

Agenda

Strathfield Independent Hearing and Assessment Panel Meeting

Notice is hereby given that a Strathfield Independent Hearing and Assessment Panel Meeting will be held at Council Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday, 5 October 2017

Commencing at 10:30am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Independent Hearing and Assessment Panel Meeting - 5 October 2017

REPORT: SIHAP – Report No. 1

SUBJECT: 19-23 SMALLWOOD AVENUE, HOMEBUSH
LOT 1 & 2 DP 312801 & LOT A 311140

DA NO. 2017/090

SUMMARY

Proposal: Demolition of existing structures and construction of a part seven (7) and part five (5) storey residential flat building over two (2) levels of basement parking

Applicant: Urbanlink Pty Ltd

Owner: Mr. TQ & Mrs. M Dao, T.T. Loo & TT Tang, Sydney Markets

Date of lodgement: 20 June 2017

Notification period: 27 June 2017 to 19 July 2017

Submissions received: One (1) submission received

Assessment officer: LM

Estimated cost of works: \$12,036,522

Zoning: B4 Mixed Use - SLEP 2012

Heritage: N/A

Flood affected: No

Is a Clause 4.6 variation proposed? Yes – Building Height

Extent of the variation supported? 7.27% (23.6m)

Peer review of Clause 4.6 variation: A peer review of the Clause 4.6 variation has been undertaken and the assessment officer's recommendation is supported.

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

Approval is sought for demolition of existing structures and construction of a seven (7) and part five (5) storey residential flat building containing (43) units above two (2) levels of basement car parking.

The site forms the entirety of Key Site 39 under the Strathfield Local Environmental Plan (SLEP) 2012 and is generally consistent with the built form sought by DCP 20 – Parramatta Road Corridor. Whilst the proposal provides an overall building height of 23.6m, resulting in a 7.27% (1.6m) height breach to Clause 4.3A of the Strathfield Local Environmental Plan 2012 (SLEP 2012) the proposal generally satisfies the relevant statutory controls applicable to the site under SEPP 55, SEPP 65, SEPP BASIX, the Strathfield Local Environmental Plan 2012 (SLEP) and Council's DCP provisions.

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The application is identified as Integrated Development under Section 91 of the Environmental Planning and Assessment Act 1979 as the application is deemed an aquifer interference activity requiring authorisation under the Water Management Act 2000. The General Terms of Approval (GTA) were provided by WaterNSW on 25 September 2017 and have been included as conditions of consent.

Overall, the proposal has demonstrated compliance with the relevant statutory controls applicable to the development and is therefore recommended for approval.

The subject application was referred to Council's Internal Development Assessment Panel (IDAP) for consideration on 27 September 2017. The Panel supported the Assessing Officers recommendation and associated conditions and recommended that the application be referred to SIHAP for determination.

DESCRIPTION OF THE SITE AND LOCALITY

The site comprises three (3) allotments legally identified as Lots 1 & 2 DP 312801 & Lot A 311140 with the street address of 19-23 Smallwood Avenue, Homebush. Three (3) single storey brick and tile cottages are present on the allotments, each with frontages to Smallwood Avenue (east) and Hudson Street (west). The site provides a frontage width of 30.48m, a depth of 50.29m and a combined area of 1,533m². The site contains a slight cross fall from the north to south of the site along the Smallwood Avenue frontage.

The streetscape is undergoing a steady transition from low density residential development to high rise development. The site is located east of Sydney Markets and is immediately south of the Parramatta Road corridor.

The site forms Key Site 39 and is zoned B4 – Mixed Use under the Strathfield LEP. The maximum permitted height is 22m and an incentive FSR of 2:1 is applicable to the site under Clause 4.3A and 4.4A of the Strathfield LEP. Located immediately north of the site is Key Site 38 which is currently comprised of three (3) separate single storey dwelling structures. Located immediately south of the site is Key Site 40 which is an approved seven (7) storey mixed use development comprising one (1) ground floor commercial tenancy.

The application is one of the later approvals in the streetscape. Many other surrounding sites have either commenced construction or are nearing completion.

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Figure 1: Locality plan



Figure 2: Existing dwellings on 21 and 23 Smallwood Avenue

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Figure 3: Existing dwellings on 17-23 Smallwood Avenue

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for demolition of existing structures and construction of a part seven (7) and part five (5) storey residential flat building containing (43) units above two (2) levels of basement car parking.

The specific elements of the proposal are:

- Excavation to accommodate two (2) levels of basement parking containing (48) parking spaces;
- Construction of a part (7), part (5) storey residential flat building incorporating nil side setbacks throughout various levels of the development; and
- Provision of roof top community open space area

A photomontage of the building is provided below:

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(Cont'd)



REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council's Engineer has commented on the proposal as follows:

- *"The Pump out pit needs to be designed to have a capacity capable of handling 4 hours of 1 in 100yr ARI storm event.*
- *A roof drainage plan will be required as part of the concept plan.*
- *The information about the location of Council's stormwater drainage pipe downstream of buried junction pit 2636 shown on the attached drainage plan is not available. The applicant shall engage a suitably qualified contractor to locate Council's drainage pipe using a non-destructive pipe locating method."*

Amended plans were submitted to Council for further assessment. Council's Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Waste Comments

Council's Waste Officer has commented on the proposal as follows:

- *Waste management plan must specify the type of waste bin carousel compactor and the compaction rate.*

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- *Bin allocation for this property – 22 x 240L Waste bins, collected weekly. 22 x 240L recycling bins, collected weekly. If waste management plan includes a compactor the number of 240L waste bins may be reduced to 11, must be re-assessed before approval*
- *Plan allows space for 41 bins – bin room size unsatisfactory.
Bin room size - every 240L bin needs 0.42 m² x 44 bins is 18.5m²
18.5m² + 30% extra for bin circulation is 5.5m²
18.5 + 5.5 = 24m² bin room minimum*
- *Bulk waste collection zone must be a minimum of 17.6m² as per DCP*
- *Current roof height on basement level 1 is 3.8m floor to floor with an entrance of 3.6m floor to floor (does not allow for beams, air ducting or sprinklers) in order for a truck to access an area it must be at least 4.2m in height*
- *Confirm presence of a wall or lip surrounding parking spot 19 next to the collection zone, this may interfere with access*
- *Applicant to provide an illustration of the truck entering basement level 1 and turning into and out of the collection zone as per Roads and Traffic Guidelines. Truck must be able to easily turn around within building, all dimensions must be provided.*

Amended plans were submitted during the assessment process demonstrating that the waste bin carousel compactor has been deleted and the garbage room extended. A condition of consent has been recommended to ensure that additional bins are provided and that an additional bulk waste collection zone is provided to achieve compliance with the minimum requirements of Part H of the SDCDP 2005. The basement has been reconfigured with truck turning circles provided in the plans to demonstrate compliance with Roads and Traffic Guidelines.

Council's Waste Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

Landscaping Comments

Council's Tree Coordinator has commented on the proposal as follows:

*"The proposed development imposes an unacceptable level of encroachment into the TPZ of Tree 2 *Corymbia citriodora* and is therefore not supported in its current form.*

The applicant is to submit a revised design that accommodates the TPZ of Tree 2 (which is located on the adjoining property to the North) by imposing a minor encroachment level of 10% (or less) of the total TPZ area."

Amended plans were submitted to Council demonstrating that the building footprint has been redesigned to accommodate for the protection of Tree 2. No further concerns raised subject to the imposition of recommended conditions of consent.

EXTERNAL REFERRALS

Water NSW

The application was referred to Water NSW. The following comments have been received.

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“WaterNSW has determined that the proposed development will encounter groundwater during the excavation process, and is subject to a Water Supply Work Approval under the Water Management Act 2000 for dewatering during the construction phase. This determination is subject to appropriate construction methods to be employed to minimise volume of groundwater take during the construction phase.”

SECTION 79C CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 79C of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

79C(1)(a) the provisions of:

(i) any environmental planning instrument

The following Environmental Planning Instruments (EPI's) are applicable to the assessment of the subject application:

- State Environmental Planning Policy No. 55 – Remediation of Land;
- State Environmental Planning Policy (Building and Sustainability Index - BASIX) 2004;
- State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Buildings;
- Strathfield Local Environmental Plan 2012;
- Strathfield Development Contributions Plan 2010-2030; and
- Strathfield Development Control Plan 2005:
 - DCP 20 – Parramatta Road Corridor Area
 - Part H – Waste Management
 - Part L – Notification

An assessment of the proposal against the relevant provisions of each of these EPI's is provided below.

SEPP 55 – Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) requires Council to consider whether the site is suitable in its current state, contaminated state or following the completion of remediation works for the purpose for which development consent is being sought.

A Phase 1 Preliminary Site Investigation was undertaken by Benviron Group which indicates that the three (3) allotments which comprise the subject site have remained mostly residential in nature. The Phase 1 assessment concludes that the potential for contamination risk at the site is minimal.

It is further noted that the site is not located in an area of investigation under Part K of the Strathfield Consolidated DCP 2005 (SCDCP 2005) which identifies past known landfill and potentially contaminated sites in the Strathfield local government area.

Accordingly, based on the findings of the Phase 1 Preliminary Site Investigation there does not appear to be a need for further investigation of the site and the continued use of the site for residential purposes is therefore suitable.

Accordingly, the provisions of SEPP 55 have been satisfied.

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STATE ENVIRONMENTAL PLANNING POLICY (SEPP) – BASIX 2004

In accordance with the BASIX SEPP all new housing in NSW is required to meet a designated target for energy and water reduction.

A BASIX Certificate was submitted as part of the application which indicates that the proposal meets the required reduction targets. An appropriate condition of consent will be imposed to ensure future compliance with these targets.

State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development (SEPP 65)

State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Buildings (SEPP 65) aims to improve the design quality of residential flat development in New South Wales. SEPP 65 recognises that the design of residential apartments is of significance due to the economic, environmental, cultural and social benefits of high quality design.

Strathfield Council does not have a design review panel referred to under Clause 28 however an assessment of the design quality of the development against the design principles of the SEPP and the relevant design criteria of the Apartment Design Guide has been undertaken in the table below:

Principle	Objective	Proposed
Context and neighbourhood character	<p><i>Responding to context involves identifying the desirable elements of an area's existing or future character.</i></p> <p><i>Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.</i></p> <p><i>Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.</i></p>	<p>The proposed development responds to the high density, mixed use, urban context of the site which is envisaged for the Parramatta Road corridor. The proposed development adheres to the draft built form controls and will integrate with the form of more recent approvals within the street, which also achieve to the Key Site provisions.</p> <p>The proposed design considers the local context and is consistent with the desired future character of the area.</p>
Built form and scale	<p><i>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.</i></p> <p><i>Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.</i></p> <p><i>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.</i></p>	<p>The development is informed by the draft Key Site controls and recent development approvals in the street to ensure the development is compatible with the desired future streetscape.</p> <p>The street is currently in a state of transition from low density residential to high density residential in response to the Key Site controls of the SLEP 2012. Several of the key sites within the street have been granted development approval and generally adhere to the Key Site provisions. In this regard, the proposed development will achieve a cohesive built form with the existing approvals in the street and future development of Smallwood Avenue.</p> <p>The private and public domain is well defined through the use of timber look batten fencing with low lying planter box fencing to soften the visual presentation of the development.</p>

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Principle	Objective	Proposed
Density	<p><i>Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.</i></p> <p><i>Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.</i></p>	<p>The proposal complies with the density requirements of the ARHSEPP. The proposal is located within close proximity to public transport and employment opportunities along Parramatta Road, which will support the proposed residential density and unit mix.</p>
Sustainability	<p><i>Good design combines positive environmental, social and economic outcomes.</i></p> <p><i>Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</i></p>	<p>The proposal complies with BASIX and provides good solar access and natural ventilation to heat and cool the building alongside building products which provide high insulation properties.</p>
Landscape	<p><i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</i></p> <p><i>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</i></p> <p><i>Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.</i></p>	<p>The subject application is accompanied by a landscape plan that is considered suitable for the scale of development.</p> <p>The building footprint and landscaping has been amended throughout the assessment process to allow for the retention of the adjoining <i>Corymbia citriodora</i> tree to the front northern portion of the site. This has resulted in improved landscaped areas within the front setback of the site which has enhanced the overall appearance of the development in the streetscape.</p> <p>The communal open space areas are located at ground floor both to the north-eastern and rear western portions of the site and are integrated with deep soil landscaped spaces. The proposal and also includes a roof top open space area which will receive direct eastern and northern solar access.</p>
Amenity	<p><i>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident</i></p>	<p>The proposal has been designed to achieve a high level of internal residential amenity through compliant ceiling heights and adequate access to natural light and ventilation with all units attaining an easterly,</p>

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Principle	Objective	Proposed
	<p><i>wellbeing.</i></p> <p><i>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.</i></p>	<p>northerly and/or westerly orientation.</p> <p>The proposal has been designed to minimise overlooking to adjoining developments and subject to conditions, is considered to result in minimal privacy impacts.</p> <p>The unit layouts are efficient and comply with the new minimum unit sizes required by the ADG.</p>
Safety	<p><i>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</i></p> <p><i>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.</i></p>	<p>The proposed building has a secure and readily identifiable entry. Balconies are orientated to overlook the public domain as well as green space areas to the north and west of the site. This will optimise safety and security within the development.</p>
Housing diversity and social interaction	<p><i>Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.</i></p> <p><i>Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.</i></p> <p><i>Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.</i></p>	<p>The proposal provides an acceptable mixture of unit types including (10) x 1 bed, (30) x 2 bed and (3) x 3 bedroom units. One of the three (3) bedroom units is a dual key apartment.</p> <p>The proposal is provided with accessible and well-considered areas of communal open space on the ground floor's northern side boundary and western rear boundary of the site. An additional rooftop open space area is proposed. These spaces are practical and provide suitable facilities to support social interaction.</p>
Aesthetics	<p><i>Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.</i></p> <p><i>The visual appearance of a well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the</i></p>	<p>The building is well articulated and avoids large expanses of unbroken wall with balconies orientated to either the street, the central portion of the site or to the rear portion of the site facing Hudson Street.</p> <p>The proposal incorporates a mixture of aluminium timber look cladding, silver aluminium cladding, and neutral coloured render finishes.</p> <p>The schedule of external finishes is of a neutral colour palette which will integrate well</p>

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Principle	Objective	Proposed
	streetscape.	with both the natural as well as built form characteristics and colours in the streetscape.

Apartment Design Guide Quality Design of Residential flat buildings

Design Criteria	Required	Proposed	Compliance
2E - Building Depth	12m – 18m	25m however reduces to maximum 18.4m between levels 6-8	Acceptable as the minimum solar access and ventilation rule of thumb is met.
3B – Orientation	Responsive to streetscape and site Designed to optimise solar access and minimise overlooking Shall not further reduce solar access by more than 20%	The proposal is responsive to the streetscape and is designed to optimise solar access whilst minimising the potential for overlooking. The proposal results in a degree of unavoidable overshadowing to the southern adjoining site as a result of its east-west orientation.	Yes. No, refer to discussion.
3C – Public Domain Interface	Direct street entry to ground floor apartments Balconies/windows orientated to overlook the public domain Front fence design is permeable Opportunities for concealment minimised Services concealed Access ramps minimised	Entry to ground floor apartments fronting Smallwood Avenue is provided. Balconies and windows are orientated to overlook the public domain and rear area of private open space. The front fence is comprised of timber look batten fencing with low lying planter boxes. This softens the built form of the residential flat building yet retains permeability between the public/private domains. Services and access ramp concealed and access ramps minimised.	Yes. Yes. Yes. Yes.
3D – Communal Open Space	Min. 25% (383.25m ²) Min 2h to 50% communal open space at mid-winter Consolidated area Min dimension of 3m	498.49m ² or 32.51% of the site is dedicated as communal open space. The areas of communal	Yes.

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	<p>Equitable access</p> <p>Where developments are unable to achieve the design criteria, such as on small lots they should;</p> <ul style="list-style-type: none"> - Provide communal open space elsewhere such as a landscape rooftop terrace; - Provide larger balconies or increased private open space' - Demonstrate good proximity to public open space and facilities. 	<p>open space upon the ground level and roof top are consolidated, well landscaped and accessible.</p> <p>The rooftop area and ground floor areas of communal open space are each capable of receiving a minimum of 2hrs of solar access to at least 50% of open space during mid-winter.</p> <p>The landscape plan is supported with several canopy trees to provide shade.</p>	
3E – Deep Soil Zones	<p>Min. 7% (107.31m²) Greater than 1,500m² 6m min. dimension</p>	<p>The proposal provides 236.85m² or 15.45% of consolidated deep soil landscaping attaining a minimum dimension of 6m.</p>	<p>Yes.</p>
3F – Visual Privacy	<p>Up to 4 storeys: 0-12m</p> <ul style="list-style-type: none"> • 6m between habitable rooms/balconies and the boundary • 3m between habitable and non-habitable rooms and the boundary. <p>Up to 25m (5-8 storeys)</p> <ul style="list-style-type: none"> • 9m between habitable rooms/balconies; and • 4.5m between habitable and non-habitable rooms and the boundary. 	<p>Portions of the northern and southern side elevations of the development provide a nil side setback. All remaining portions achieve a minimum 6m separation from the side boundaries of the site.</p> <p>A minimum rear setback of 12m is provided throughout all levels of the building.</p>	<p>No, refer to discussion.</p>
3G – Pedestrian Access and Entries	<p>Entry addresses public domain Clearly identifiable Steps and ramps integrated into building design</p>	<p>The entry addresses the public domain and is clearly identifiable.</p> <p>Both the vehicle and pedestrian ramps are integrated into the building.</p>	<p>Yes.</p>
3H – Vehicle Access	<p>Integrated into façade Visual impact minimised Entry behind the building line</p>	<p>Vehicle access is integrated into the front elevation of the building</p>	<p>Yes.</p>

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	<p>or from secondary frontage Clear sight lines</p> <p>Garbage collection screened Pedestrian and vehicle access separated</p>	<p>fronting Smallwood Avenue and provides clear sightlines.</p> <p>Garbage collection is provided within the basement.</p> <p>Pedestrian and vehicle access is separated.</p>	
3J – Bicycle and Car Parking	<p>Within 800m of a railway station:</p> <p>Min RMS Rate Applies: <u>20 or more units:</u></p> <p>1 bedroom: 0.6 spaces (10 x 0.6 = 6 spaces)</p> <p>2 bedroom: 0.9 spaces (30 x 0.9 = 27 spaces)</p> <p>3 bedroom: 1.4 spaces (3 x 1.4 = 4.2 spaces)</p> <p>Visitor 1 per 5 units (43 / 5 =8.6 Spaces)</p> <p>Total requirement = (37.2) resident spaces and (8.6) visitor spaces (45.8) spaces total</p> <p>Secure undercover bicycle parking should be provided that is easily accessible from both the public domain and common areas.</p>	<p>(48) parking spaces in total are provided.</p> <p>Bicycle parking provided within both basement levels 1 and 2.</p>	<p>Yes – refer to conditions.</p> <p>Yes</p>
4A – Solar and Daylight Access	<p>Min. 70% (31 units) receive 2 hours solar access.</p> <p>Max. 15% units have no solar access Light wells, skylights and highlight windows are only to be a secondary source where sunlight is limited Design incorporates shading and glare control.</p>	<p>A minimum of (43) 97.7% of the units receive a minimum 2 hours solar access daily</p> <p>All units receive some solar access.</p>	Yes.
4B – Natural Ventilation	<p>Min. 60% units are cross ventilated</p> <p>Light wells are not the primary source of ventilation for habitable rooms Single aspect units have limited depth to maximise ventilation.</p>	<p>A minimum of (38) 88% of the units are cross ventilated.</p>	Yes.

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4C – Ceiling Heights	Habitable: 2.7m Non-habitable: 2.4m 2 storey apartments: 2.7m main living area, 2.4m mezzanine Mixed Use: 3.3m ground floor.	2.7m ceiling heights to habitable rooms.	Yes.
4D – Apartment Size and Layout	1 bed: 50m ² 2 bed: 70m ² 3 bed: 90m ² Additional bathrooms +5m ² Each habitable room must have a window > 10% floor area of the room. If open plan layout =max 8m from a window Master bed: min 10m ² Other bedroom: min 9m ² Living room min. width: Studio and 1 bed: 3.6m 2 and 3 bed: 4m Crossover/through: min 4m.	Unit x.02 located to the ground floor of the building is only 69m ² which is a 6m ² departure from the minimum 75m ² requirements. Unit x.05 to the ground floor and all units immediately above have not been provided with laundry facilities	No, refer to discussion.
4E – Private Open Space and Balconies	Studio: 4m ² 1 bed: 8m ² , min depth 2m 2 bed: 10m ² , min depth 2m 3 bed: 12m ² , min depth 2.4m	All units are provided with an area of private open space with a minimum dimension of 2m which meets the minimum area requirements.	Yes.
4F – Common Circulation and Spaces	Max 8 apartments off a single core	No more than seven (7) apartments are accessed off a single core.	Yes.
4G – Storage	Studio: 4m ³ 1 bed: 6m ³ 2 bed: 8m ³ 3 bed: 10m ³ At least 50% within the basement	Whilst some storage space is provided within the basement area, a condition of consent is required to ensure adequate storage space is provided according to the unit sizes.	Yes - Condition of consent recommended.
4H – Acoustic Privacy	Orientate building away from noise sources Party walls limited or insulated, like rooms together Noise sources (e.g. garage doors, driveways) located at least 3m from bedrooms	The subject site is within close proximity to Parramatta Road and Sydney Markets which presents as a potential noise source. An Acoustic Report prepared by Acoustic Logic accompanied the application. The Acoustic report provides recommendations on the acoustic treatment of the building which have been included as conditions of consent.	Yes, refer to conditions.

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4J – Noise and Pollution	Site building to maximise noise insulation Noise attenuation utilised where necessary	The building will be constructed in accordance with the relevant Australian Standards.	Yes.
4K – Apartment Mix	Variety of apartment types Appropriate apartment mix Different apartments distributed throughout the building.	The proposal provides the following housing mix; (10) x 1 bedroom, (30) x 2 bedroom and (3) x 3 bedroom	Yes.
4M – Facades	Composition of building elements. Defined base, middle and top Building services integrated into the façade	The composition of the building façade has a defined base and top which has integrated a mixture of unique external finishes to provide interest to the appearance of the building and allow it to positively contribute toward the presentation of development in the streetscape. The front façade of the development is well articulated and is broken into two (2) separately defined elements to break up the composition of the development.	Yes.
4N – Roof Design	Roof design integrated into the building Incorporates sustainability features May include common open space	A flat roof design is proposed which includes a roof top common open space area and is suitable for the scale of development.	Yes.
4O – Landscape Design	Responsive to streetscape Viable and sustainable	The landscape scheme is responsive to the streetscape and incorporates a mixture of lower level shrubs and larger canopy trees.	Yes.
4Q – Universal Design	Variety of adaptable apartments	The proposal provides (8) units as adaptable units providing a total of 18% of adaptable units throughout the building.	Yes.
4U – Energy Efficiency	Adequate natural light to habitable areas Adequate natural ventilation	The proposal achieves compliant cross ventilation outcomes.	Yes.

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 (Cont'd)

4V – Water Management and Conservation	Efficient fixtures/fittings WSUD integrated Rainwater storage and reuse	Refer to BASIX Certificate commitments.	Yes.
4W – Waste Management	Minimise impact on streetscape, building entry and amenity	The proposal provides a waste storage room in the basement for the storage of waste. The proposal also allows for the underground collection of waste to ensure that there is no disruption to Smallwood Avenue during collection. The underground collection of waste will maintain the amenity of the streetscape.	Yes.
4X – Building Maintenance	Material selection reduces ongoing maintenance costs.	The proposed schedule of external finishes is understated and refined to ensure the development will evolve nicely with both the approved as well as future development in the street. The proposed schedule of external finishes will include a mixture of aluminium timber look cladding, silver aluminium cladding and neutral coloured render finishes. The selected materials are suitable for the scale of the development and are relatively durable to reduce the ongoing maintenance costs of the building.	Yes.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of</i>	Yes

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	<i>transport and land use, and an appropriate mix of uses by regulating land use and development</i>	
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

Comments: The proposed development is considered appropriate for the site and will integrate well with surrounding approved and recently constructed residential flat development in the streetscape. The proposed development is a unique design incorporating high quality material finishes so that it is compatible with approved new development in the streetscape and will be a positive contribution to the locality.

Permissibility

The subject site is Zoned B4 Mixed use under Strathfield Local Environmental Plan (SLEP) 2012.

Residential Flat Buildings are permissible within the B4 Zone with consent and is defined under SLEP 2012 as follows:

“residential flat building means a building containing 3 or more dwellings, but does not include an attached dwelling or multi dwelling housing.”

The proposed development for the purpose of a residential flat building is consistent with the definition above and is permissible within the B4 Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the B4 Zone is included below:

Objectives	Complies
➤ To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.	Yes
➤ To provide a mixture of compatible land uses.	Yes
➤ To facilitate mixed use urban growth around railway stations and transport nodes and corridors, commercial centres and open space.	Yes
➤ To provide local and regional employment and live and work opportunities	Yes

Comments: The proposed development is for the purposes of a residential flat building which is compatible with the future development envisaged for the area.

Part 4: Principal development standards

An assessment of the proposal against the relevant provisions contained within Part 4 of the SLEP 2012 is provided below.

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Minimum subdivision lot size

Cl.	Standard	Controls	Proposed	Complies
4.2	Minimum subdivision lot size (excluding strata subdivision)	1000m ²	1,533m ²	Yes

Objectives				Complies
(a)	To promote consistent subdivision and development patterns that reflect and reinforce the predominant subdivision pattern of the area			Yes
(b)	To ensure a variety of lot sizes are maintained of sufficient size and shape to accommodate a variety of development types			Yes
(c)	To preserve large industrial lots in order to provide a range of large-scale sites suitable for industrial activities that require integrated and large floorplates			Yes

Height of building

Cl.	Standard	Controls	Proposed	Complies
4.3	Height of building	22m	23.6m	No

Objectives				Complies
(a)	To ensure that development is of a height that is generally compatible with or which improves the appearance of the existing area			Yes
(b)	To encourage a consolidation pattern that leads to the optimum sustainable capacity height for the area			Yes
(c)	To achieve a diversity of small and large development options.			Yes

Comments: Refer to Clause 4.6 discussion below.

Floor space ratio

Cl.	Standard	Controls	Proposed	Complies
4.4	Floor space ratio	2:1 (3,066m ²)	2:1 (3,054m ²)	Yes

Objectives				Complies
(a)	To ensure that dwellings are in keeping with the built form character of the local area			Yes
(b)	To provide consistency in the bulk and scale of new dwellings in residential areas			Yes
(c)	To minimise the impact of new development on the amenity of adjoining properties			Yes
(d)	To minimise the impact of development on heritage conservation areas and heritage items			Yes
(e)	In relation to Strathfield Town Centre: <ol style="list-style-type: none"> i. to encourage consolidation and a sustainable integrated land use and transport development around key public transport infrastructure, and ii. to provide space for the strategic implementation of economic, social and cultural goals that create an active, lively and people-oriented development 			Yes
(f)	In relation to Parramatta Road Corridor – to encourage a sustainable consolidation pattern that optimises floor space capacity in the Corridor			Yes

Clause 4.6 Exceptions to Development Standards

Under Clause 4.6 of the SLEP 2012, the consent authority may consider a variation, where that variation would achieve a better outcome.

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As demonstrated in the table above, the proposed development fails to comply with the maximum 22m building height under Clause 4.3 of the SLEP 2012. The area of non-compliance specifically relate to the shade structure, lift overrun and stair access (refer to Figure 4). As such, the proposed development extends 1.6m beyond the maximum permissible building height of 22m resulting in a departure of 7.27%.

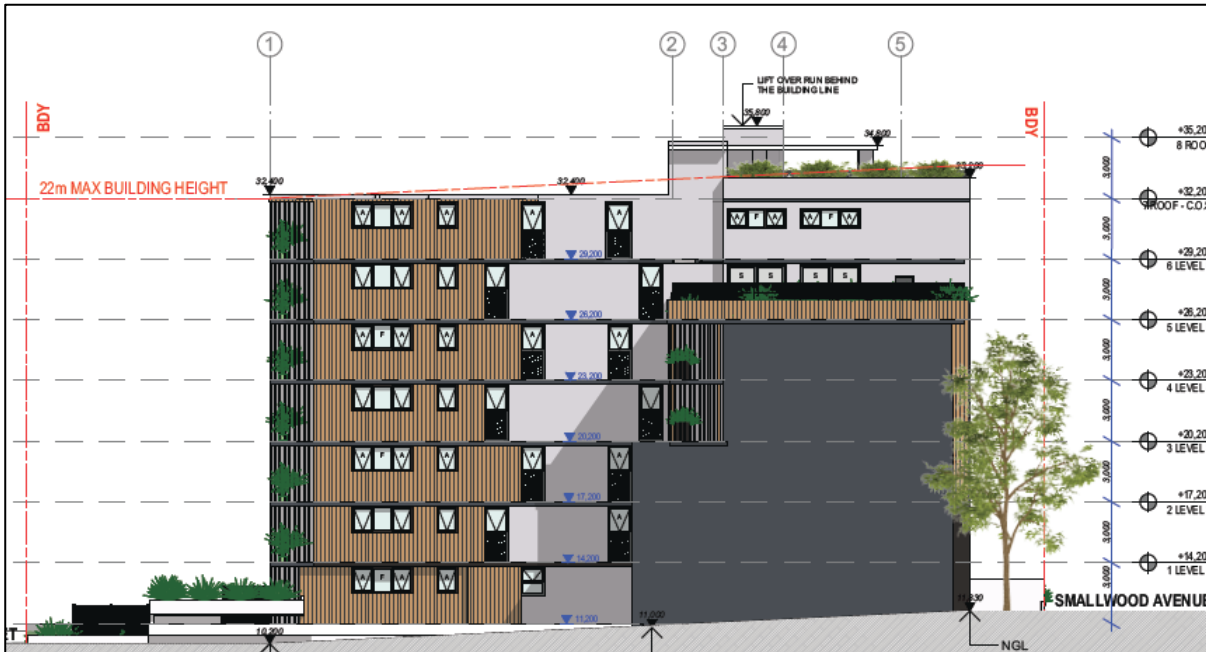


Figure 4: View of the southern elevation noting the extent of the proposed building height variation.

Clause 4.6(3) of the SLEP 2012 states the following:

“Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:

- (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case; and*
- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.”*

The applicant has provided a written request that seeks to justify the proposed contravention of the maximum building height development standard on the following grounds:

- The building is largely consistent with the 22m height limit other than a small portion of the building where the lift overrun and stair access is located to the roof top open space area and therefore it is considered that the proposal is generally compatible with the height of neighbouring buildings
- A number of other residential flat buildings approved nearby have been granted similar variations to building height also relating to the lift overruns and therefore the proposal will be consistent with the appearance of the development in the area.

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- The proposal is fully compliance with the consolidation pattern identified for Key Site 39 and will therefore lead to the optimum sustainable capacity height for the area, notwithstanding the minor increase in height to the lift overrun.

Clause 4.6(4) of the SLEP 2012 states the following:

“Development consent must not be granted for a development that contravenes a development standard unless:

(a) the consent authority is satisfied that:

(i) the applicant’s written request has adequately addressed the matters required to be demonstrated by subclause (3)

The applicant’s written request to justify the contravention of the building height standard adequately addresses the matters required to be demonstrated in subclause 4.6(3), specifically, that compliance with the standard is unnecessary or unreasonable in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The written request is considered to provide sufficient substantive information on the environmental planning grounds relating to streetscape, bulk and amenity.

(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The site is Zoned B4 mixed use under SLEP 2012 wherein development for the purposes of a residential flat building is permissible with consent. The proposal is generally consistent with the objectives of the B4 zone in that:

- The proposal will provide a high quality residential development that provides a range of accommodation types, orientations, internal living arrangements as well as the required number of adaptable dwellings
- The proposal will contribute to a mixture of compatible land uses in the area which includes commercial and business uses along Parramatta Road, Sydney Markets to the west and a variety of mixed use and entirely residential buildings along Smallwood Avenue and Loftus Crescent.
- The proposal seeks to integrate a residential flat building with other development which will seek to maximise transport patronage and encourage walking and cycling.
- The proposal will contribute to the mixed use growth around nearby railway stations and transport nodes and will encourage live and work opportunities in the area

(b) the concurrence of the Secretary has been obtained.”

Council may assume the concurrence of the Director-General under the Planning Circular PS 08-003 issued in May 2008.

In conclusion, the applicant’s written request to justify the contravention of the building height development standard is considered to be well founded in that the applicant has satisfactorily demonstrated that compliance with the standard is unnecessary or unreasonable in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard.

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

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5.9 Preservation of trees or vegetation

Amended plans were submitted during the assessment process to ensure the protection of the tree immediately adjoining the site to the north fronting Smallwood Avenue. Conditions have been imposed to ensure the ongoing protection and retention of the subject tree as well as additional trees proposed throughout the site.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the SLEP 2012 are addressed below as part of this assessment:

6.1 Acid sulfate soils

The subject site is identified as having Class 5 soils and is not located within 500m of Class 1, 2, 3 or 4 soils. Therefore, the proposed development was required to be accompanied by an Acid Sulfate Soils Management Plan and has satisfied the requirements of Clause 6.1 of the SLEP, 2012.

