.3 so that the proposal retains the existing ground levels and avoids the potential for overlooking of adjoining properties.

10: Water and Soil Management

10.1 Objectives		Satisfactory
A.	<i>To encourage the incorporation of Water Sensitive Urban Design (WSUD) and Botany Improvement Plan principles in the development.</i>	Yes
B.	<i>To ensure compliance with Council's Stormwater Management Code</i>	Yes
C.	<i>To ensure compliance with the NSW State Government's Flood Prone Lands Policy.</i>	Yes
D.	<i>To ensure that appropriate soil erosion and sediment control measures are implemented on all sites that involve soil disturbances during construction.</i>	Yes
E.	<i>To ensure new building work does not detrimentally affect the existing drainage system of any area of the Municipality.</i>	Yes
F.	<i>To ensure that new development in areas that may be affected by acid sulphate soils do not adversely impact the underlying ground conditions, soil acidity and water quality.</i>	Yes
G.	<i>To appropriately manage stormwater and overland flow to minimise damage to occupants and property</i>	Yes
10.2 Development Controls		Complies
.1.	<i>Stormwater Management and Flood Prone areas</i>	
	1 Applicant contacted Council regarding site being flood prone land	N/A
	2 Compliance with Council's Stormwater Management Code	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

	3	Flood affected properties comply with Council's Interim Flood Prone Lands Policy (Flood Prone Areas & Through Site Drainage)	Yes
	4	Minimum habitable floor height advice obtained for flood affected sites	Yes
	5	A drainage/flood report prepared by a hydraulics engineer submitted for sites affected by overland flows	N/A
	6	Stormwater Management Code compliance	Yes
<i>Acid Sulfate Soils</i>			
.2.	1	Site managed consistent with the provisions contained in Clause 6.1 SLEP 2012	Yes
<i>Soil Erosion and Sediment Control</i>			
.3.	1	Soil erosion and sediment control measures detailed and implemented prior to the commencement of work.	Yes
	2	Sediment control measures applied	Yes
	3	Plans provided detailing stormwater quality treatment	Yes

Comments: Council's Development Engineer has raised no concerns with the proposed method of stormwater drainage subject to conditions of consent.

11: Access, Safety and Security

11.1	Objectives		Satisfactory
A.	<i>To encourage the incorporation of crime prevention principles in the design of the proposed developments.</i>		Yes
B.	<i>To increase the safety and perception of safety in public and semi-public spaces.</i>		Yes
C.	<i>To provide passive surveillance of the public domain to promote a safe pedestrian environment whilst maintaining the privacy of residents</i>		Yes
D.	<i>To ensure the safety of pedestrians by separating pedestrian access from vehicular access.</i>		Yes
11.2	Development Controls		Complies
.1.	<i>Address and Entry Sightlines</i>		
	1	Occupants able to overlook public places to maximise passive surveillance	Yes
	2	Landscaping design around dwellings and ancillary structures to accommodate plant maturation	Yes
	3	External lighting enhance safe access and security and light spill does not adversely impact on adjoining properties.	Yes
	4	Crime Prevention through Environmental Design (CPTED) principles incorporated.	Yes
.2.	<i>Pedestrian Entries</i>		
	1	Pedestrian entries and vehicular entries suitably separated	Yes
	2	Dwelling entrances easily identifiable	Yes
	3	House numbers are to be clearly visible from the street	Yes

Comments: The proposed development retains the original front half of the dwelling which clearly identifies pedestrian and vehicular entranceways and provides ample opportunities for passive

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

surveillance. The proposed front fence improves the site safety and visibility of the street by providing openings to the fence through the proposed metal blades and adds favorably to the streetscape.

12: Ancillary Development

12.1	Objectives	Satisfactory
A.	To ensure that ancillary development is compatible with the design of the principal dwelling, streetscape and adjoining dwellings in form, materials and colours	Yes
B.	To limit the size, bulk and scale of ancillary structures and minimise their visibility from the public domain.	Yes
C.	To ensure that the provision of ancillary structures improves the amenity of residents whilst ensuring that the amenity of surrounding dwellings and neighbouring lots is maintained.	Yes
D.	To ensure that the provision of ancillary structures, such as air conditioning units, are considered at the design stage of a proposed development.	Yes

12.2	Development Controls	Complies
	<i>Outbuildings</i>	
	1 Outbuilding located behind the front building line	Yes
	2 Side and rear setback is 0.5m (min)	Yes
	3 New garden sheds, studios, cabanas and the like are limited 40sqm (max)	Yes
.2.	4 Windows do not face an adjoining property (exceptions apply)	Yes
	5 The roof area is not accessible for any purpose	Yes
	6 Outbuildings are not to be used for habitable purposes	Yes
	7 Kitchen facilities are not permitted in an outbuilding	Yes
	8 Any external lighting of an outbuilding is to be positioned or shielded to prevent glare to adjoining premises	Yes

Swimming Pools

	1 Side and rear setbacks from the outside edge of the pool concourse are 1m (min) wide and comprise deep soil soft landscape area	Yes
	2 If greater than 1m above ground, the space between the bond beam/concourse and the ground is finished to Council's satisfaction	Yes
.6.	3 The pool filter and pump equipment designed and located to not emit a noise level that exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible	Yes
	4 Lighting positioned to prevent light spillage and minimise any nuisance to adjoining premises	Yes
	5 Enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.	Yes

Comments: The covered outdoor living area has one enclosed side long the western boundary and contains an outdoor BBQ, which is considered acceptable. The outbuilding proposed a 0.7m

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

side setback. The proposed swimming pool is surrounded by deep soil soft landscaping wider than a 1m width complying with Council's requirements.

13: Ecologically Sustainable Development

13.1	Objectives	Satisfactory
A.	<i>To encourage passive and active strategies in the design of dwellings and ancillary structures that promotes the achievement of ecologically sustainable practices and BASIX requirements.</i>	Yes
B.	<i>To ensure dwellings are designed to allow sufficient natural ventilation and lighting whilst minimising heat gain during summer and maximising solar access during winter, thereby reducing the need for artificial cooling and heating.</i>	Yes
C.	<i>To minimise the over use of Sydney's limited high quality domestic water supply by ensuring new dwellings incorporate water storage tanks for use in toilet flushing, landscape irrigation and to encourage new dwellings, additions and alterations to incorporate water saving devices and water conservation strategies.</i>	Yes
D.	<i>To encourage the use of new technology that reduces energy consumption, minimises greenhouse emissions and results in cost savings</i>	Yes
E.	<i>To encourage the re-use of building materials, thereby reducing waste to landfill, transportation costs, conserving raw materials and reducing energy expenditure. (Refer to Part H Waste Minimisation and Management of SCDCP 2005).</i>	Yes
13.2	Development Controls	Complies
.1.	<i>Natural Lighting and Heating</i>	Yes
	1 Living areas facing north, sleeping areas facing east/south, and utility areas orientated west/south to maximise winter solar access.	Yes
	2 Trees planted to the north of the dwelling must be deciduous to allow solar access during the winter	Yes
	3 Materials used of high thermal mass	Yes
.2.	<i>Natural Cooling and Ventilation</i>	
	1 Windows and walls on northern facades shaded by shading devices, trees, eaves and louvres sympathetic to the dwelling	Yes
	2 Windows positioned to capture breezes and allow for cross-ventilation	Yes
.3.	<i>Water Tanks</i>	
	1 Located behind the dwelling or behind the front building line and screened from view from the public domain	Yes
	2 Associated support structures and plumbing are a colour that complements the dwelling.	Yes
	3 Above ground water tanks located 450mm (min) from any property boundary	Yes
	4 Above ground water tanks do not exceed 3m in height above NGL	Yes
	5 Overflow piped directly to the approved stormwater drainage system except in cases where stormwater is required to be directed to on-site stormwater detention (OSD) storage	Yes
	6 No part of the water tank or support stand may rest on a wall footing	Yes
	7 Installation does not involve the filling of more than 1m above existing ground level	Yes
	8 The tank not located over or adjacent to a water main or sewer main or installed over any associated structure or fittings	Yes
	9 Support structure installed to the requirements of a qualified practicing structural engineer or to the maker's specifications.	Yes
.4.	<i>Hot Water Heater Units</i>	

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

1	Located behind the dwelling or wholly behind the dwelling	Yes
2	Not located on balconies unless screened from public view	Yes
3	Placed within a short distance of the most frequent point of use	Yes

Comments: The proposal has been designed such that all internal living areas are located to the north east of the dwelling footprint, thus maximising solar access to these rooms during the morning and afternoon. Further, the proposal is accompanied by a BASIX certificate achieving compliance with the minimum water and energy use BASIX requirements. The development proposes a 3000L below ground rainwater tank along the southern elevation of the dwelling, instantaneous gas hot water system and solar panels.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposal was accompanied by a Waste Management Plan prepared in accordance with Part H of the SCDCP 2005. Compliance with the waste minimisation strategies of this waste management plan shall be enforced through the imposition of suitable conditions of consent.

PART P - HERITAGE (SCDCP 2005)

4. Development in Conservation Areas

1: Setting

4.1.1	Objectives	Complies
1	To provide an appropriate visual setting for Heritage Conservation Areas, including landscaping, fencing and car parking.	No
2	To maintain and enhance the existing character of the streetscape of a Heritage Conservation Area.	Yes
3	To ensure that new development respects the established patterns in the streetscape of a heritage Conservation Area, including setbacks, siting, landscaped settings, car parking and fencing.	No
4	To protect street trees within Heritage Conservation Areas	Yes
4.1.2	Development Controls	Complies
(1)	The side and front setbacks of new development in a Conservation Area should be typical of the spacing of existing buildings in the vicinity of the proposed development in that Conservation Area, such that the rhythm of buildings in the streetscape is retained.	No
(2)	No new structures should be built forward of the established street building line.	Yes
(3)	The established landscape character of the locality including the height of canopy and density of boundary landscape plantings should be retained in any new development.	Yes

Comments: The proposed addition intrudes into the side setback alignment set by the existing dwelling house as the existing setbacks are relatively large. This is contrary to the provisions of Part P 4.1(i) due to the wide nature of the site and the design of the existing dwelling house being of a common width consistent with those dwellings of similar age and style on narrower allotments further down Merley Road. Condition 2 requires the western side to be increased to retain a feeling of openness and maintain landscaped setbacks within the Merley Road Heritage Conservation Area. No new structures are proposed to be built forward of the existing building line. The existing dwelling house has little landscaping when viewed from Merley Road due to the expansive dark concrete driveway and as such there are no canopy trees to protect in this area of the site. The

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

driveway placement is in the position of the current driveway, which will be shortened from the existing arrangements to accommodate the turn into the basement garage. The street trees are set well back from the crossover.

4.2: Scale

4.2.1 Objectives		Complies
1	To ensure that new development adjacent to or within a heritage Conservation Area is of a scale consistent with the existing development in the vicinity of the site that contributes to the character of the in the heritage Conservation Area.	Yes
2	To ensure that additions and alterations to a building within a Conservation Area are of a scale consistent with the contributory buildings in the Conservation Area.	Yes
4.2.2 Development Controls		Complies
(1)	The scale of new development adjacent to or within a Conservation Area should relate to the scale of the adjacent or nearest contributory elements of the Conservation Area.	Yes
(2)	Development of a larger scale is allowable only if it can be demonstrated that the new development will not adversely impact the identifiable character of the Conservation Area.	Yes

Comments: The scale of the new development generally relates to that of the nearby development in terms of overall height, and the elements that exceed the ridge height are conditioned to be in keeping with the ridge height (Condition 10). The immediately adjacent dwelling houses are single storey in scale, however the area is in transition, with several two-storey additions within the Merley Road Conservation Area. The proposed two storey element that protrudes into the side setback is set back approximately 25m from the front property boundary and while it is a very modern addition in design and finishes, with the increased western side setback according to Condition 2, it is considered acceptable and would not detract from the identifiable character of the Merley Road Conservation Area.

4.3: Form

4.3.1 Objectives		Complies
1	To ensure that new development in a Conservation Area relates positively to the dominant forms of existing contributory buildings in the Conservation Area.	Yes
2	To ensure that buildings that contribute to the character of a Conservation Area retain their importance in the streetscape and/or townscape.	Yes
4.3.2 Development Controls		Complies
(1)	Important elements of the form of a contributory building in a Conservation Area such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.	Yes
(4)	Dormer windows should generally be confined to rear or side roof slopes to minimize visibility in the streetscape.	Yes
(5)	Additions and alterations to existing buildings that contribute to the character of a Conservation Area should not detract from the original form of the existing building as viewed from the Public Domain.	Yes
(6)	The treatment of the street façade of new development in a Conservation Area should relate to existing nearby buildings that contribute to the Conservation Area.	Yes

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

Comments: The building has been substantially altered and is a neutral building within the conservation area. Elements such as the roof form, chimney and verandah are retained as viewed from Merley Road. While part of the roof form is lost as a result of the proposal, the roof form has already been altered in terms of its materiality. The proposal would be neutral in the conservation area in a manner similar to the existing dwelling house which is clearly altered and does not contribute to the Merley Road Conservation Area. The proposed dormer window is in an appropriate location on the side roof plane. The treatment of the street façade is not proposed to be altered.

4.4: Siting

4.4.1 Objectives		Complies
1	To integrate new development in Conservation Areas with the identifiable character of the area.	Yes

4.4.2 Development Controls		Complies
(1)	The front setback of new development (including alterations and additions) in Conservation Areas should match that of adjacent contributory development. Where adjacent developments have different setbacks, new development should align with the greater setback.	Yes
(2)	For Conservation Areas where first floor additions are appropriate, the first floor must be located behind the main roof form in a manner that does not detract from the streetscape character of the Conservation Area.	Yes
(3)	Side setbacks of new development (including alterations and additions) in Conservation Areas should match the pattern of adjacent and/or nearby contributory development. This will often include a greater setback on one side of the development to provide vehicular access at the side of a property.	Yes
(4)	The orientation of new development should follow the established pattern of development in the Conservation Area.	Yes
(5)	Where trees are important to a Conservation Area, new buildings should be sited away from the drip line of the trees.	Yes

Comments: The front setback is not proposed to be altered. The proposed first floor addition is located behind the ridge of the main roof form, however it is not in a manner that entirely reflects the siting demonstrated by Figure 3 of Part P. Were the addition to be sited as per the DCP provision, this would move the bulk of the addition further toward the rear of the site due to the existing front setback and may give rise to additional amenity impacts on neighbouring properties.

The orientation generally follows the established pattern of development in the Conservation Area, however the addition takes advantage of the generous side setbacks in its siting. The driveway is clear of any Council street trees which contribute greatly to the character of the Conservation Area.

4.5: Materials and colours

4.5.1 Objectives		Complies
1	To encourage the use of external materials on new development that is consistent with the existing contributory buildings in a Conservation Area.	Yes

4.5.2 Development Controls		Complies
(1)	Original materials of contributory buildings in Conservation Areas should not be replaced with different materials or with materials of different colours.	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(2)	Non-original materials of existing contributory buildings in Conservation Areas that are being replaced shall, if possible, be replaced with material that matches the original material as closely as possible.	Yes
(3)	Painting, rendering or bagging of face brickwork and sandstone is not permitted	Yes
(4)	The texture of original rendered finishes should not be changed.	Yes
(5)	Colour schemes for existing and new development in Conservation Areas should have a hue and tonal relationship with traditional colour schemes for the dominant style of development found in the Conservation Area	Yes
(6)	The use of fluorescent paint on buildings in Conservation Areas is not permitted.	Yes

Comments: The original materials and finishes of the dwelling have been lost, in particular through re-roofing and rendering of the external walls in a smooth hard render that is unlikely to be reversible without doing substantial damage to the underlying fabric. As such, a requirement for the reinstatement of original finishes is considered excessive in this instance. The materials of the new addition should be able to communicate with those of the existing dwelling house rather than the traditional palette of the remainder of the Merley Road Conservation Area. For this reason, the materials and finishes proposed are considered acceptable. No fluorescent paint finishes are proposed.

4.6: Doors and windows

4.6.1	Objectives	Complies
1	To retain original door and window details of contributory buildings in Conservation Areas.	Yes
2	To ensure that new development in a Conservation Area has fenestration patterns and proportions consistent with contributory buildings in the Conservation Area.	Yes
4.6.2	Development Controls	Complies
(1)	Extensive areas of glazing are not permitted for doors and windows visible from the Public Domain on buildings within a Conservation Area.	Yes
(2)	Original door and window joinery visible from the Public Domain on contributory buildings in a Conservation Area should be conserved.	Yes
(3)	New door and window openings to contributory buildings in a Conservation Area that are visible from the Public Domain should be of proportions and details that relate to existing door and window openings.	Yes
(4)	Roof structures (i.e. skylights) should be located on roof slopes where they will not be visible from the Public Domain.	Yes

Comments: The building has been altered such that it no longer represents a contributory building within the Heritage Conservation Area; however the front elevation retains some original features including window openings. These are not proposed to be altered as part of this application. Skylights proposed are located in the rear addition and would not be visible from the public domain.

4.7: Car parking

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

4.7.1 Objectives		Complies
1	To ensure that, where possible, garages and carports are designed to minimise the visual impact on the streetscape of Conservation Areas.	Yes

4.7.2 Development Controls		Complies
(5)	Applications that propose basement additions may be required to provide a Structural Report from a practicing structural engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building or adjoining properties. This report should be provided as part of the development application. The placement of the basement entrance should not detract from the street presentation of the item of the streetscape.	Yes
(6)	Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.	Yes

Comments: The basement level responds favourably to the car parking provision of Part P 4.7 of the DCP in terms of its location and positioning of the entry minimising the impact of the basement on the street presentation of the item in the streetscape. The proximity of the proposed basement to the original dwelling house has been supported by a Structural Design Certificate by Australia Consulting Engineers, confirming that the extent of the proposed works adjacent to the existing building “will not adversely affect the remaining building or the adjoining properties, provided that all the structural drawings, details and instructions which are to be issued from this office in the future, are adhered to”. This matter is reinforced by way of a recommended condition number 5. Structural certification has been received from a practicing structural engineer and conditions have been recommended to reinforce requirements for structural design detail prior to the issue of the CC.

4.8: Fencing

4.8.1 Objectives		Complies
1	To conserve original gates and fences within Conservation Areas.	No – refer below
2	To ensure new fences and gates are consistent with the character of the Conservation Area and in particular with contributory housing in a Conservation Area.	Yes
3	To ensure that the quality of the streetscape or townscape in a Conservation Area is not diminished by inappropriate fencing.	Yes

4.8.2 Development Controls		Complies
(1)	Fencing and gates that are constructed at the same time as the contributory building should not be demolished.	No – refer below
(2)	New fencing and gates to contributory housing in a Conservation Area should be designed to complement the style of the house.	Yes
(3)	New fencing and gates to infill development in a Conservation Area should be in keeping with the dominant character of the Conservation Area.	Yes
(4)	Unless evidence is provided to establish a greater height, fencing constructed of solid material such as masonry forward of the building line should not be greater than 1m in height above the adjacent public footpath level. In all cases, the height of fencing should relate to the style of the house and width of the allotment.	Yes
(5)	Original face brick or sandstone fencing in a Conservation Area should not be painted.	Yes

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(6)	Refer to the Controls for Fencing in the Residential section of this Development Control Plan for general provisions regarding fencing (Note: this section prevails in the event of any inconsistency)	Yes
-----	--	-----

Comments: The existing fencing is an intrusive element and its removal will be a positive outcome for the Merley Road streetscape. The replacement fence provided in the amended plans more closely reflects the existing fences in the Merley road streetscape and is a positive outcome for the site.

4.9: Landscape elements including paving and driveways

4.9.1	Objectives	Complies
1	To retain important landscape elements that contribute to the significance of Conservation Areas.	Yes
2	To reinforce the qualities of the Conservation Area through appropriate landscaping	Yes

4.9.2	Development Controls	Complies
(1)	Street trees in Conservation Areas should not be removed to allow for new development such as the relocation of driveways which may necessitate the removal of a street tree.	Yes
(2)	Existing driveways and footpath crossings that relate to original development in a Conservation Area should not be relocated.	Yes

Comments: While its placement reflects the original development, the existing driveway has been replaced and substantially altered and the front setback retains no landscape elements of significance requiring retention. The existing single driveway is to be retained and replaced by a driveway accessing the proposed basement.

4.10: Outbuildings

4.12.1	Objectives	Complies
1	To minimise visual intrusion on the streetscape due to outbuildings.	Yes

4.12.2	Development Controls	Complies
(1)	Outbuildings should be located in the rear yard of properties within a Conservation Area.	Yes
(3)	Outbuildings should be single storey and designed so that they have negligible if any impact on the streetscape.	Yes

Comments: The proposed covered outdoor area proposed as part of the application would not give rise to any undue impact on the streetscape due to its location in the rear corner of the site and its single storey scale.

4.11: Modern Technologies

4.12.1	Objectives	Complies
--------	------------	----------

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

1	<i>To ensure that modern technologies do not impact on the streetscape and/or townscape in Conservation Areas</i>	Yes
---	---	------------

4.12.2 Development Controls **Complies**

(1)	Modern technologies such as solar electricity collectors, television aerials and satellite dishes are to be located on roof slopes facing the rear of a property in Conservation Areas.	Yes
(3)	Modern technologies should not be higher than the main ridge line of a building and shall be located so that they are not visible from the Public Domain in a Conservation Area.	Yes

Comments: The proposed PV cells are located on the roof of the proposed addition in a location that may involve angled frames visible from the street due to the angle required to achieve optimum output. As such, Condition 7 has been included in the recommendation requiring the PV Cells to be installed in a manner that is not visible from Merley Road.

4.12: Demolition

4.12.1 Objectives **Complies**

1	<i>To retain the contributory buildings in a Conservation Area.</i>	Yes
---	---	------------

4.12.2 Development Controls **Complies**

(1)	Contributory buildings within a Conservation Area should not be demolished.	Yes
(2)	Partial demolition of contributory items within a Conservation Area may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the contribution of the item to the Conservation Area.	Yes
(3)	Demolition of rear outbuildings in Conservation Areas may be acceptable. For places listed as heritage items, additional restrictions might apply.	Yes

Comments: The building is not a contributory building in the conservation area and as such the partial demolition provisions have been considered. The partial demolition of the internal walls of the original dwelling is considered acceptable and the development allows for a better utilisation of the site. Council's Heritage Advisor has offered no objections to the removal of internal walls and alteration of the existing dormer window/door and has recommended Conditions 4 and 5 to preserve the building.

5.9.10: Merley Road Conservation Area (C13)

The Merley Road Conservation Area has additional specific controls within Part P as follows:

Control	Comment
(i) Gables should be restored, repaired or replaced to follow the consistent pattern throughout the Conservation Area.	The existing gable is to be retained and alterations to the dormer style window located on the western elevation are considered minor.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(ii) Replacement roof materials are to match original materials on dwellings within this Conservation Area, such as unglazed terra cotta Marseilles tiles.	Roof materials proposed are in keeping with the existing dwelling house which has been substantially altered in its materials and finishes circa 2013. The original roof materials were replaced with black tiles between 8 Jan and 21 March 2013 (source: nearmaps).
(iii) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Face brickwork with render should be repaired or replaced where appropriate.	The front portion of the dwelling remains unaltered in terms of shape and materials when compared with the existing dwelling house. The changes made to the finishes in terms of the smooth white render is not reversible and to require reinstatement of the face brick and former roofing of slate tiles with terracotta capping to this building would be excessive.
(iv) Existing original front verandahs are to be kept and repaired or reinstated where necessary.	The front verandah retains some original features, but has been altered over time and no further alterations are proposed.

4.15 (1)(a)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 7.4 of the *Environmental Planning and Assessment Act 1979*.