6.2 Earthworks

Appropriate conditions of consent to be imposed to ensure compliance with the sediment, erosion control plan as well as conditions of consent which include preparation of a dilapidation report to be provided to adjoining property owners.

6.9 Additional provisions for development in Parramatta Road Corridor

The site forms Key Site 39 and is appropriate to the future intended outcome for the site. The proposal will integrate well with existing approved key site developments in the streetscape. The proposal therefore satisfies the additional provisions for development in Parramatta Road Corridor in accordance with Clause 6.9 of the SLEP, 2012.

79C(1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

79C(1)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Strathfield Development Control Plan No 20 – Parramatta Road Corridor Area

DCP – 20 is of relevance to the assessment of an application for a residential flat building within the Parramatta Road Corridor Area and as such applies to the subject application.

Clause 6A of SEPP 65 confirms that in the event of any inconsistency between the controls of the ADG and Council's Development Control Plan, the objectives, design criteria and design guidance set out in the ADG prevail.

This confirms that if a development control plan contains provisions that specify requirements, standards or controls in relation to the following matters, those provisions are of no effect:

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- (a) visual privacy,
- (b) solar and daylight access,
- (c) common circulation and spaces,
- (d) apartment size and layout,
- (e) ceiling heights,
- (f) private open space and balconies,
- (g) natural ventilation, and
- (h) storage.

These matters, as of relevance to the application, have been addressed in the ADG assessment above where it has been determined that the proposal is satisfactory. The remaining matters of relevance provided in the DCP are addressed in the table below:

Section	Development Control	Required	Proposed	Compliance
2.2	Built form/footprint	Proposal to conform to the building footprint shown in figure 9.	The building footprint generally accords with the Draft Key Sites Map.	N/A
	Land Consolidation	Proposal to conform to the consolidation pattern identified in figure 12.	Conforms with consolidation pattern of SLEP 2012 (Key Site 39)	N/A
2.3	Building Height	Proposal to conform to building height identified in figure 12, which requires max. 3 storeys.	Refer to previous discussion of building height under SLEP 2012	N/A
	Minimum Unit Sizes	Proposal to comply to the following min. unit sizes: 1 bed – 70m ² 2 bed - 85m ² 3 bed - 100m ²	The unit sizes of the ADG prevail.	N/A
2.5	Roof Form	Lift and service plant concealed within roof structure.	The lift overrun structure protrudes beyond the roof structure however will not be visible from the street.	Yes.
		Provide an interesting skyline and enhance views from adjoining developments.	Acceptable roofline provided for the scale of the building.	Yes.
2.6	Façade Composition	Entrance should be distinguishable in the façade.	Entries are distinguishable and do not include opportunities for concealment.	Yes.
		Facades should maintain a human scale to the street by incorporating appropriate architectural features.	Human scale is maintained through the provision of individual entries to the ground floor apartments as well as a separate pedestrian access way.	Yes.
		Materials and finishes should blend together with min. 30% to incorporate	Materials and finishes comprise aluminium timber look cladding, silver aluminium cladding and neutral coloured render finishes.	Acceptable.

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Section	Development Control	Required	Proposed	Compliance
		face brickwork.		
		Consider the use of glass in facades on northern and western elevations in terms of glare impacts.	Complies with BASIX.	Yes.
2.8	Visual and Acoustic Privacy	Visual privacy to be provided by separation or screening.	ADG prevails	N/A
		Main living areas oriented to the street or rear garden to prevent overlooking.	ADG prevails	N/A
		Acoustic privacy must be considered in relation to proposal and surrounding environment.	Acoustic report submitted. Compliance with construction methodology by way of condition of consent.	Yes, subject to condition.
		Buildings designed and sited to minimise transmission of noise to adjoining developments.	Residential in nature and unlikely to generate noise.	Yes.
		Developments adjoining major road or railway line to consider potential noise impacts.	Proximity to Parramatta Road addressed in acoustic report.	Yes.
		Shared pedestrian entries shall be capable of being locked and serve a limited no. of dwellings	Secured entries proposed.	Yes.
		Casual surveillance maintained of public streets and spaces with at least one habitable room window facing that area.	Casual surveillance encouraged through balcony orientation to overlook the public domain and centrally located open space areas.	Yes
2.9	Private Open Space	Proposal to provide 35% deep soil landscape area on the site.	ADG prevails.	N/A
		Retain and protect existing significant trees.	The design has been amended to retain the mature gum tree located in the front northern portion of the site. The built form is appropriately setback and allows the gum tree to become a feature of the site	Yes.
		Each contiguous landscape area shall provide large trees.	Numerous canopy trees proposed on the site. Refer to Landscape Plan.	Yes.
		Trees and pergolas	Trees are provided within the	Yes.

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Section	Development Control	Required	Proposed	Compliance
		to shade external areas and control sunlight into buildings.	ground floor communal open space area to provide shade.	
		<p>Proposal to provide common open space to the following dimensions:</p> <p>10% of site or 100m² (whichever is greater);</p> <p>Min dimensions of 7m;</p> <p>Positioned to receive sunlight, be conveniently located for residents with good opportunities for passive surveillance and contain durable children's play equipment;</p> <p>Located behind front setback.</p>	ADG prevails	N/A
	Balconies	<p>Dwellings without ground level open space shall have balconies to the following requirements:</p> <ul style="list-style-type: none"> • 12m² up to 2 bed; and • 15m² for 3 or more bed; <p>Min. dimension of 2.0m;</p> <p>Located off living areas and with good solar access; and</p> <p>Balustrades designed to provide privacy and conceal service areas whilst allowing passive surveillance.</p>	ADG prevails.	N/A
		Achieve required BASIX rating.	BASIX satisfied.	Yes.
	Solar Access	Main living and 50% of POS receive min.	ADG prevails	N/A

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Section	Development Control	Required	Proposed	Compliance
		3 hours solar access.		
		Min. 3 hours solar access maintained to habitable rooms and POS of adjoining development.	ADG prevails	N/A
	Stormwater, Sewerage and Drainage	Site to be adequately serviced by stormwater, sewerage and drainage in accordance with Council's Stormwater Management Code.	Stormwater assessed to comply with Council's Stormwater Management Code.	Yes.
2.11	Disabled Access	One main entrance barrier free and accessible.	Barrier free access to and from the main entrance.	Yes.
2.12	Vehicle Access and Parking	Accessible parking provided.	To satisfy BCA	Yes.
		15% of units designed to allow occupation by older people and people with disabilities.	The proposal provides (8) 13% units throughout the building as adaptable units.	Yes – subject to conditions.
		Car parking to be provided on the following basis: 1 and 2 bed – 1 space 3 bed – 1.5 spaces required Visitor – 1 space per 5 units	ADG Prevails	Yes.
2.13	Site Facilities and Services	Comply with driveway ramp gradient and dimension requirements.	Condition of consent recommended requiring the driveway ramp be designed in accordance with AS2890.1-2004.	Yes
		Electricity and telecommunication supplies shall be underground.	Aerial Bundling of overhead cables required.	Acceptable subject to condition.
2.14		Letterbox provision	No details provided	Refer to condition of consent.
		Master TV antenna provided.	No details provided.	No, but condition will be imposed to enforce compliance.
		Clothes drying facilities provided.	No detail.	Condition imposed to ensure drying facilities are

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Section	Development Control	Required	Proposed	Compliance
		Comply with BCA	To be enforced by condition of consent.	provided. Yes, by way of condition of consent.
2.16		Dilapidation report for all adjoining development.	No details provided.	Dilapidation report will be required to be prepared prior to CC. Compliance will be enforced by way of condition of consent.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposal provides for the underground collection of waste in accordance with Section 3.3 of Part H of the Strathfield Development Control Plan 2005.

The proposal is required to provide the following:

- 22 x 240L general waste bins; and
- 22 x 240L recycling bins

Whilst the proposal includes a waste collection area within basement level 1 of the site, only 16 x 240L waste bins, and 19 x 240L recycling bins have been provided contrary to be abovementioned requirement. It is further noted that a bulky/storage space has also been provided within the basement immediately adjoining the bin room however is 2m² short of the minimum 19m² bulky storage space required for the site.

In light of these departures, a condition of consent is recommended to ensure that the garbage room size is increased so as to provide adequate storage space for the additional bins required. As the increased garbage room size would further reduce the bulk waste size, an additional condition of consent is recommended to provide an additional bulky waste storage space within the void space immediately adjoining car space No.38. This will provide 10.3m² of storage which should offset the loss of bulky waste storage to the expanded garbage room.

Furthermore, the proposal provides sufficient clearance to allow for Council's truck to access the basement area to permit the on-site collection of waste to occur.

Overall, the management of waste from the site, once occupied, will be acceptable and meets the provisions of Council's DCP subject to the imposition of conditions.

79C(1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 93F of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601-1991: *The Demolition of Structures*, in the determination of a development application.

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Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) however does involve the demolition of a building for the purposes of *AS 2601 – 1991: The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

79C(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Solar Access

The east-west orientation of the site results in an unavoidable degree of overshadowing to the southern adjoining site contrary to Section 3B of the ADG. An approval was granted at the southern adjoining site (25-29 Smallwood Ave) for construction of a seven storey residential flat building with a commercial tenancy on the ground floor. It is noted that the approved built form for the development provides a nil setback to the northern side boundary of the site and accordingly windows and openings are orientated to the east or west rather than to the north. Overshadowing of the proposed development will therefore result in negligible impacts to solar access to units of the approved development. With regard to overshadowing to the landscaped spaces of the southern adjoining site, the shadow diagrams demonstrate that whilst the landscaped area of the southern adjoining site will be cast in shadow at 9am, the shadow continues to move east throughout the day with the landscaped space receiving direct solar access from 12pm onwards. This is considered acceptable and will allow green spaces to receive an acceptable level of solar access throughout the day.

Visual Privacy/Building Separation

Section 3F of the ADG requires an appropriate level of building separation to be provided so as to minimise opportunities for overlooking between adjoining developments. The proposed development generally accords with the built form envisaged under DCP 20 through providing nil side setbacks to portions of both the northern and southern side boundaries of the site. Refer to Figure 5 below.

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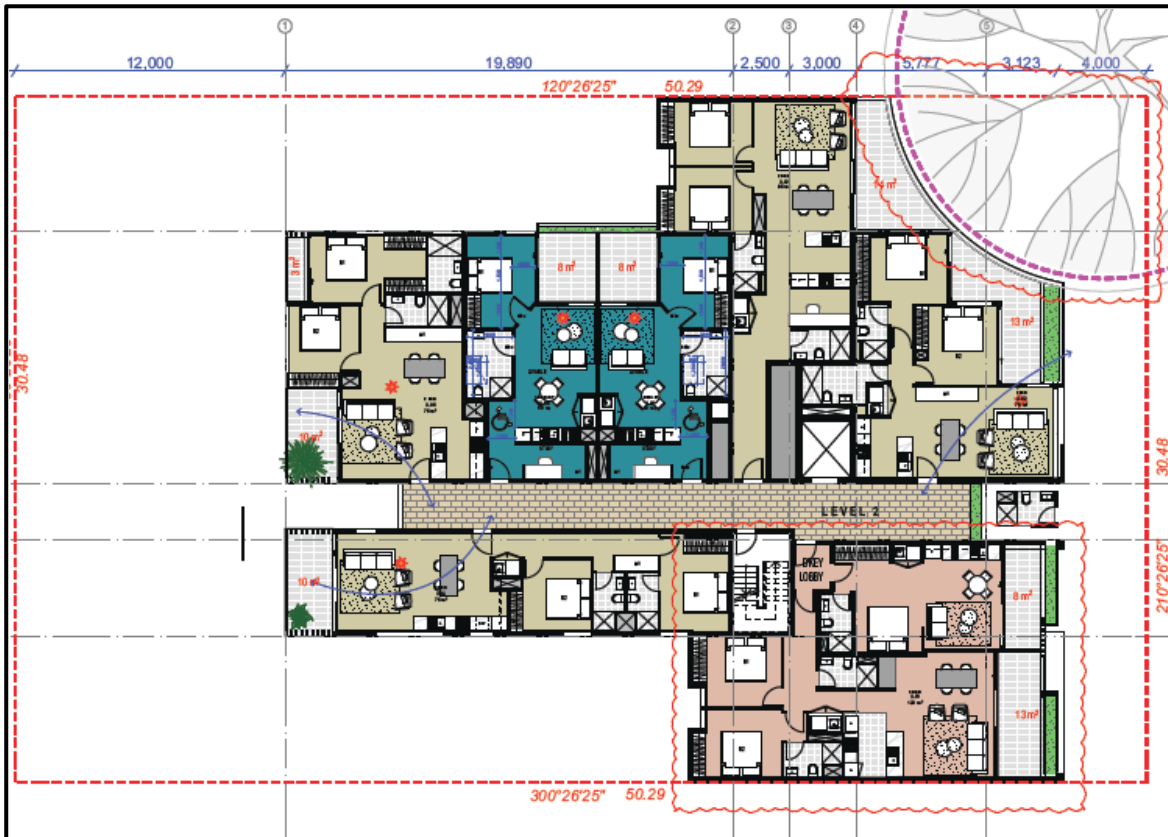


Figure 5: Level 2 Floor Plan

Of the portions which aren't provided with a nil side setback, 6.5m separation is provided to the southern side elevation of the building and 6m separation is provided to the northern side elevation of the building. It is appreciated that various windows are proposed to the southern elevation of the development within 6.5m of the boundary however, a blank wall is provided to the northern elevation of the approved development to the south which will not result in privacy concerns for southern adjoining residents. It is noted that there are discrepancies between the floor plans and elevation plans whereby a number of windows to the ground floor and first floor of the development are missing in the southern elevation plan. A condition of consent has been recommended to rectify this.

All remaining portions of the northern side elevation of the development achieve a minimum 6m separation to the northern side boundary of the site. The floor plates have been designed providing bedrooms to the outer northern boundary of the built form with windows designed as highlights so as to minimise opportunities for overlooking into the northern adjoining site. All balconies proposed which have an orientation to the north or south are provided with appropriate privacy screening to further minimise opportunities for overlooking.

Unit size and Layout

Section 4D of the ADG requires all units to achieve compliance with the minimum unit sizes prescribed. Unit X.02 which located to the ground floor of the building is only 69m² which is a 6m² departure from the minimum 75m² requirements. Noting that the unit provides a second bathroom yet no laundry facilities, a condition of consent is recommended to ensure one (1) bathroom within the unit is deleted and replaced with appropriate internal laundry facilities.

It is further noted that Unit x.05 to the ground floor and all units immediately above do not demonstrate provision of an internal laundry facility. A further condition of consent is recommended

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to ensure that internal laundry facilities are provided to these units so as to retain a high level of residential amenity.

Acoustic Privacy

In recognition of the site's close proximity of to the Sydney Markets (located immediately west), an Acoustic Report was prepared and submitted to Council as part of the application. A condition of consent has been recommended to ensure compliance with the recommendations made in the report. This includes compliance with special treatments to the extremities of the building including windows to minimise noise disturbance for future residents.

79C(1)(c) the suitability of the site for the development

The proposed development is considered to be suitable to the site in that the proposed development presents an overall bulk, height and scale which is commensurate with the relevant statutory controls.

The proposal is consistent with the architectural form and high quality material palate sought by Council throughout the Parramatta Road Corridor and will be compatible with existing, recently approved and likely future development nearby.

Therefore, the proposed development is suitable for the subject site.

79C(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005 from 27 June 2017 to 19 July 2017, with One (1) submission received, raising the following concerns:

1. *Acoustic Impacts – concern is raised for the orientation of western facing apartments which has the potential to be impacts upon by noise and light spill from existing Sydney Market operations. It is requested that additional conditions are imposed to ensure compliance with the relevant Australian Standards are met. This is having particular concern for the 24 hours a day in a straight seven period operation of the Sydney Markets. It is also recommended that conditions are imposed to ensure compliance with the recommendations of the Acoustic Report.*

Assessing officer's comments: Conditions of consent have been recommended to ensure compliance with the recommendations of the Acoustic Report given the site's close proximity to Sydney Markets. This is to ensure the building is appropriately treated to minimise noise and light spill generated from 24 hour activity at Sydney Markets.

79C(1)(e) the public interest

The public interest is best served by the consistent application of relevant Environmental Planning Instruments, Development Control Plans and Council policies. As discussed throughout this report, the proposed development has been assessed against the relevant statutory provisions and is satisfactory. Therefore approval of the proposal would not be contrary to the public interest.

SECTION 94 CONTRIBUTIONS

Section 94 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the*

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demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:

- (a) the dedication of land free of cost, or
 (b) the payment of a monetary contribution,
 or both.*

- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned."*

STRATHFIELD DIRECT SECTION 94 CONTRIBUTIONS PLAN

Section 94 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030 as follows:

Provision of Community Facilities	\$78,770.68
Provision of Major Open Space	\$358,383.03
Provision of Local Open Space	\$233,670.64
Provision Roads and traffic Management Administration	\$21,889.11
	\$6,792.20
TOTAL	\$699,505.67

CONCLUSION

The proposed development is permissible in the subject zoning and is consistent with the relevant objectives of the Strathfield Local Environmental Plan 2012 which seek to provide a range of residential accommodation within close proximity of existing public transport infrastructure.

Overall, the proposal presents a development of good architectural merit which will positively contribute to the vibrant mixed use Parramatta Road precinct. The proposal will support a good level of amenity for future residents within close proximity to Homebush Railway Station, Parramatta Road, the Sydney Markets, existing schools and local services.

As discussed in detail throughout this report, the proposal accords with the relevant statutory provisions under SEPP 55, SEPP 65, SEPP (BASIX), Council's Development Control Plan and Interim Planning Policies.

The application is therefore recommended for approval.

RECOMMENDATION

That Development Application No. 2017/090 for Demolition of existing structures and construction of a part seven (7), part (5) storey residential flat building over two (2) levels of basement parking at 19-23 Smallwood Avenue, Homebush be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. SOUTHERN ELEVATION PLAN (SC)

The southern elevation plan labelled "South Elevation Drawing No:DA3002, Issue D prepared by Urbanlink" shall be amended to reflect the additional windows proposed to the ground floor and first floor units of the development. Amended plans shall be prepared and submitted to an Accredited Certifier for approval **prior to the issue of a Construction Certificate.**

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(Reason: To reflect the correct placement of windows to the development)

2. **UNIT X.02 CONFIGURATION (SC)**

One (1) bathroom pertaining to Unit x.02 located to the ground floor of the development shall be deleted and replaced with an internal laundry facility.

(Reason: to achieve compliance with the minimum unit size requirements of the ADG)

3. **LAUNDRY FACILITIES (SC)**

Amended plans shall be prepared and submitted to an Accredited Certifier for approval **prior to the issue of a Construction Certificate** demonstrating that the following units have been provided with internal laundry facilities:

- All units labelled: X.05
- Unit L5.04
- Unit L6.03

(Reason: To improve residential amenity)

4. **BULK WASTE STORAGE AREA (SC)**

The 10.3m² void space shaded in grey immediately adjoining car space No.38 shall be converted into a bulky waste storage area. Both this space combined with the remaining bulky waste area immediately adjoining the garbage room shall achieve a minimum area of 19m². Amended plans demonstrating this as well as amended waste management plan reflecting this shall be submitted to and approved by an Accredited Certifier **prior to the issue of a Construction Certificate.**

(Reason: To achieve compliance with Council's Waste Management requirements)

5. **WASTE BINS (SC)**

The proposal shall achieve compliance with the following minimum bin rates:

- 22 x 240L general waste bins or 8 x 660L; and
- 22 x 240L recycling bins or 8 x 660L

Amended plans demonstrating this as well as amended waste management plan reflecting this shall be submitted to and approved by an Accredited Certifier **prior to the issue of a Construction Certificate.**

(Reason: To achieve compliance with Council's Waste Management requirements)

6. **STORMWATER DRAINAGE PIPE (SC)**

A suitably qualified contractor shall be appointed to locate Council's drainage pipe in Hudson Street. Non-destructive pipe locating methods should be applied. In the event where the pipe may be in conflict with the approved plans, Council's Engineering Department shall be contacted first prior to any commencement of works.

(Reason: protect Council's stormwater system)

7. **WATERSW GENERAL TERMS OF APPROVAL (SC)**

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- A Water Supply Work Approval from WaterNSW must be obtained prior to commencing dewatering activity on the proposed site. Please complete an Application for approval for water supply works, and/or water use.
- An application for a Water Supply Works Approval will only be accepted upon receipt of supporting documentation, and payment of the applicable fee (see Application fees for New or amended Works and/or Use Approvals). The information required for the processing of the water supply work application may include preparation of a dewatering management plan. Please refer to checklist attached.
- If approved, the Approval will be issued for a period of up to 24 months to cover the dewatering requirements during the construction phase. It will include conditions to ensure that impacts are acceptable and that adequate monitoring and reporting procedures are carried out. The Approval will be issued subject to the proponent meeting requirements of other agencies and consent authorities. For example, an authorisation by either Sydney Water or the local Council, depending where the water will be discharged. If contaminants are likely, or are found to be present in groundwater, and are being discharged to stormwater, including high salinities, a discharge licence under the *Protection of the Environment Operations Act 1997 (NSW)* may also be required.
- WaterNSW prefers “tanking” (ie. total water proofing below the seasonal high water table) of basement excavations, and avoids the ongoing extraction of groundwater after the initial construction phase. It is also advised to adopt measures to facilitate movement of groundwater post construction (eg. a drainage blanket behind the water-proof membrane).
- If the basement is not “tanked”, the proponent will require a Water Access Licence (WAL) and need to acquire groundwater entitlements equivalent to the yearly ongoing take of groundwater. Please note: Acquiring groundwater entitlements could be difficult, and may cause delay in project completion. If a WAL is required, please complete an Application for a new water access licence with a zero share component.

(Reason: To achieve compliance with requirements of Water Management Act 2000)

GENERAL CONDITIONS (GC)

8. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2017/090:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
DA5001	Demolition Plan	Urbanlink	B	20 June 2017
DA1002	Site Plan & Roof Plan	Urbanlink	D	21 September 2017
DA2001	Basement 02	Urbanlink	D	21 September 2017
DA2002	Basement 1	Urbanlink	D	21 September

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				2017
DA2003	Ground FL	Urbanlink	D	21 September 2017
DA2004	Level 1	Urbanlink	D	21 September 2017
DA2005	Level 2	Urbanlink	D	21 September 2017
DA2006	Level 3	Urbanlink	D	21 September 2017
DA2007	Level 4	Urbanlink	D	21 September 2017
DA2008	Level 5	Urbanlink	D	21 September 2017
DA2009	Level 6	Urbanlink	D	21 September 2017
DA2010	Roof Plan	Urbanlink	D	21 September 2017
DA3001	North Elevation	Urbanlink	D	21 September 2017
DA3002	South Elevation	Urbanlink	D	21 September 2017
DA3003	East Elevation	Urbanlink	D	21 September 2017
DA3004	West Elevation	Urbanlink	D	21 September 2017
DA3005	Streetscape Elevation	Urbanlink	D	21 September 2017
DA4001	Section A	Urbanlink	D	21 September 2017
DA4002	Section B	Urbanlink	D	21 September 2017
DA5001	Finishes Schedule	Urbanlink	D	21 September 2017
DA3005	Streetscape Elevation	Urbanlink	D	21 September 2017
DA3005	Streetscape Elevation	Urbanlink	D	21 September 2017
A7072 - Cover	Stormwater – General Notes	Alpha Engineering	E	21 September 2017
A7072 – SW01	Sediment and Erosion Control Plan	Alpha Engineering	E	21 September 2017
A7072 – SW02	Basement 2 Drainage Plan	Alpha Engineering	E	21 September 2017
A7072 – SW03	Basement 1 Drainage Plan	Alpha Engineering	E	21 September 2017
A7072 – SW04	Ground Floor Drainage Plan	Alpha Engineering	E	21 September 2017
A7072 – SW05	Roof Drainage Plan	Alpha Engineering	E	21 September 2017
A7072 – SW06	Stormwater Sections & Details	Alpha Engineering	E	21 September 2017

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Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. 2017/090:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Statement of Environmental Effects	Planning Ingenuity	Ref: 0885/17	20 June 2017
Traffic and Parking Assessment Report	Varga Traffic Planning	Ref 17131	20 June 2017
Waste Management Plan	urbanlink		20 June 2017
Acoustic Report	Acoustic Noise and Vibration Solutions	Reference No.: 2017-135	20 June 2017
Arboricultural Impact Assessment and Tree Management Plan	Redgum Horticultural	Ref: 2802	20 June 2017
BASIX		Certificate number: 813341M	Issued 20 April 2017
Geotechnical Investigation Report	Benvrion Group	Report No. P2017-011-G210	20 June 2017
Preliminary Site Investigation Report	Benvrion Group	September 2017	21 September 2017

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

9. BUILDING HEIGHT - MAXIMUM RL TO BE COMPLIED WITH (GC)

The height of the building measured to Australian Height Datum (AHD) must not exceed Relative Level (RL) 35.8AHD to the roof ridge of the lift overrun of the building.

(Reason: To ensure the approved building height is complied with.)

10. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

11. CONSTRUCTION WITHIN BOUNDARIES (GC)

The development including but not limited to footings, walls, roof barges and guttering must

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be constructed wholly within the boundary of the premises. No portion of the proposed structure shall encroach onto the adjoining properties. Gates must be installed so they do not open onto any footpath or adjoining land.

(Reason: Approved works are to be contained wholly within the subject site.)

12. **DEMOLITION – GENERALLY (GC)**

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

13. **DEMOLITION - SITE SAFETY FENCING (GC)**

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and

provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

14. **LANDSCAPING - CANOPY TREES IN FRONT SETBACK (GC)**

New development shall provide at least two (2) canopy trees within the front setback adjacent the front boundary (existing trees may be included). New canopy trees shall be at least three (3) metres high at the time of planting and capable of reaching a mature height of 10m.

Species shall be selected from Council's Recommended Tree List (Available from Council's website or from the Customer Service Centre). Compliance with this condition is to be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure the landscape character of the locality is maintained.)

15. **LANDSCAPING - IRRIGATION OF COMMON AND PRIVATE LANDSCAPE AREAS (GC)**

All common and private landscape areas including all planters of new multi-unit, commercial, mixed-use and industrial development are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Sydney Water Codes and satisfy all relevant Australian Standards. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior

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occupation of the premises.

(Reason: To ensure appropriate landscape maintenance.)

16. **LANDSCAPING - TREES PERMITTED TO BE REMOVED (GC)**

The following listed trees are permitted to be removed to accommodate the proposed development:

Tree	Height/ Spread (m)	Location
6) Mangifera indica	4 x 4	Rear Yard
7) Camellia japonica	5 x 2	Rear Yard
8) Cinamomum camphora	9 x 7	Rear Yard
9) Callistemon viminalis	6 x 3	Rear Yard
10) Populus italica Nigra x 2	11 x 4	Rear Yard

All trees permitted to be removed by this consent shall be replaced by species selected from Council's Recommended Tree List.

Replacement trees shall be a minimum 50 litre container size. Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

Manual excavation is required within canopy spread of the retained trees referred to in above table.

Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To ensure appropriate planting back onto the site.)

17. **LANDSCAPING - TREE PRESERVATION (GC)**

All street trees and trees on private property that are protected under Council's controls,

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shall be retained except where Council's prior written consent has been obtained. The felling, lopping, topping, ringbarking, wilful destruction or removal of any tree/s unless in conformity with this approval or subsequent approval is prohibited.

All healthy trees and shrubs identified for retention on the approved drawings are to be suitably protected in accordance with Australian Standard AS4970 – Protection of Trees on Development prior to the commencement of any works (including any demolition and excavation) and maintained for the duration of the works.

(Reason: To ensure the protection of trees to be retained on the site.)

18. **LANDSCAPING - TREE PRUNING PERMITTED (GC)**

Pruning of the following tree/s is permitted:

Species
1 - 5 Retained trees

No more than 10% of the entire crown is to be removed as part of this approval. The pruning shall not give the crown an unbalanced appearance. All pruning work must be undertaken by a minimum level 2 (AQF 3) qualified Arborist who is currently a member or eligible for membership to Arboriculture Australia (AA) or the Tree Contractors Association Australia (TCAA), in accordance with AS4373—Pruning of Amenity Trees.

(Reason: To ensure tree preservation and pruning is undertaken in accordance with AS4373:2007 – Pruning of amenity trees.)

19. **LIGHTING (GC)**

Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: Control of the Obtrusive Effects of Outdoor Lighting so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads.

No flashing, moving or intermittent lighting, visible from any public place may be installed on the premises or external signage associated with the development, without the prior approval of Council.

(Reason: To protect the amenity of surrounding development and protect public safety.)

20. **MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)**

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

21. **PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)**

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;

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- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

22. **SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)**

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.

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- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

23. **STORMWATER MANAGEMENT PLAN - CERTIFICATION REQUIREMENT (GC)**

A detailed Stormwater Management Plan (SWMP) in line with Council's Stormwater Management Code is to be prepared and certified by a practicing Chartered Professional Engineer on the National Professional Engineer's Register (NPER) at Engineers Australia and submitted to the Principal Certifying Authority and Council, prior to the issue of a Construction Certificate. The SWMP is to be based on the approved development as modified by any conditions of consent.

(Reason: To ensure appropriate provision is made for the disposal and management of stormwater generated by the development, and to ensure public infrastructure in Council's care and control is not overloaded.)

24. **SYDNEY WATER - STAMPED PLANS PRIOR TO COMMENCEMENT (GC)**

The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. Plans will be appropriately stamped.

For Quick Check agent details please refer to the web site www.sydneywater.com.au (see Building Developing and Plumbing then Quick Check) or telephone 13 20 92. The consent authority or a Certifying Authority must ensure that a Quick Check agent/Sydney Water has stamped the plans before the commencement of work.

(Reason: Compliance with Sydney Water requirements.)

25. **UTILITIES AND SERVICES - PROTECTION OF (GC)**

Any footings or excavation to be located or undertaken adjacent to Council's stormwater must be designed to address the following requirements:

- i) all footings and excavation must be located wholly within the site and clear of any easement boundaries;
- ii) all footings and excavation must be located a minimum of 1000mm from the centreline of the pipeline or 500mm from the outside of the pipeline, whichever is the greater distance from the centreline; and
- iii) footings must extend to at least the depth of the invert of the pipeline unless the

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footings are to be placed on competent bedrock.

If permanent excavation is proposed beneath the obvert of the pipeline, suitable means to protect the excavation and proposed retaining structures from seepage or other water flow from the pipeline and surrounding subsoil, must be provided. The design must be prepared by a qualified practicing Structural/Civil Engineer.

Construction plans must be approved by the appropriate utility's office (e.g. council, Sydney Water Corporation) to demonstrate that the development complies with the utility's requirements.

The applicant must provide written evidence (e.g. compliance certificate, formal advice) of compliance with the requirements of all relevant utility providers (e.g. Water, Energy, Telecommunications, Gas).

(Reason: To ensure protection of Council assets.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

26. ACCESS - ACCESS FOR PEOPLE WITH DISABILITIES (CC)

Access for people with disabilities must be provided in accordance with the requirements of the Building Code of Australia, relevant Australian Standards and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

27. ARBORIST REPORT – INITIAL (CC)

The applicant must engage a suitably qualified and experienced arborist (Australian Qualification Framework Level 5 or above) to assess the impact of the proposed works and determine best practices (e.g. minimise compaction, soil build up and or excavation within the Primary Root Zone*) to ensure the longevity of the trees to be retained. The arborist is to prepare and submit, to the satisfaction of the Principal Certifying Authority, a report prior to the issue of a Construction Certificate, documenting the measures to be employed and certifying that they have been implemented.

- i) *Primary root zone = 10 x trunk diameter 1400mm from ground level (measured as a radius from the centre of the trunk).

(Reason: Qualified assessment of impact of proposed works on trees to be retained on the site.)

28. BASIX COMMITMENTS (CC)

The approved BASIX Certificate shall be submitted to the Principal Certifying Authority with the application for a Construction Certificate.

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Where a change or changes are proposed in the BASIX commitments, the applicant must submit a new BASIX Certificate to the Principal Certifying Authority and Council. If any proposed change in the BASIX commitments is inconsistent with the development consent the applicant will be required to submit a modification to the development consent to Council under Section 96 of the Environmental Planning and Assessment Act 1979.

All commitments in the BASIX Certificate must be shown on the plans accompanying the Construction Certificate.

(Reason: Statutory compliance.)

29. **BICYCLE STORAGE PROVISION (CC)**

On-site provision for bicycle storage facilities shall be in accordance with the Strathfield Consolidated Development Control Plan 2005. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Compliance with SCDCP 2005 and to encourage sustainable transport options.)