4.15 (1)(a)(iv) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) however, does involve the demolition of a building for the purposes of *AS 2601 – 1991: The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

4.15(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Merley Road is under built form transition and renewal through alterations and additions to the original housing stock. The basement and two storey addition is visible from the street but has a generous 18m setback from the front boundary and a 9.7m rear setback. The basement is the first of its kind in the Merley Road Conservation area. The rear addition maintains large setback from the street and its contemporary design does not detract from the original dwelling and surrounding streetscape character. Whilst the proposal partly maintains the existing dwelling and the addition is of high quality proposed materials and finishes, it is sympathetic to the prevailing colours of existing dwellings in the streetscape, is characteristic of the height and scale suitable for the site.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Overall, the proposed design has been considered with respect to adjoining properties to minimise adverse impacts to adjoining neighbours and achieve an appropriate level of streetscape compatibility. The two storey extension maintains a modest setback from the front boundary, generally complies with the development standards and controls within the Strathfield LEP and SCDCP. The proposed design is sympathetic to the Merley Road Conservation Area and the proposed conditions of consent will improve its siting within this streetscape.

4.15 (1)(c) the suitability of the site for the development

The dwelling is not a significant contributory dwelling within the Merley Road Conservation Area and as the addition is located at the rear of the site the orientation generally follows the established pattern of development in the Conservation Area, however the addition takes advantage of the generous side setbacks in its siting. The proposed development is considered to be suitable for the site in that the extension is to the rear of the property and substantially large setback from Merley Road. This reduces the visibility of the addition from the street, therefore maintaining and respecting the heritage character of the locality. The final designs are an improvement however by conditioning the height and increasing the western side setback, the addition is compatible with the Merley Road Heritage Conservation Area and does not detract from the surrounding heritage character. The recommended conditions of consent form a development suitable for the site and surrounding dwellings.

4.15 (1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005 from **20 December 2018 to 17 January 2019** (extended to four (4) weeks in total due to the holiday period in accordance to Council's extended notification during the Christmas holiday period), with **two (2)** submissions received from adjoining land owners. Site visits to both properties occurred on the 18th of January 2019 in order to understand the potential impacts of the proposal along their adjoining boundaries and private open spaces. The objections raised the following concerns:

1. **Privacy:** *The proposal will significantly decrease our privacy especially the amenity of our backyard. This is due to the rear extension being so close to the rear boundary, the elevated pool, the proposed north facing first floor balconies, the large windows and proposed height of the development would result in overlooking into private open space.*

Assessing officer's comments:

Privacy concerns were raised by both of the objectors due to the first floor balconies and large glass windows facing north. This would result in adverse over looking into rear private open spaces (Figure 12 and 13). The final designs deleted the first floor balconies and added a privacy screens around Bedroom 3 and 4 windows' facing north. The privacy screens are further conditioned to remain fixed or to have limited adjustable horizontal louvered slats between 33 degrees and a vertical position (Condition 38). These amendments are considered to mitigate potential impact and provide an acceptable level of privacy for both the occupants and adjoining residents. The first floor addition protrudes 1.7m further than the existing building and has a rear setback of 9.7m, which is 3.7m more than the minimum control.

DA2018/172 - 47 Merley Road, Strathfield
 Lot C in DP 394641 (Cont'd)

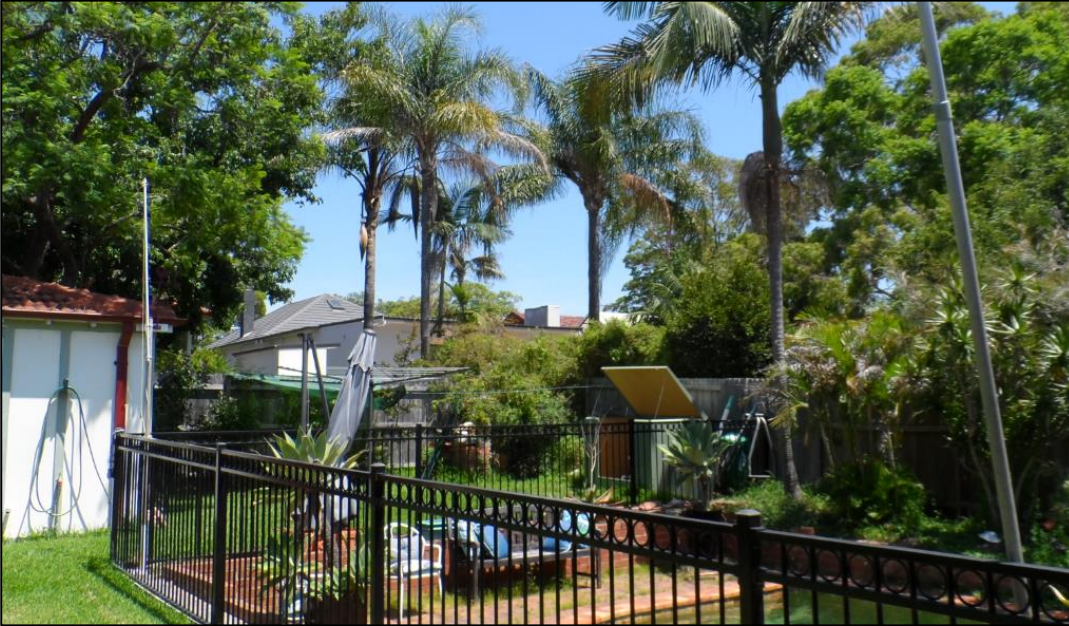


Figure 12: South western view from 26 Hydebrae Street of the subject site.



Figure 13: Southern view from 28 Hydebrae Street of the subject site.

2. **Built Form:** *The rear addition is out of harmony with the surrounding treed environment and the addition is like an office or apartment block than the bungalow it is replacing. This discord is increased by the concrete roof which is without empathy for the adjoining tiled roof houses.*

Assessing officer's comments:

The immediately adjacent buildings are single storey in scale, however the area is in transition, with many contemporary two-storey additions within the Merley Road Conservation Area. A pyramidal roof form was proposed in the amended plans (Figure 9), however this design did not achieve the street rhythm and a flat roof reduced the bulk and scale of the addition. The proposed two storey element that protrudes into the side setback is set back approximately 25m from the front property boundary. Condition 2 increases the western side setback to reduce the visible bulk from the street and from the rear. While it is a very modern in design and finishes, it would not give rise to any undue impact on the identifiable character of the Merley Road Conservation Area. The

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

scale of the new development generally relates to that of the nearby development in terms of overall height, and the elements that exceed the ridge height is conditioned to be in kept within the ridge height.

3. **Insufficient Detail:** *The submitted plans are inaccurate as the tree shown on the north-western boundary of the property has been removed.*

Assessing officer's comments:

Both the Survey Plan and Landscape Plan were resubmitted and accurately reflect the existing buildings and vegetation on site.

4. **Heritage Conservation:** *The development is located in the Merley Road Heritage Conservation Area and the proposal is inconsistent with the scale of the adjoining homes. Additions should be undertaken in a sympathetic manner and the box-like structure will be imposing and out of character with the surrounding neighbourhood.*

Assessing officer's comments:

The proposal would remain neutral in the conservation area in a manner that the existing dwelling house which is clearly altered and does not contribute to the Merley Road Conservation Area. The use of modern design for additions to a heritage item or within a conservation area is an acceptable approach under Article 22 of the Burra Charter. This article prescribes in part as follows:

"Article 22. New work:

22.1 New work such as additions or other changes to the *place* may be acceptable where it respects and does not distort or obscure the *cultural significance* of the place, or detract from its *interpretation* and appreciation.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the *cultural significance* of the *place*"

The notes associated with this Article also state that "New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided." The proposal involves appropriate siting for the addition and use of painted face brick in the addition is an appropriate response to the existing building and the conservation area. The proposed extension is of an acceptable bulk, scale and form. The proposal is acceptable and endorsed on heritage grounds.

5. **Stormwater:** *It is unclear how the stormwater will be managed following the construction of the basement and the handling of surface run-off ensuring surrounding homes is not adversely affected.*

Assessing officer's comments:

Council's Development Control Engineer has reviewed the proposed Stormwater Plans and charged drainage system. Proposed additions and alterations roof runoff on the northern boundary drains into above ground rainwater tank in accordance with BASIX requirements and the concept plan is feasible and no objections are raised according to Council's Engineer, subject to the following conditions attached.

6. **Amended Plans:** *With reference to the Architectural Plans dated 15 March 2019; the modified roof is now higher than the original DA resulting in even more of an obtrusive design. The size of the northern elevation windows have not been changed and still significantly impact the privacy of our backyard. The reflective light will also impact the amenity of our rear yard. We are concerned that the privacy screens and screened vegetation will not be met in the construction phase.*

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Assessing officer's comments:

The pyramidal roof form was deleted and Condition 7 of consent requires the height of the addition be no greater than the existing ridge height at RL 36.2. The northern facing windows have not been reduced, however a privacy screen has been placed in front of these windows minimising the overlooking and potential reflective afternoon sun.

4.15 (1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

LOCAL INFRASTRUCTURE CONTRIBUTIONS

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Local Amenity Improvement Levy	\$13,730.55
--------------------------------	--------------------

CONCLUSION

The application has been assessed having regard to Section 4.15 of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2012 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

PEER REVIEW

The content and recommendation of the development assessment report has undergone peer review and is satisfactory for consideration by the Panel.

RECOMMENDATION

That Development Application No. 2018/172 for the alterations and first floor additions to existing single dwelling including basement level, new in-ground pool and spa, cabana, front boundary fence and associated landscaping works at 47 Merley Road, Strathfield be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. **OUTBUILDING HEIGHT (SC)**

The rear outbuilding is to be not greater than 3.5m in height above existing ground level and not less than 0.5m in setback from the western boundary. Details demonstrating compliance with this requirement shall be submitted to and approved by the Principal Certifying

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Authority prior to the issue of a Construction Certificate.

(Reason: To ensure the approved building height is complied with.)

2. **WESTERN SIDE SETBACK (SC)**

The western side setback is to maintain a 4600mm separation between the western side boundary and the western elevation of the proposed dwelling on all levels (basement, ground floor and first floor). The plans shall be amended and the basement, ground and first levels reconfigured within the envelope of the reduced building footprint without alteration to the eastern or rear side setbacks nominated on the approved plan. Details demonstrating compliance with this condition shall be submitted to and approved by Council prior to the issue of a Construction Certificate.

(Reason: Reduce the bulk of the development within a Heritage Conservation Area.)

3. **FIRST FLOOR BALCONIES (SC)**

The first floor side balcony located off the Master Bedroom is to be deleted and replaced with a planter box.

(Reason: To increase the amenity of neighbouring residence and reduce overlooking of existing windows.)

4. **FILL IN YARD (SC)**

Fill in the rear yard shall be no higher than RL29.3 so that the proposal retains the existing ground levels.

(Reason: Avoid excessive fill that creates the potential for overlooking of adjoining properties)

5. **STRUCTURAL CERTIFICATION (SC)**

Structural design detail is required prior to CC demonstrating that the basement design would not damage the portion of the existing dwelling house to remain. This design must be accompanied by certification from a suitably qualified structural engineer with experience in heritage buildings.

(Reason: To ensure the construction of the basement does not structurally affect the original dwelling.)

6. **PERSERVING THE ORIGINAL DWELLING (SC)**

The south elevation (DA_200_00 Revision 04 dated 12.04.19) does not reflect the existing scalloped balustrade and indicates a new opening. The plans must be amended prior to the issue of a Construction Certificate.

(Reason: Maintaining the original dwelling)

7. **PV CELLS (SC)**

The PV Cells are to be installed in a manner that is not visible from Merley Road.

(Reason: Maintaining the Heritage Conservation Area)

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

8. PLANT ROOM WINDOW AND EXTERNAL STAIRS INTO THE BASEMENT (SC)

The Plant Room window is to be deleted or replaced with a wall air vent. The external stairs into the basement adjacent to the eastern side boundary are to be deleted and replaced with deep soil landscaped area. The plans must be amended submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

(Reason: To ensure basements are not to be used for habitable space.)