30. **BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)**

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

31. **CAR PARKING - BASEMENT CAR PARKING REQUIREMENTS (CC)**

Details demonstrating compliance with the following is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate:

- i) Minimal internal clearance of the basement is 2.2m in accordance with BCA requirements.
- ii) Driveways shall comply with Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and achieve a maximum gradient of 1:4.
- iii) Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.
- iv) Provision of pump-out systems and stormwater prevention shall be in accordance with Council's Stormwater Management Guide.

(Reason: To ensure suitable development.)

32. **CAR PARKING - REQUIREMENTS FOR MULTIPLE USE BUILDINGS (CC)**

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The following car parking and service vehicle requirements apply:-

- i) 48 car spaces shall be provided on the development site. This shall consist of:
 - 38 residential spaces
 - 9 visitor spaces
- ii) All car spaces shall be allocated and marked according to this requirement.
- iii) If the development is to be strata subdivided, the car park layout must reflect the above allocation and thereafter be regarded as part of the entitlement of that strata lot.
- iv) Under no circumstances shall parking spaces be sold, let or otherwise disposed of for use other than in accordance with this condition.
- v) Each car parking space shall have minimum dimensions in accordance with the relevant Australian Standard and be provided on-site in accordance with the approved plans.
- vi) The parking bays shall be delineated by line marking.
- vii) Visitor spaces shall be clearly line marked and/or signposted and shall only be used by persons visiting residents of the property or commercial/business/retail premises located within the development. Visitor spaces shall not be allocated as permanent residential parking spaces. Access to visitor parking spaces shall not be restricted without development approval and a sign shall be erected at the vehicular entrance indicating the availability of visitor parking.
- viii) The following traffic control measures shall be implemented on site:-
 - Signage indicating 'Entry Only' shall be prominently displayed at the entrance to the development.
 - Signage indicating 'Exit Only' shall be prominently displayed at the exit to the development.
 - One-Way directional arrows shall be painted on the driveway pavement to indicate the required vehicular directional movement through the car parking area.

Details demonstrating compliance with this condition shall be submitted to and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure car parking provision in accordance with this consent.)

33. CAR PARKING - VEHICULAR ACCESS RAMPS (CC)

Vehicular access ramps shall comply with the provisions of AS/NZS 2890.1:2004. Plans to be submitted shall contain the following details:

- i) Longitudinal section along the extreme wheel paths of each driveway/access ramp at a scale of 1:25 demonstrating compliance with the scraping provisions of AS/NZS 2890.1:2004. It shall include all levels and grades, including those levels stipulated as boundary levels, both existing and proposed. It shall extend from the centre-line of the roadway through to the parking area.
- ii) Sections showing the clearance to the underside of any overhead structure (minimum headroom requirements 2200mm minimum for standard headroom clearance or 2400mm where disabled access provisions are to be provided) demonstrating compliance with the provisions of AS/NZS 2890.1:2004.
- iii) Longitudinal section along the gutter line showing how it is intended to transition the vehicular crossing into the existing kerb and gutter. Boundary levels shall generally run parallel with the kerb levels.
- iv) Location of verge trees, street furniture and service installations.
- v) Superimposition of vehicle turning circles for access into parking spaces.
- vi) Certification that the design complies with AS/NZS 2890.1:2004 by a Qualified

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Engineer.

The certification referred to in (vi) above shall be submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate (for the design) and to the Principal Certifying Authority prior to the issue of any Occupation Certificate for the 'as-built works'.

(Reason: To ensure adequate vehicular access can be achieved.)

34. **CAR PARKING - COMPLIANCE WITH AS/NZS 2890.1:2004 (CC)**

Car parking dimensions must comply with the Australian/New Zealand Standard AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking. Details demonstrating compliance are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure compliance with Australian Standards relating to parking of vehicles.)

35. **CAR PARKING - VEHICULAR CIRCULATION, AISLE AND RAMP WIDTHS (CC)**

The aisle widths, internal circulation, ramp widths and grades of the car park shall comply with the Roads and Traffic Authority Guidelines and AS/NZS 2890.1:2004 - Off-Street Car Parking Code.

Vehicular manoeuvring paths are to be prepared demonstrating that all vehicles can enter or depart the site in a forward direction without encroaching on required car parking spaces.

(Reason: To ensure compliance with Australian Standards relating to manoeuvring, access and parking of vehicles.)

36. **COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)**

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 81A(2) of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

37. **CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN (CC)**

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- i) Detailed information on any approvals required from other authorities prior to or during construction.
- ii) Traffic management, including details of:
 - ingress and egress of vehicles to the site;
 - management of loading and unloading of materials;
 - the location of heavy vehicle parking off-site; and
 - designated routes for vehicles to the site.
- iii) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste

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- containers during the construction period.
- iv) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:
- the collection and treatment of stormwater and wastewater generated on site prior to discharge; and
 - procedures to prevent run-off of solid material and waste from the site.
- v) Waste management, including:
- details of the types and estimated volumes of waste materials that will be generated;
 - procedures for maximising reuse and recycling of construction materials; and
 - details of the off-site disposal or recycling facilities for construction waste.
- vi) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.
- vii) A soil and water management plan, which includes:
- measures to minimise the area of soils exposed at any one time and conserve top soil;
 - identification and protection of proposed stockpile locations;
 - preservation of existing vegetation and revegetation;
 - measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
 - measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
 - details of sediment and erosion control measures in place before work commences;
 - measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
 - details of drainage to protect and drain the site during works.
- viii) Asbestos management procedures:
- Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see www.workcover.nsw.gov.au
 - Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m² or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
 - Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
 - The Work Health and Safety Act 2011;
 - The Work Health and Safety Regulation 2011;
 - How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
 - Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
 - Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.

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- The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a minimum:
 - the date and time when asbestos removal works will commence;
 - the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
 - the full name and license number of the asbestos removalist/s; and
 - the telephone number of WorkCover's Hotline 13 10 50
 - warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
 - appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment.)

38. COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

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Hoarding Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

39. **DILAPIDATION REPORT - PRE-COMMENCEMENT (CC)**

Subject to access being granted, a pre-commencement Dilapidation Report is to be undertaken on all adjoining properties, which in the opinion of a suitably qualified engineer, could be potentially affected by the construction of the project. The Dilapidation Report shall be carried out prior to the issue of a Construction Certificate.

The Dilapidation Report is to be prepared by a suitably Qualified Engineer with current Corporate Membership with the Institution of Engineers, Australia or Geotechnical Practitioner. The report shall include a photographic survey of adjoining properties detailing the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other such items.

If access for undertaking the dilapidation survey is denied by an adjoining owner, the applicant must demonstrate, in writing, to Council's satisfaction attempts have been made to obtain access and/or advise the affected property owner of the reason for the survey and these attempts have been unsuccessful. Written concurrence must be obtained from Council in such circumstances.

The Report shall cover structural and geotechnical factors likely to arise from the development. A copy of this Report shall be submitted to Council as a record. The person having the benefit of the development consent must, at their own cost, rectify any damage caused to other properties during the construction of the project.

(Reason: To ensure no damage to adjoining properties occurs.)

40. **DRIVEWAY WIDTH - MULTI-UNIT DEVELOPMENT (CC)**

The internal driveway must be a minimum 5.50m wide (clear width) for the first 6 metres inside the property so as to allow entering & exiting vehicles to pass within the site. Should the driveway narrow after this point it is then to be designed with a minimum 1.5m x 1.5m splay to allow the passing to work. Details demonstrating compliance shall be submitted to the Principal Certifying Authority, prior the issue of a Construction Certificate.

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(Reason: Safety and traffic management.)

41. EROSION AND SEDIMENTATION CONTROL PLAN (CC)

An Erosion and Sediment Control Plan is to be prepared where construction or excavation activity requires the disturbance of the soil surface and existing vegetation. Details including drawings and specifications must provide adequate measures for erosion and sediment control to ensure:

- i) Compliance with the approved Soil and Water Management Plan.
- ii) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval).
- iii) All uncontaminated run-off is diverted around cleared or disturbed areas.
- iv) Silt fences or other devices are installed to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways.
- v) All erosion and sediment controls are fully maintained for the duration of demolition/development works.
- vi) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadways.
- vii) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar.
- viii) All water pumped or otherwise removed from excavations or basement areas is filtered to achieve suspended solids/non filterable residue levels complying with the Australian Water Quality guidelines for Fresh and Marine Waters.
- ix) Pumped or overland flows of water are discharged so as not to cause, permit or allow erosion before the commencement of work (and until issue of the occupation certificate).

Details of the proposed soil erosion and sedimentation controls are to be submitted to the Principal Certifying Authority with the Construction Certificate Application. Under no circumstances are any works to commence, prior to these details being approved by the Principal Certifying Authority and the controls being in place on the site.

(Reason: Environmental protection.)

42. EXCAVATION - AFFECTING ADJOINING LAND (CC)

If an excavation associated with the approved development extends below the level of the base of the footings of a building on an adjoining allotment of land, the person having the benefit of the development consent must, at the person's own expense, comply with the requirements of clause 98E of the Environmental Planning and Assessment Regulation 2000, including:

- i) protect and support the adjoining premises from possible damage from the excavation, and
- ii) where necessary, underpin the adjoining premises to prevent any such damage.

The condition referred to in subclause (i) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying. Details shall be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: Structural safety.)

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43. **EXCAVATION – DEWATERING (CC)**

Any de-watering from the excavation or construction site must comply with the Protection of the Environment Operations Act 1997 and the following:

- i) Ground water or other water to be pumped from the site into Council's stormwater system must be sampled and analysed by a NATA accredited laboratory or Council for compliance with ANZECC Water Quality Guidelines.
- ii) If tested by NATA accredited laboratory, the certificate of analysis issued by the laboratory must be forwarded to Council as the appropriate regulatory authority under the Protection of the Environment Operations Act 1997, prior to the commencement of de-watering activities.
- iii) Council will grant approval to commence site de-watering to the stormwater based on the water quality results received.
- iv) It is the responsibility of the applicant to ensure during de-watering activities, the capacity of the stormwater system is not exceeded, there are no issues associated with erosion or scouring due to the volume of water pumped; and turbidity readings must not at any time exceed the ANZECC recommended 50ppm (parts per million) for receiving waters.

(Reason: To ensure compliance with legislation and to protect the surrounding natural environment.)

44. **LANDSCAPING - LANDSCAPE PLAN REQUIRED (CC)**

A landscape plan prepared by a qualified landscape architect or landscape consultant to a scale of 1:100 or 1:200, conforming to all relevant conditions of consent is to be submitted to the satisfaction of the Principal Certifying Authority with the Construction Certificate application.

The plan must include all landscaped areas and must provide the following information:

- i) details demonstrating compliance with SCDGP 2005 in relation to landscaping requirements;
- ii) location of all existing and proposed landscape features including materials to be used;
- iii) all trees to be retained, removed or transplanted;
- iv) existing and proposed finished ground levels;
- v) top and bottom wall levels for both existing and proposed retaining and free standing walls; and
- vi) a detailed plant schedule which includes proposed species listed by botanical (genus and species) and common names, quantities of each species, pot sizes and the estimated size at maturity. A minimum of 25% of species shall be locally sourced indigenous species. Species shall be predominantly selected from Council's Recommended Tree List.

Consideration within the design should be given to the scale of planting in proportion to the proposed development, consistency with the existing landscape character of the area, potential views, solar access and privacy for neighbouring development.

(Reason: Landscape quality.)

45. **LANDSCAPING - MAINTENANCE STRATEGY (CC)**

To ensure the survival of landscaping following works, a landscape maintenance strategy

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for the owner/occupier to administer over a 12 month establishment period following the issue of the Occupation Certificate shall be prepared and provided to the satisfaction of the Principal Certifying Authority with the Construction Certificate application. The strategy is to address maintenance issues such as, but not limited to plant survival, irrigation, soil testing, weeding, staking, fertilizing, remedial pruning and plant replacement.

(Reason: Ensure landscape survival.)

46. **LANDSCAPING ON SLAB (CC)**

To ensure the site landscaping thrives, the on slab landscaping shown on the approved landscaping plan is to be designed to include a minimum soil depth of 650mm for shrubs and trees; and 300mm for grass and ground covers. Adequate drainage provision and a permanent, automatic irrigation system conforming to Sydney Water requirements shall be included. Details demonstrating compliance shall be submitted to the Principal Certifying Authority with the Construction Certificate application.

(Reason: Ensure landscape survival.)

47. **SECTION 94 CONTRIBUTION PAYMENT - DIRECT CONTRIBUTIONS PLAN (CC)**

In accordance with the provisions of Section 94(1)(b) of the Environmental Planning and Assessment Act 1979 and the Strathfield Direct Development Contributions Plan 2010-2030, a contribution in the form of cash, cheque or credit card (financial transaction fee applies) shall be paid to Council for the following purposes:

Provision of Community Facilities	\$78,770.68
Provision of Major Open Space	\$358,383.03
Provision of Local Open Space	\$233,670.64
Provision Roads and traffic Management	\$21,889.11
Administration	\$6,792.20
TOTAL	\$699,505.67

The total amount of the contribution is valid as at the date of determination and is subject to quarterly indexation. Contributions shall be indexed at the time of payment in accordance with clause 2.14 of the Strathfield Direct Development Contributions Plan 2010-2030.

Contributions must be receipted by Council and submitted to the Accredited Certifier, prior to the issue of any Construction Certificate.

Please present a copy of this condition when paying the contribution at the Customer Service Centre so that it can be recalculated.

Note: A copy of Strathfield Council's Section 94 Direct Development Contributions Plan may be downloaded from Council's website.

(Reason: To enable the provision of public amenities and services required/anticipated as a consequence of increased demand resulting from the development.)

48. **SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)**

A security (damage deposit) of **\$33,000** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on

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the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

(Reason: Protection of Council infrastructure.)

49. **STORMWATER DRAINAGE (CC)**

The following stormwater precautions are required to be provided on the site:

- i) Grated drains shall be provided along the basement entry at the vehicular crossing(s) and are to connect to the internal drainage system.
- ii) Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site.
- iii) Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other properties
- iv) Boundary fencing shall be erected in such a manner as not to interfere with the natural flow of ground and surface water to the detriment of any other party.

(Reason: To ensure the site is drained appropriately and does not interfere with the natural flow of flood waters.)

50. **TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)**

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- i) description of the demolition, excavation and construction works;
- ii) site plan/s showing the site, roads, footpaths, site access points and vehicular movements;
- iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);
- iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;

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- v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;
- vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);
- vii) proposed hours of construction related activities and vehicular movements to and from the site;
- viii) current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority);
- ix) any activities proposed to be located or impact upon Council's road, footways or any public place;
- x) measures to maintain public safety and convenience;
- xi) any proposed road and/or footpath closures;
- xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;
- xiii) locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;
- xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);
- xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;
- xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;
- xvii) on-site parking area for employees, tradespersons and construction vehicles as far as possible;
- xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and
- xix) how it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

51. **TREE BONDS (CC)**

A tree bond of **\$3,300** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

(Reason: To ensure the protection of trees to be retained on Council's Road Reserve.)

52. **UTILITIES AND TELECOMMUNICATIONS - ELECTRICITY SUBSTATION (CC)**

Any required electricity substation must be located within the boundaries of the site. Documentary evidence of compliance with the energy authority's requirements, including

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correspondence from the energy authority is to be provided to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Where an electricity substation is required but no provision has been made to place it within the approved building or its site and no details are provided on the approved development consent plans, a section 96 application is required to be submitted to Council for approval of an appropriate location for the required electricity substation.

(Reason: Access to utility.)

53. VEHICULAR CROSSINGS - WORKS PERMIT FOR CONSTRUCTION OF (CC)

Full-width, heavy-duty concrete vehicular crossing(s) shall be provided across the footpath at the entrance(s) and/or exit(s) to the site and designed in accordance with Council's guidelines and specifications. In this regard, a Works Permit is to be obtained (available from Council's Customer Services Centre or downloaded from Council's website), and the appropriate fees and charges paid, prior to the lodgement of a Construction Certificate.

(Reason: To ensure appropriate access to the site can be achieved.)

54. VENTILATION SYSTEMS – MECHANICAL (CC)

The mechanical ventilation system is to comply with the following:

- i) The Building Code of Australia;
- ii) Protection of the Environment Operations Act 1997; and
- iii) Australian Standard AS1668-1991.

In addition, odour control measures, such as activated carbon or catalytic oxidisers, must be used to treat ventilation gases prior to discharge. The method of odour control must be designed by a suitably qualified mechanical ventilation engineer.

Details demonstrating compliance with the above are to be submitted to the Principal Certifying Authority, prior to the issue of a Construction Certificate.

(Reason: To ensure the mechanical ventilation system complies with the relevant requirements/standards.)

55. WASTE MANAGEMENT PLAN (CC)

A revised Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated and all proposals to re-use, recycle or dispose of the waste. The WMP is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: To ensure appropriate management of waste.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)

56. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

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No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
 - notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

57. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

58. CONTAMINATED LAND UNEXPECTED FINDS (DW)

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In the instance works cause the generation of odours or uncovering of unexpected contaminants works are to immediately cease, Council is to be notified and a suitably qualified environmental scientist appointed to further assess the site.

The contaminated land situation is to be evaluated by the supervising environmental consultant and an appropriate response determined in consultation with the applicant, which is agreed to by Strathfield Council's Environmental Services Manager.

Note: Council may also request that a NSW EPA accredited site auditor is involved to assist with the assessment of the contaminated land situation and review any new contamination information. The applicant must also adhere to any additional conditions which may be imposed by the accredited site auditor.

(Reason: To ensure compliance with statutory requirements.)

59. FILL MATERIAL (DW)

The only waste derived material which may be received at the development site is:

- i) Virgin excavated material (within the meaning of the Protection of the Environment Operations Act 1997), and
- ii) any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material.

Any (b)-type material received at the development site must be accompanied by documentation certifying by an appropriately qualified environmental consultant the materials compliance with the exemption conditions; and this documentation must be provided to the Principal Certifying Authority on request.

(Reason: To ensure imported fill is of an acceptable standard for environmental protection purposes.)

60. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

61. PUBLIC INFRASTRUCTURE AND SERVICES (DW)

The applicant must comply with the requirements (including financial costs) of any relevant utility provider (e.g. Energy Australia, Sydney Water, Telstra, RMS, Council etc.) in relation to any connections, works, repairs, relocation, replacements and/or adjustments to public infrastructure or services affected by the development.

(Reason: To maintain public infrastructure and/or services.)

62. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

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- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

63. SURVEY REPORT OF APPROVED LEVELS DURING AND POST CONSTRUCTION (DW)

A Survey Certificate to Australian Height Datum shall be prepared by a Registered Surveyor as follows:

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

- i) At the completion of the first structural floor level prior to the pouring of concrete indicating the level of that floor and the relationship of the building to the boundaries.
- ii) At the completed height of the building, prior to the placement of concrete inform work, or the laying of roofing materials.
- iii) At the completion of the development.

Progress certificates in response to points (1) through to (3) shall be provided to the Principal Certifying Authority at the time of carrying out relevant progress inspections. Under no circumstances is work allowed to proceed until such survey information is submitted to and approved by the Principal Certifying Authority.

(Reason: To ensure compliance with the approved plans.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)

64. CAR PARKING - SURPLUS VEHICULAR CROSSINGS (OC)

All surplus vehicular crossings and/or kerb laybacks must be removed and reinstated with concrete kerb and gutter or to the existing edging profile as specified by Council. The nature strip is to be restored and the footpath area reinstated. All of the above are to be restored to the satisfaction of Council's Engineer and at full cost to the applicant, prior to the issue of any Occupation Certificate.

(Reason: Maintenance of public infrastructure.)

65. CAR PARKING - VISITOR CAR PARKING SIGNAGE (OC)

A sign shall be erected in a suitable location on the property near the driveway entrance indicating where visitor parking is available on the site. Signage shall also be erected above the visitor parking itself. Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: Adequate access and egress.)

66. DRAINAGE SYSTEM - MAINTENANCE OF EXISTING SYSTEM (OC)

Where elements of the existing drainage system are to be utilised, the existing drainage system shall be overhauled and maintained clear of silt and accumulated debris. Silt and the like shall be removed, not flushed from the system.

A certificate shall be provided by a suitably qualified person (a registered plumber or a person of equivalent or greater experience or qualification) to the satisfaction of the Principal Certifying Authority, prior to the issue of any Occupation Certificate to confirm that the system is in good working order and adequate to accept additional flows having regard to any relevant standards and/or Sydney Water requirements.

(Reason: Maintenance and environment.)

67. ENGINEERING WORKS (CERTIFICATION OF)

Prior to occupation of the premises, a Work As Executed (WAE) Plan of all engineering and/or drainage works is to be submitted to the Principal Certifying Authority. The WAE Plan is to be certified by a suitably Qualified Engineer, with Corporate Membership standing in

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

the Institution of Engineers Australia and registered on the National Professional Engineers Register (NPER) under the appropriate professional category, demonstrating that:

- i) the stormwater drainage system; and/or
- ii) the car parking arrangement and area; and/or
- iii) any related footpath crossing works; and/or
- iv) the proposed basement pump and well system; and/or
- v) the proposed driveway and layback; and/or
- vi) any other civil works

have been constructed in accordance with the approved plans and any relevant Standards and Council policies/specifications.

For major works, such as subdivisions, works within the road reserve (requiring separate S138 approval) and as where specified by Council, a Part 4A Certificate will be required. It is strongly recommended that an Engineer supervise all engineering related works.

Where Council is not the Principal Certifying Authority, an electronic copy of the above documents is to be provided to Council, prior to the issue of any Occupation Certificate.

(Reason: Asset management.)

68. **FIRE SAFETY CERTIFICATION (OC)**

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

An fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- i) has been assessed by a properly qualified person; and
- ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

A copy of the fire safety certificate and fire safety schedule shall be:

- i) submitted to Strathfield Council;
- ii) submitted to the Commissioner of the New South Wales Fire Brigade; and
- iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

69. **LANDSCAPING - ARBORIST'S FOLLOW UP REPORT OF TREE/S TO BE RETAINED (OC)**

As part of the on-going assessment of the tree/s to be retained, the consulting arborist engaged by the applicant is to assess their health and any impacts suffered by them as a result of the proposed approved development, prior to the issue of an Occupation Certificate. Findings are to be compiled in a detailed report and submitted to the Principle Certifying Authority, which documents the following:

- i) methods of excavation or construction used to carry out the works;
- ii) any damage sustained by the tree/s as a result of the works;
- iii) any subsequent remedial works required to be carried out by the consulting arborist as a result of the damage; and
- iv) any future or on-going remedial work required to be carried out to ensure the long term retention of the tree/s.

(Reason: To ensure the survival of trees to be retained.)

70. **OCCUPATION OF BUILDING (OC)**

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

(Reason: Statutory requirement.)

71. **RAINWATER TANKS (OC)**

Rainwater tanks must be installed on residential properties by a suitably qualified and licensed plumber and in accordance with the following:

- i) Australian/New Zealand Standard AS/NZS 3500:2003;
- ii) NSW Code of Practice Plumbing and Drainage, 2006 produced by Committee on Uniformity of Plumbing and Drainage Regulations in NSW (CUPDR); and
- iii) Council's rainwater tank policy.

Details demonstrating compliance with this condition are to be submitted to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

(Reason: To protect public health and amenity.)

72. **STORMWATER - CERTIFICATION OF THE CONSTRUCTED DRAINAGE SYSTEM (OC)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

Occupation Certificate.

(Reason: Adequate stormwater management.)

73. WORKS ZONE - APPROVAL BY COUNCIL'S TRAFFIC COMMITTEE (CC)

An application for a 'Works Zone' must be submitted to and approved by the Strathfield Council Traffic Committee prior to the commencement of any site work (including demolition).

The suitability of the proposed length and duration of the Works Zone is to be demonstrated in the application for the Works Zone. The application for the Works Zone must be submitted to Council at least six (6) weeks prior to the commencement of work on the site to allow for assessment and tabling of agenda for the Strathfield Council Traffic Committee.

The requirement for a Works Zone may be varied or waived only if it can be demonstrated in the Construction Traffic Management Plan (to the satisfaction of Council) that all construction related activities (including all loading and unloading operations) can and will be undertaken wholly within the site. The written approval of Council must be obtained to provide a Works Zone or to waive the requirement to provide a Works Zone prior to the commencement of any site work.

(Reason: Council requirement.)

74. STORMWATER - COVENANT AND RESTRICTION AS TO USER FOR STORMWATER CONTROLLED SYSTEMS (OC)

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility on-site detention.

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

(Reason: To ensure the on-site detention and/or pump system is maintained to an appropriate operational standard.)

75. VENTILATION SYSTEMS – MECHANICAL (OC)

The mechanical ventilation system is to comply with the following:

- i) The Building Code of Australia;
- ii) Protection of the Environment Operations Act 1997; and
- iii) Australian Standard AS1668-1991.

In addition, odour control measures, such as activated carbon or catalytic oxidisers, must be used to treat ventilation gases prior to discharge. The method of odour control must be designed by a suitably qualified mechanical ventilation engineer.

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

At the completion of the installation of the mechanical exhaust ventilation system, a certificate from a practising mechanical engineer shall be submitted to the Principal Certifying Authority, prior to issue of the Occupation Certificate demonstrating compliance with the above.

(Reason: To ensure the mechanical exhaust ventilation system complies with the relevant requirements/standards.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE (SC)

76. SEPARATE APPLICATION FOR STRATA SUBDIVISION (SC)

This consent does not imply approval to create a separate title, by subdivision or otherwise. Should it be intended to subdivide the approved development into strata title allotments, Council will require the lodgement of a separate development application for consideration.

(Reason: To ensure compliance with the consent.)

77. SUBDIVISION CERTIFICATE - REQUIREMENTS PRIOR TO THE ISSUE OF (SC)

A Subdivision Certificate allows a person to lodge a plan of subdivision with NSW Land and Property Information (LPI). The plan of subdivision identifies each of the allotments approved under the original consent (if required) or each allotment subject to an exempt boundary adjustment. The plan of subdivision is required to be prepared by a registered surveyor.

All types of subdivision (Torrens, Strata and Community Title) are required to be registered with NSW LPI before a new 'allotment' of a subdivision of land can be created.

The release of a Subdivision Certificate confirms that the Principal Certifying Authority (Council or Accredited Certifier) is satisfied that works are completed in accordance with the applicable Development Consent and that the land is suitable to occupy.

Prior to the issuing of any Subdivision Certificate under section 37A of the Strata Schemes (Freehold Development) Act 1973, and section 66A of the Strata Schemes (Leasehold Development) Act 1986, and in accordance with section 29A of the Strata Schemes (Freehold Development) Regulation 2007 and section 30A of the Strata Schemes (Leasehold Development) Regulation 2007, the PCA is required to be satisfied that:

- i) the floors, external walls and ceilings depicted in the proposed strata plan for the building correspond to those of the building as constructed;
- ii) the floors, external walls and ceilings of the building as constructed correspond to those depicted in the building plans that accompanied the construction certificate for the building; and
- iii) any facilities required by the relevant development consent (such as parking spaces, terraces and courtyards) have been provided in accordance with those requirements.

As construction of the building nears completion, or after it has been completed, the Principal Certifying Authority must inspect the building and the common property areas around the building, so as to be satisfied, as required by section 66AA of the Act, that the above requirements have been met.

The Principal Certifying Authority shall also be satisfied that:

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent or complying development certificate have been met.

The Subdivision Certificate must not be issued until the Principal Certifying Authority has issued the Final Occupation Certificate in relation to the approved development.

(Reason: Statutory requirements.)

78. SUBDIVISION - LODGEMENT OF FINAL PLAN OF SUBDIVISION (SC)

Once a Subdivision Certificate is issued by the Principal Certifying Authority, the Final Plan of Subdivision must be registered with Land and Property Information. Documentary evidence that the linen plan has been registered with Land and Property Information must be submitted to Strathfield Council as soon as practicable.

(Reason: Statutory requirement.)

79. SYDNEY WATER - SECTION 73 CERTIFICATE (SC)

A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained before the issue of the Subdivision Certificate. An application must be made through an authorised Water Servicing Coordinator (refer www.sydneywater.com.au).

Following receipt of the application a 'Notice of Requirements' will be issued detailing water and sewer extensions to be built and charges to be paid. Please make early contact with the Water Servicing Coordinator, as building of water/sewer extensions can be time consuming and may impact on other services and building, driveway or landscape design.

Sydney Water written advice that you have obtained the Notice of Requirements must be submitted to the Principal Certifying Authority

The Section 73 Compliance Certificate must be submitted to the Principal Certifying Authority prior to release of the Subdivision Certificate /any occupation of the premises.

(Reason: To comply with the statutory requirements of Sydney Water.)

80. UTILITIES - ELECTRICITY SUBSTATION DEDICATION AS ROAD AND/OR EASEMENT FOR ACCESS (SC)

Where an electricity substation is provided on the site adjoining the road boundary, the area within which the electricity substation is located must be dedicated as public road, free of cost to Council. The size and location of the electricity substation is to be in accordance with the requirements of the appropriate energy authority and Council. The opening of any access doors shall not intrude onto any public road (footway or road pavement).

Where access to the electricity substation is required from a public place and across the site, an easement for access across the site from the public place must be created upon the final plan of subdivision burdening the subject site and benefiting the Crown in right of New South Wales and any Statutory Corporation requiring access to the electricity substation.

The above details must be included on the final plan of subdivision, prior to the release of the Subdivision Certificate.

19-23 Smallwood Avenue, Homebush
Lot 1 & 2 DP 312801 & Lot A 311140
(Cont'd)

(Reason: Formalisation of access to utility.)

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)

81. FIRE SAFETY ANNUAL STATEMENT (OU)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

- i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and
- ii) Prominently displayed in the building.

(Reason: Fire safety)

82. NOISE - COMPLIANCE WITH ACOUSTIC ASSESSMENT REPORT (OU)

All recommendations contained in the approved Acoustic Assessment Report prepared by Acoustic Noise and Vibration Solutions dated 21 April 2017 shall be adopted, implemented, and adhered to.

The Principal Certifying Authority (PCA) shall obtain a statement from an appropriately qualified acoustic consultant, certifying that the acoustic mitigation measures outlined in the above stated report have been suitably incorporated into the development and that relevant noise criteria have been satisfied prior to the issue of any Occupation Certificate.

Any changes made to the proposal that would alter the acoustic assessment will require a further acoustic assessment and a copy of this further report shall be provided to Council for approval prior to the commencement of works and any recommendations adopted, implemented, and adhered to.

(Reason: Noise control and amenity.)

83. VISITOR PARKING RESTRICTION (OU)

All visitor parking spaces must not at any time be allocated sold or leased to an individual owner/occupier and must be strictly retained as common property by the Owners Corporation.

(Reason: Compliance with approved visitor parking provision.)

ATTACHMENTS

1. Architectural Plans

19-23 SMALLWOOD AVENUE HOMEBUSH - DEVELOPMENT APPLICATION

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DRAWING N.	DRAWING NAME
DA001	COVER
DA1001	SITE LOCATION & ANALYSIS
DA1002	SITE PLAN / ROOF PLAN
DA2001	BASEMENT 2
DA2002	BASEMENT 1
DA2003	GROUND FL
DA2004	LEVEL 1
DA2005	LEVEL 2
DA2006	LEVEL 3
DA2007	LEVEL 4
DA2008	LEVEL 5
DA2009	LEVEL 6
DA2010	ROOF PLAN
DA2901	GFA DIAGRAMS
DA2902	SHADOW DIAGRAMS 21ST JUNE 9AM - 12PM
DA2903	SHADOW DIAGRAMS 21ST JUNE 01PM - 03PM
DA2904	VIEWS FROM THE SUN
DA2905	GROUND FL - SWEEP PATHS
DA3001	NORTH ELEVATION
DA3002	SOUTH ELEVATION
DA3003	EAST ELEVATION
DA3004	WEST ELEVATION
DA3005	STREETSCAPE
DA4001	SECTION A
DA4002	SECTION B
DA 5001	DEMOLITION PLAN
DA 5001	FINISHES SCHEDULE
DA 5001	PERSPECTIVE
DA 5002	SCAFFOLDING PLAN

PROPOSAL COMPLIANCE				
TOTAL SITE AREA		1533 m ²		
CONTROL				
GROSS FLOOR AREA (GFA)		MAX ALLOWABLE	PROPOSED	COMPLIES
FLOORSPACE RATIO (FSR)		2.0 : 1	2.0 : 1	YES
BUILDING HEIGHT		22m	22m	NO *
CONTROL				
SOLAR ACCESS		70% MIN. REQUIRED	79%	YES
CROSS VENTILATION		25.8 UNITS	30	YES
COMMON OPEN SPACE		25% 383.3 m ²	479m ²	YES
DEEP SOIL		35% 230.0 m ²	347m ²	YES
ADAPTABLE UNITS		15% 6.45 UNITS	7 UNITS	YES
CONTROL				
CARPARKING - RMS		UNITS	MIN REQUIRED	COMPLIES
0.5 SPACE / 1 BED UNIT		10	6	
0.5 SPACE / 2 BED UNIT		20	27	
1.0 SPACE / 3 BED UNIT		7	8.2	
VISITOR - 1 SPACE / 5 UNITS		43	8.4	
TOTAL		45.8	48 PROVIDED	YES
ACCESSIBLE CAR PARKING		7 SPACES (15%)	7 PROVIDED	YES
BICYCLE SPACES - RESIDENTIAL		10.75	12 PROVIDED	YES

SOLAR	CROSS-FLOW
5	5
5	5
5	5
5	5
5	5
4.5	5
4.5	5
29	30
79%	81%



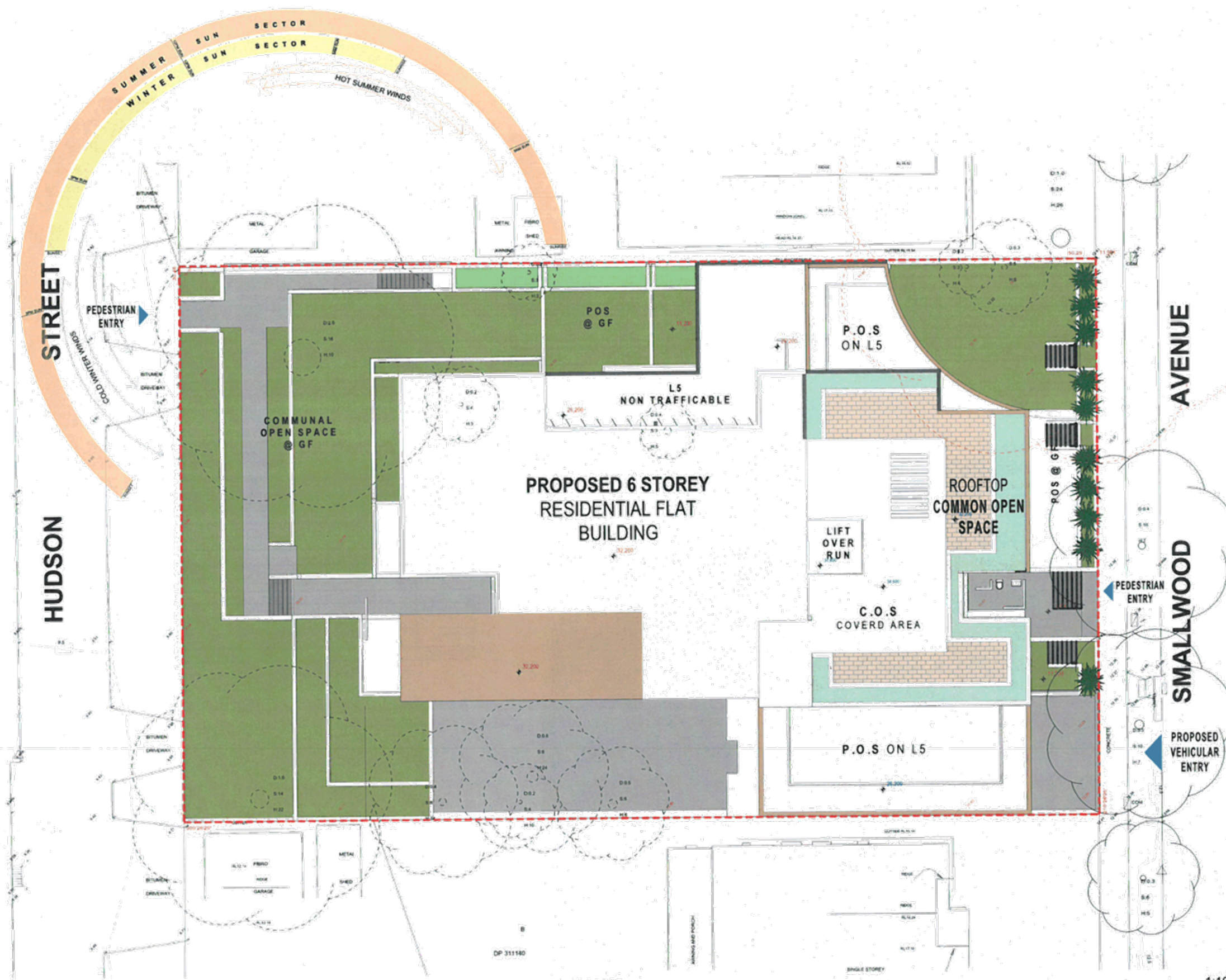
LEVEL	1 BED	2 BED	3 BED	TOTAL	GFA TOTAL	
Ground	2	4.5		6.5	LEVEL	
1	2	4.5		6.5	GROUND	
2	2	4	1	7	1	
3	2	5		7	2	
4	2	5		7	3	
6	0	3.5	1	4.5	4	
7	0	3.5	1	4.5	5	
TOTAL	0	10	30	43	6	
PERCENT	0%	19%	70%	7%	100%	TOTAL
						3065

19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING
 DEVELOPMENT APPLICATION
 DA001

Drawing Title: COVER
 Date of Issue: 22/09/2017
 Drawn: TV
 Checked: ZB
 Scale: 1:1, 1:0
 Project Number: 17018
 Date:

URBAN LINK
 Business Address: Level 10, 11-15 Deane Street, Surry Hills NSW 2010
 Postal Address: PG BOX 2223 Burwood NSW 1586
 Phone Number: +61 2975 2014
 Fax Number: +61 2975 2014
 GST Number: 15 623 623 623
 ABN: 62 623 623 623

Geoff URBAN LINK PTY LTD
Note: CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.



HOUSE
19-23 Smallwood Avenue
Homebush NSW 1514
7140

2014/0000
Robert Mapham
29 April 2017

D. MAJOR AMENDMENTS	2009/22
C. AMENDED TO COUNCIL LETTER 06/02/17	2009/17
B. DA SUBMISSION	2009/17
A. PRELIMINARY	2009/17
Project Description	Date

19-23 SMALLWOOD AVENUE
HOMEBUSH
RESIDENTIAL FLAT BUILDING

URBAN LINK
Business Address: Level 10, 11-15 Deane Street, Surbont NSW 2154
Postal Address: PO BOX 2223 Surbont NSW 2154
Phone Number: +61 2916 2014
National Architects
2nd Storey: Reg no 6106
1st Storey: Reg no 6102

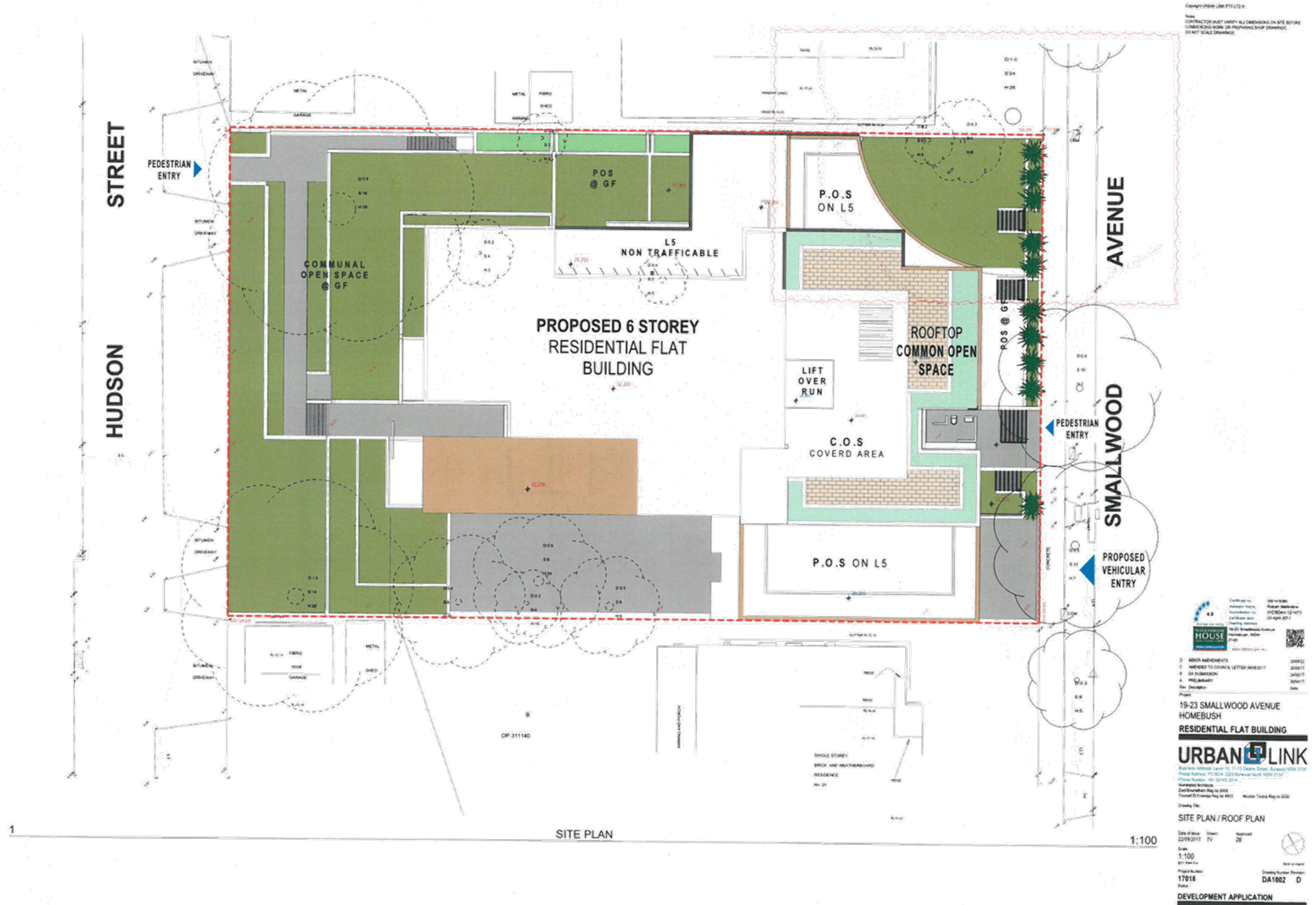
Drawing Title: **SITE LOCATION & ANALYSIS**

Date of Issue: 22/09/2017
Drawn: TV
Approved: ZB

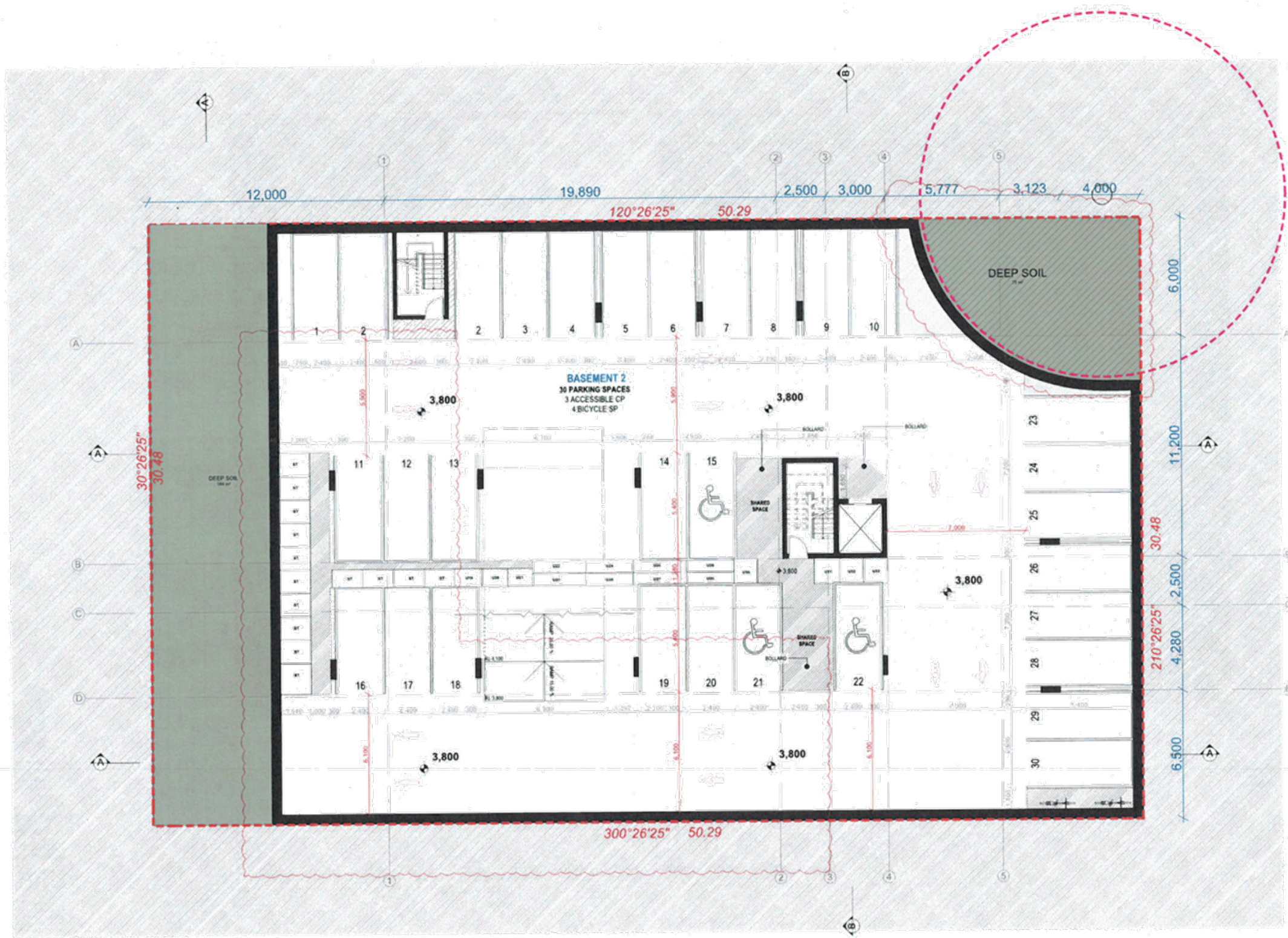
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Project Number: 17018
Drawing Number: DA1001 D

DEVELOPMENT APPLICATION



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AMENDMENTS, ISSUE C
 NO ENCROACHMENT INTO TPZ
 VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST


 Robert Mulline
 19-23 Smallwood Avenue
 Homebush NSW 2140
 Phone: +61 2943 2014
 Email: robert@urbalink.com.au

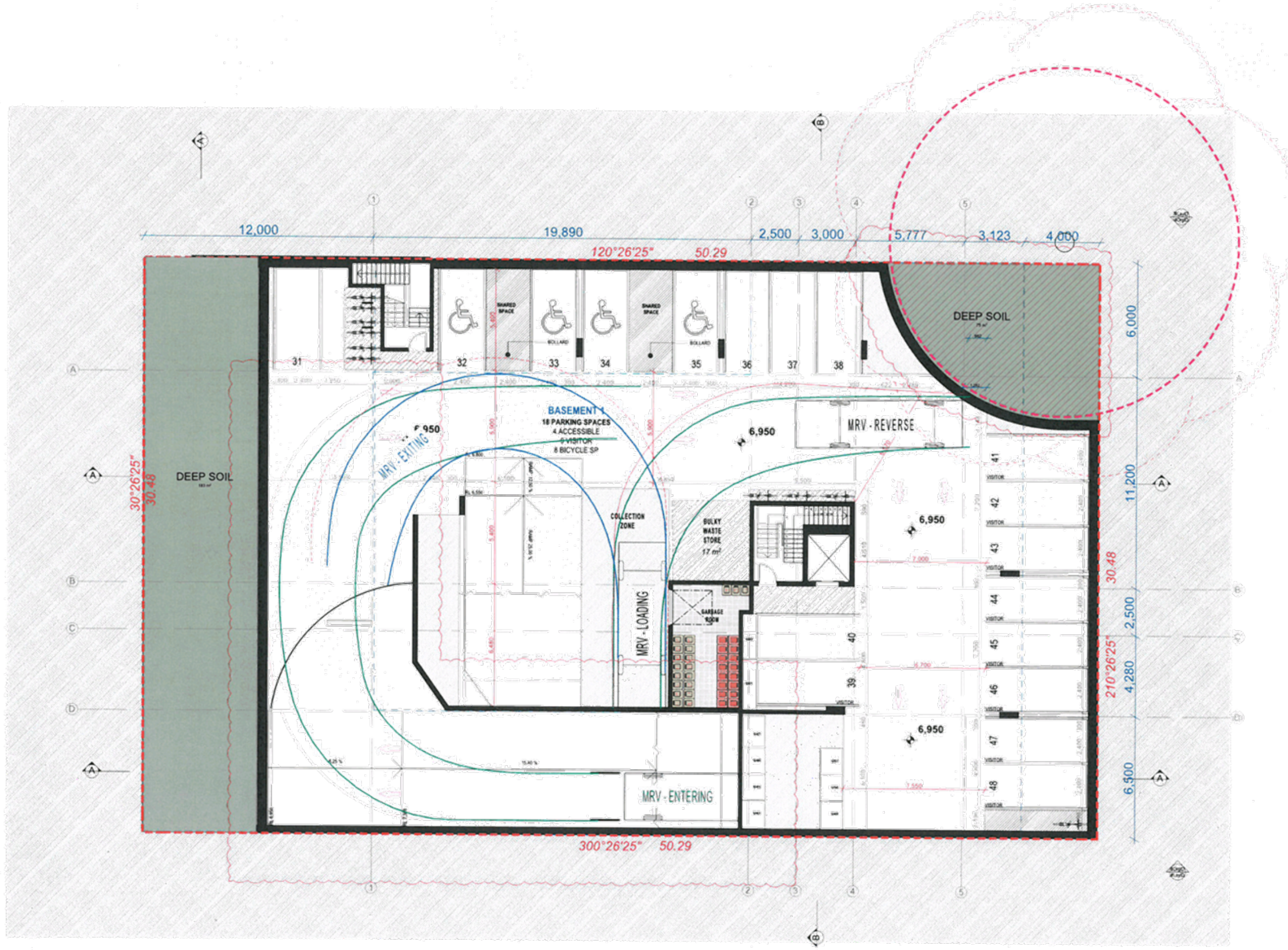
D. AMENDMENTS	20/09/17
C. AMENDED TO COUNCIL LETTER 19/08/17	20/09/17
B. DA SUBMISSION	24/08/17
A. PRELIMINARY	20/04/17
Prepared	Date

19-23 SMALLWOOD AVENUE
 HOMEBUSH
RESIDENTIAL FLAT BUILDING

 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Telephone: +61 2943 2014
 Fax: +61 2943 2014
 Zoned Burwoodham Reg No 8598
 Council of Kingsmead Reg No 9553
 Drawing Title:

Date of Issue	22/09/2017	Drawn	TY	Approved	ZB
Scale	1:100				
Project Number	17018	Drawing Number	DA2001 D		

DEVELOPMENT APPLICATION



DEVELOPER: URBAN LINK PTY LTD
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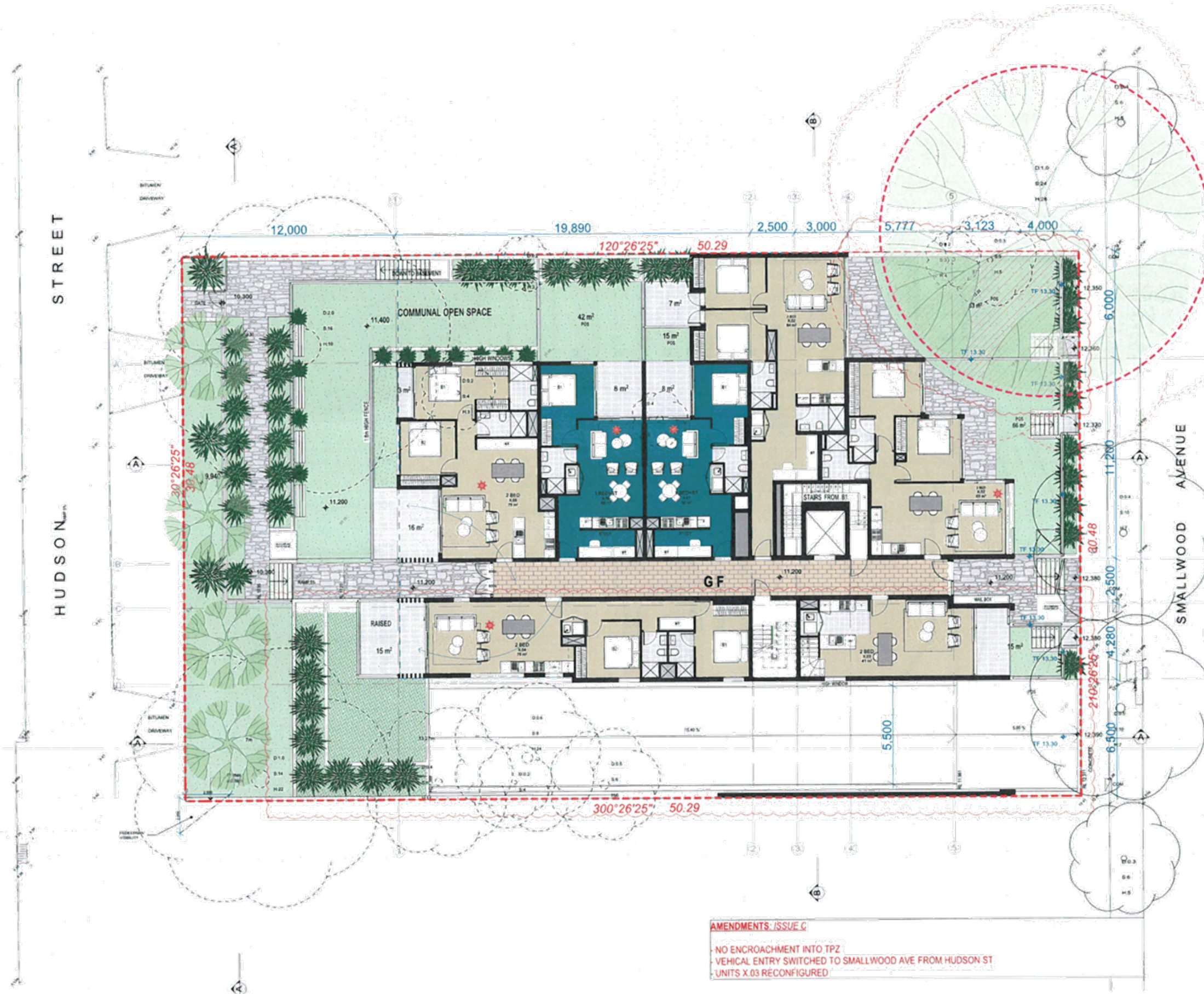
4.3	19-23 Smallwood Avenue Homebush NSW 2142	19-23 Smallwood Avenue Homebush NSW 2142
D - MINOR AMENDMENTS	20/6922	20/6922
C - AMENDED TO COUNCIL LETTER 08/16/2017	20/6917	20/6917
B - DA SUBMISSION	20/6917	20/6917
A - PRELIMINARY	20/6417	20/6417
Rev. Description	Date	Date

19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11-15 Deane Street, Brisbane, QLD 4000
 Postal Address: PO BOX 2223, Brunswick North, NSW 1570
 Phone Number: +61 29743 2014
 Homebased Activities: Call Homebush Reg to 8555, Homebush Reg to 8553, Homebush Reg to 8554

AMENDMENTS, ISSUE C
 - NO ENCROACHMENT INTO TPZ
 - VEHICULAR ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST.

BASEMENT 1
 Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB
 Scale: 1:100
 Project No: 17018
 Drawing Number: DA2002
 Revision: D
 DEVELOPMENT APPLICATION



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48
 19-23 Smallwood Avenue
 Homebush NSW 2140
 Phone Number: +61 29745 2014

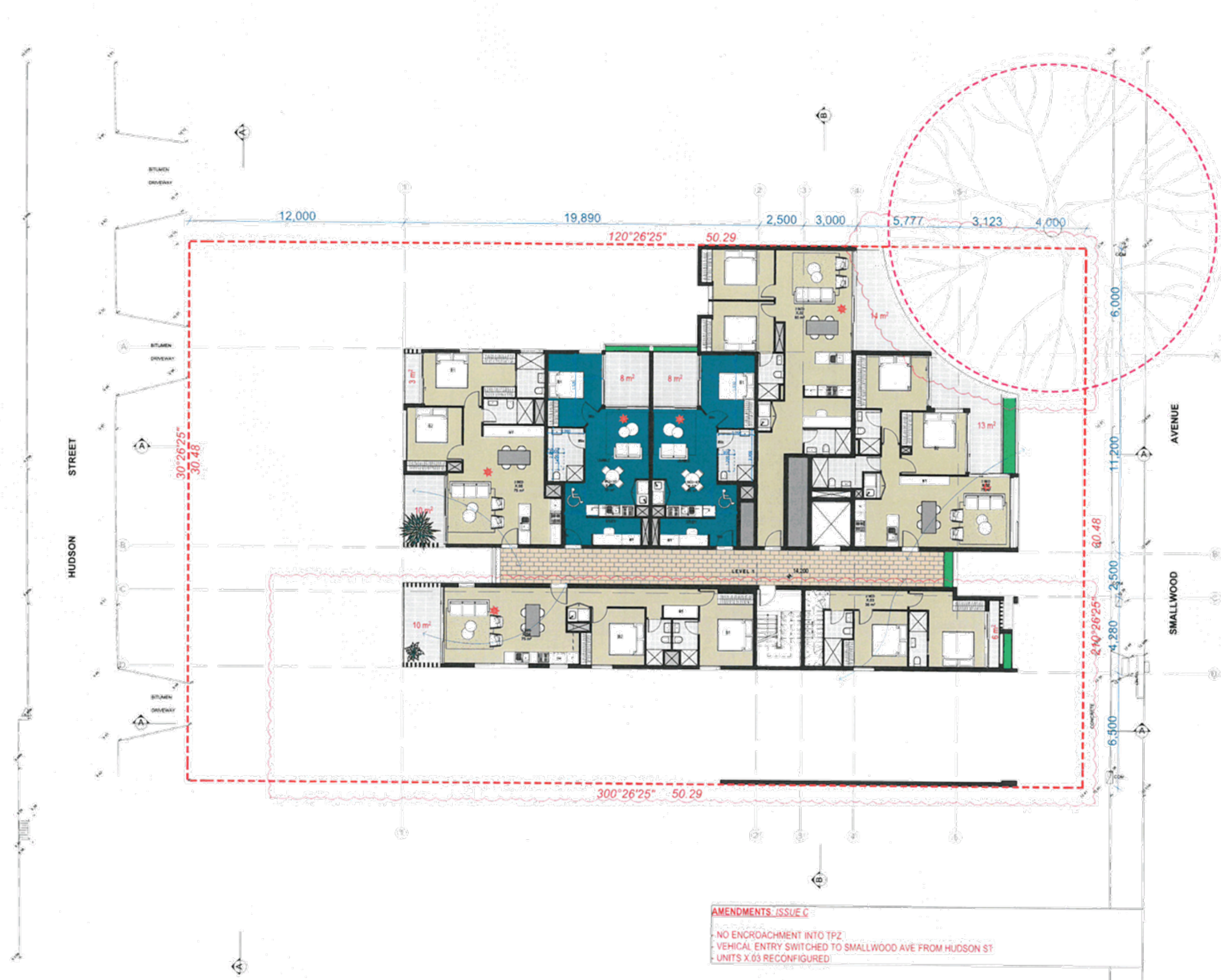
Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11111 Dore Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29745 2014

Drawn by: [Name]
 Checked by: [Name]
 Date: [Date]

Development Application
 DA2003 D

AMENDMENTS - ISSUE C
 NO ENCROACHMENT INTO TPZ
 VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST
 UNITS X.03 RECONFIGURED



GROUP 1/URBAN LINK PTY LTD
 Note:
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE
 COMMENCING WORK OR PREPARING SHOP DRAWINGS
 DO NOT SCALE DRAWINGS

AMENDMENTS - ISSUE C
 - NO ENCROACHMENT INTO TPZ
 - VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST
 - UNITS X.03 RECONFIGURED

URBAN LINK
 Business Address: Level 10, 11-13 Deane Street, Strathfield NSW 2159
 Postal Address: PO BOX 2223 Strathfield NSW 2159
 Phone Number: +61 29745 2114
 Fax Number: +61 29745 2114
 Email: info@urbanlink.com.au
 Website: www.urbanlink.com.au

Issue	Description	Date
D	MINOR AMENDMENTS	20/09/17
C	AMENDED TO COUNCIL LETTER (04/02/17)	20/09/17
B	FOR SUBMISSION	24/05/17
A	PRELIMINARY	28/04/17

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11-13 Deane Street, Strathfield NSW 2159
 Postal Address: PO BOX 2223 Strathfield NSW 2159
 Phone Number: +61 29745 2114
 Fax Number: +61 29745 2114
 Email: info@urbanlink.com.au
 Website: www.urbanlink.com.au

Drawing Title:
LEVEL 1

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

Scale:
 1:100

Project Number:
 17018

Drawing Number: DA2004
 Revision: D

DEVELOPMENT APPLICATION

DEVELOPER: URBAN LINK PTY LTD
 CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS. DO NOT SCALE DRAWINGS.