GENERAL CONDITIONS (GC)

9. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2018/172:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
DW_100_00	Demolition Plan	Daniel Younan & Associates	Revision 1, 07/12/18	14 December 2018
DW_100_10	Basement Plan	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_100_20	Ground Floor Plan	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_100_30	First Floor Plan	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_100_40	Roof Plan	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_200_00	Elevations	Daniel Younan & Associates	Revision 4, 12/04/19	12 April 2019
DW_200_01	Streetscape elevations and fence elevations	Daniel Younan & Associates	Revision 4, 12/04/19	12 April 2019
DW_200_05	Proposed external materials and finishes	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_300_00	Sections	Daniel Younan & Associates	Revision 3, 12/04/19	12 April 2019
DW_350_00	Driveway Section – Sheet 1	Daniel Younan & Associates	Revision 2, 15/03/19	15 March 2019
DW_350_01	Driveway Section – Sheet 2	Daniel Younan & Associates	Revision 2, 15/03/19	15 March 2019
A1	Location Plan	Conzept Landscape Architects	Revision 2, 14/03/19	15 March 2019
LPDA 19 – 97/2	Landscape Plan	Conzept Landscape Architects	Revision 2, 14/03/19	15 March 2019
LPDA 19 – 97/3	Details	Conzept Landscape Architects	Revision 2, 14/03/19	15 March 2019

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

LPDA 19 – 97/4	Details	Conzept Landscape Architects	Revision 2, 14/03/19	15 March 2019
LPDA 19 – 97/5	Specification	Conzept Landscape Architects	Revision 2, 14/03/19	15 March 2019
000	Stormwater Concept Plans Cover Sheet	Australian Consulting Engineers	Issue A, 8/11/2018	14 December 2018
101	Stormwater Concept Plans Basement Level Sheet 1	Australian Consulting Engineers	Issue A, 8/11/2018	14 December 2018
102	Stormwater Concept Plans Basement Level Sheet 2	Australian Consulting Engineers	Issue A, 8/11/2018	14 December 2018
103	Stormwater Concept Plans	Australian Consulting Engineers	Issue A, 8/11/2018	14 December 2018
104	Miscellaneous Details Sheet	Australian Consulting Engineers	Issue A, 8/11/2018	14 December 2018

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2018/172:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Waste Management Plan	Daniel Younan & Associates	Issue A	14 December 2018
Heritage Impact Assessment	Zoltan Kovacs Architect	Issue A, November 2018	14 December 2018
Heritage Statement	Zoltan Kovacs Architect	Issue A, 11 March 2019	15 March 2019
Structural Design Certificate	Australian Consulting Engineers	Issue A, 5 March 2019	15 March 2019
Basix Certificate	Planning Principles	Issue A, 11 December 2018	14 December 2019

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

10. **BUILDING HEIGHT - MAXIMUM RL TO BE COMPLIED WITH (GC)**

The height of the building measured from Australian Height Datum (AHD) must not exceed Relative Level (RL) 36.2 AHD to the top of the parapet and flat roof. With exception to the existing and proposed chimneys not exceeding 36.7(RL).

(Reason: To ensure the approved building height is complied with.)

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

11. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

12. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

13. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

14. DEMOLITION - HERITAGE CONSERVATION (GC)

Alterations to, and demolition of, the existing building shall be limited to that documented on the approved plans (by way of notation) or conditioned in this consent. No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is shown to be retained.

Should any portion of the existing building which is indicated on the approved plans to be retained, be damaged for whatever reason, all the works in the area of this damaged portion are to cease and written notification given to Council. No work is to resume until the written approval of Council is obtained.

(Reason: Heritage conservation.)

15. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding/fencing along the street frontage(s) complying with WorkCover requirements must be obtained including:

- payment to Council of a footpath occupancy fee based on the area of footpath to be

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

occupied and Council's Schedule of Fees and Charges before the commencement of work; and

- provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

16. **FIREPLACES (GC)**

Use of any fireplace for the purpose of wood fired fuel and coal burning is prohibited. Fireplaces may only be used with natural gas and electricity only.

(Reason: To maintain health and safety to surrounding residences and reduce air pollution.)

17. **FENCING - FRONT FENCE HEIGHT (GC)**

Solid fencing forward of the building line (including the building line to a secondary street frontage on a corner site) shall not exceed a height of 0.7m above natural ground level. The fence may be topped by an additional maximum 0.8m high open timber picket, wrought iron, palisade or similar element.

Brick piers over 1m in height are permitted to support the decorative elements, provided they are equally spaced along the street, and do not exceed a height of 1.5m. Plans demonstrating compliance with this condition are to be submitted to the

(Reason: To ensure a positive contribution to the streetscape in accordance with the Strathfield Consolidated DCP 2005.)

18. **LANDSCAPING ADJACENT SWIMMING POOLS/SPAS (GC)**

A minimum one (1) metre wide landscape strip is to be provided between the swimming pool and adjacent common boundaries. The landscape strip is to be planted with a continuous row of evergreen shrubs of a minimum five (5) litre container size and capable of achieving a minimum mature height of three (3) metres. Details of the selected plants shall be submitted to and approved by the Principal Certifying Authority. Compliance with this condition shall be certified by the Principal Certifying Authority, prior to occupation of the premises.

(Reason: Privacy amenity of adjoining properties.)

19. **LANDSCAPING - CANOPY TREES IN BACK SETBACK (GC)**

New development shall provide at least two (2) canopy trees within the rear setback behind the building line. New canopy trees shall be at least three (3) metres high at the time of planting and capable of reaching a mature height of 10m.

Species shall be selected from Council's Recommended Tree List (Available from Council's website or from the Customer Service Centre). Compliance with this condition is to be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure the landscape character of the locality is maintained.)

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

20. **ENVIRONMENTAL PROTECTION – TREE (GC)**

All street trees and trees on private property that are protected under Council's controls, shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Section 4, Tree protection measures, and Appendix C Tree Protection Zone Sign, of Australian Standard AS4970 - 2009, Protection of Trees on Development Sites, prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

In this regard the street tree and all protected trees on or adjacent to the site will be protected as described below;

- i. A Tree Protection (Management) Plan prepared by a AQF Level 5 Arborist is to be available on site at all times prior to the issue of the Constriction Certificate, for all demolition and site works. This Tree Protection (Management) Plan must be shown on the demand of Authorised Council staff.
- ii. Protective perimeter fencing must be consistent with AS 4687, using metal fence posts greater than 20mm diameter and solid or chain wire mesh 2 metres in height supported on concrete pads/feet at 2-2.5 metre spacing. Fencing placement should not be closer than 2.5 metres from the trunk of each protected tree, or at a distance as specified by the approved Tree Protection (Management) Plan and approved by Council's Tree Management Officer. Shade cloth is to be used to prevent entry of dust and contaminated liquids into the root protection area.
- iii. Signs must be placed on the Fencing. These signs must comply with AS1319. The signs must state the purpose of the fencing and the name and contact details of the builder and the appointed AQF Level 5 consultant arborist.
- iv. Root protection is to be provided in the form of mulching to a depth of 50-100mm, inside of the fenced tree protection zone.
- v. Ground (Root) Trunk and Branch Protection must comply with the diagram of Figure 4 of AS4970 – 2009. Ground protection within the tree protection zone and drip line should be in the form of heavy steel plates or timber rumble boards over mulch or aggregate. Trunk and branch protection should be to a minimum height of 2 metres and must include measures to protect the tree/s against damage from the movement of trucks, plant equipment and materials at greater heights above ground level.
- vi. Temporary signs, cables, wires must not be attached to, or suspended, on any street tree or protected tree.
- vii. Above ground utilities must not be placed within the canopy of an existing protected tree, or create the future need for clearance pruning.
- viii. Below ground utilities/services must not be located inside the fenced tree protection zone.
- ix. Scaffolding must not be located in the fenced tree protection zone unless authorised by the approved Tree Protection (Management) Plan and Council's Tree Management Officer
- x. Council must be notified in writing within 24 hours, for all temporary removal of the tree protection fencing ground (root) trunk and branch protection within the root protection area.
- xi. Pruning of a street tree is prohibited without the written consent of Council.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: To ensure the protection of trees to be retained on the site.)

21. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

22. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

23. STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

24. SYDNEY WATER - TAP IN™ (GC)

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

(Reason: Compliance with Sydney Water requirements.)

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (PCC)

25. BASIX COMMITMENTS (CC)

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 4.55 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance.)

26. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

27. CAR PARKING - BASEMENT CAR PARKING REQUIREMENTS (CC)

Details demonstrating compliance with the following is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate:

- i) Minimal internal clearance of the basement is 2.2m in accordance with BCA requirements.
- ii) Driveways shall comply with Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and achieve a maximum gradient of 1:4.
- iii) Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.
- iv) Provision of pump-out systems and stormwater prevention shall be in accordance with Council's Stormwater Management Guide.

(Reason: To ensure suitable development.)

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

28. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.
- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
- iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
- iv) Location of verge trees, street furniture and service installations.
- v) Superimposition of vehicle turning circles for access into parking spaces.
- vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified Engineer.

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

29. CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

30. CAR PARKING - VEHICULAR CROSSING WIDTH AT PROPERTY BOUNDARY (CC)

Vehicular crossings are to have a maximum width of 3m at the property boundary. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

The vehicular crossing (and all associated excavation works) must not be constructed closer than 2 metres from a retained protected street tree.

(Reason: Compliance with SCDP 2005.)

31. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 4.19 of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

32. **COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding/Fencing Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding/fencing along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: Council requirement.)

33. DILAPIDATION REPORT - PRE-COMMENCEMENT (CC)

Subject to access being granted, a pre-commencement Dilapidation Report is to be undertaken on all adjoining properties, which in the opinion of a suitably qualified engineer, could be potentially affected by the construction of the project. The Dilapidation Report shall be carried out prior to the issue of a Construction Certificate.

The Dilapidation Report is to be prepared by a suitably Qualified Engineer with current Corporate Membership with the Institution of Engineers, Australia or Geotechnical Practitioner. The report shall include a photographic survey of adjoining properties detailing the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other such items.

If access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant must demonstrate, in writing, to Council's satisfaction attempts have been made to obtain access and/or advise the affected property owner of the reason for the survey and these attempts have been unsuccessful. Written concurrence must be obtained from Council in such circumstances.

The Report shall cover structural and geotechnical factors likely to arise from the development. A copy of this Report shall be submitted to Council as a record. The person having the benefit of the development consent must, at their own cost, rectify any damage caused to other properties during the construction of the project.

(Reason: To ensure no damage to adjoining properties occurs.)

34. EROSION AND SEDIMENTATION CONTROL PLAN (CC)

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

35. EXCAVATION - AFFECTING ADJOINING LAND (CC)

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- i) protect and support the adjoining premises from possible damage from the excavation, and
- ii) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (i) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety.)

36. FEES - ADDITIONAL DEVELOPMENT APPLICATION FEES (CC)

In accordance with Regulation 50(1)(c) and the table to Regulation 246 of the Environmental Planning and Assessment Act Council must charge a development application fee based on the estimated cost of works applied for.

The construction costs of the approved development are estimated at \$1,050,000.00 and the applicable Development Application Fee on this amount would be \$2687.00 which includes a Planning Reform Fee of \$672.00. The difference of \$465.2 (including \$201.76 Planning Reform Fee) shall be paid to Council prior to the issue of a Construction Certificate.

(Reason: Statutory requirement.)

37. PRIVACY - OBSCURE GLAZING IN WET AREAS (CC)

All bathroom, ensuite and toilet windows shall be installed with obscure glazing. Plans shall be notated accordingly and details demonstrating compliance submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Privacy amenity.)

38. PRIVACY - MEASURES TO BE COMPLIED WITH (CC)

Prior to the issue of a Construction Certificate, plans are to be amended to include the following privacy measures:

- i) The first floor privacy screen located on the northern elevation, is to be fixed or limited (between 33 degrees and a vertical position) adjustable horizontal louvered 1.8m from the first floor level.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: Privacy amenity.)

39. **SECTION 7.12 CONTRIBUTION PAYMENT - INDIRECT CONTRIBUTIONS PLAN) (CC)**

In accordance with the provisions of Section 7.13 of the Environmental Planning and Assessment Act 1979 and the Strathfield Indirect Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Local Amenity Improvement Levy	\$13,730.55
--------------------------------	--------------------

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. The amount of the contribution under this condition shall be indexed in accordance with clause 4.12 of the Strathfield Indirect Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

A copy of this condition is to be presented to Council's Customer Service Centre when paying the contribution so that it can be recalculated.

Note: A copy of Strathfield Council's Section 7.12 Indirect Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

40. **SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)**

A security (damage deposit) of **\$15,000.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: Protection of Council infrastructure.)

41. **STORMWATER - RAINWATER RE-USE (CC)**

A rainwater re-use system shall be provided in accordance with either the BASIX minimum requirements, any relevant Council Rainwater Policy and/or specification of the management of stormwater, whichever is applicable. A detailed stormwater plan showing the proposed re-use system shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance and amenity.)

42. **SWIMMING POOLS / SPAS (CONSTRUCTION OF)**

The approved swimming pool/spa must comply with all relevant legislation including:

- i) Swimming Pools Amendment Act 1992 (as amended);
- ii) Swimming Pools Regulations 2008; and
- iii) Australian Standard AS1926.1-2012 – Safety Barriers for Swimming Pools.

Details demonstrating compliance with this condition shall be demonstrated to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Safety and statutory compliance.)

43. **SWIMMING POOLS / SPAS - MECHANICAL PLANT ENCLOSURE (CC)**

Any mechanical plant associated with the swimming pool and spa shall be acoustically treated to comply with the Protection of the Environment Operations Act 1997. Details are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure the acoustic amenity of the neighbouring residents.)

44. **TREE BONDS (CC)**

A tree bond of **\$13,100.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (PCW)

45. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
 - notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the person having the benefit of the development consent has given at least 2 days' notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

46. HOME BUILDING COMPENSATION FUND (CW)

No residential building work within the meaning of the Home Building Act 1989 may commence until:

- i) A contract of insurance in accordance with Part 6 of the Home Building Act 1989 is entered into and in force, where such a contract is required under that Act (this is a prescribed condition of consent pursuant to clause 981(b) Environmental Planning and Assessment Regulation 2000.
- ii) The PCA is satisfied that the principal contractor for the work is the holder of the appropriate licence and is covered by the appropriate insurance, in each case if

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

- required by the Home Building Act 1989 (unless the work is to be carried out by an owner-builder).
- iii) If the work is to be carried out by an owner builder, that the owner builder is the holder of any owner -builder permit required under the Home Building Act 1989.
 - iv) Written notice of the following information has been provided to Council (this is a prescribed condition of consent pursuant to clause 98B of the Environmental Planning and Assessment Regulation 2000):
 - In the case of work for which a principal contractor is required to be appointed:
 - the name and licence number of the principal contractor; and
 - the name of the insurer by which the work is insured under Part 6 of the Home Building Act 1989.
- In the case of work to be done by an owner-builder:
- the name of the owner-builder; and
 - if the owner-builder is required to hold an owner-builder permit under the Home Building Act 1989, the number of the owner-builder permits.

Where Council is not the PCA, the PCA is responsible for notifying Council of the above matters.

Note: Where arrangements for doing residential building work change while the work is in progress so that the above information becomes out of date, the PCA (where not the Council) must provide Council with written notice of the updated information.

(Reason: Statutory requirement.)

47. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DBW)

48. FILL MATERIAL (DW)

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

49. **PUBLIC INFRASTRUCTURE AND SERVICES (DW)**

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (POC)

50. **ENGINEERING WORKS (CERTIFICATION OF)**

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

51. **OCCUPATION OF BUILDING (OC)**

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

52. **RAINWATER TANKS (OC)**

Rainwater tanks must be installed on residential properties by a suitably qualified and licensed plumber and in accordance with the following:

- i) Australian/New Zealand Standard AS/NZS 3500:2003;
- ii) NSW Code of Practice Plumbing and Drainage, 2006 produced by Committee on Uniformity of Plumbing and Drainage Regulations in NSW (CUPDR); and
- iii) Council's rainwater tank policy.

Details demonstrating compliance with this condition are to be submitted to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To protect public health and amenity.)

53. **STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

(Reason: Adequate stormwater management.)

54. **STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)**

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, etc).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and/or the 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

55. **SWIMMING POOLS / SPAS - REGISTRATION AND REQUIREMENTS (OC)**

The approved swimming pool/spa must comply with all relevant legislation including:

- i) Swimming Pools Amendment Act 1992 (as amended);
- ii) Swimming Pools Regulations 2008; and
- iii) Australian Standard AS1926.1-2012 – Safety Barriers for Swimming Pools.

**DA2018/172 - 47 Merley Road, Strathfield
Lot C in DP 394641 (Cont'd)**

Swimming pool owners must register their swimming pool or spa on the NSW Swimming Pool Register. A copy of a valid certificate of compliance or relevant occupation certificate must be attached to new residential tenancy agreements to rent property with a swimming pool or spa pool. Note: This requirement does not apply to a lot in strata or community title schemes with more than two lots.

A copy of a valid certificate of compliance or relevant occupation certificate must be attached to new residential tenancy agreements to rent property with a swimming pool or spa pool. Note: This requirement does not apply to a lot in strata or community title schemes with more than two lots; or for any off the plan contacts.

Details demonstrating compliance with this condition shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: Safety and statutory compliance.)

56. GEOTECHNICAL REPORT (OC)

A comprehensive geotechnical engineering report assessing the impact and safety of the proposed works shall be prepared by a suitably experienced and qualified geo-practitioner and submitted with any Construction Certificate. The report must include the results of subsurface investigations involving either test pits to rock, or preferably the drilling of cored boreholes (to 1m below the proposed final excavation level). The report shall provide:

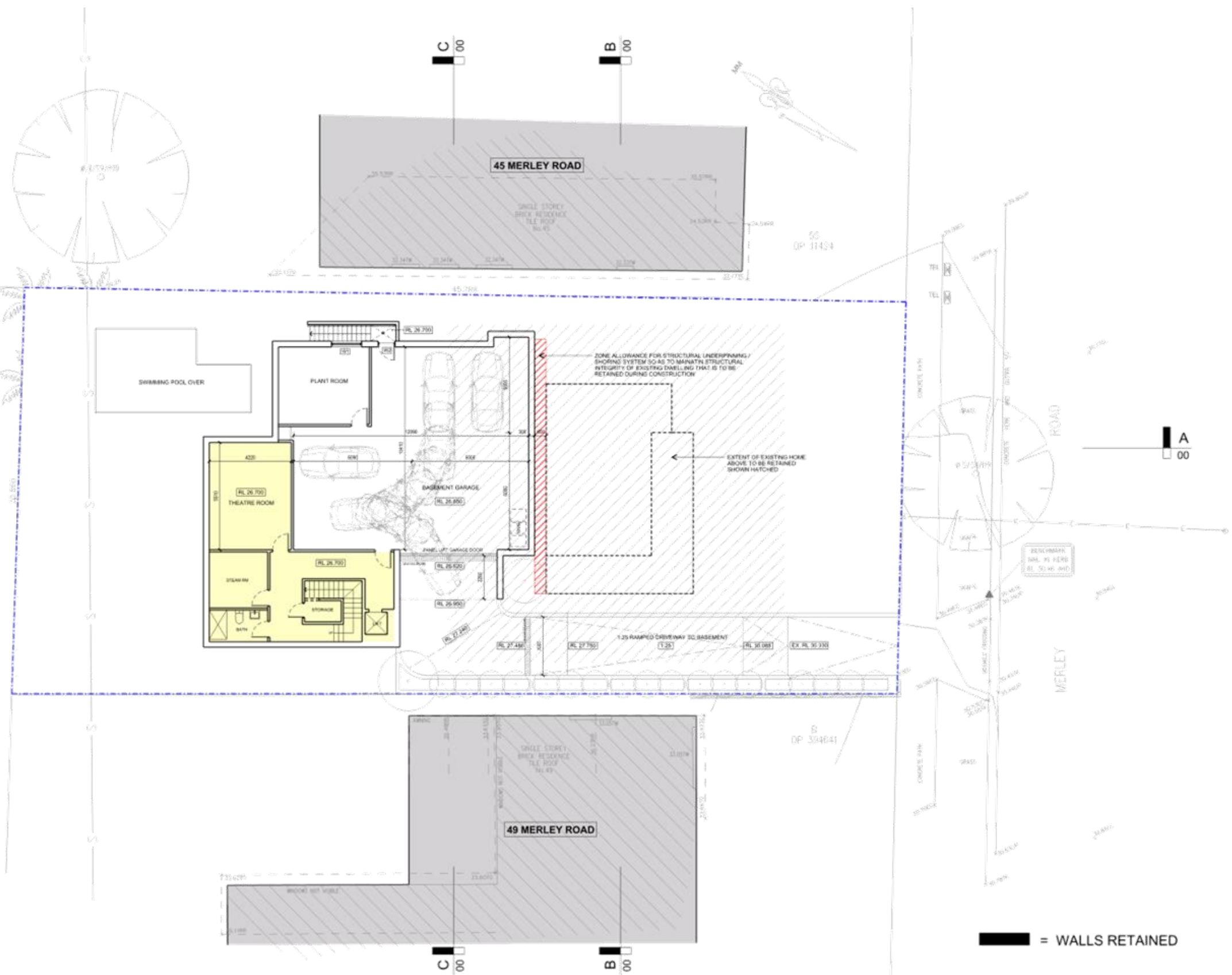
- i) an indication of the nature and depth of any uncontrolled fill at the site;
- ii) an indication of the nature and condition of the material to be excavated;
- iii) indications of groundwater or seepages;
- iv) required temporary measures for support of any excavations deeper than 1m adjacent to property boundaries;
- v) a statement of required excavation methods in rock and measures required to restrict ground vibrations; and
- vi) other geo-technical information or issues considered relevant to design and construction monitoring.

(Reason: Structural safety.)