4.8
 HOUSE
 19-23 Smallwood Avenue
 Homebush, NSW
 2140

Robert Mulrooney
 VIGOROUS 12/14/15
 20 August 2017

D - ARCH AMENDMENTS	20/09/17
C - AMENDED TO COUNCIL LETTER 16/08/2017	20/09/17
B - DA SUBMISSION	20/09/17
A - PRELIMINARY	20/09/17
Rev. Description	Date

Project
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11-13 Crane Street, Bowral, NSW 2576
 Postal Address: PO BOX 3223 Strathfield North, NSW 2156
 Phone Number: +61 29543 2014

Registered Architects:
 Zaid Brannan Reg No 8958
 Tarek El Khazragi Reg No 8953
 Nicole Treda Reg No 9336

Drawing Title
LEVEL 2

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

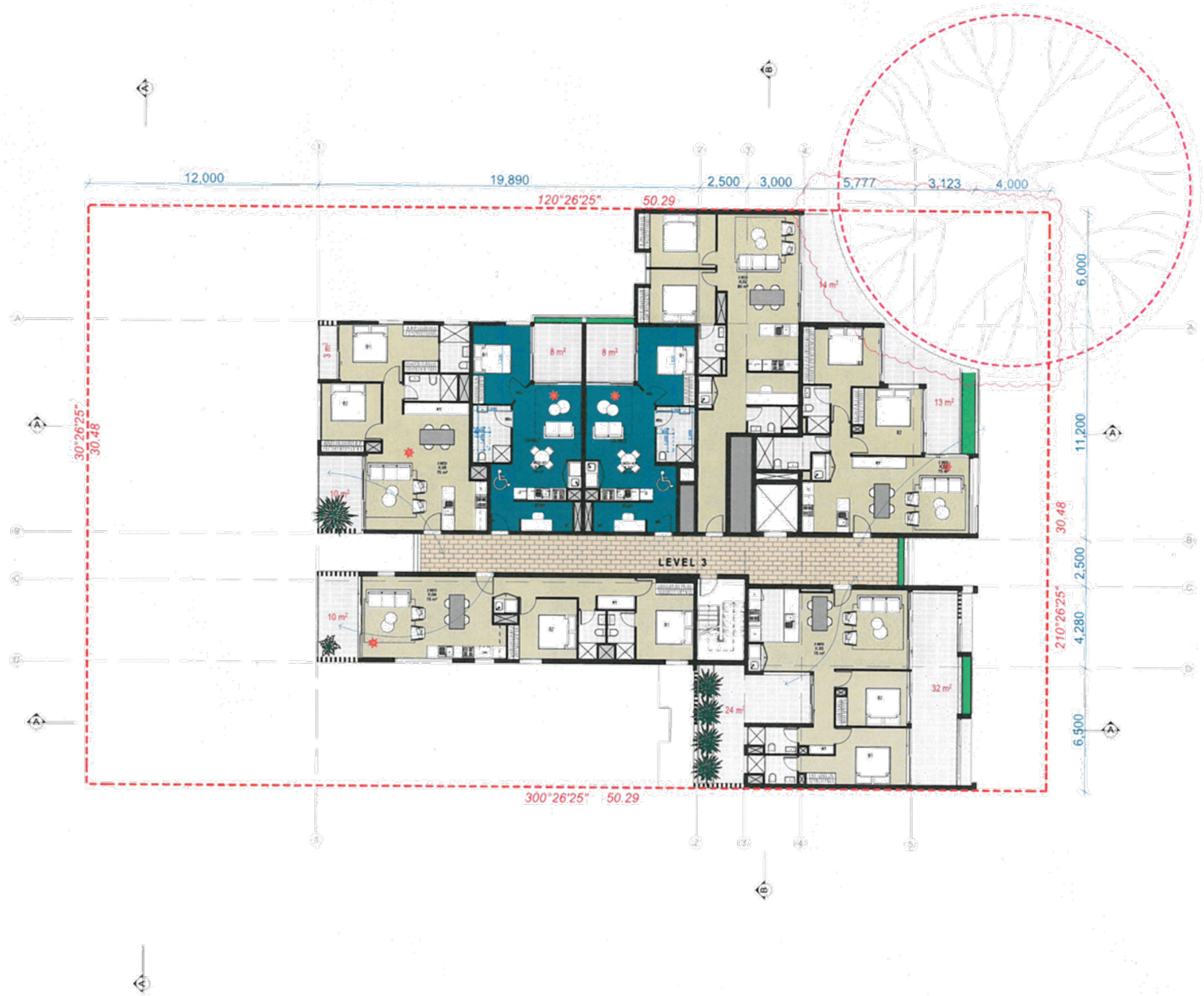
Scale:
 1:100
 A1 (per A3)

Project Number:
17018

Drawing Number: Revised
DA2005 D

DEVELOPMENT APPLICATION

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4.8
HOUSE
 19-23 Smallwood Avenue
 Homebush, NSW
 2148
 www.house.com.au

URBAN LINK
 Business Address: Level 10, 11-15 Deane Street, Burwood NSW 2134
 Phone Number: +61 2945 2014
 Homebush Address: Zari Burwood Pty AC 8058
 Financial ID (Vendor Reg No): 8058 Mobile: Tasha Reg No: 8238

LEVEL 3

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

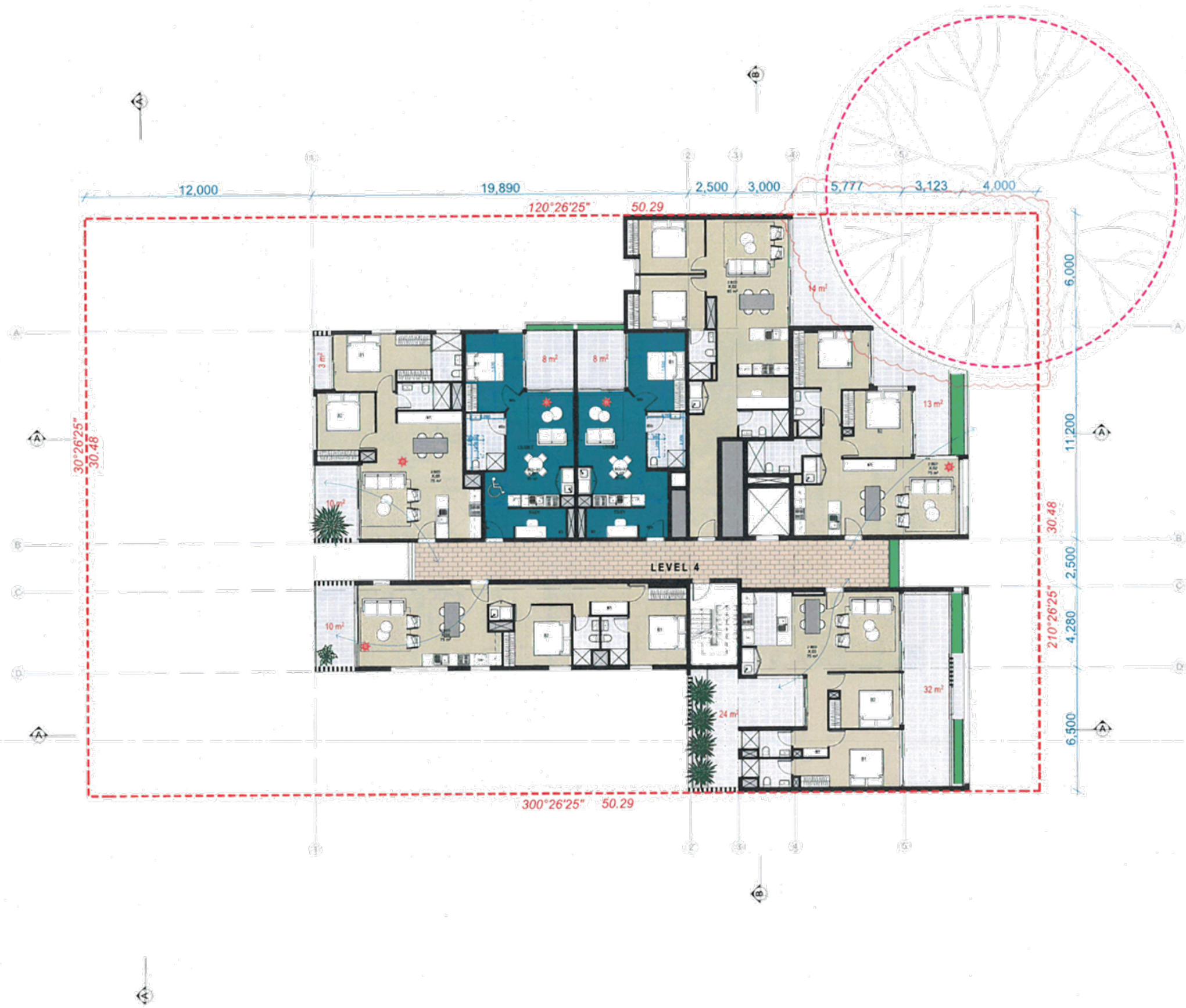
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 Project Number: 17016
 Drawing Number: DA2006
 Status: D

DEVELOPMENT APPLICATION

MINOR AMENDMENTS 20/05/17
 AMENDED TO COUNCIL LETTER 04/06/17 20/05/17
 DA SUBMISSION 24/05/17
 PRELIMINARY 20/04/17
 Date: 20/04/17

19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

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4.9
 HOUSE
 19-23 Smallwood Avenue
 Homebush, NSW
 2142

2	NEW ASSESSMENTS	2017/2
3	ASSESSED TO COUNCIL LETTER 19/02/2017	2016/17
3	DA SUBMISSION	2016/17
4	PRELIMINARY	2014/17

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11-12 Drake Street, Surry Hills NSW 2158
 Postal Address: PO BOX 2222 Surry Hills NSW 2158
 Phone Number: +61 2 9743 2014
 Approved Architects:
 Chad Bourne and Ray Mc Rost
 Michael Tuckey Reg no 8336

Drawing Title:
LEVEL 4

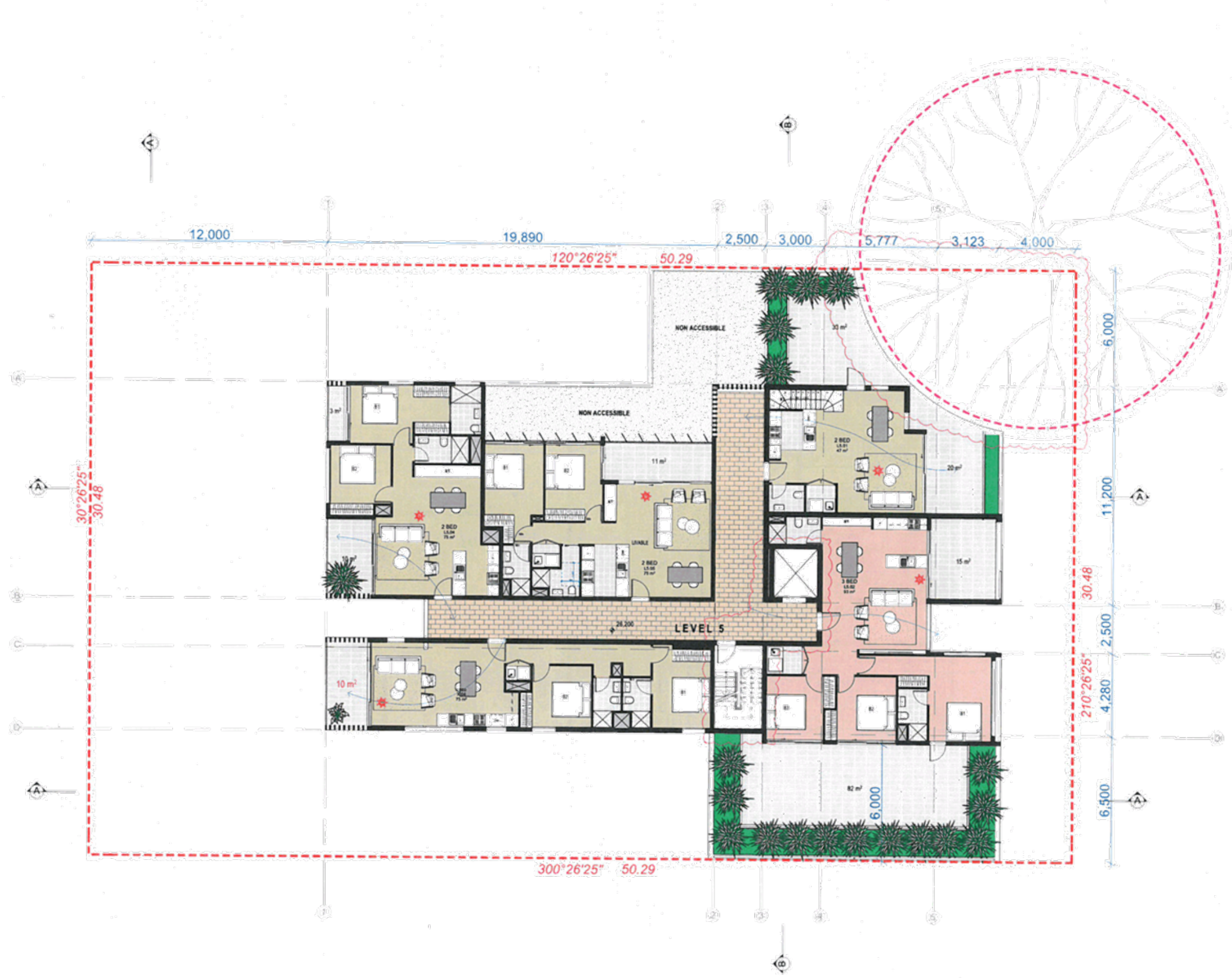
Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

Scale:
 1:100

Project Number:
 17018

Drawing Number/Revision:
 DA2007 D

DEVELOPMENT APPLICATION



Design: URBAN LINK PTY LTD
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AMENDMENTS - ISSUE C
 - NO ENCROACHMENT INTO TPZ
 - VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST
 - UNITS 5.03 RECONFIGURED

HOUSE	2017/16381
Application Name	Robert Matheson
Submission No.	10/2017/12-1475
Submission Date	22 April 2017
Project Address	19-23 Smallwood Avenue Homebush NSW 2140
Project Name	19-23 Smallwood Avenue Homebush NSW 2140
Project Description	Residential Flat Building
Project Status	DA
Project Stage	DA
Project Type	DA

19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK

Business Address: Level 50, 11-15 Deane Street, Burwood NSW 2134
 Postal Address: PO BOX 2222 Burwood NSW 2134
 Phone Number: +61 29743 2014
 Fax Number: +61 29743 2014
 GST Number: 150 623 420
 ABN: 15 000 623 420
 URBAN LINK PTY LTD
 17018
 08/10/17

Drawing Title:
LEVEL 5

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

Scale:
 1:100

Project Number:
 17018

Station:
 DA2006 D

DEVELOPMENT APPLICATION

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AMENDMENTS - ISSUE C
 NO ENCROACHMENT INTO TPZ
 VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST
 UNITS 5 03 RECONFIGURED

HOUSE
 19-23 Smallwood Avenue
 Homebush NSW 2140
 www.house.com.au

URBAN LINK
 Business Address: Level 10, 11-13 Drake Street, Strathfield NSW 2134
 Postal Address: PG BOX 2223 Strathfield NSW 2134
 Phone Number: +61 25743 2014
 Registered Architects:
 Zach Blomfield Reg no 8508
 Trudal El Khoury Reg no 8931
 Nicole Tuckey Reg no 8338

Rev	Description	Date
B	MINOR AMENDMENTS	20/09/17
C	AMENDED TO COUNCIL LETTER 09/09/2017	20/09/17
D	DA SUBMISSION	20/09/17
A	PRELIMINARY	20/04/17

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

LEVEL 6

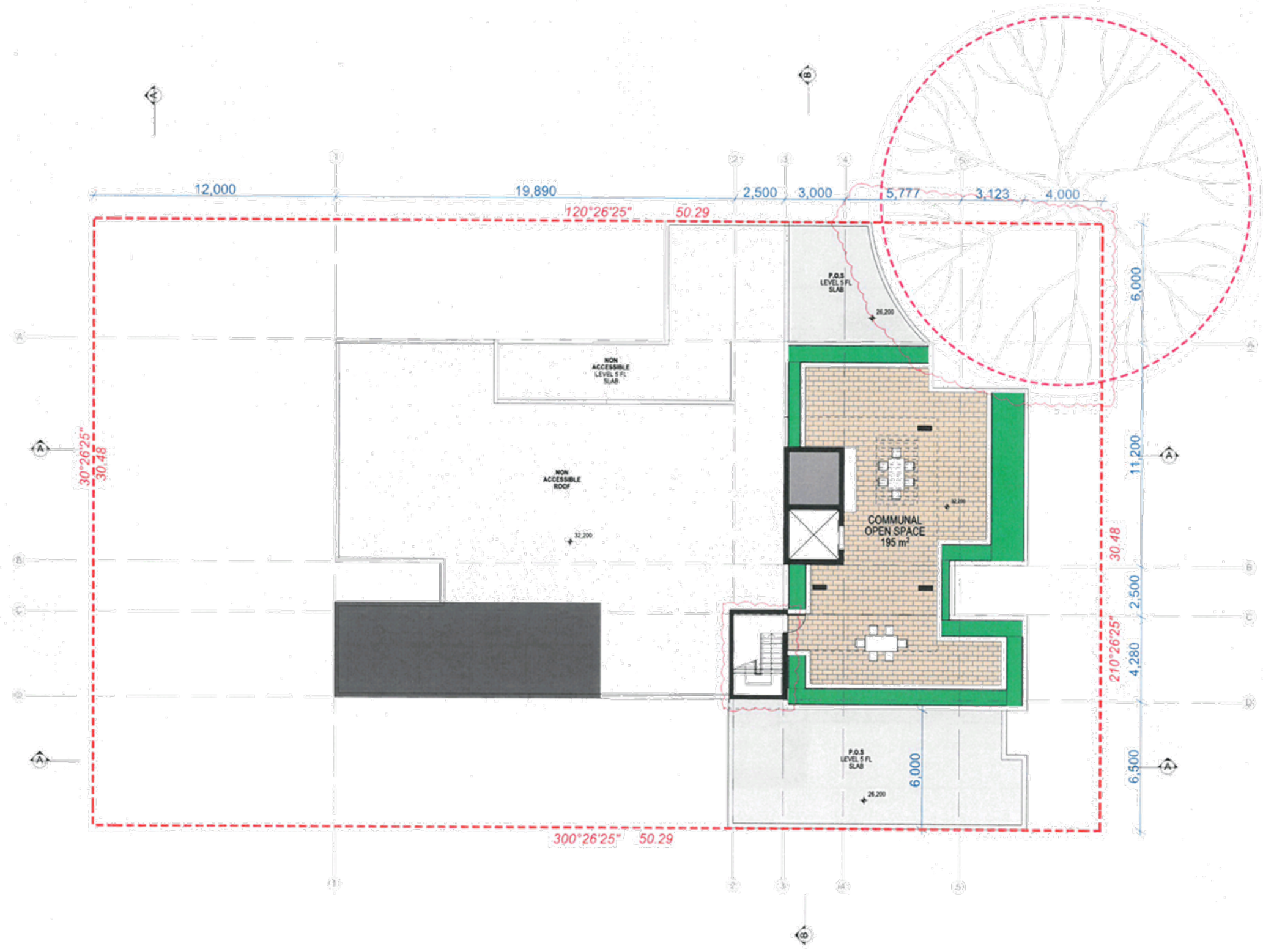
Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

Scale: 1:100
 600 Max Size

Project Number: 17018
 State: NSW

Drawing Number: DA2009
 Revision: D

DEVELOPMENT APPLICATION



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HOUSE
 4.9
 Certificate No. 28719 15/06
 Assessor Name Robert Hildebrand
 Assessor No. V1018041 12/14/15
 Certificate exp. 22 April 2017
 19-23 Smallwood Avenue
 Homebush, NSW
 2148

D - MINOR AMENDMENTS	20/02/17
E - AMENDED TO COUNCIL LETTER 16/04/2017	20/06/17
B - DA SUBMISSION	24/05/17
A - PRELIMINARY	20/04/17
Rev. Description	Date

19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address Level 10, 11-13 Deane Street, Burwood NSW 2134
 Postal Address PO BOX 3223 Burwood North NSW 2134
 Phone Number +61 29743 2174
 National Accredited
 Civil Engineer Reg. No. 8256
 Structural Engineer Reg. No. 9533
 Nominated Traffic Reg. No. 6334

AMENDMENTS - ISSUE C
 NO ENCROACHMENT INTO TPZ
 VEHICAL ENTRY SWITCHED TO SMALLWOOD AVE FROM HUDSON ST
 UNITS 5.03 RECONFIGURED

ROOF PLAN

Date of Issue	Drawn	Approved
22/06/2017	TV	ZB

Scale: 1:100
 Project Number: 17018
 Drawing Number: DA2010
 Revision: D

DEVELOPMENT APPLICATION



GFA CALC	
GFA TOTAL	
LEVEL	m ²
GROUND	436
1	440
2	519
3	478
4	478
5	360
6	354
TOTAL	3065



No.	Description	Date
B	REVISIONS	20/09/17
C	AMENDED TO COUNCIL LETTER 03/10/17	20/09/17
D	DA SUBMISSION	20/09/17
A	PRELIMINARY	20/09/17

19-23 SMALLWOOD AVENUE
HOMEBUSH
RESIDENTIAL FLAT BUILDING

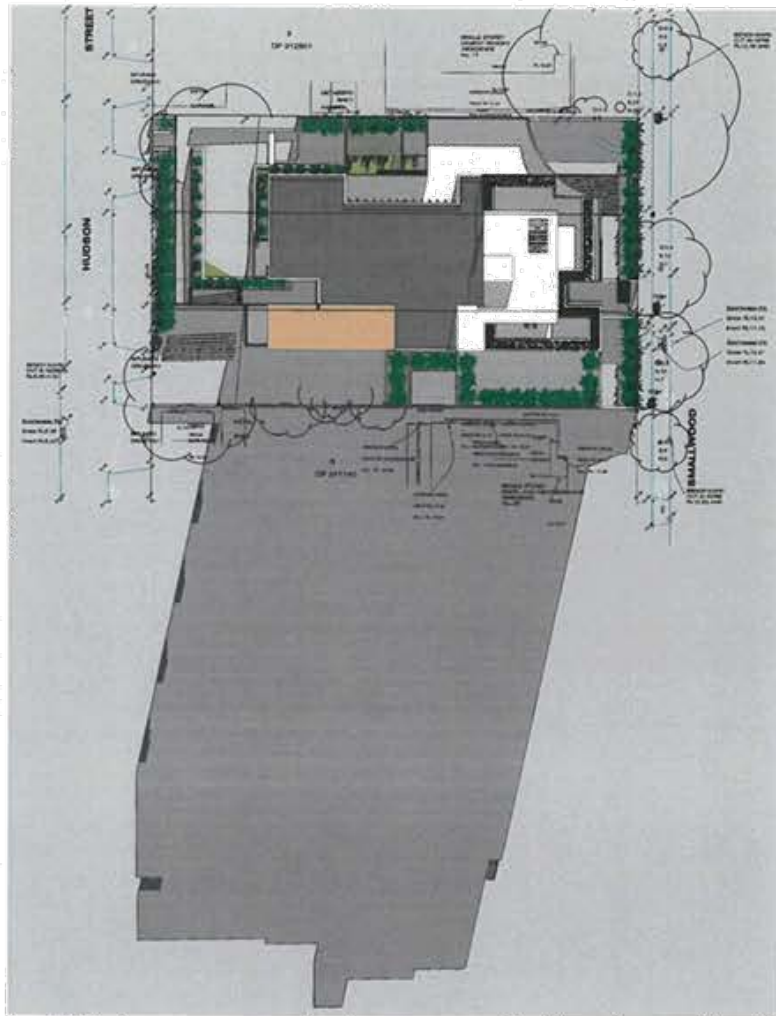


Project: 19-23 SMALLWOOD AVENUE
HOMEBUSH
RESIDENTIAL FLAT BUILDING

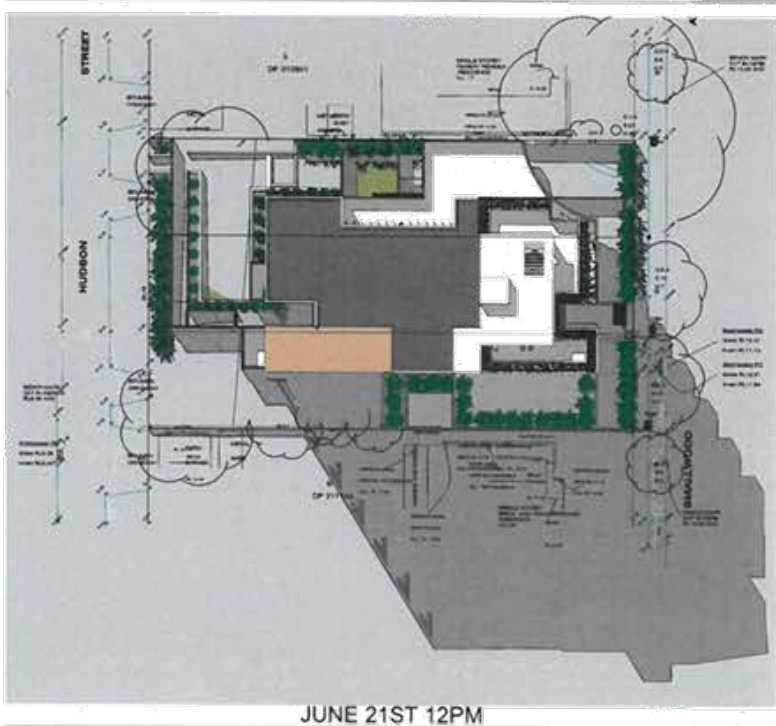
GFA DIAGRAMS

Date of Issue: 22/09/2017
Scale: 1:200, 1:0
Project Number: 17016
Drawing Number: DA2901
Revision: D

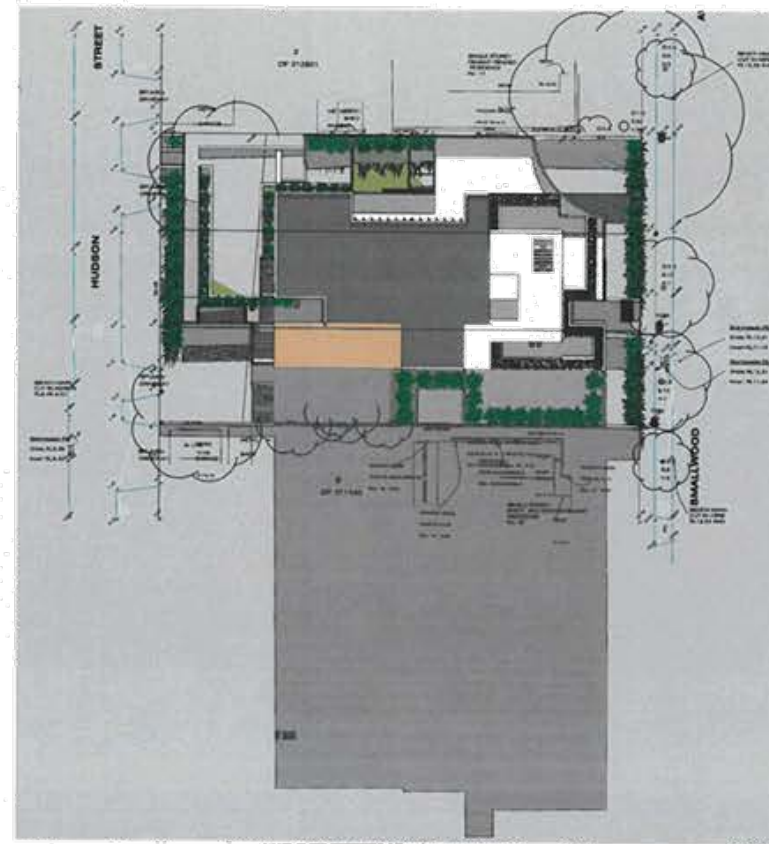
DEVELOPMENT APPLICATION



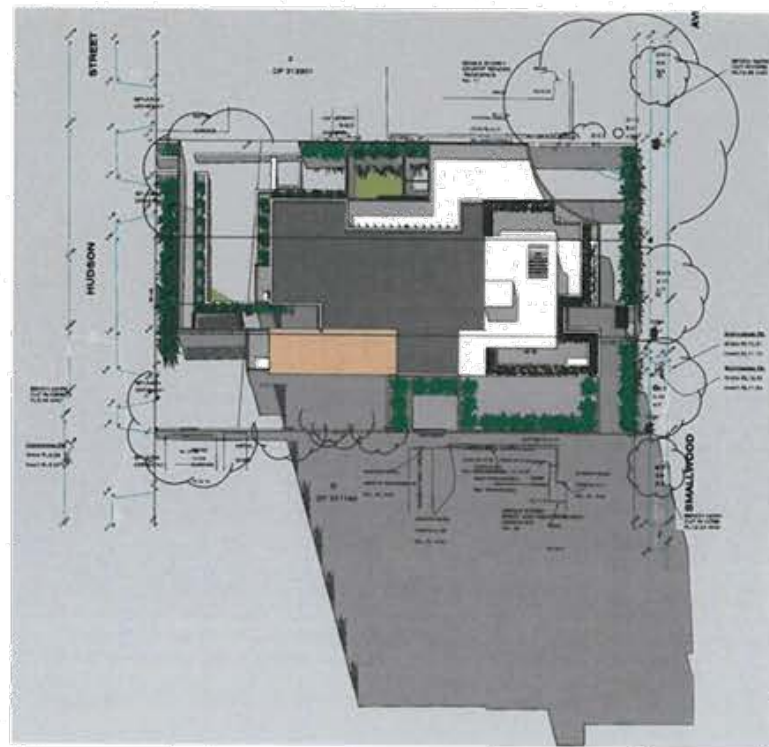
JUNE 21ST 9AM



JUNE 21ST 12PM



JUNE 21ST 10AM



JUNE 21ST 11AM

George Urban Link Pty Ltd
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D. MINOR AMENDMENTS	20/06/17
C. AMENDED TO COUNCIL LETTER 04/02/17	20/06/17
B. ON SUBMISSION	20/06/17
A. PRELIMINARY	20/06/17
Rev. Designer	10/06

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING



Business Address: 22/01/17, 11-13 Orling Street, Rydalmere NSW 2114
 Postal Address: PO BOX 2220 Rydalmere NSW 2114
 Phone Number: +61 2 9195 2219

Qualified Architect:
 Zed Burdett, Reg No. 8022
 Project Engineer: Tom de Bussche, No. 8933

SHADOW DIAGRAMS 21ST JUNE
 9AM - 12PM

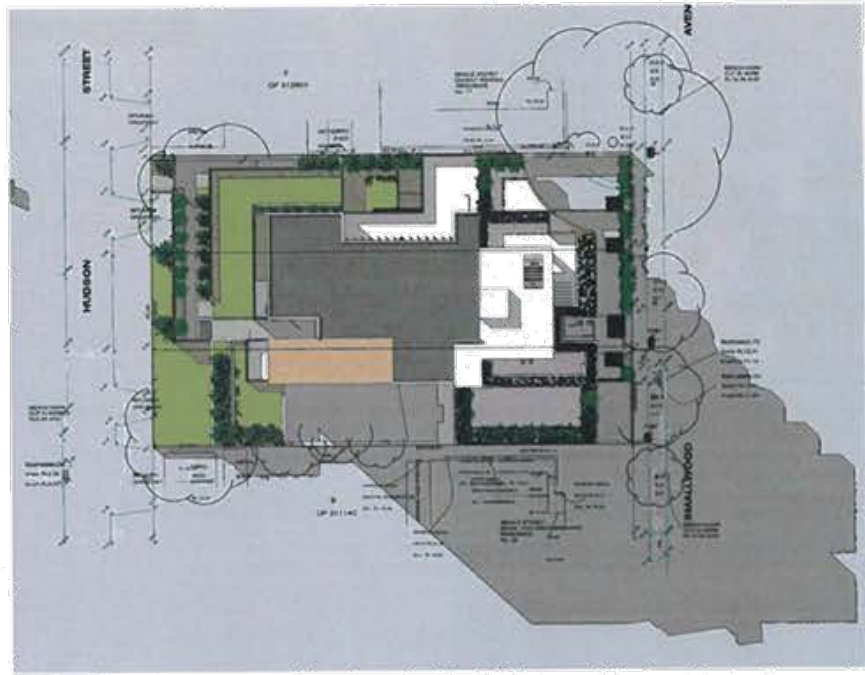
Date of Issue	20/06/2017	Drawn	JT	Approved	ZB
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Scale:
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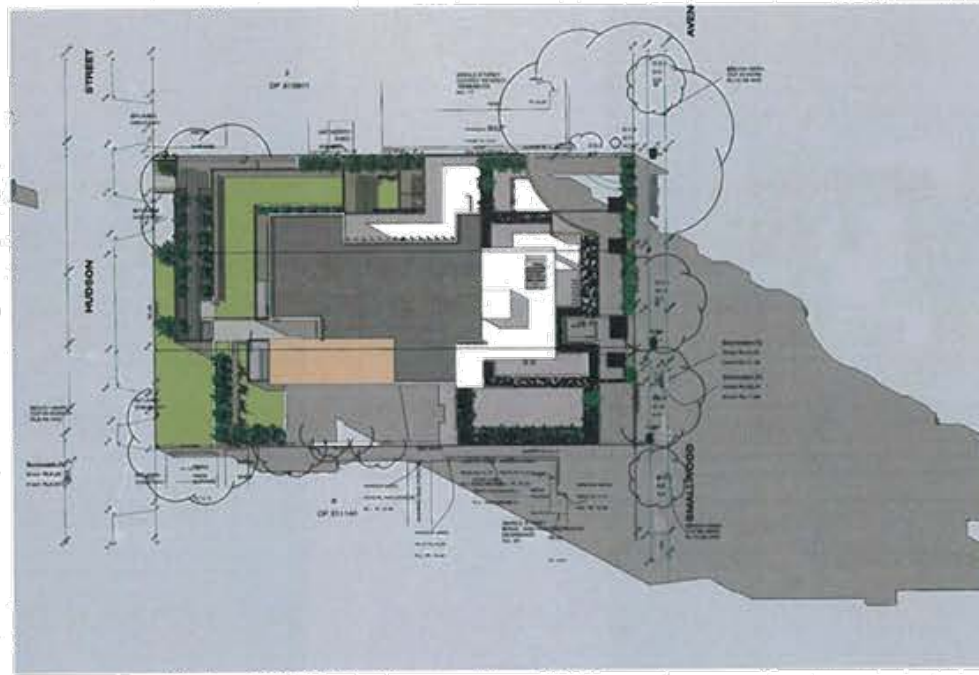
Project Number:
 17018

Drawing Number:
 DA2902 D

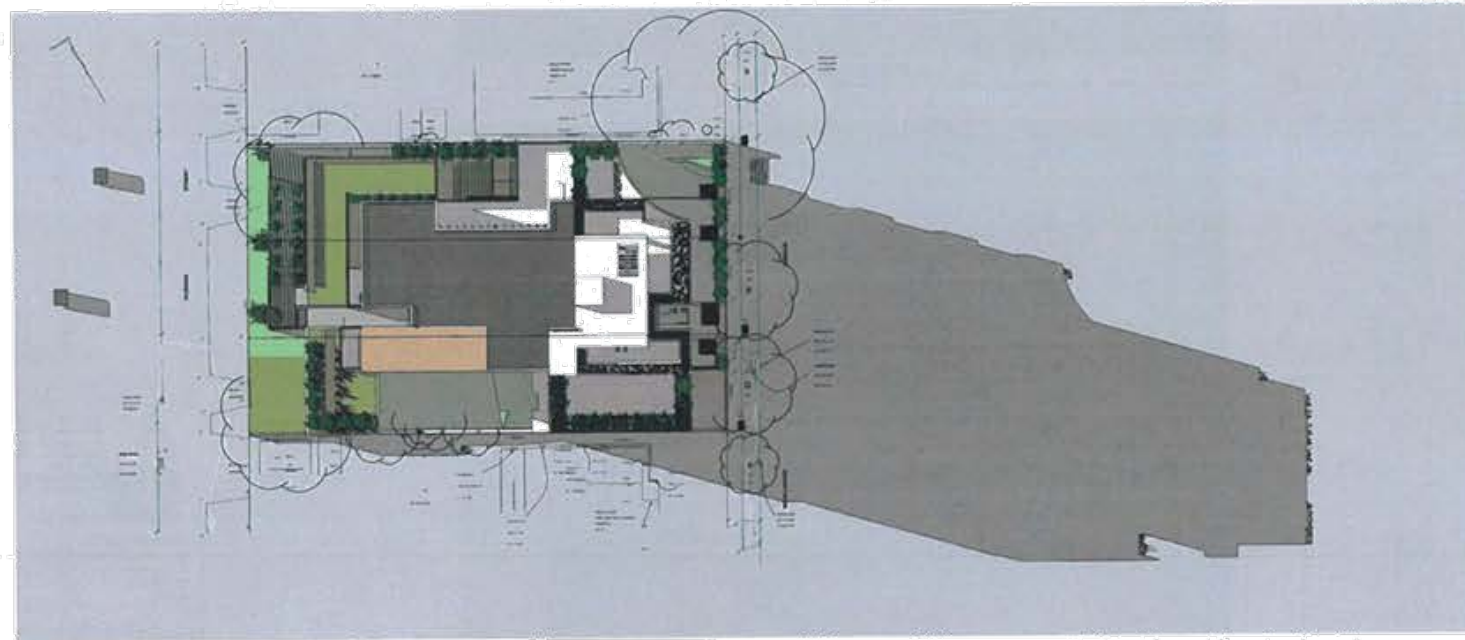
DEVELOPMENT APPLICATION



JUNE 21ST 01PM



JUNE 21ST 02PM



JUNE 21ST 03PM

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D. SEARCH AMENDMENTS	2004922
C. AMENDED TO COUNCIL LETTER 04/08/2017	2004917
B. SIX SUBMISSION	24/04/17
A. PRELIMINARY	20/04/17
Rev. Description	Date