ATTACHMENTS

1. [↓](#) Architectural Plans

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019

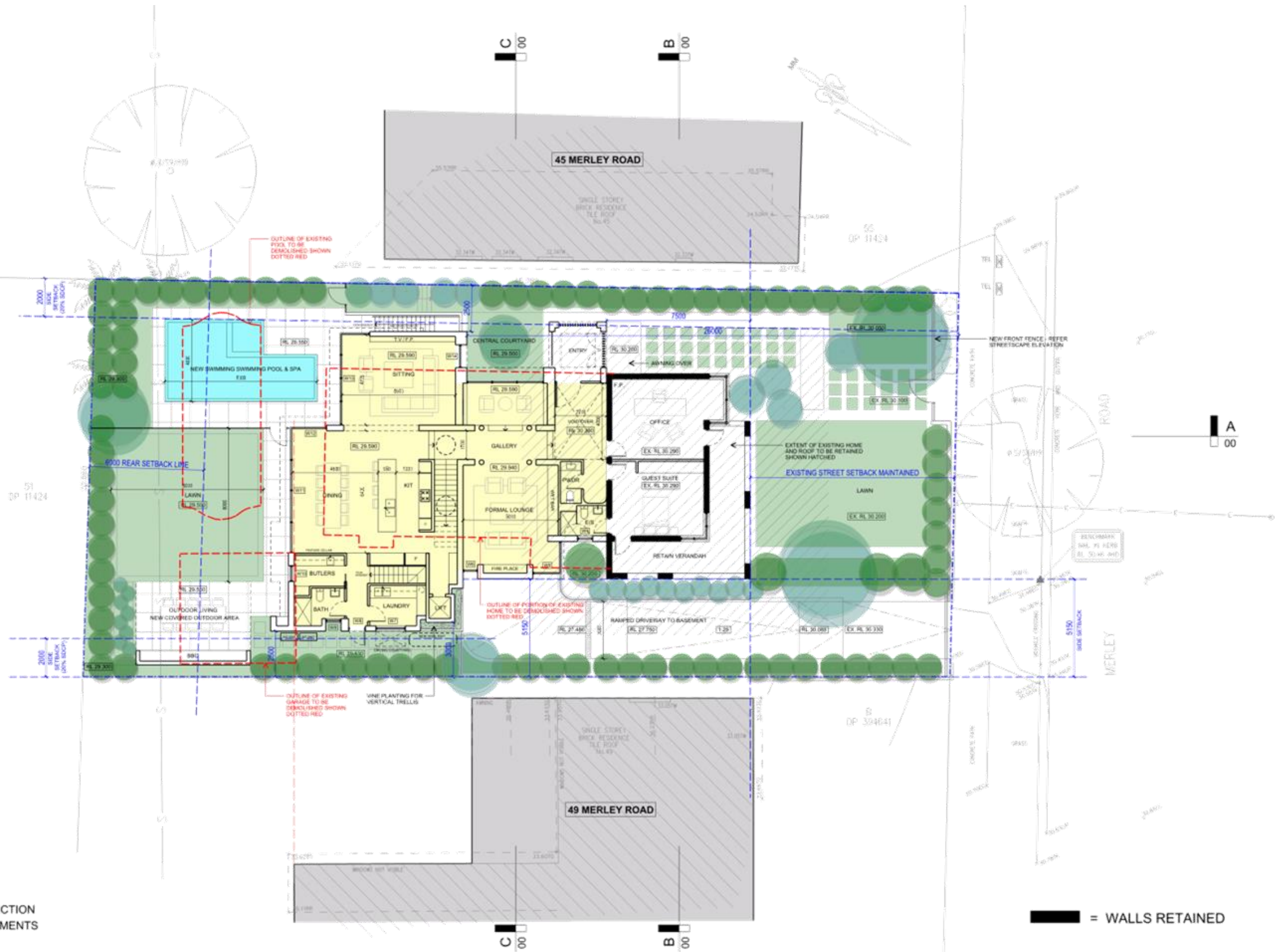


NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX CERTIFICATE REQUIREMENTS

WALLS RETAINED

<p>DRAWING NOTES:</p> <p>Do not scale off drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author and must not be retained, copied or used without the written consent of DANIEL YOUNAN & ASSOCIATES PTY LTD.</p> <p>PRELIMINARY NOT FOR CONSTRUCTION</p>	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>00</td> <td>24.05.18</td> <td>CONSULTANT ISSUE</td> </tr> <tr> <td>01</td> <td>07.12.18</td> <td>DEVELOPMENT APPLICATION</td> </tr> <tr> <td>02</td> <td>15.03.19</td> <td>AMENDED DEVELOPMENT APPLICATION</td> </tr> <tr> <td>03</td> <td>12.04.19</td> <td>AMENDED DEVELOPMENT APPLICATION</td> </tr> </tbody> </table>	REVISION	DATE	DESCRIPTION	00	24.05.18	CONSULTANT ISSUE	01	07.12.18	DEVELOPMENT APPLICATION	02	15.03.19	AMENDED DEVELOPMENT APPLICATION	03	12.04.19	AMENDED DEVELOPMENT APPLICATION	<p>DANIEL YOUNAN & ASSOCIATES</p> <p>po box 22, northbridge, nsw, 1560 nsw +61 404 071 186 e: daniel@dyaassociates.com www.dyaassociates.com ocn: 168 555 249 abn: 12 168 555 249 nominated architect - daniel younan nsw str 9215</p>	<p>TRUE NORTH</p>	<p>CLIENT GEORGE & REMY BOUMOUSA</p> <p>PROJECT ALTERATIONS & ADDITIONS TO EXISTING DWELLING 47 MERLEY ROAD STRATHFIELD</p>	<p>DRAWING TITLE PROPOSED BASEMENT FLOOR PLAN</p> <table border="1"> <thead> <tr> <th>SCALE</th> <th>DATE</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>1:100 @ A1 1:200 @ A3</td> <td>OCT 18</td> <td>DY</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>PROJECT NO.</th> <th>DRAWING NO.</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1802</td> <td>DA 100 10</td> <td>03</td> </tr> </tbody> </table>	SCALE	DATE	DRAWN	1:100 @ A1 1:200 @ A3	OCT 18	DY	PROJECT NO.	DRAWING NO.	REVISION	1802	DA 100 10	03
	REVISION	DATE	DESCRIPTION																													
00	24.05.18	CONSULTANT ISSUE																														
01	07.12.18	DEVELOPMENT APPLICATION																														
02	15.03.19	AMENDED DEVELOPMENT APPLICATION																														
03	12.04.19	AMENDED DEVELOPMENT APPLICATION																														
SCALE	DATE	DRAWN																														
1:100 @ A1 1:200 @ A3	OCT 18	DY																														
PROJECT NO.	DRAWING NO.	REVISION																														
1802	DA 100 10	03																														

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX CERTIFICATE REQUIREMENTS

█ = WALLS RETAINED

DRAWING NOTES:
Do not scale off drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author and must not be retained, copied or used without the written consent of DANIEL YOUNAN & ASSOCIATES PTY LTD.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	15.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DANIEL YOUNAN & ASSOCIATES
 po box 22, northbridge, nsw, 1560
 tel: +61 404 071 186
 e: daniele@dy-associates.com www.dy-associates.com
 ocn: 168 555 249 abn: 12 168 555 249
 nominated architect - daniel younan nsw str 9215

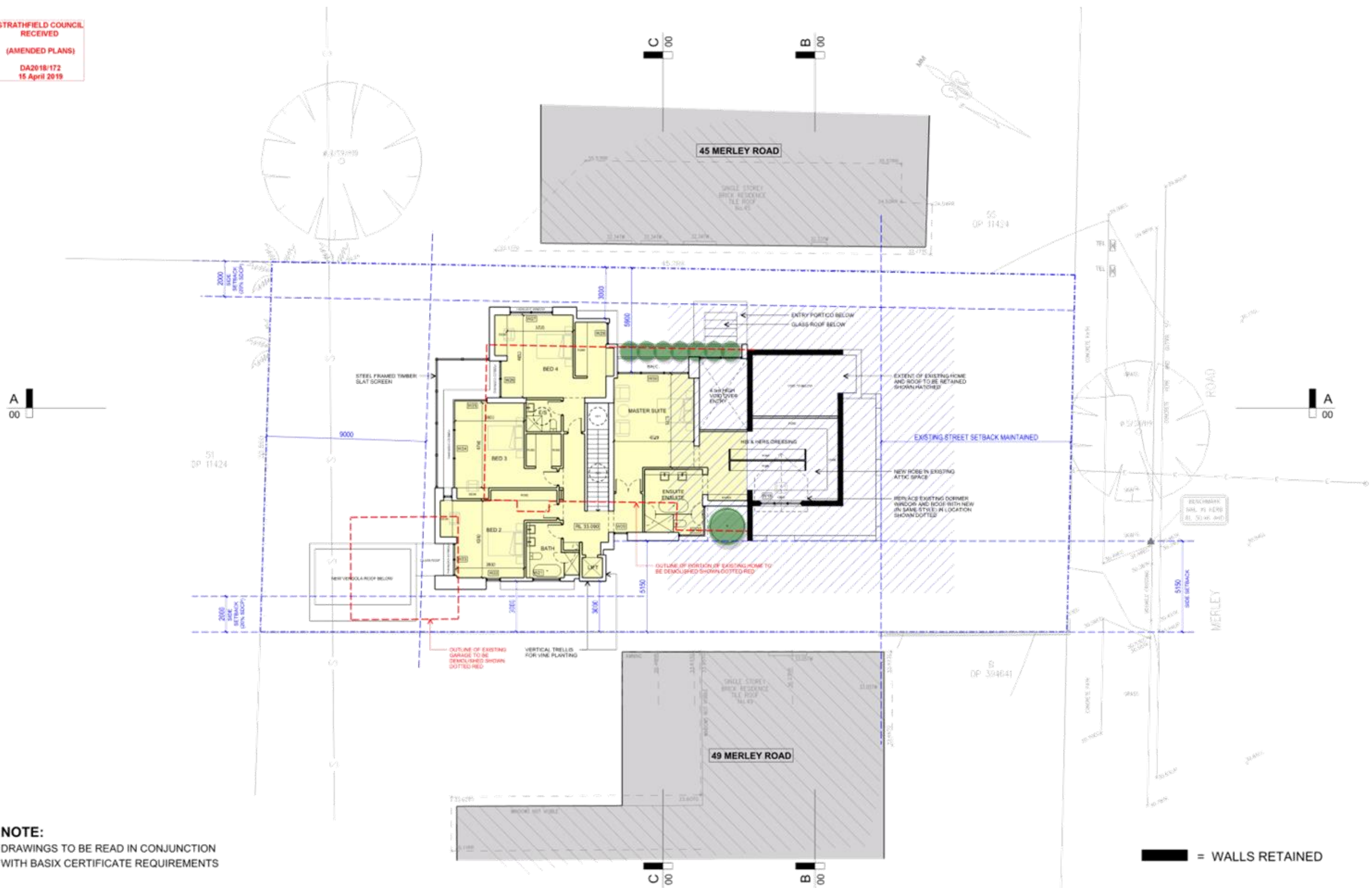


CLIENT
GEORGE & REMY BOUMOUSA

PROJECT
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD

DRAWING TITLE		DATE	DRAWN
PROPOSED GROUND FLOOR PLAN		OCT 18	DY
SCALE	1:100 @ A1	1:200 @ A3	
PROJECT NO.	1802	DRAWING NO.	DA 100 20
		REVISION	03

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX CERTIFICATE REQUIREMENTS

█ = WALLS RETAINED

DRAWING NOTES:
Do not scale off drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author and must not be retained, copied or used without the written consent of DANIEL YOUNAN & ASSOCIATES PTY LTD.

**PRELIMINARY
NOT FOR CONSTRUCTION**

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	15.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DANIEL YOUNAN & ASSOCIATES
 po box 32, northbridge, nsw, 1560
 nsw +61 404 071 186
 e: daniel@dyaassociates.com www.dyaassociates.com
 ocn: 168 555 249 abn: 12 168 555 249
 nominated architect - daniel younan nsw oib 9215