19-23 SMALLWOOD AVENUE
 HOME BUSH

RESIDENTIAL FLAT BUILDING



Business Address: Level 10, 11-15 Deane Street, Surry Hills NSW 2015
 Postal Address: PO BOX 2223 Surry Hills NSW 2015
 Phone Number: +61 2 9245 2014
 Accredited Architekt
 Zed Evansworth Reg no 8006
 Registered Planning Reg no 8933
 Member Trade Reg no 8036

SHADOW DIAGRAMS 21ST JUNE
 01PM - 03PM

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB
 Scale: 1:342
 Architect: URBANLINK

Project Number: 17018
 Drawing Number: DA2983
 Revision: D

DEVELOPMENT APPLICATION



JUNE 21ST 9AM



JUNE 21ST 10AM



JUNE 21ST 11AM



JUNE 21ST 12PM



JUNE 21ST 01PM



JUNE 21ST 02PM



JUNE 21ST 03PM

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	Certificate No: 100741886 Assessor Name: Robert Macpherson Issue Date: 10/09/2017 Certificate No: 22 APR 2017
49 HOUSE Residential	19-23 Smallwood Avenue Homebush, NSW 2140
D. MINOR AMENDMENTS C. AMENDED TO COUNCIL LETTER 08/09/17 B. DA SUBMISSION A. PRELIMINARY Rev. Description Date	22/09/17 24/09/17 26/09/17 26/09/17 26/09/17
Project: 19-23 SMALLWOOD AVENUE HOME BUSH RESIDENTIAL FLAT BUILDING	
URBAN LINK Business Address: Level 10, 11-13 Deane Street, Burwood NSW 2154 Postal Address: PO BOX 2223 Burwood NSW 2152 Phone Number: +61 2 9513 2014 Numbered Articles: 2nd Step/Plan: Reg 44 B6A 3rd Step/Plan: Reg 44 B6B 4th Step/Plan: Reg 44 B6C	
Drawing Title: VIEWS FROM THE SUN	
Date of Issue: 22/09/2017	Drawn: TV
Scale: 1:100 A11 (Per A1)	Approved: ZB
Project Number: 17018	Drawing Number/Revision: DA2904 D
DEVELOPMENT APPLICATION	

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D. AMENDMENTS	20/09/22
C. AMENDED TO COUNCIL LETTER 08/09/2017	20/09/17
B. DA SUBMISSION	24/05/17
A. PRELIMINARY	26/04/17
Rev: Description	Date

19-23 SMALLWOOD AVENUE
 HOME BUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 16, 11-15 Deane Street, Surry Hills NSW 2154
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29261 2014
 National Australia Bank
 Zard Branch: Reg no 8388
 Youself @ Knowledge Reg no 8651 Member Trade Reg no 8726

Drawing Title:
NORTH ELEVATION

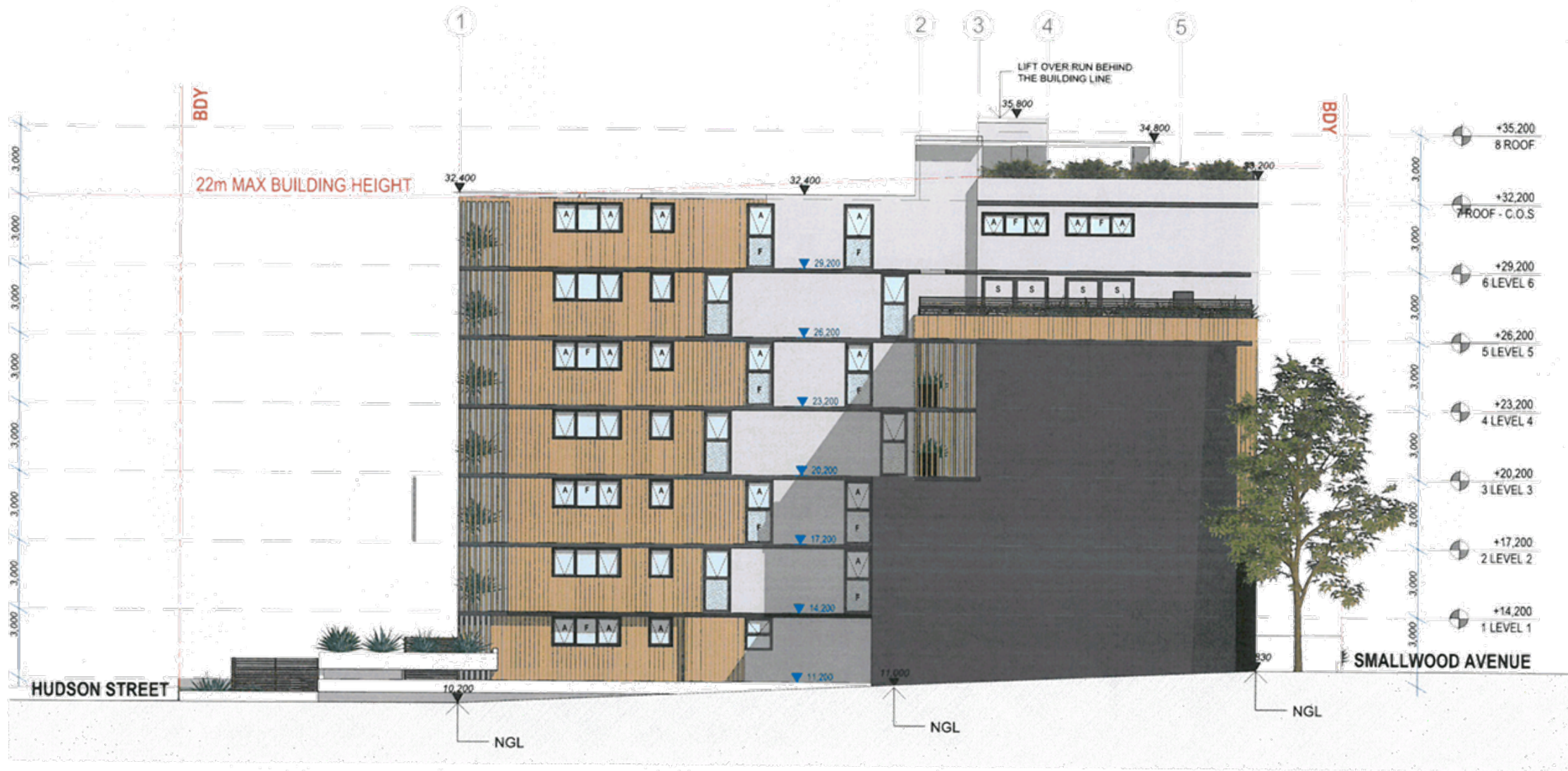
Date of Issue	Drawn	Approved
22/09/2017	TY	ZB

Scale:
 1:100
 (1:11m max scale)

Project Number:
17018

Drawing Number/Revision:
DA3001 D

DEVELOPMENT APPLICATION

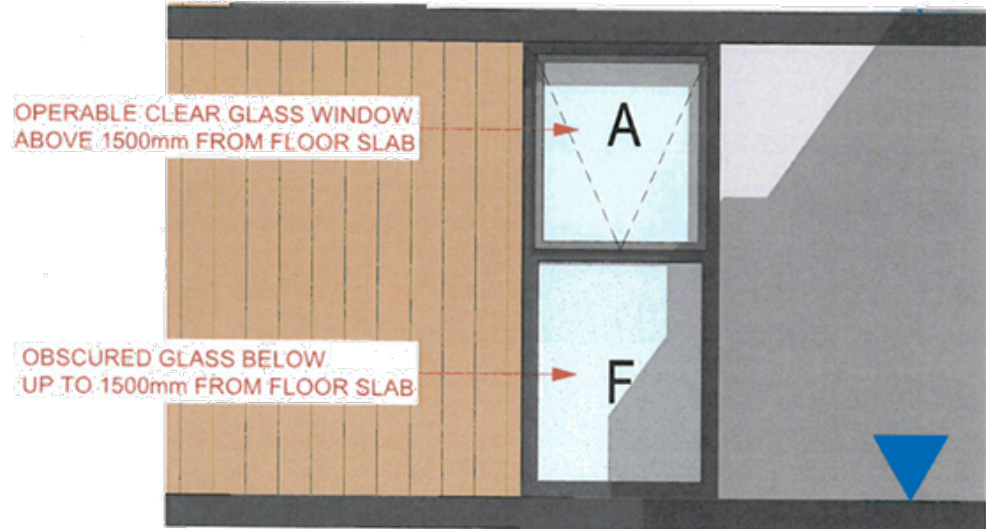


South Elevation

1:100



FENCE DETAIL 1:50 @ A1



FENCE DETAIL 1:20 @ A1

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HOUSE
 19-23 Smallwood Avenue
 Homebush NSW
 2140

URBAN LINK
 Residential Architecture
 11-15 Drake Street, Homebush NSW 2134
 Phone Number: +61 29743 2014
 Homebush NSW
 2140

Project	19-23 Smallwood Avenue
Client	Urban Link
Architect	Urban Link
Date	20 April 2017

**19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING**

URBAN LINK

19-23 Smallwood Avenue, Homebush NSW 2134
 Phone Number: +61 29743 2014
 Homebush NSW
 2140

South Elevation

Date of Issue: 22/09/2017
 Drawn: TV
 Scale: 1:50
 1:20
 Project Number: 17018
 Drawing Number: DA3002
 Status: D

DEVELOPMENT APPLICATION

URBANLINK PTY LTD
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FENCE DETAIL 1:50 @ A1



FENCE MATERIALS:
 ALUMINIUM FENCE (TIMBER LOOK)
 FENCE WALLS/PLANTERS - PAINT FINISH - WHITE

HOUSE
 19-23 Smallwood Avenue
 Homebush, NSW
 2140
 www.urbanlink.com.au

D	SEWER AMENDMENTS	20/09/17
C	AMENDED TO COUNCIL LETTER 18/04/17	20/09/17
S	DA SUBMISSION	20/09/17
A	PRELIMINARY	20/09/17
Rev.	Description	Date

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBANLINK
 Business Address: Level 10, 11-13 Dorril Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29743 2818
 Website: www.urbanlink.com.au
 Taxation: Australian Pty No: 622878788
 Taxation ID: 950628788

Drawing Title:
EAST ELEVATION

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

Scale:
 1:100, 1:50

Project Number:
 17018

Drawing Number: DA3003
 Revision: D

DEVELOPMENT APPLICATION

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Minor Amendments	20/09/17
Amended to Council Letter 08/03/17	20/09/17
DA Submission	24/05/17
Preliminary	26/04/17
Rev. Description	Date

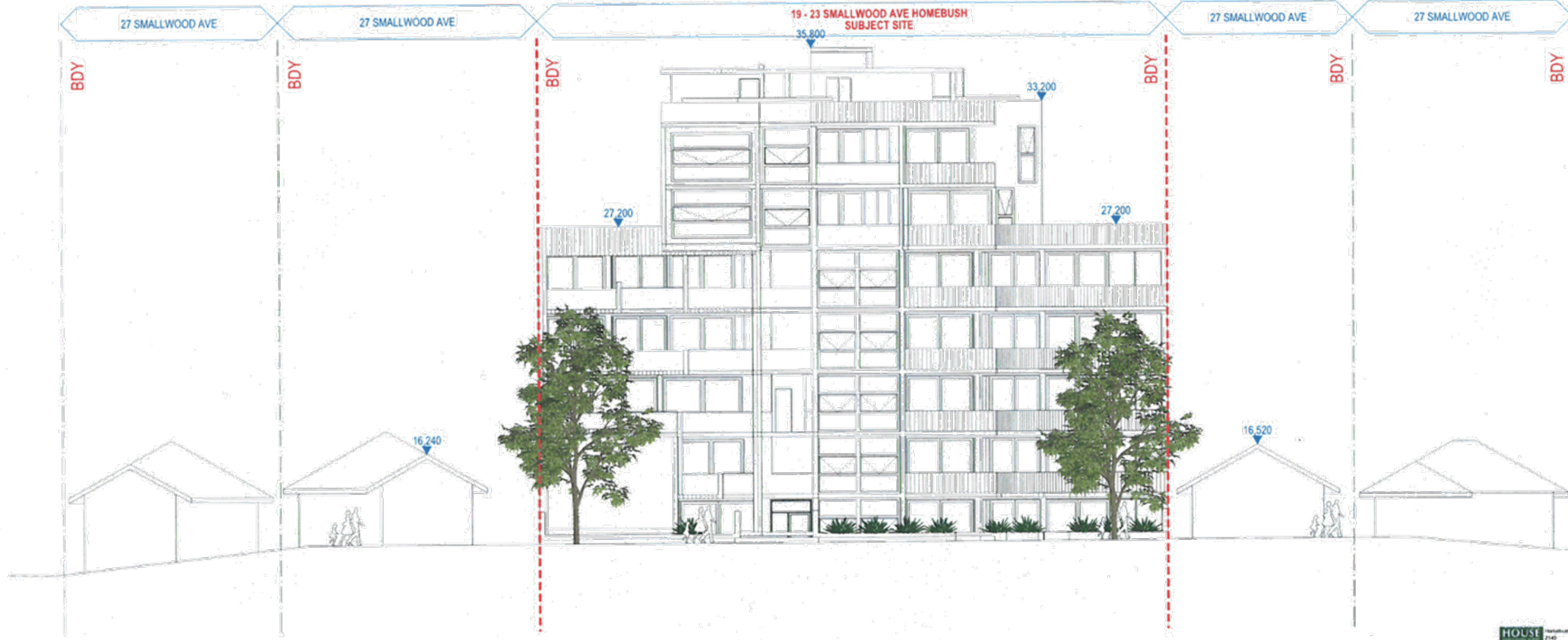
19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBAN LINK
 Business Address: Level 10, 11-13 Deane Street, Burwood NSW 2134
 Public Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 2550 2014
 Homebased Architects
 100 Brookman Bay Rd B20
 Burwood NSW 2134
 Website: Urban Link Pty Ltd

WEST ELEVATION
 Date of Issue: 22/09/2017
 Drawn: TV
 Applied: ZB
 Scale: 1:100
 Project Number: 17018
 Drawing Number: DA3004
 State: D

DEVELOPMENT APPLICATION

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STREETSCAPE

1:100

HOUSE 2140
 Residential Building
 www.house.com.au

URBANLINK
 Residential Building
 Business Address: Level 10, 11-13 Drake Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29745 2014
 National Architects: Zuel Brumbyen Reg no 8806
 Licensed Electrical Contractor: Zuel Brumbyen Reg no 8806
 Licensed Trades Reg no 8806

Project:
 19-23 SMALLWOOD AVENUE
 HOMEBUSH
 RESIDENTIAL FLAT BUILDING

URBANLINK

Business Address: Level 10, 11-13 Drake Street, Burwood NSW 2134
 Postal Address: PO BOX 2223 Burwood North NSW 2134
 Phone Number: +61 29745 2014
 National Architects: Zuel Brumbyen Reg no 8806
 Licensed Electrical Contractor: Zuel Brumbyen Reg no 8806
 Licensed Trades Reg no 8806

Drawing Title:
 STREETSCAPE

Date of Issue: 22/09/2017
 Drawn: TV
 Approved: ZB

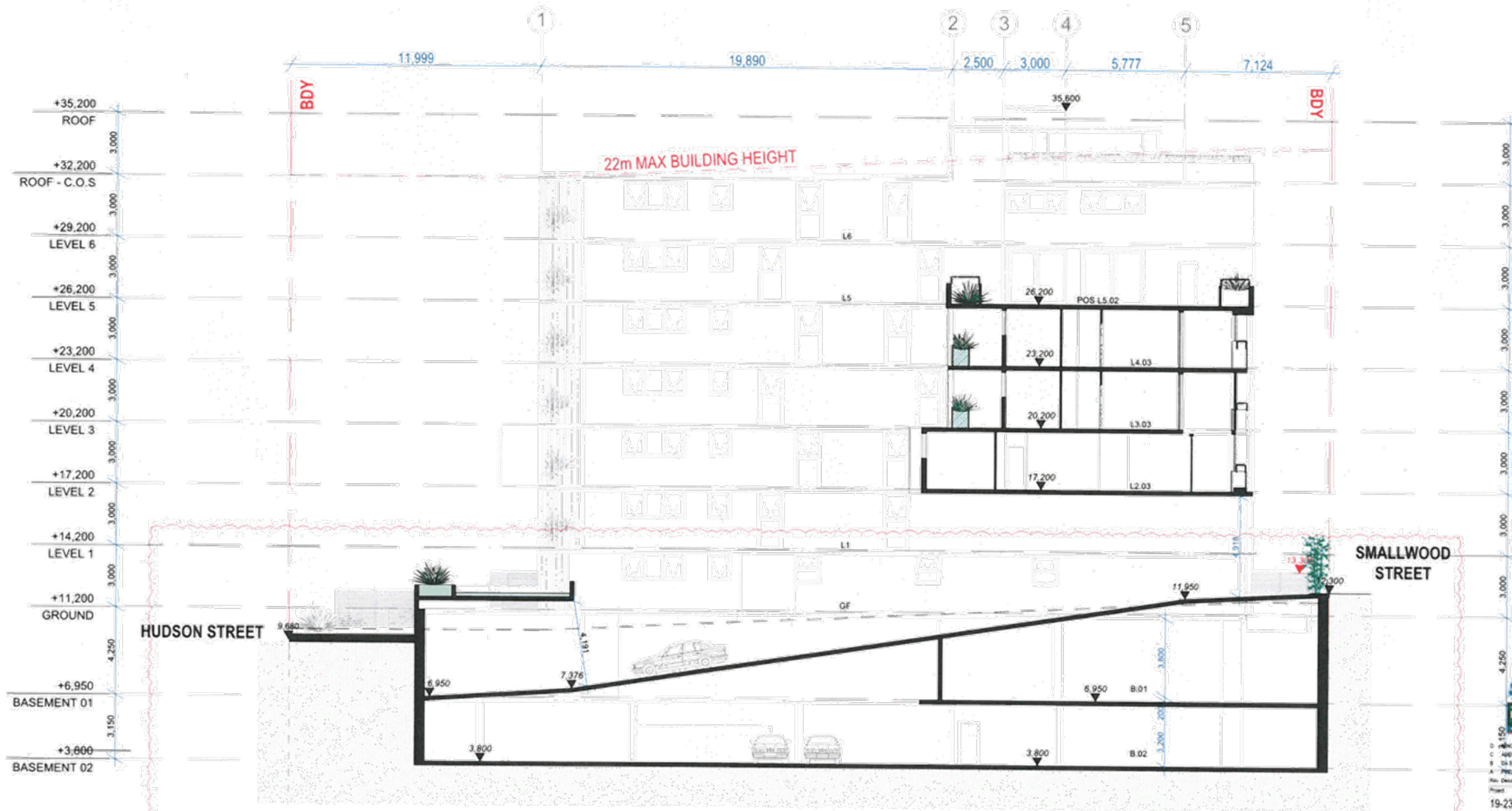
Scale:
 1:100
 0m 10m 20m

Project Number:
 17018

Drawing Number/Revision:
 DA3005 D

DEVELOPMENT APPLICATION

George URBANLINK PTY LTD
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Contract No.	2014/1086
Project Name	Robert Macfarlane
Assessment No.	100/2014/10/10/10/10
Contract Date	20 April 2017
Contract Address	19-23 Smallwood Avenue
Contractor	Hobart, TAS
Contractor Contact	27142
Contractor Website	www.urbanlink.com.au
Contractor Email	
Contractor Phone	
Contractor Fax	
Contractor Mobile	
Contractor Email	
Contractor Website	
Contractor Email	
Contractor Website	
Contractor Email	
Contractor Website	
Contractor Email	
Contractor Website	

19-23 SMALLWOOD AVENUE
HOBART TAS
RESIDENTIAL FLAT BUILDING

URBANLINK
Building Address: Level 10, 11-15 Deane Street, Burnside TAS 7156
Phone Address: 100 BDA, 2223 Burnside North TAS 7156
Phone Number: +61 2049 2014
Website: www.urbanlink.com.au
Contractor: Robert Macfarlane
Contractor Contact: 27142
Contractor Website: www.urbanlink.com.au
Contractor Email: rmac@urbanlink.com.au
Contractor Phone: 03 9492 2014
Contractor Fax: 03 9492 2014
Contractor Mobile: 0428 888 888

SECTION A

Date of Issue: 23/09/2017
Drawn: TV
Approved: ZB

Scale: 1:100

Project Number: 17018
Drawing Number: DA4001 D
Status: DEVELOPMENT APPLICATION

TO: Strathfield Independent Hearing and Assessment Panel Meeting - 5 October 2017

REPORT: SIHAP – Report No. 2

SUBJECT: 19-21 HILLCREST STREET, HOMEBUSH
LOT 1 DP 1131407

DA NO. 2017/115

SUMMARY

Proposal: Fit out and use of the existing commercial tenancies as a gym

Applicant: Australian Fitness Management

Owner: M & M Investments

Date of lodgement: 1 August 2017

Notification period: 16 August 2017 to 29 August 2017

Submissions received: NIL

Assessment officer: ND

Estimated cost of works: \$80,000

Zoning: B4 Mixed Use- SLEP 2012

Heritage: N/A

Flood affected: No

Is a Clause 4.6 variation proposed? No

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

- 1.0 The application seeks Council consent for the use of an existing commercial tenancy as a gym.
- 2.0 The application and plans were notified in accordance with Part L of the Strathfield Consolidated Development Control Plan (SCDCP) 2005, with no written submissions received.
- 3.0 As discussed in this report, the proposed use of the tenancy as a 24hr seven days a week gym is suitable for the subject site and will provide a facility that caters for surrounding residents and workers. Conditions of consent have been recommended to ensure the residential amenity of the residential units above and in the adjacent building will be maintained and no distraction is beheld to motorists on Parramatta Road.
- 4.0 Overall, the application is recommended for approval.

The subject application was referred to Council's Internal Development Assessment Panel (IDAP) for consideration on 27 September 2017. The Panel supported the Assessing Officers recommendation and associated conditions and recommended that the application be referred to SIHAP for determination.

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is located at the corner of Hillcrest Street and Parramatta Road (as shown in Figure 1). The existing commercial tenancy is located on the ground floor of a five (5) storey mixed use building with a four (4) storey residential flat building located on the site as well. The tenancy itself is located on the corner of the building it faces and has vehicle access via both Parramatta Road and Hillcrest Street. The commercial tenancy was previously used as a timber flooring showroom. Vehicular access to the tenancy is via Hillcrest Street or Parramatta Road. The surrounding streetscape comprises of a mixture of residential, commercial, retail and car sales yards.



Figure 1: Aerial view of the subject site and surrounding residential properties. The subject site is outlined in yellow and the existing tenancy proposed to be used as a gym is outlined in red.

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)



Figure 2: View of the existing commercial tenancy from Parramatta Road.

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for the fit out and use of the existing commercial tenancy as a gym.

The specific elements of the proposal are:

- Demolition and construction of walls to create separate training rooms and office;
- Construction of new bathroom and shower facilities;
- Installation of gym equipment;
- Installation of new flooring;
- Business identification signage along Parramatta Road and Hillcrest St frontages; and
- Installation of security and CCTV systems.

Hours of Operation:

- 24hrs seven (7) days per week.

Occupancy Rate:

- Proposed maximum of (12) people at any one time (not including staff).

Staff:

- One (1) staff member and one (1) personal fitness trainer between 8:30am -12:30pm and 3:30pm-7:30pm Monday to Thursday and between 7:30am – 11:30am Friday and Saturday.
- Outside of the above hours the premises will be unstaffed.

Note:

The proposal does not seek consent for group fitness classes, child minding, or sauna rooms. Instead of group fitness classes the gym is to provide 'classes on demand' whereby the member loads a pre-recorded fitness class onto a screen for the person to follow.

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REFERRALS

INTERNAL REFERRALS

Waste Comments

Council's Waste Officer has commented on the proposal as follows:

- Waste management plan is to be update to include the destination of waste materials in the demolition and construction phase;
- The size and layout of the waste/recycling storage room/are should be capable of accommodating reasonable future changes in use in the development.
- As Council no longer provides commercial waste services a private contractor to be identified and engage with. It is recommended a condition is imposed requiring a copy of the contract is to be submitted to Council prior to the issue of the occupation certificate.

During the assessment process, amended plans were submitted satisfying the above comments.

Environmental Health Comments

Council's Environmental Health Officer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

SECTION 79C CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 79C of *the Environmental Planning and Assessment Act, 1979* as relevant to the development application:

79C(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2004

The subject site fronts a classified road (Parramatta Road). Clause 101 of SEPP Infrastructure requires that where development has frontage to a classified road, alternative vehicular access be obtained from a road other than the classified road, and that the development not impact upon the safety, efficiency and ongoing operation of the classified road.

The gym premises will have direct vehicular access to the carpark from Parramatta Road and Hillcrest Street and involves no actions likely to impact upon the ongoing operation of Parramatta Road. As such the proposed development satisfies the requirements of Clause 101 of SEPP Infrastructure.

STATE ENVIRONMENTAL PLANNING POLICY NO. 64 – ADVERTISING AND SIGNAGE

SEPP 64 establishes a number of considerations for development involving the installation of signage. An assessment of the proposed development against the requirements of SEPP 64 is found below:

Section	Assessment Criteria	Required	Proposed	Compliance
1	Character of the Area	Compatible with existing and future likely character of the area.	The tenancy is situated on the ground floor of a mixed use building located on Parramatta Road. The proposed signage is generally compatible with the mixed use nature of the	Yes.

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Section	Assessment Criteria	Required	Proposed	Compliance
			<p>building and other businesses located along Parramatta Road.</p> <p>As will be discussed further in this report (see "<i>Erection or display of signage</i>" section), the extent of the signage is somewhat excessive and should be reduced.</p>	
		Consistent with a particular theme for outdoor advertisement.	The proposed signage will not detract from the amenity of the area as the area is zoned mixed use with similar business identification signage found along Parramatta Road.	Yes.
2	Special Areas	<p>Does the proposal detract from the amenity or visual quality of:</p> <p>a) environmentally sensitive areas;</p> <p>b) heritage areas;</p> <p>c) natural or other conservation areas;</p> <p>d) open space;</p> <p>e) waterways;</p> <p>f) rural landscapes; or</p> <p>g) residential areas?</p>	The size, shape and design of the signs are not obtrusive and are appropriate to the scale of the building on which they will be erected.	Yes.
3	Views and Vistas	<p>Does the proposal:</p> <p>a) Obscure or compromise important view?</p> <p>b) Dominate the skyline and reduce the quality of vistas?</p> <p>c) Respect the viewing rights of other advertisers?</p>	The design, size and colours have been designed with respect to the scale of the tenancy and close proximity to Parramatta Road. As the premises will occupy the entire ground floor tenancy of the building, the signage will not impede on future advertisers.	Yes.
4	Streetscape, Setting or Landscape	Is the scale, proportion and form appropriate?	<p>The proposed signage identifies the name of the business, (Plus Fitness) and also states the operating hours (24 hours 7 days).</p> <p>The signage is located across the exterior windows of the tenancy creating an integrated appearance.</p>	Yes.
		Does the proposal:		
		a) Contribute to visual	The proposed signage has considered the surrounding	Yes.

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Section	Assessment Criteria	Required	Proposed	Compliance
		<p>interest?</p> <p>b) Reduce clutter by rationalising and simplifying existing signage?</p> <p>c) Screen unsightliness?</p> <p>d) Protrude above buildings, structures or tree canopies?</p> <p>e) Require ongoing vegetation management?</p>	development by utilising a simplistic design and sympathetic colours so as not to distract motorists using Parramatta Road.	
5	Site and Building	Is the proposal compatible with the scale, proportion and other characteristics of the site?	The proposed colours and scale of the signage is appropriate for the close proximity of the site to traffic control lights.	Yes.
6	Associated Devices and Logos	Have any safety devices, platforms, lighting devices or logos been designed as part of the structure?	No as the signage is to be located on the exterior glass of the tenancy.	N/A
7	Illumination	<p>Would illumination:</p> <p>a) Result in unacceptable glare?</p> <p>b) Affect safety for pedestrians, vehicles or aircraft?</p> <p>c) Distract from nearby residence or accommodation?</p>	No illumination for the signage is proposed. Only source of light will be from inside the premises.	N/A
		Can illumination be adjusted or subject to curfew?	No illumination is proposed.	N/A
8	Safety	<p>Would the proposal:</p> <p>a) Reduce safety for any public road?</p> <p>b) Reduce safety for pedestrians or cyclists?</p> <p>c) Reduce safety, for children by obscuring sight lines from public areas?</p>	The proposal does not contain colours including red, amber or green and will be in an appropriate location so as not to obscure sightlines from public areas.	Yes.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield	Yes
(b)	To promote the efficient and spatially appropriate use of land, the	Yes

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	<i>sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

Comments: The proposed development provides for additional employment opportunities and a recreational facility within an accessible area that is compatible with the mixed-use zoning of the site. As discussed in this report, appropriate conditions of consent are recommended to maintain the amenity of the residential units above and in the adjacent building.

Permissibility

The subject site is Zoned B4 Mixed Use under Strathfield Local Environmental Plan (SLEP) 2012. Gymnasium is permissible within the B4 Mixed Use Zone with consent and is defined under SLEP 2012 as follows:

“recreation facility (indoor) means a building or place used predominantly for indoor recreation, whether or not operated for the purposes of gain, including a squash court, indoor swimming pool, gymnasium, table tennis centre, health studio, bowling alley, ice rink or any other building or place of a like character used for indoor recreation, but does not include an entertainment facility, a recreation facility (major) or a registered club.”

The proposed development for the purpose of a gymnasium is consistent with the definition above and is permissible within the B4 Mixed Use Zone with consent.

Zone Objectives

An assessment of the proposal against the objectives of the B4 Mixed Use Zone is included below:

Objectives	Complies
➤ <i>To provide a mixture of compatible land uses.</i>	Yes
➤ <i>To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.</i>	Yes
➤ <i>To facilitate mixed use urban growth around railway stations and transport nodes and corridors, commercial centres and open space.</i>	Yes
➤ <i>To provide local and regional employment and live and work opportunities.</i>	Yes

Comments: The proposal seeks approval for the fit-out and use of an existing commercial tenancy as a gym. The commercial tenancy is located on the ground floor of a mixed use development consisting of commercial tenancies and residential units. The proposed gym contributes to the mixture of business, office and commercial uses located within the wider Parramatta Road Corridor. As such the proposal is deemed to be consistent with the objectives of the B4 Mixed Use Zone.

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Part 4: Principal development standards

There are no provisions contained within Part 4 of the *SLEP 2012* that are applicable to the proposed development.

Part 5: Miscellaneous Provisions

There are no provisions contained within Part 5 of the *SLEP 2012* that are applicable to the proposed development.

Part 6: Local Provisions

The relevant provisions contained within Part 6 of the *SLEP 2012* are addressed below as part of this assessment:

6.6 *Erection or display of signage*

Clause 6.6 of the *SLEP 2012* requires consideration be given to the compatibility of the proposed signage with the desired amenity and visual character of the area. The proposed signage comprises of business identification signs on the exterior glass panels along both Parramatta Road and Hillcrest Street frontage. Whilst the type of signage and chosen graphics are appropriate the extent of the signage does not comply with the *SCDCP 2005*. Accordingly a condition of consent to delete some graphics has been recommended to encourage passive surveillance between the public domain and premises and ensure the signage does not distract motorists along Parramatta Road.

79C(1)(a)(ii) *any draft environmental planning instruments*

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

79C(1)(a)(iii) *any development control plan*

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within *SCDCP 2005*.

PART H - WASTE MANAGEMENT (SCDCP 2005)

Section 2.1 of Part H of the *SCDCP 2005* requires that all development applications be accompanied by a Waste Management Plan. During the assessment process the submitted Waste Management Plan was amended to provide further details regarding the ongoing use of the premises as a gym.