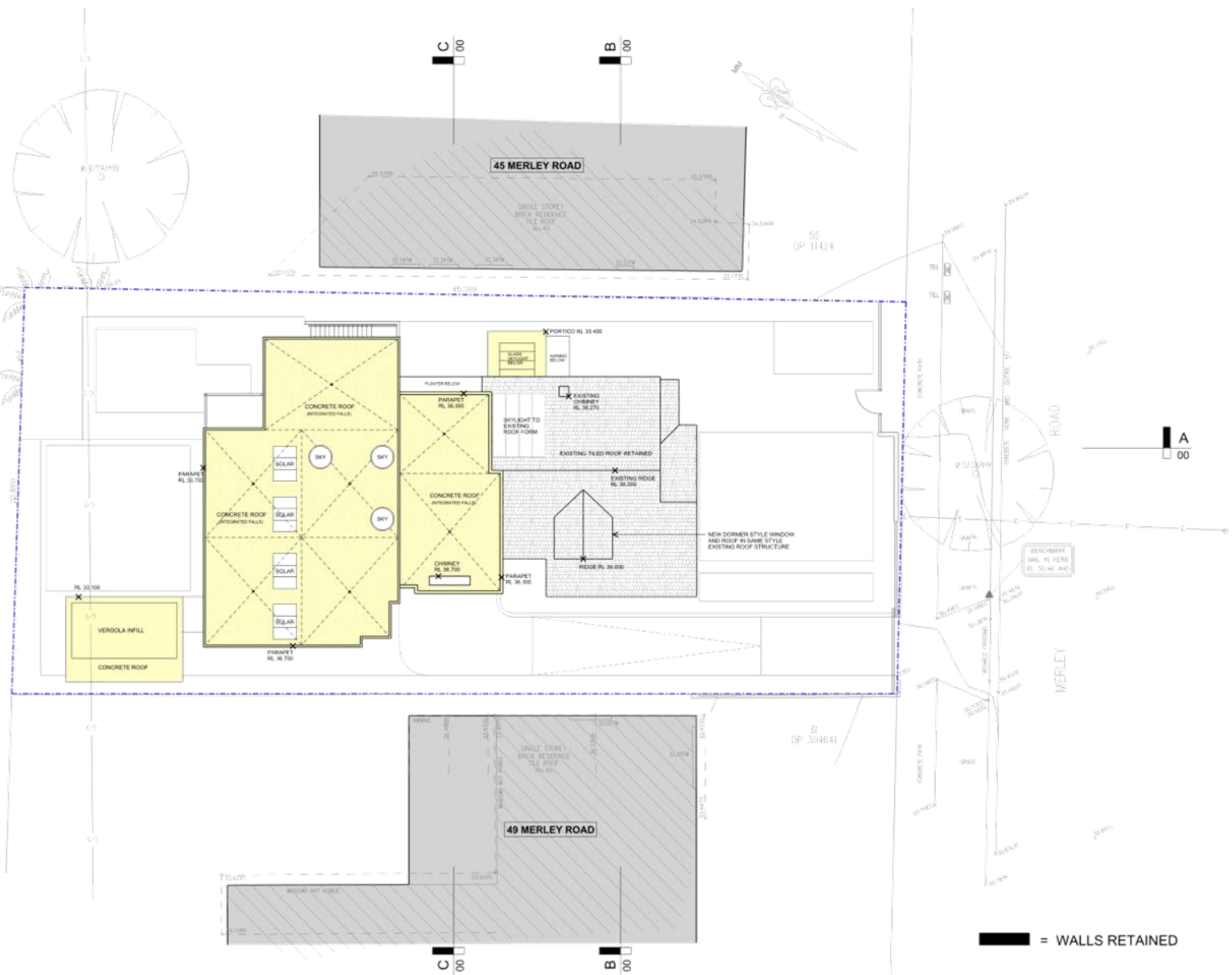


CLIENT
GEORGE & REMY BOUMOUSA

PROJECT
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD

DRAWING TITLE			
PROPOSED LEVEL 1 FLOOR PLAN			
SCALE	1:100 @ A1	1:200 @ A3	DATE
	0 1 2 3 4 5m		OCT 18
PROJECT NO.	DRAWING NO.	DATE	DRAWN
1802	DA 100 30		DY
			REVISION
			03

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



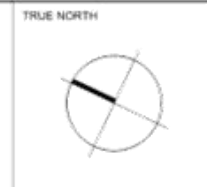
NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX CERTIFICATE REQUIREMENTS

█ = WALLS RETAINED

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	16.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DANIEL YOUNAN & ASSOCIATES
 po box 22, northbridge, nsw, 1560
 n: +61 404 071 186
 e: daniel@dyaassociates.com www.dyaassociates.com
 ocn: 168 555 249 abn: 12 168 555 249
 nominated architect - daniel younan nsw abn 9215

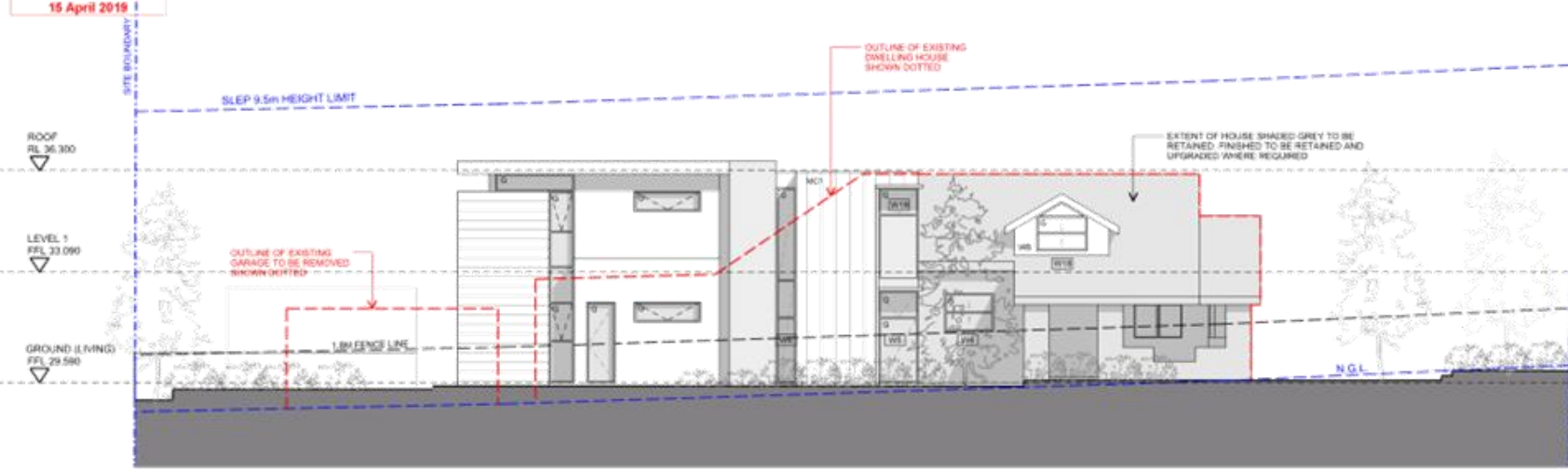


CLIENT
GEORGE & REMY BOUMOUSA

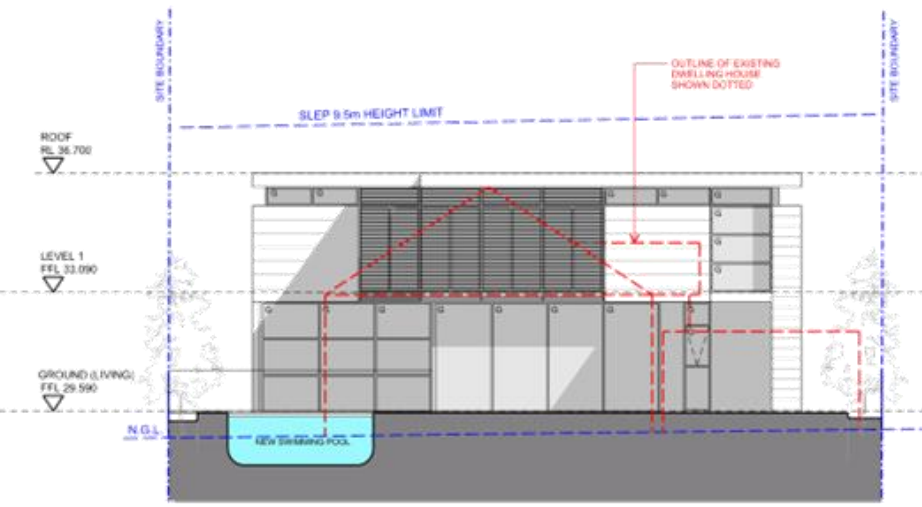
PROJECT
**ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD**

DRAWING TITLE		DATE	DRAWN
PROPOSED ROOF PLAN		OCT 18	DY
SCALE	1:100 @ A1	1:200 @ A3	
PROJECT NO.	1802	DRAWING NO.	DA 100 40
		REVISION	03

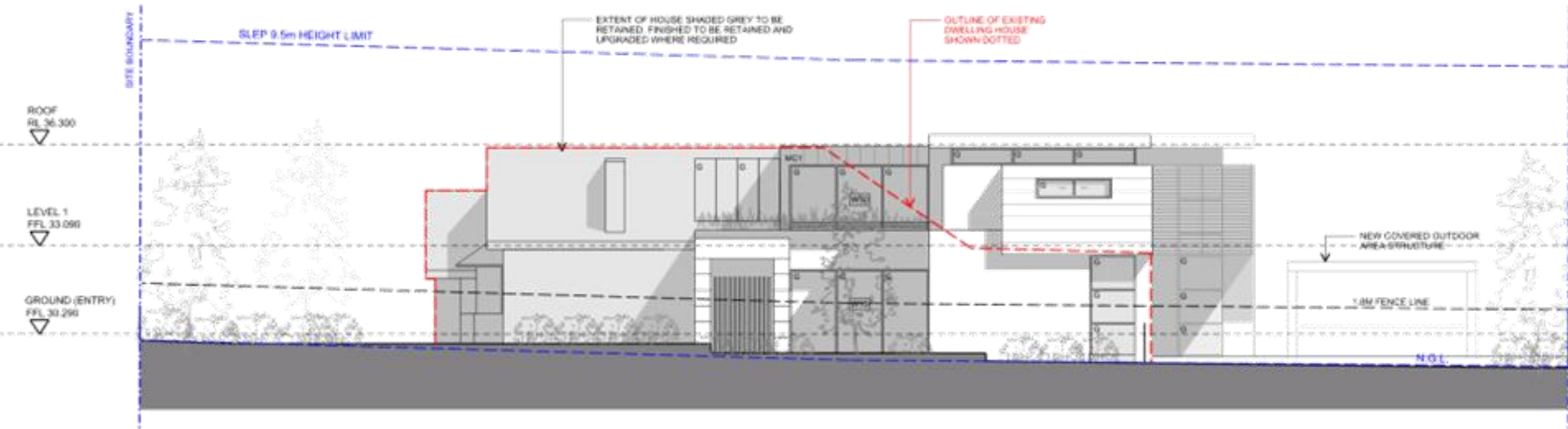
STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



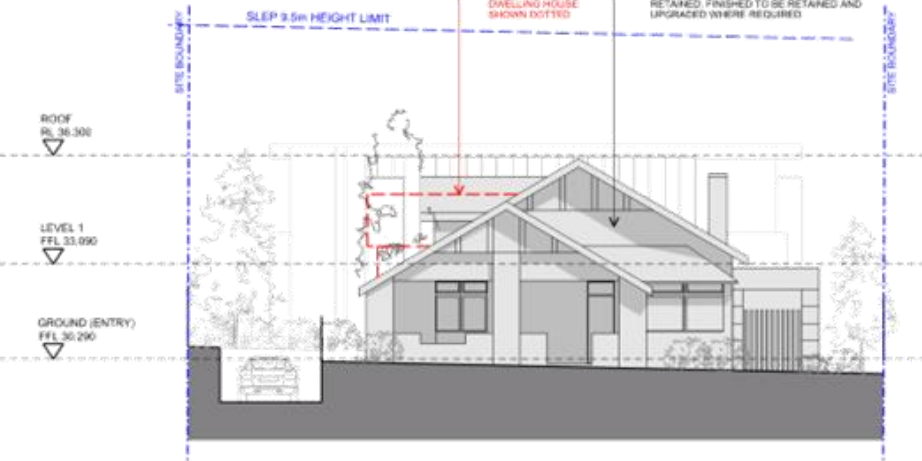
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

NOTE:
DRAWINGS TO BE READ IN CONJUNCTION
WITH BASIX CERTIFICATE REQUIREMENTS

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	08.02.19	CONSULTANT ISSUE
03	15.03.19	AMENDED DEVELOPMENT APPLICATION
04	12.04.19	AMENDED DEVELOPMENT APPLICATION

PRELIMINARY
NOT FOR CONSTRUCTION

TRUE NORTH

DANIEL YOUNAN & ASSOCIATES

po box 22, northbridge, nsw, 1560
 n: +61 404 071 186
 e: daniel@dyaassociates.com www.dyaassociates.com
 ocn: 168 555 249 abn: 12 168 555 249
 nominated architect - daniel.younan.nsw@pb.9215

CLIENT
GEORGE & REMY BOUMOUSA

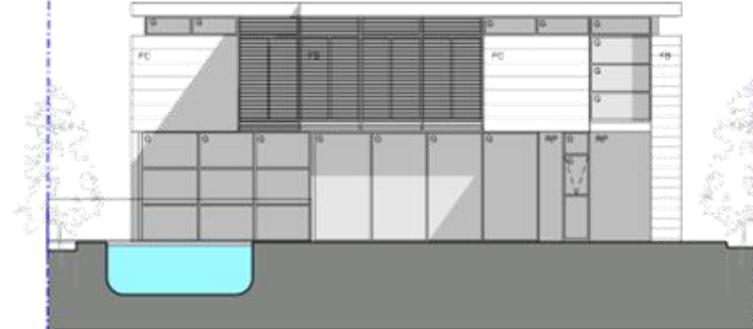
PROJECT
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD

DRAWING TITLE			
PROPOSED ELEVATIONS			
SCALE	1:100 @ A1 1:200 @ A3	DATE	DRAWN
0 1 2 3 4 5m		OCT 18	DY
PROJECT NO.	DRAWING NO.	DATE	REVISION
1802	DA 200 00		04

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

FINISHES TO ALL RETAINED
ELEMENTS OF EXISTING HOME TO
BE RETAINED AS EXISTING



FB
PAINTED FACE BRICK
DULUX 'QUARTER SAGO'



MC
FLAT PAN STANDING SEAM METAL CLADDING
COLORBOND 'MONUMENT'



FS
HARDWOOD TIMBER SCREEN



FC
EXPRESSED HORIZONTAL JOINT FC CLADDING
DULUX 'PALE EARTH'



RP
RENDERED & PAINTED MASONRY
DULUX 'QUARTER SAGO'

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	15.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DANIEL YOUNAN & ASSOCIATES
po box 22, northbridge, nsw, 1560
nsw +61 404 071 186
e: daniel@dyaassociates.com www.dyaassociates.com
o: 168 555 249 f: 12 168 555 249
nominated architect - daniel.younan.nsw.abn.9215

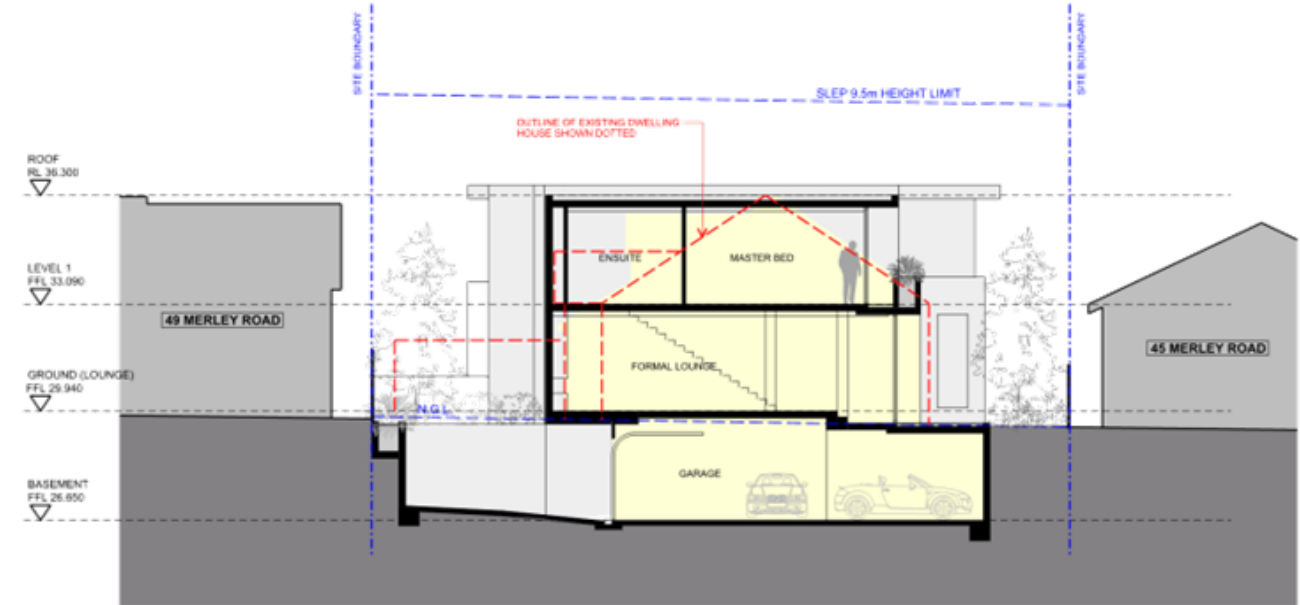
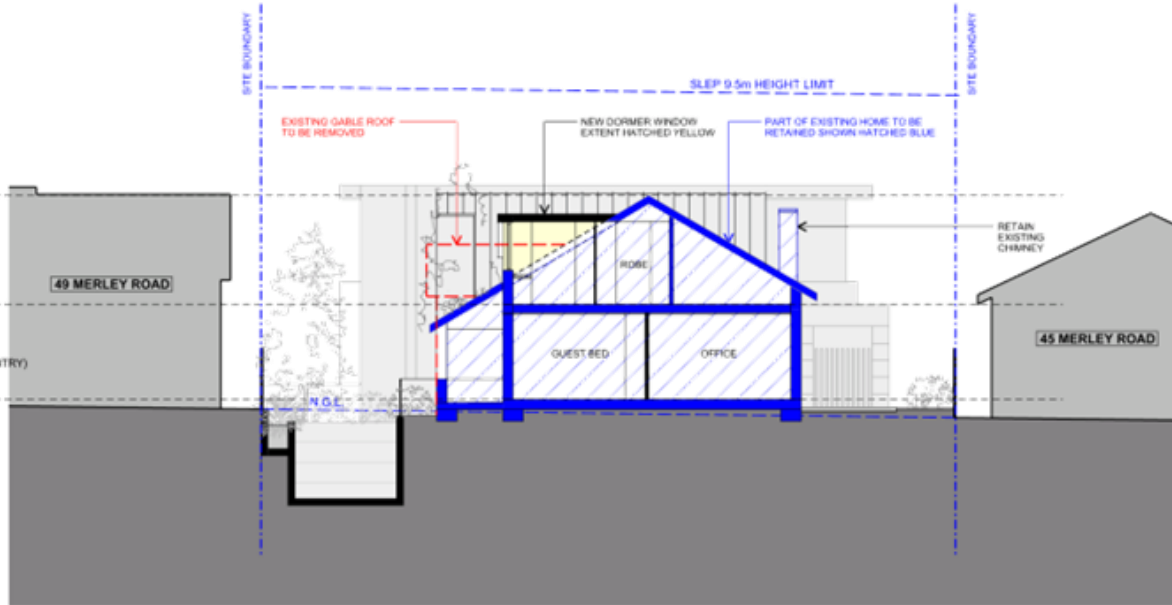
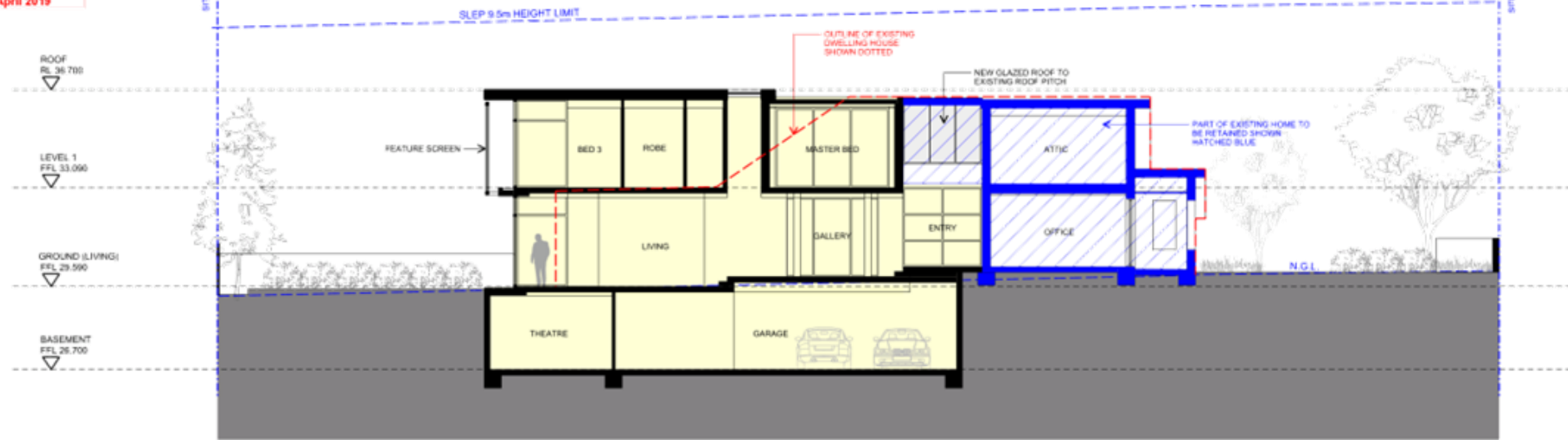
TRUE NORTH

CLIENT
GEORGE & REMY BOUMOUSA

PROJECT
**ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD**

DRAWING TITLE			
PROPOSED EXTERNAL MATERIALS AND FINISHES			
SCALE	1:100 @ A1 1:200 @ A3	DATE	DRAWN
		OCT 18	DY
PROJECT NO.	DRAWING NO.	REVISION	
1802	DA 200 05	03	

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
16 April 2019



DRAWING NOTES:
Do not scale off drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author and must not be retained, copied or used without the written consent of DANIEL YOUNAN & ASSOCIATES PTY LTD.

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
00	24.05.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	15.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DANIEL YOUNAN & ASSOCIATES
 po box 32, northbridge, nsw, 1560
 m: +61 404 071 186
 e: daniel@dy-associates.com www.dy-associates.com
 ocn: 168 555 249 abn: 12 168 555 249
 nominated architect - daniel.younan.nsw@dy.com.au

TRUE NORTH

CLIENT
GEORGE & REMY BOUMOUSA

PROJECT
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD

DRAWING TITLE		DATE		DRAWN	
PROPOSED SECTIONS		OCT 18		DY	
SCALE	1:100 @ A1 1:200 @ A3	DATE	OCT 18	DRAWN	DY
PROJECT NO.	1802	DRAWING NO.	DA 300 00	REVISION	03

STRATHFIELD COUNCIL
RECEIVED
(AMENDED PLANS)
DA2018/172
15 April 2019



MERLEY ROAD STREETSCAPE ELEVATION



FRONT FENCE ELEVATION

NOT TO SCALE



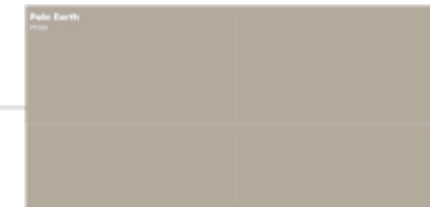
COLORBOND 'MONUMENT'



METAL BLADE FENCE
COLORBOND 'MONUMENT'



LANDSCAPED PLANTING BEDS
REFER LANDSCAPE PLAN



RP1
RENDERED & PAINTED MASONRY
DULUX 'PALE EARTH'

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE	DESCRIPTION
00	24.03.18	CONSULTANT ISSUE
01	07.12.18	DEVELOPMENT APPLICATION
02	15.03.19	AMENDED DEVELOPMENT APPLICATION
03	12.04.19	AMENDED DEVELOPMENT APPLICATION

DRAWING NOTES:
Do not scale off drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and written dimensions take precedence. This drawing is copyright and the property of the author and must not be retained, copied or used without the written consent of DANIEL YOUNAN & ASSOCIATES PTY LTD.

DANIEL YOUNAN & ASSOCIATES
po box 32, northbridge, nsw, 1560
m: +61 404 071 186
e: daniel@dyaassociates.com www.dyaassociates.com
acn: 168 555 249 abn: 12 168 555 249
nominated architect - daniel.younan.nsw@ply.9215

TRUE NORTH

CLIENT
GEORGE & REMY BOUMOUSA

PROJECT
ALTERATIONS & ADDITIONS TO EXISTING DWELLING
47 MERLEY ROAD
STRATHFIELD

DRAWING TITLE			
STREETSCAPE ELEVATION & FENCE ELEVATION			
SCALE	1:100 @ A1 1:200 @ A3	DATE	DRAWN
0 1 2 3 4 5m		OCT 18	DY
PROJECT NO.	DRAWING NO.	REVISION	
1802	DA 200 01	03	