In accordance with the Waste Generation Rates in Part H of the *SCDCP 2005*, the following bins are to be provided:

General Waste: One (1) x 240L bin
Recycling: One (1) x 240 L bin

The Waste Management Plan has detailed that smaller waste bins will be located throughout the premises and emptied daily into the tenancy 240L bins located within the common waste storage and collection area for the entire mixed use building.

As Council no longer provides commercial waste services, a private contractor will be required. Accordingly a condition has been recommended for a private contractor to be engaged with for the

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waste collection of the premises with a copy of the contract submitted to Council prior to the issue of an Occupation Certificate.

PART I – OFF STREET PARKING (SCDCP 2005)

Part I of the Strathfield Consolidated Development Control Plan 2005 establishes minimum off-street parking spaces for certain types of development. An assessment of the proposed development against the provisions of this part is included below:

3.6.1 Recreational and Tourist Facilities

Control	Required	Proposed	Complies
3.6.1	Places of public assembly 1 space per 3.5 people	12 car spaces = 42 people	Yes.

Comments:

The proposal seeks to fit-out and use the entire ground floor commercial tenancy in the mixed use building on the subject site. As such, the tenancy has access to all (12) car parking spaces allocated to the commercial tenancy at the ground floor car parking area. According to Section 3.6.1 of the SCDCP 2005 the tenancy can accommodate up to (42) people (patrons and staff). Notwithstanding the proposal estimates a maximum number of (12) patrons at any one time with up to two (2) staff members. Therefore a condition of consent is recommended that a maximum occupancy rate of (15) people (patrons and staff) is permitted at the premises at any one time.

PART J – ADVERTISING SIGNS AND STRUCTURES (SCDCP 2005)

Section 2.6 - Guidelines For The Erection And Display Of Advertisements Along Parramatta Road

Section 2.6 of Part J of the SCDCP 2005 establishes the following performance criteria for the erection and display of advertisements along Parramatta Road erection and display of advertisement along Parramatta Road.

Criteria	Proposed	Complies
(i) Advertisements, in general, should be to identify the building and its function but not to advertise the products sold on the subject premises.	The proposed signage is for business identification purposes only stating "Plus Fitness 24/7" and "24 hours, 7 days".	Yes
(ii) Roof advertisements are not permissible.	No roof advertisement is proposed.	Yes
(iii) In general, advertisements are restricted to the side of awnings and below awnings.	The proposed signs are to be located on the exterior windows of the premises.	Yes
(iv) Advertisements painted onto the façade of buildings are permissible provided they enhance the building's appearance and address Item 15 within Schedule 2.	No painted advertisements are proposed.	N/A
(v) Illuminated advertisements at night are permissible provided they comply with the guidelines set out elsewhere in the DCP.	No direct illumination is proposed.	N/A

Section 4.0 – Sign Classification

Class of advertising sign	Criteria	Proposed	Complies
Item 14 – Window Sign	A window sign – (a) Shall not cover more than 25% of a shop window	The proposed signage is located across the entire tenancy.	No, refer to Section 79C(1)(b) of the report for non-

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compliance
discussion.

79C(1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 93F of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

Should this application be approved, appropriate conditions of consent are included within the recommended to ensure compliance with any relevant regulations.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

79C(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Signage

The proposal seeks to install business identification signage onto the window panels across the entire tenancy facing both Parramatta Road and Hillcrest Street (shown in Figures 3 to 5).

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Figure 3: Proposed signage on windows of loading dock and office as viewed from Parramatta Road.



Figure 4: Proposed signage on windows of loading dock and office as viewed from Parramatta Road.

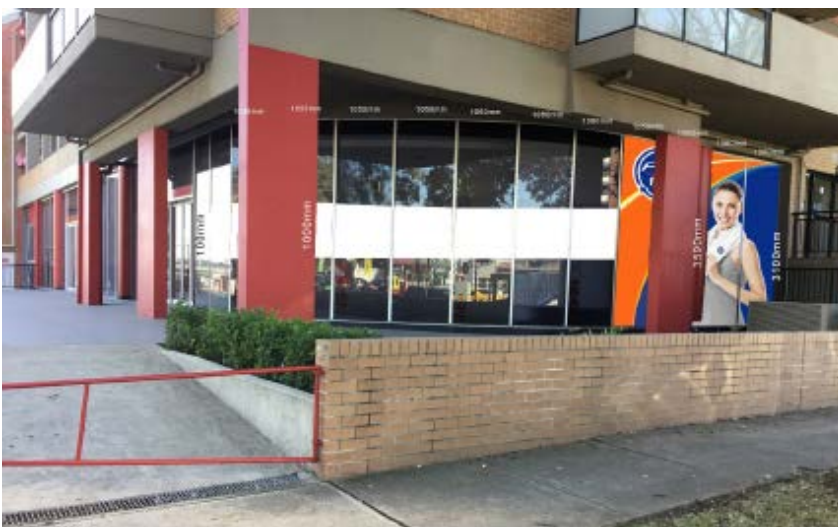


Figure 5: Proposed signage on windows of board room, training and office as viewed from Hillcrest Street.

According to Section 4 of Part J 'Erection and Display of Advertising Signs and Structures' of the SDCPC 2005, window signs shall not cover more than 25% of the shop window. The proposed

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signage will cover a substantial amount of the total window area and varies from 1m to 3.59m in height.

Whilst the placement of some of the larger signage is warranted to provide privacy due to the nature of the room (office), the overall amount of signage is excessive and may not only distract passing motorists along Parramatta Road, is likely to visually detract from the aesthetic nature of what is predominantly a residential building. Specifically, the proposed white signage in Figure 3 is to be deleted, additionally the '24 hours' and '7 days' white and black signs shown in Figure 4 are not required as there is a sign directly above stating the same information, that the premises is open 24 hours 7 days a week. To encourage passive surveillance between the premises and the public domain a condition has been recommended for all of the signage to comprise of semi-transparent material and all remaining glass areas to be 100% clear with no window treatment. In addition to passive surveillance the condition will align the gym signage with similar gym facilities facing classified roads that are located within the Strathfield Local Government Area.

Residential Amenity and Ongoing Operation:

The proposed gym is to be located on the ground floor of a mixed use building with residential units above and is surrounded by a mixture of residential flat buildings and dwellings. The gym will occupy the entirety of the ground floor tenancy. During the assessment process a Plan of Management was requested to be prepared detailing the ongoing functionality of the premises including staff numbers, security and access provisions, noise minimisation measures and waste management.

The proposal seeks to operate the gym 24 hours seven (7) days a week with an estimated maximum patron capacity of (12) with one (1) staff member and one (1) personal fitness trainer present during peak times only. Given the site's close proximity to medium and low density residential development the proposed gym has the potential to result in a loss of acoustic amenity to the surrounding residents as a result of music and patron noise. Accordingly conditions of consent capping the maximum number of people at the premises at any one time to (15) and a 12 month trial of the proposed 24hour operation have been recommended. At the cessation of the 12month trial period a Section 96 must be lodged for the continuation of the 24 hours otherwise the premises will default to Monday to Sunday 6:00am to 10:00pm.

The 12 month trial period for the 24 hour operating times is to be endorsed as the previous uses of the tenancy have not extended to 24 hours and in conjunction to its close proximity to residential units (above and adjoining) a trial period is a precautionary approach to monitor residential amenity. The proposed (15) maximum occupancy rate derives from the (14) maximum people (including staff and patrons) at any one time stated in the Plan of Management and Statement of Environmental Effects

79C(1)(c) the suitability of the site for the development

The proposed development is considered to be suitable to the site in that it provides a facility in an accessible location for both the surrounding working and residential population. Through the imposition of appropriate conditions the amenity of the surrounding residents will be maintained.

79C(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005 from 16 August 2017 to 29 August 2017, with no written submissions received.

79C(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions

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received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

CONCLUSION

The application has been assessed having regard to Section 79C of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2013 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

RECOMMENDATION

That Development Application No. 2017/115 for the fit out and use of the existing commercial tenancies as a gym at 19-21 Hillcrest Street, Homebush be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. SIGNAGE – DELETION OF ((SC)

The white signage comprising of eight (8) panels on the Parramatta Road elevation shall be deleted and either clear or opaque glassing substituted in its place. In addition, the black and white signage identifying the “24 hours” and “7 days” opening hours on the entry doors (Parramatta Road frontage) shall be deleted.

2. HOURS OF OPERATION - TRIAL PERIOD (SC)

The following operating hours are for a trial period of (12) months from the date of an Occupation Certificate.

Trial period	Hours of Operation
Monday to Friday	24 hours
Saturday and Sunday	24 hours
Public Holidays	Closed

At the cessation of the trial period, the hours of operation will revert to Monday to Sunday 6:00am to 10:00pm, unless a Section 96 application is lodged and favourably determined prior to the end of the trial period. The application must be made to council no less than **two (2) months prior to the expiry of this consent.**

(Reason: To permit a trial period of proposed hours of operation.)

3. WASTE SERVICE (SC)

A copy of the contract to provide commercial waste services must be submitted to Council **prior to the issue of the Occupation Certificate.**

(Reason: To ensure compliance with Council's services.)

4. AIR-CONDITIONING (SC)

The use of any air-conditioning equipment on the premises shall not give rise to any noise that can be heard within a habitable room in any residential premises (regardless of whether any door or window to that room is open):

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- (a) before 8am or after 10pm on any Saturday, Sunday or public holiday, or
- (b) before 7am or after 10pm on any other day.

(Reason: To protect the amenity of surrounding properties and the public)

5. GLASS AND SIGNAGE TRANSPARENCY (SC)

All business identification signage located on the windows (both Parramatta Road and Hillcrest Street frontage) shall be semi-transparent. All window areas with no business identification signage shall be transparent.

Amended plans demonstrating compliance with this condition shall be submitted to and approved by the Principal Certifying Authority **prior to the issue of a Construction Certificate.**

(Reason: To ensure appropriate business identification signage in the public domain.)

6. PATRON AND STAFF CAPACITY – MAXIMUM PERMITTED (SC)

The premises shall accommodate a maximum number of (15) people including staff, fitness trainer and patrons at any one time.

A sign shall be erected in a prominent position in the premises stating the maximum number capacity of the gym.

(Reason: To ensure compliance with the approved development.)

GENERAL CONDITIONS (GC)

7. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No.2017/115:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
Sheet 3	Demolition Plan	M.A.D.S	D	11 September 2017
Sheet 4	Proposed Floor Plan	M.A.D.S	D	11 September 2017
Sheet 5	Fitout Plan	M.A.D.S	D	11 September 2017
Sheet 11	Locality Plan	M.A.D.S	D	11 September 2017
-	Proposed Signage	Australian Fitness Management Pty Ltd	-	11 September 2017

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No.2017/115:

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Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Plan of Management	Australian Fitness Management Pty Ltd	1.0	11 September 2017
Waste Management Plan	Australian Fitness Management Pty Ltd	-	11 September 2017

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

8. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

9. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

10. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and

provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

11. LIGHTING (GC)

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Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: Control of the Obtrusive Effects of Outdoor Lighting so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads.

No flashing, moving or intermittent lighting, visible from any public place may be installed on the premises or external signage associated with the development, without the prior approval of Council.

(Reason: To protect the amenity of surrounding development and protect public safety.)

12. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

13. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

14. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.

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- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

15. ACCESS - DISABLED TOILETS (CC)

Plans and details of the disabled toilet/s complying with the relevant Australian Standards, the Building Code of Australia, and with regard to the Disability Discrimination Act 1992. Plans shall be notated demonstrating compliance and approved by the Principal Certifying Authority, prior to the issue of a Construction Certificate.

Note: Disability (Access to Premises - Buildings) Standards 2010 - As of 1 May 2011, if access is provided to the extent covered by this Standard, then such access cannot be viewed as unlawful under the Disability Discrimination Act 1992.

(Reason: To provide equitable access for people(s) with disabilities in accordance with the relevant legislation and Australian Standards.)

16. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

17. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 81A(2) of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

18. CONSTRUCTION AND ENVIRONMENTAL MANAGEMENT PLAN (CC)

The applicant must prepare and submit a Construction and Environmental Management Plan (CEMP) to the Principal Certifying Authority, including:

- i) Detailed information on any approvals required from other authorities prior to or during construction.
- ii) Traffic management, including details of:
 - ingress and egress of vehicles to the site;
 - management of loading and unloading of materials;
 - the location of heavy vehicle parking off-site; and
 - designated routes for vehicles to the site.
- iii) The proposed areas within the site to be used for a builder's site office and amenities, the storage of excavated material, construction materials and waste containers during the construction period.
- iv) Erosion and sediment control, detailing measures and procedures consistent with the requirements of Council's guidelines for managing stormwater, including:
 - the collection and treatment of stormwater and wastewater generated on site prior to discharge; and
 - procedures to prevent run-off of solid material and waste from the site.
- v) Waste management, including:
 - details of the types and estimated volumes of waste materials that will be generated;
 - procedures for maximising reuse and recycling of construction materials; and
 - details of the off-site disposal or recycling facilities for construction waste.
- vi) Dust control, outlining measures to minimise the generation and off-site transmission of dust and fine particles, such as watering or damp cloth fences.

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

- vii) A soil and water management plan, which includes:
- measures to minimise the area of soils exposed at any one time and conserve top soil;
 - identification and protection of proposed stockpile locations;
 - preservation of existing vegetation and revegetation;
 - measures to prevent soil, sand, sediments leaving the site in an uncontrolled manner;
 - measures to control surface water flows through the site in a manner that diverts clean run-off around disturbed areas, minimises slope gradient and flow distance within disturbed areas, ensures surface run-off occurs at non-erodible velocities, and ensures disturbed areas are promptly rehabilitated;
 - details of sediment and erosion control measures in place before work commences;
 - measures to ensure materials are not tracked onto the road by vehicles entering or leaving the site; and
 - details of drainage to protect and drain the site during works.
- viii) Asbestos management procedures:
- Anyone who removes, repairs or disturbs bonded or a friable asbestos material must hold a current removal licence from Workcover NSW holding either a Friable (Class A) or a Non- Friable (Class B) Asbestos Removal License which ever applies and a current WorkCover Demolition License where works involve demolition. To find a licensed asbestos removalist please see www.workcover.nsw.gov.au
 - Removal of asbestos by a person who does not hold a Class A or Class B asbestos removal license is permitted if the asbestos being removed is 10m² or less of non-friable asbestos (approximately the size of a small bathroom). Friable asbestos materials must only be removed by a person who holds a current Class A asbestos license.
 - Before starting work, a work site-specific permit approving each asbestos project must be obtained from Workcover NSW. A permit will not be granted without a current Workcover licence. All removal, repair or disturbance of or to asbestos material must comply with the following:
 - The Work Health and Safety Act 2011;
 - The Work Health and Safety Regulation 2011;
 - How to Safety Remove Asbestos Code of Practice – WorkCover 2011; and
 - Safe Work Australia Code of Practice for the Management and Control of Asbestos in the Workplace.
 - Following completion of asbestos removal works undertaken by a licensed asbestos removalist re-occupation of a workplace must not occur until an independent and suitably licensed asbestos removalist undertakes a clearance inspection and issues a clearance certificate.
 - The developer or demolition contractor must notify adjoining residents at least two (2) working days (i.e. Monday to Friday exclusive of public holidays) prior to the commencement of asbestos removal works. Notification is to include, at a minimum:
 - the date and time when asbestos removal works will commence;
 - the name, address and business hours contact telephone number of the demolisher, contractor and/or developer;
 - the full name and license number of the asbestos removalist/s; and
 - the telephone number of WorkCover's Hotline 13 10 50
 - warning signs informing all people nearby that asbestos removal work is taking place in the area. Signs should be placed at all of the main entry points to the asbestos removal work area where asbestos is present. These signs should be weatherproof, constructed of light-weight material and adequately secured so they remain in prominent locations. The signs should

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

- be in accordance with AS 1319-1994 Safety signs for the occupational environment for size, illumination, location and maintenance; and
- appropriate barricades installed as appropriate to prevent public access and prevent the escape of asbestos fibres. Barricades must be installed prior to the commencement of asbestos removal works and remain in place until works are completed.

(Reason: Safety, amenity and protection of public infrastructure and the environment.)

19. **COUNCIL PERMITS – FOR ALL ACTIVITIES ON COUNCIL LAND (CC)**

Works Permit

(as per Section 68 of the Local Government Act 1993 and Section 138 and 139 of the Roads Act 1993)

A Works Permit is required for construction of a vehicular crossing (driveway), new stormwater down pipe connection to kerb and gutter, new footpath and/or stormwater connection. A Works Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Standing Plant Permit

This permit must be applied for where it is intended to park a concrete pump, crane or other plant on the roadway or footpath. A Standing Plant Permit Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Skip Bin Permit

This permit must be applied for if you intend to place a skip bin on the roadway or footpath. A Skip Bin Application Form is available from Council's Customer Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Temporary Full or Part Road Closure Permit

This permit must be applied for if you require a full or a part road closure to take place to assist in your construction works. Please use the Works Permit Application Form, which is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website. Please note a Road Closure Permit is not required for standing plant.

Hoarding Permit

This permit must be applied for if you intend to erect a Class A (fence type) or Class B (overhead type) hoarding along the street frontage(s). A Hoarding Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Work Zone Permit

This permit must be applied for if you require permanent parking along the kerbside at the front of the site during construction works. A Work Zone Permit Application Form is available from Council's Customer Service Centre or can be downloaded from Council's website. The applicable fees and charges are located on Council's website.

Ground Anchoring Permit

This permit must be applied for, for the installation of ground anchors under Council's footway/road reserve. It does not cover ground anchors under private properties. A separate

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Lot 1 DP 1131407 (Cont'd)

approval is required to be obtained from Roads and Maritime Services (RMS) if it is proposed to install ground anchors under a State or Classified Regional Road (please refer to the end of this application form for more information).

(Reason: Council requirement)

20. **FIRE SAFETY SCHEDULE (CC)**

A Fire Safety Schedule specifying the fire safety measures (both current and proposed) which should be implemented in the building premises must be submitted with the Construction Certificate application, in accordance with Part 9 of Clause 168 of the Environmental Planning and Assessment Regulation 2000.

Note: A Construction Certificate cannot be issued until a Fire Safety Schedule is received.

(Reason: Compliance with the Environmental Planning and Assessment Act 1979.)

21. **SECURITY PAYMENT - DAMAGE DEPOSIT FOR COUNCIL INFRASTRUCTURE (CC)**

A security (damage deposit) of **\$2,700.00** (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to Council property during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development. All building work must be carried out in accordance with the Building Code of Australia.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

Any costs associated with works necessary to be carried out to rectify any damages caused by the development, shall be deducted from the Damage Deposit.

Note: Should Council property adjoining the site be defective e.g. cracked footpath, broken kerb etc., this should be reported in writing, or by photographic record, submitted to Council at least seven (7) days prior to the commencement of any work on site. This documentation will be used to resolve any dispute over damage to infrastructure. It is in the applicant's interest for it to be as full and detailed as possible.

The damage deposit shall be refunded upon completion of all works upon receipt of a Final Occupation Certificate stage and inspection by Council.

(Reason: Protection of Council infrastructure.)

22. **TRAFFIC - CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CC)**

A Construction Traffic Management Plan (CTMP) is to be prepared by an appropriately qualified Traffic Management Consultant and submitted to and approved by Council's Engineering Section, prior to the commencement of any works including demolition.

The following matters should be addressed in the CTMP (where applicable):

- i) description of the demolition, excavation and construction works;
- ii) site plan/s showing the site, roads, footpaths, site access points and vehicular

**19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)**

- movements;
- iii) size, type and estimated number of vehicular movements (including removal of excavated materials, delivery of materials and concrete to the site);
 - iv) proposed route(s) from the arterial (state) road network to the site and the proposed route from the site back to the arterial road network;
 - v) impacts of the work and vehicular movements on the road network, traffic and pedestrians and proposed methods to safely manage pedestrians and construction related vehicles in the frontage roadways;
 - vi) any Traffic Control Plans (TCP's) proposed to regulate traffic and pedestrian movements for construction activities (such as concrete pours, crane installation/removal etc.);
 - vii) proposed hours of construction related activities and vehicular movements to and from the site;
 - viii) current/proposed approvals from other Agencies and Authorities (including Roads and Maritime Services, Police and State Transit Authority);
 - ix) any activities proposed to be located or impact upon Council's road, footways or any public place;
 - x) measures to maintain public safety and convenience;
 - xi) any proposed road and/or footpath closures;
 - xii) turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site;
 - xiii) locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council;
 - xiv) location of any proposed crane and concrete pump and truck standing areas on and off the site (and relevant approvals from Council for plant on road);
 - xv) a dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries;
 - xvi) material, plant and spoil bin storage areas within the site, where all materials are to be dropped off and collected;
 - xvii) on-site parking area for employees, tradespersons and construction vehicles as far as possible;
 - xviii) proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period; and
 - xix) how it is proposed to ensure that soil/excavated material is not transported onto surrounding footpaths and roadways.

(Reason: To mitigate traffic impacts on the surrounding area during the construction period.)

23. WASTE MANAGEMENT PLAN (CC)

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated and all proposals to re-use, recycle or dispose of the waste. The WMP is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: To ensure appropriate management of waste.)

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORKS (CW)

24. APPOINTMENT OF A PRINCIPAL CERTIFYING AUTHORITY (PCA) (CW)

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

No work shall commence in connection with this Development Consent until:

- i) A construction certificate for the building work has been issued by the consent authority or a Principal Certifying Authority.
- ii) The person having the benefit of the development consent has appointed a principal certifying authority for the building work, and notified the principal certifying authority that the person will carry out the building work as an owner/builder, if that is the case.
- iii) The principal certifying authority has, no later than 2 days before the building work commences:
 - notified the Council of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- iv) The person having the benefit of the development consent, if not carrying out the work as an owner-builder, has:
 - appointed a principal contractor for the building work who must be the holder of a contractor licence if any residential building work is involved;
 - notified the principal certifying authority of such appointment; and
 - unless that person is the principal contractor, notified the principal contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work.
- v) The person having the benefit of the development consent has given at least 2 days notice to the Council of the person's intention to commence the erection of the building.

Note: If the principal certifying authority is the Council, the nomination will be subject to the payment of a fee for the service to cover the cost of undertaking all necessary inspections and the issue of the appropriate certificates.

Under the Environment Planning and Assessment (Quality of Construction) Act, 2003, a sign must be erected in a prominent position on the work site showing the name, address and telephone number of the principal certifying authority; the name of the principal contractor (if any) for the building work and a telephone number at which that person may be contacted outside working hours. That sign must also state that unauthorised entry is prohibited. The sign must not be removed until all work has been completed.

(Reason: Statutory requirement.)

25. NOTICE OF COMMENCEMENT (CW)

No work shall commence until the following details are submitted to Council:

- i) a Notice of Commencement (form will be attached with issue of a Construction Certificate or available from our website) within two (2) days of the date on which it is proposed to commence works associated with the Development Consent;
- ii) details of the appointment of a Principal Certifying Authority (either Council or another Principal Certifying Authority); and
- iii) details of the name, address and licence details of the Builder.

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

26. OBSTRUCTION OF PUBLIC WAY NOT PERMITTED DURING WORKS (DW)

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Lot 1 DP 1131407 (Cont'd)

The public way must not be obstructed by any materials, vehicles, refuse, skips or the like, under any circumstances, without the prior approval of Council.

(Reason: To maintain public access and safety.)

27. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight docket, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Stamped plans, specifications, documentation and the consent shall be available on

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

site at all times during construction.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE (OC)

28. FIRE SAFETY CERTIFICATION (OC)

A fire safety certificate shall be obtained in accordance with Part 9, Division 4 of the Environmental Planning and Assessment Regulation 2000, prior to the issue of any Occupation Certificate.

An fire safety certificate is a certificate issued by the owner of a building to the effect that each essential fire safety measure specified in the current fire safety schedule for the part of the building to which the certificate relates:

- i) has been assessed by a properly qualified person; and
- ii) was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which the certificate is issued.

An interim fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(2) of the Environmental Planning & Assessment Regulation 2000.

A final fire safety certificate must be provided before an interim occupation certificate can be used for a building under Clause 153(1) of the Environmental Planning & Assessment Regulation 2000.

A copy of the fire safety certificate and fire safety schedule shall be:

- i) submitted to Strathfield Council;
- ii) submitted to the Commissioner of the New South Wales Fire Brigade; and
- iii) prominently displayed in the building.

(Reason: Fire safety and statutory requirement.)

29. OCCUPATION OF BUILDING (OC)

A person must not commence occupation or use (or change of use where an existing building) of the whole or any part of a new building (within the meaning of section 109H (4) of the Act) unless an Interim Occupation Certificate or Final Occupation Certificate has been issued in relation to the building or part.

The Principal Certifying Authority is required to be satisfied, amongst other things, that:

- i) all required inspections (including each applicable mandatory critical stage inspection) have been carried out; and
- ii) any preconditions to the issue of the certificate required by a development consent have been met.

Note: New building includes an altered portion of, or an extension to, an existing building.

19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)

(Reason: Statutory requirement.)

CONDITIONS TO BE SATISFIED DURING ONGOING USE OF THE PREMISES (OU)

30. COMMERCIAL PREMISES - NO SIGNAGE OR GOODS ON PUBLIC FOOTWAY (OU)

At no time may any signs including sandwich boards and the like or goods for sale or display, be placed on the public road, public footpath, service land, parking area and driveways, public or private pedestrian walkways outside the premises or in the immediate vicinity without the prior approval of Council.

(Reason: Safety and amenity.)

31. FIRE SAFETY ANNUAL STATEMENT (OU)

Pursuant to Part 9, Division 5 of the Environmental Planning and Assessment Regulation (as amended) the owner of the building shall provide to Council an Annual Fire Safety Statement from an appropriately qualified person certifying the essential fire safety measures in the building. The Annual Fire Safety Statement shall be submitted within 12 months of the issue of the fire safety certificate, and then on an annual basis.

A copy of the Fire Safety Statement obtained and Fire Safety Schedule shall also be:

- i) Forwarded to the Commissioner of the New South Wales Fire Brigade; and
- ii) Prominently displayed in the building.

(Reason: Fire safety)

32. NOISE - COMPLAINTS RELATING TO USE (OU)

The use of the premises shall comply with the requirements of the Protection of the Environment Operations (Noise Control) Regulation 2008.

Should substantiated complaints or breaches of noise regulations occur, a suitably qualified acoustic consultant shall be engaged by Council to measure noise emanating from the building/premises and to recommend appropriate action. The cost of such an appointment shall be borne by the operator/owner and any works recommended by the acoustic consultant shall also be borne by the operator/owner and carried out within a time frame set by Council.

(Reason: Noise control and amenity.)

33. NOISE - NO AMPLIFIED MUSIC (OU)

Music and other amplified sound played on the premises shall not be audible within any residential premise or give rise to offensive noise as defined under the provisions of the Protection of the Environment Operations Act 1997. The sound level output shall not exceed 5 dB(A) above the ambient background level at the received boundary.

Speakers must not be installed and music must not be played in any of the outdoor areas associated with the premises including the public domain. Speakers located within the premises must not be placed so as to direct the playing of music towards the outdoor areas associated with the premises.

(Reason: To protect the amenity of surrounding properties and the public.)

**19-21 Hillcrest Street, Homebush
Lot 1 DP 1131407 (Cont'd)**

34. NOISE - SIGNAGE TO PATRONS EXITING THE PREMISES (OU)

A clearly visible sign shall be permanently erected immediately adjacent to the entry/exit doors indicating that patrons are to leave in an orderly fashion and shall leave the vicinity of the premises in a manner that does not disturb the quiet and good order of the neighbourhood.

(Reason: Public interest.)

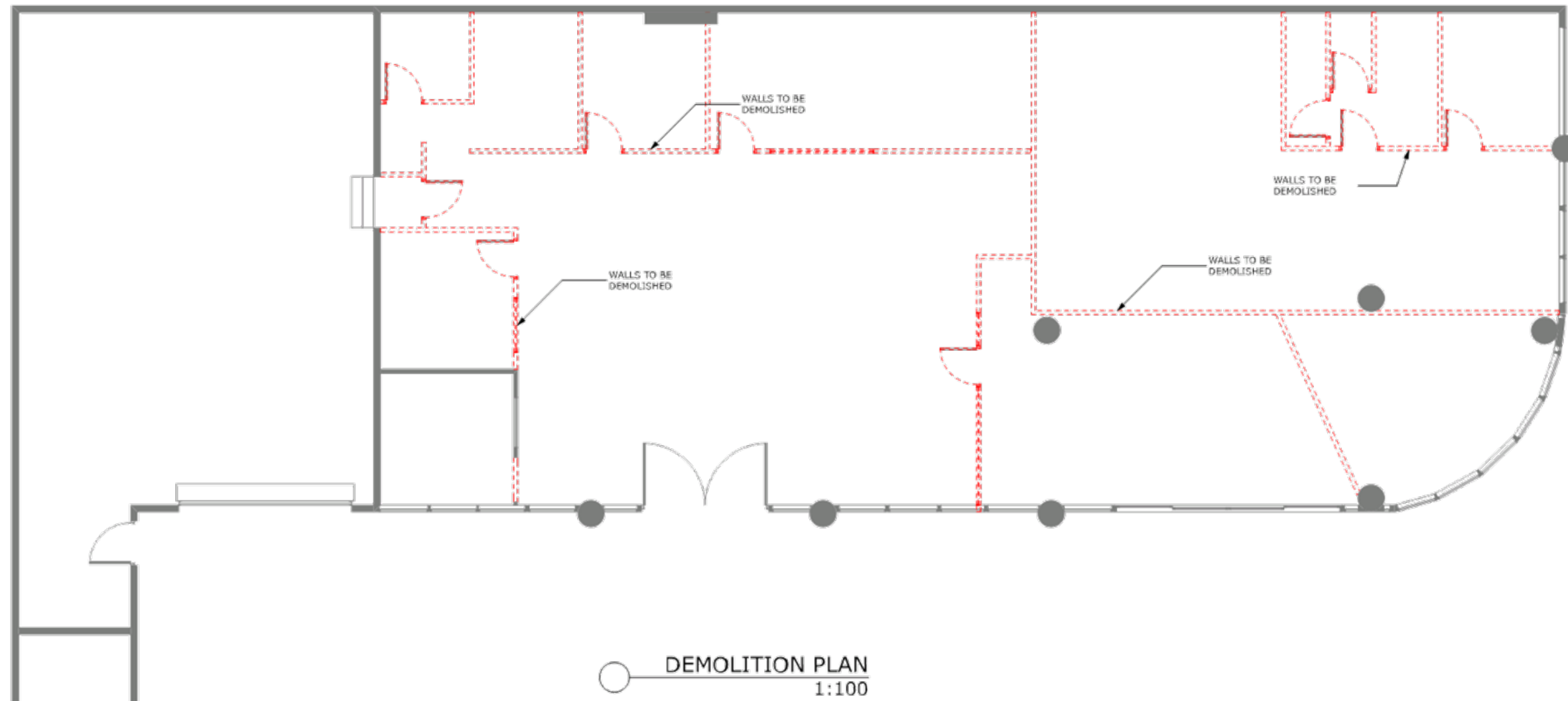
35. PLAN OF MANAGEMENT PLAN (OU)



The Plan of management prepared by Australian Fitness Management Pty version 1.0 shall be complied with at all times.

(Reason: Noise control, amenity and safety.)

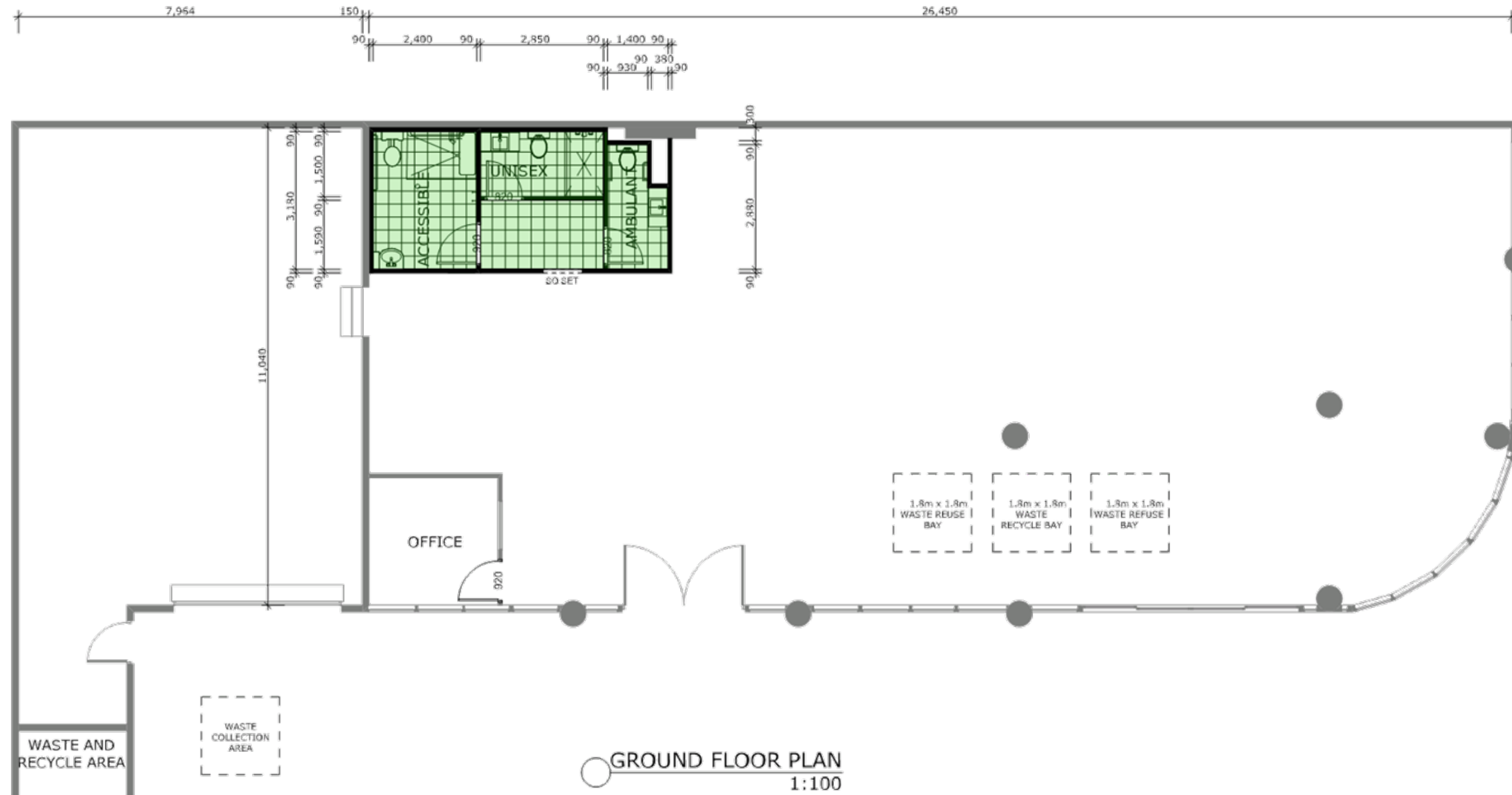
ATTACHMENTS

1. Architectural Plans





CLIENT PLUS FITNESS HOMEBUSH LOT #LOT NUMBER, DP #DP NUMBER 1/9-21 HILLCREST STREET HOMEBUSH - -	JOB: PROPOSED GYM	SHEET SIZE: A3	DATE: 11/04/2017		NOTES: 1. LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING 3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED 4. WINDOW SIZES ARE NOMINAL ONLY. FINAL WINDOW SCHEDULE BY BUILDER.	 Head Office Suite 8 Shop 10/1 Exchange Parade Narellan NSW 2567 1300 GYM247 www.plusfitness.com.au	 www.macdraft.com.au (02) 4655 1390 info@macdraft.com.au
	DRAWING DEMOLITION PLAN	DRAWING No: 4959	SHEET: 3/12	ISSUE: D			



FRANCHISEE WORKS PLAN

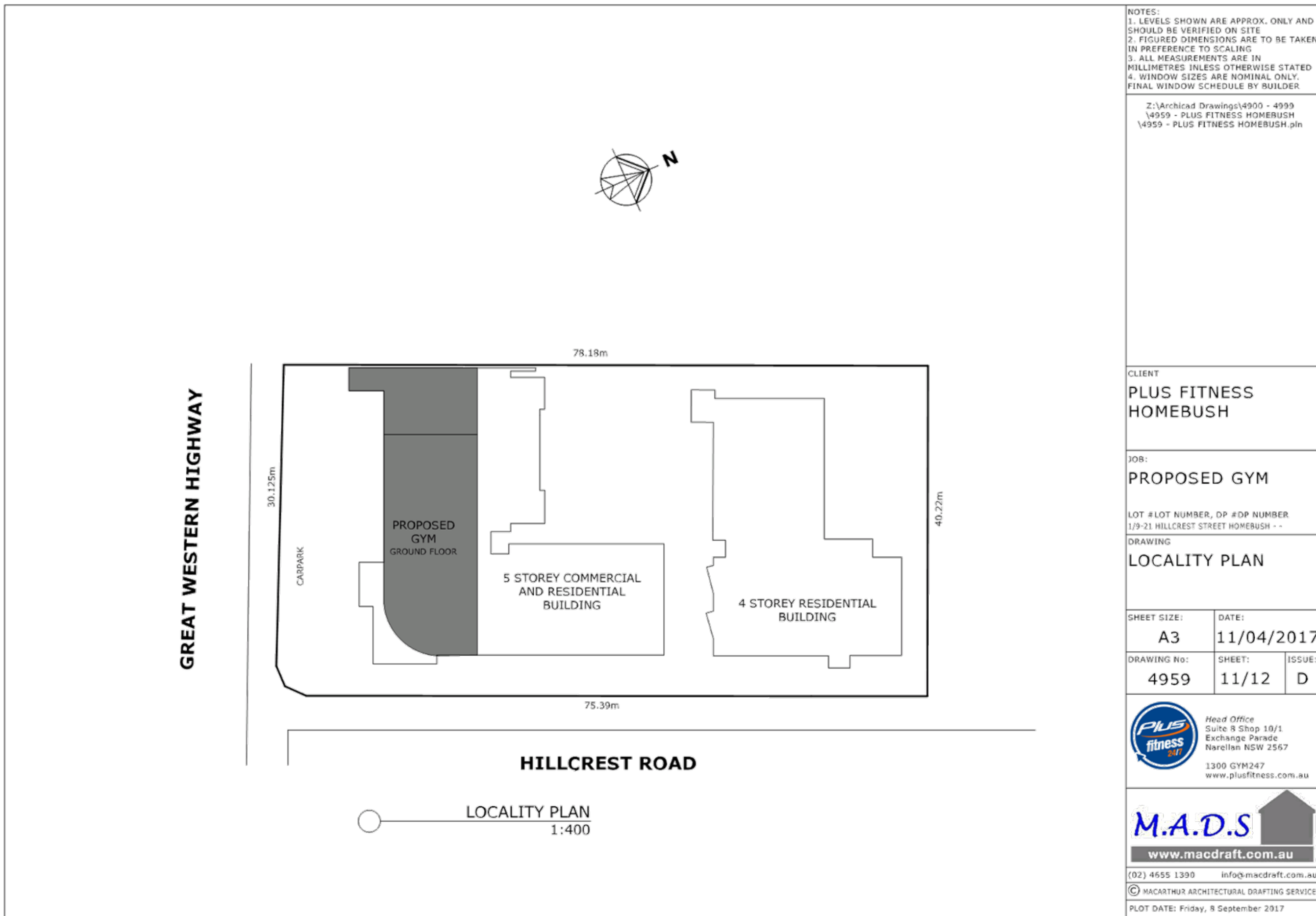


GROUND FLOOR PLAN
1:100

CLIENT PLUS FITNESS HOMEBUSH LOT #LOT NUMBER, DP #DP NUMBER 1/9-21 HILLCREST STREET HOMEBUSH - -	JOB: PROPOSED GYM	SHEET SIZE: A3	DATE: 11/04/2017		NOTES: 1. LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING 3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED 4. WINDOW SIZES ARE NOMINAL ONLY. FINAL WINDOW SCHEDULE BY BUILDER	 Head Office Suite 8 Shop 10/1 Exchange Parade Narellan NSW 2567 1300 GYM247 www.plusfitness.com.au	 www.macdraft.com.au (02) 4655 1390 info@macdraft.com.au
	DRAWING PROPOSED FLOOR PLAN	DRAWING No: 4959	SHEET: 4/12	ISSUE: D			



CLIENT PLUS FITNESS HOMEBUSH LOT #LOT NUMBER, DP #DP NUMBER 1/9-21 HILLCREST STREET HOMEBUSH - -	JOB: PROPOSED GYM	SHEET SIZE: A3	DATE: 11/04/2017		NOTES: 1. LEVELS SHOWN ARE APPROX. ONLY AND SHOULD BE VERIFIED ON SITE 2. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING 3. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE STATED 4. WINDOW SIZES ARE NOMINAL ONLY. FINAL WINDOW SCHEDULE BY BUILDER.	 Head Office Suite 8 Shop 10/1 Exchange Parade Narellan NSW 2567 1300 GYM247 www.plusfitness.com.au	 www.macdraft.com.au (02) 4655 1390 info@macdraft.com.au
	DRAWING FITOUT PLAN	DRAWING No: 4959	SHEET: 5/12	ISSUE: D			



Proposed Signage—Plus Fitness Homebush



Item 1



Details—

Item 1— Frosted SAV with light cutout, and Acrylic SAV

Item 2— Frosted SAV with light cutout, and Acrylic SAV



Item 2

Elevation Signage Plan

Site Address— 1/9-21 Hillcrest Street, Homebush

Date—20.06.2017

Version 1.0

Prepared by—Australian fitness Management

Proposed Signage—Plus Fitness Homebush



Item 3

Details—

Item 3— Frosted SAV with light cutout, and Acrylic SAV



Elevation Signage Plan

Site Address— 1/9-21 Hillcrest Street, Homebush

Date—20.06.2017

Version 1.0

Prepared by—Australian fitness Management

TO: Strathfield Independent Hearing and Assessment Panel Meeting - 5 October 2017

REPORT: SIHAP – Report No. 3

SUBJECT: 86 & 87 THE CRESCENT, HOMEBUSH WEST
LOT 1 IN DP 135827 AND LOT 5 IN DP 652732

DA NO. 2015/133/01

SUMMARY

Proposal: Section 96(1A) seeking minor internal and external alterations to the approved structure

Applicant: Platform Architects

Owner: Homebush West Holdings P/L

Date of lodgement: 26 July 2017

Assessment officer: LM

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

On 19 July 2016, Council approved Development Application No. 2015/133 on a Deferred Commencement basis for demolition of existing structures and construction of a four (4) storey residential flat building containing (20) units comprising three (3) x 1 bedroom, (14) x 2 bedroom and three (3) x 3 bedroom units above one (1) level of basement parking.

On 27 June 2017, the Deferred Commencement matters were satisfied and the approval was issued.

This modification application seeks minor internal and external alterations to the approved structure involving minimal environmental impact under Section 96(1A) of the *Environmental Planning and Assessment Act 1979*. The prime purpose for the proposed application is to increase the structural slab thickness to achieve compliance with building standards.

Further, the proposal has also sought to modify the design in accordance with the required changes specified under Special Condition 5. This includes provision of new privacy screening to windows, reconfiguration of internal stairwell, and provision of an accessible ramp and conversion of parking space No.24 to a ventilated waste room for the storage of bins.

The proposed development is considered appropriate given that the proposal will allow the development to achieve compliance with building regulations whilst also demonstrating compliance with the design amendments required under Special Condition 5. Accordingly, the proposed development is recommended for approval.

The subject application was referred to Council's Internal Development Assessment Panel (IDAP) for consideration on 27 September 2017. The Panel supported the Assessing Officers recommendation and associated conditions and recommended that the application be referred to SIHAP for determination.

DESCRIPTION OF THE PROPOSED MODIFICATION(S)

The specific elements of the modification(s) sought are as follows:

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Lot 1 in DP 135827 and Lot 5 in DP 652732 (Cont'd)

Basement

- Install bin room as required under parent consent
- Reconfigure basement parking to provide a bin room

Ground Floor

- Remove terrace to unit 05
- Extend width of south-western window to bedroom 1 of unit 05
- Install planter boxes along opposite sides of common access ramp
- Install security gate along western side entry path
- Install fire hydrant upon western side entry path
- Install a new window to the kitchen, living room and bedroom 2 of unit 1
- Increase deep soil landscaped space fronting the northern side elevation of unit 1
- Install staircase to external terrace area of unit 2
- Install structural column to north-eastern corner of unit 2
- Increase length of planter boxes located upon eastern side elevation of the site
- Delete terrace to bedroom 2 of unit 04
- Removal of car park exhaust adjoining elevator

First & Second Floor

- Expand bedroom 1 window to units 11/17
- Remove southern elevation screens to units 10/16 and 11/17
- Install privacy screening to bedroom 2 of units 12/18
- Install window to kitchen to units 7/13
- Install new window to living room and bedroom 2.
- Install awning to the northern elevation of building between units 7/13 and 8/14.
- Remove northern-orientated screens to unit 8/14
- Install privacy screen to terrace of units 9/15
- Remove eave over balcony of unit 11/17

Third Floor

- Relocate bathroom to western side elevation of unit 19 and bedroom 1 to eastern side elevation of unit
- Remove south facing privacy screen to the terrace of unit 20
- Install north facing window to bedroom 2 as a highlight window
- Extend concrete slab to the north-west corner of the site.

SECTION 96(1) OF THE EP&A ACT 1979

Section 96(1A) of the Environmental Planning and Assessment states as follows:

(1A) Modifications involving minimal environmental impact.

A consent authority may modify the consent if:

- (a) It is satisfied that the proposed modification is of minimal environmental impact, and
- (b) It is satisfied that the development to which the consent (as modified) relates is substantially the same development as the development for which the consent was originally granted, before that consent was modified (if at all), and
- (c) It has notified the application in accordance with:
 - (i) The regulations, if the regulations so require, or

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- (ii) A development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and
- (d) It has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.

With regard to sub-clause (a), the proposed development (as modified) is of minimal environmental impact as it consists of minor internal and external alterations to the approved four (4) storey residential flat building involving reconfiguration of basement carpark including thickening of the ground transfer slab and relocation of the internal ramp. The proposal also involves external modifications including installation of additional windows, privacy screens and re-design of both private and communal open space areas so as to improve residential amenity. The proposed modifications will not result in any increase to the overall building height of the development.

With regard to sub-clause (b), the proposed development (as modified) is substantially the same development as the development for which consent was originally granted in that the development is for a four (4) storey residential flat building containing (20) apartments over one (1) level of basement parking.

In relation to sub-clauses (c) and (d), the Application is a S96(1A) application involving minor internal and external modifications and was therefore notified in accordance with Part L of the Strathfield Consolidated Development Control Plan 2005. No submissions were received during this time.

REFERRALS

INTERNAL REFERRALS

Engineering Comments

Council's Engineer has commented on the proposal as follows:

"The concept plan is not feasible as the butterfly junction pit connecting the proposed drainage pipe to Council's drainage system is not acceptable."

Amended plans were submitted during the assessment process demonstrating general compliance with engineering concerns.

Council's Engineer offered no objections to the proposal, subject to the imposition of recommended conditions of consent.

SECTION 79C CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 79C of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

79C(1)(a) the provisions of:

- (i) any environmental planning instrument**

SEPP 55 – Remediation of Land

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State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55) requires Council to consider whether the site is suitable in its current state, contaminated state or following the completion of remediation works for the purposes for which development consent is being sought. The proposed modifications will not result in any further demolition or excavation of the site. Accordingly, the proposed modifications are considered suitable for the site.

SEPP 65 – Design Quality of Residential Apartment Development

SEPP 65 – Design Quality of Residential Apartment Development (SEPP 65) aims to improve the design quality of residential apartment development in New South Wales.

In determining development applications for residential flat buildings, the SEPP requires Council to take into consideration the advice of a Design Review Panel, the design quality of the proposal when evaluated against the nine (9) design quality principles in the SEPP and the objectives of the *Apartment Design Guide* (ADG).

The following table provides an assessment of the proposal against the nine (9) design quality principles of SEPP 65:

Principle	Objective	Proposed
Landscape	<p><i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</i></p> <p><i>Good landscape design enhances the development’s environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</i></p> <p><i>Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours’ amenity and provides for practical establishment and long term management.</i></p>	<p>The proposal includes an amended landscape plan which will assist to integrate the proposed building into the streetscape through the use of tree plantings which are responsive in scale to the four (4) storey height of the development. The landscape design enhances the communal open spaces, providing shade and a range of plantings which include low maintenance plants such as succulents.</p>
Amenity	<p><i>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well-being.</i></p> <p><i>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook,</i></p>	<p>The proposal is designed to provide a good level of internal amenity for residents. 75% (15 units) receive 3 or more hours of solar access and 85% (17 units) are naturally cross ventilated. This satisfies the requirements of the Apartment Design Guide and will provide future residents with a good level of amenity.</p>

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Principle	Objective	Proposed
	<i>visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.</i>	
Safety	<p><i>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</i></p> <p><i>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well-lit and visible areas that are easily maintained and appropriate to the location and purpose.</i></p>	The proposal appropriately addresses the street and will provide opportunities for passive surveillance of the public domain. The screening devices applied to the northern facing balconies have been replaced with low lying glass balustrading which will improve permeability as well as passive surveillance to the streetscape.

Apartment Design Guide

Design Criteria	Required	Proposed	Compliance
3F – Visual Privacy	<p>Offset windows</p> <p>Vertical fins or privacy screens between balconies</p> <p>Additional separation (+6m) required adjacent to lower density zone.</p>	Privacy screens have been provided along eastern elevation of development including re-design of stairs accessing the south facing terrace to unit 04 to include privacy screen.	Yes.
3J – Bicycle and Car Parking	<p>Direct, clearly visible and well-lit access should be provided into common circulation areas.</p> <p>A clearly defined and visible lobby or waiting area should be provided to lifts and stairs.</p> <p>Within 800m of railway station: RMS rates: <u>20 or more units:</u> 1 bedroom: 0.6 spaces x 3 units 2 bedroom: 0.9 spaces x 14 units 3 bedroom: 1.4 spaces x 3 units</p> <p>Required: 18.6 spaces</p> <p>Visitor 1 per 5 units Required: 4</p> <p>TOTAL: 22.6 (23) spaces</p>	<p>Vehicular entry is retained to the eastern boundary and is well concealed to ensure it does not dominate the streetscape.</p> <p>(23) car parking spaces proposed.</p>	<p>Yes.</p> <p>Yes.</p>

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Design Criteria	Required	Proposed	Compliance
4A – Solar and Daylight Access	Min. 70% (14 units) receive 2 hours solar access.	85%(17) units receive 3 hours solar access	Yes.
	Max. 15% units have no solar access	15% (3) units receive nil solar access.	Yes.
4B – Natural Ventilation	Min. 60% units are cross ventilated in first 9 storeys Cross-over/Cross-through Max 18m depth Light wells are not the primary source of ventilation for habitable rooms Single aspect units have limited depth to maximise ventilation.	95% (19) units are able to naturally cross ventilate.	Yes.
4C – Ceiling Heights	Habitable: 2.7m Non-habitable: 2.4m 2 storey apartments: 2.7m main living area, 2.4m mezzanine Mixed Use: 3.3m ground floor.	2.7m	Yes.
4E – Private Open Space and Balconies	Studio: 4m ² 1 bed: 8m ² , min depth 2m 2 bed: 10m ² , min depth 2m 3 bed: 12m ² , min depth 2.4m Ground floor apartments: 15m ²	Min. 9m ² Min. 10m ² Min. 11.5m ² Min 28.5m ²	Yes. Yes. Yes, acceptable as departure is 0.5m ² . Yes
4O – Landscape Design	Responsive to streetscape Viable and sustainable	Landscape design is appropriate and is low maintenance.	Yes.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

No works are proposed as part of this application. Accordingly, the proposal does not alter the approved development's assessment against the relevant provisions of the Strathfield Local Environmental Plan (SLEP) 2012.

79C(1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are currently or have been placed on public exhibition, to consider as part of this assessment.

79C(1)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

Part C – 'Multiple-Unit Housing' of the Strathfield Consolidated Development Control Plan (DCP) 2005

Part C – Multiple-Unit Housing of the DCP is of relevance to the assessment of an application for a residential flat building and as such applies to the proposal.

In the recent revision to SEPP 65, Clause 6A was introduced to confirm that in the instance of any inconsistency between the controls of the ADG and Council's Development Control Plan, the objectives, design criteria and design guidance set out in the ADG prevail.

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Section	Development Control	Required	Proposed	Compliance
2.4.2.2	Solar Access	50% of the principle private open space achieves a minimum of 3 hours sunlight during the winter solstice.	Solar access in ADG prevails.	N/A
	Solar Access	Solar access to habitable rooms and private open space of adjoining properties be provided for a minimum of 3 hours during the winter solstice.	Solar access in ADG prevails.	N/A
2.4.4	Natural Lighting	Reduce reliance on artificial lighting	85%(17) units receive 3 hours solar access during mid-winter.	Yes.
2.7	Open space and landscaping	RFBs – Landscaped area does not include any area for driveways, parking, side setback less than 1.2m in width, pools, outbuildings. At least 60% of the landscaped area must remain as unpaved 'soft' landscaping.	ADG prevails.	N/A
		35% of the landscaped area is to be provided as deep soil landscaping this excludes basement underneath areas.	ADG prevails.	N/A.
		10% (128m ²) of the site area is to be provided as communal open space, with a minimum dimension of 7m.	20.90% (268.8m ²)	Yes.
		RFBs – where dwellings do not have access to ground level open space at least one main balcony is to have a size of 12m ² (up to 2 bed) and 15m ² (3 or more bed). Balconies must have a depth of 2m.	ADG prevails.	N/A.
2.9	Car Parking	Car parking is required to be provided as follows: 1 bed = 1 space 2 bed = 1.5 spaces 3 + bed = 2 spaces	ADG Prevails	N/A
		Developments with greater than 10 units must provide one designated car washing bay.	Car wash bay provided to the far south-eastern parking bay	Yes

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Section	Development Control	Required	Proposed	Compliance
	Ramp Driveway Gradient/ design	Minimum lane width: 3.6m Maximum transition zone: 10% Maximum ramp gradient: 20%	Assessed as appropriate for vehicular access by Council's Engineer.	Yes.

Part H – 'Waste Management' of the Strathfield Consolidated Development Control Plan (DCP) 2005

Section 3.3.6 of Part H of the SCDCP requires the provision of facilities to permit the on-site collection of waste. The proposed modifications have sought to convert car parking space 24 (located closest to the ramp) to a garbage area as per the parent conditions of consent. The bin room design and its location within the basement is considered appropriate for the site and is therefore acceptable.

79C(1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 93F of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Appropriate conditions are included on the original consent to ensure compliance with any relevant regulations.

(ii) any coastal zone management plan

The proposed development is located on a site that is not subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

79C(1)(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

The proposal has sought a number of modifications to both the internal and external configuration of the approved residential flat building on the subject site. The modifications are primarily a result of the requirement to thicken the ground transfer slab between the basement and ground floor level of the building. This in turn has consequently resulted in the need to reconfigure basement parking. The revised design has shifted the circular movement of cars so as to achieve a greater fall to the western side boundary of the site which will avoid any increase in overall building height.

The proposal has also implemented the previous modifications required under the parent conditions of consent. This has involved a reconfiguration of the stair accessing the south facing terrace; additional privacy screening provisions; and conversion of parking space No.24 to a ventilated waste room for the storage of bins. Additionally, the proposal has also sought to install additional windows to kitchens pertaining to units throughout the building as well as delete the car park exhaust shaft which is no longer required.

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79C(1)(c) the suitability of the site for the development

The proposed modifications are considered minor in nature and are considered suitable for the subject site.

79C(1)(d) any submissions made in accordance with this Act or the regulations

The application was notified in accordance with Part L of the SCDCP 2005. No submissions were received during this time.

79C(1)(e) the public interest

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation. The proposed modifications are minor in nature providing visual privacy and general residential amenity improvements. These modifications are therefore not considered contrary to the public interest.

SECTION 94 CONTRIBUTIONS

Section 94 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
 - (b) the payment of a monetary contribution,*
- or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.”*

This section 96(1A) application does not trigger any changes to the original condition of consent requiring payment of a section 94 contribution in accordance with Council's Section 94 Contributions Plan.

CONCLUSION

The application has been assessed having regard to Section 79C of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2013 and the Strathfield Development Control Plan 2005, is considered to be satisfactory and is recommended for approval.

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RECOMMENDATION

Pursuant to Section 96 of the Environmental Planning and Assessment Act 1979, the proposed modification(s) to Development Consent No. 2015/133/01 for Section 96(1A) involving minor internal and external alterations to the approved structure at 86-87 The Crescent, Homebush West be **APPROVED**, subject to:

1. The original conditions of consent as approved by Council on 27 June 2017.
2. As modified by the Section 96(1) application (DA2015/133/01) as follows:

Condition 1 shall be modified as follows:

Plans

1. The development shall be completed in accordance with the approved plans and documents listed below, prior to the building being used or occupied, and subject to any amendments "in red" and any variation as required by conditions of this consent:

Demolition Plan Dwg 00 Issue B prepared by Platform Architects Pty Ltd received by Council 22 April 2016.

Ground Floor Plan Dwg 102 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

First and Second Floor Plan Dwg 103 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

Third Floor Plan Dwg 104 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

Roof Plan Dwg 105 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

Basement Car Park Dwg 101 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

North & South Elevation Dwg 201 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

East Elevation & Section DD West Elevation & Section BB Plan Dwg 202 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

Section CC Dwg 205 Revision B prepared by Platform Architects Pty Ltd received by Council 26 July 2017.

Preliminary Site Investigation Report No. E22653 AA_Rev 0 prepared by EIAUSTRALIA received by Council 22 April 2016.

Flood Impact Assessment prepared by SGC received by Council 22 April 2016.

BASIX Certificate No. 783453M, issued 1 May 2017

Colours and Finishes Schedule prepared by Platform Architects received by Council 22 April 2016.

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Arboricultural Impact Report prepared by Landscape Matrix received by council 28 October 2015.

Carpark Ramp and Driveway Certification prepared by ML Traffic Engineers received by Council 28 October 2015.

Acoustic Assessment prepared by Acoustic Logic received by Council 28 October 2015.

Landscape Plan Dwg No. 1 of 2 Issue D prepared by Paul Scrivener received by Council 26 July 2017.

Landscape Plan Dwg No. 2 of 2 Issue D prepared by Paul Scrivener received by Council 26 July 2017.

Stormwater Concept Design Cover Sheet SW01, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Stormwater Concept Design – Basement Plan, Sheet SW02, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Stormwater Concept Design – Ground Floor Plan, Sheet SW03, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Stormwater Concept Design – Details Sheet, Sheet SW04, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Sediment and Erosion Control Plan and Details, Sheet SW05, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Stormwater Concept Design – External Drainage, Sheet SW06, Revision E, prepared by SGC Engineering, received by Council 19 September 2017.

Carpark Certification Report prepared by ML Traffic Engineers, received by Council 26 July 2017.

Condition 5 shall be deleted.

Condition 25 shall be amended to read as follows:

25. Stormwater runoff from all roof and paved surfaces shall be collected and discharged by means of a gravity pipe to a new junction pit located within The Crescent. The onsite stormwater detention tank shall connect into this new junction pit. The internal drainage system is to be constructed generally in accordance with the *concept drainage plans prepared by S&G Consultants rev E drawing no. SW01-SW05 and rev A SW06 sheet 1-6 of 6 project no. 20160022 dated 06.09.2017.*

Conditions 86 – 91 shall be included and read as follows:

86. The connection of stormwater runoff from the development site to Council's street drainage system in The Crescent shall consist of a pipe line across to the street gutter with the pipeline then continuing across the road to Council's drainage line on the northern side of The Crescent. A junction pit shall be constructed at the property boundary and at the kerb line on the southern side of the Crescent and at the connection to Council's pipe. The proposed junction pits in The Crescent shall be under the gutter and are to be extended to

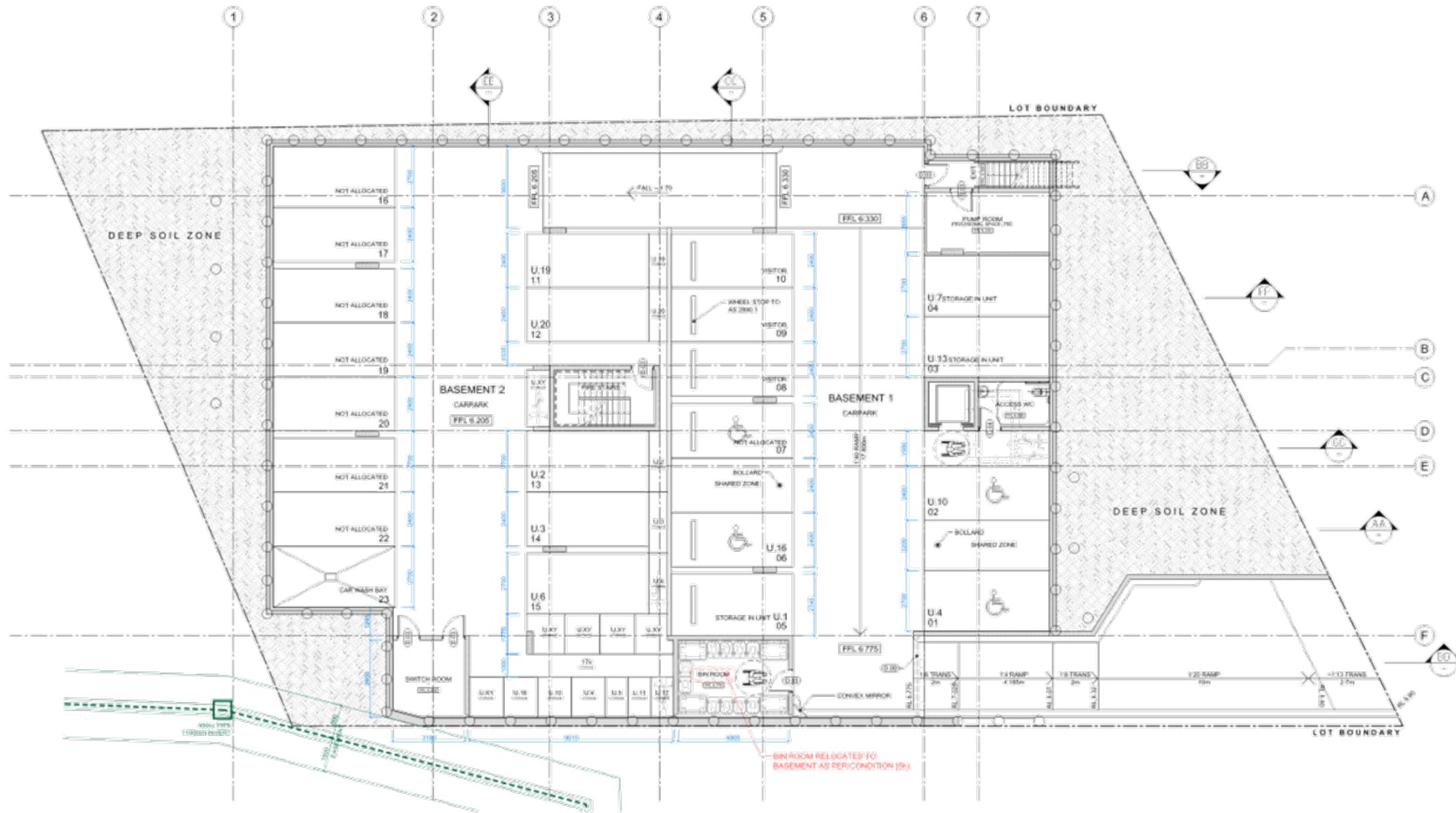
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the front of the gutter. A 600mmx900mm heavy duty solid Gatic asphalt infill lid shall be provided over the pit at the front of the gutter.

87. The proposed pipe in The Crescent shall be 375mm in diameter, reinforced concrete spigot and socked with rubber ring joints. Class of the pipe shall comply with the manufacturer's specification and Council's standard requirements. A plan and long section of the proposed drainage line in The Crescent shall be prepared by a suitably qualified hydraulics engineer in accordance with Council's standard requirements and submitted for approval of Council's Drainage Engineer **prior to the issue of a construction certificate.** Structural details of the proposed junction pits prepared by a structural engineer shall be shown on the drainage plans.
88. The outlet pipe connecting to the proposed junction pit in The Crescent shall be located a minimum of 3m from the street trees.
89. The utility services within the area of effect of the proposed drainage works (i.e. gas, water, sewer, electricity, telephone, etc) shall be shown on the long section of the proposed drainage line. The services shall be physically located **prior to the commencement of drainage works** in The Crescent. The relevant authority's written consent for excavation adjacent to their services shall be obtained. Any adjustments required shall be at no cost to Council.
90. The proposed drainage line and pits in The Crescent shall be constructed **prior to the commencement of building works onsite.**
91. Upon completion of drainage works within the road reserve full works-as-executed plans prepared and signed by a registered surveyor, shall be submitted for Council's approval. Where changes have occurred the plans shall be marked-up in red ink and shall include levels and locations for the drainage structures and works.

ATTACHMENTS

1. Architectural Plans



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION
BATH	ROOM DESCRIPTION
FFL (300)	FINISHED FLOOR LEVEL (FFL)
SSL (200)	STRUCTURAL SLAB LEVEL (SSL)
TOW	TOP OF WALL LEVEL (TOW)
RL	RELATIVE LEVEL (RL)
CD	CONSTRUCTION DETAIL
WT	WALL TYPE
WT	WINDOW TYPE
DO	DOOR TYPE

SURFACE HATCHES

[Hatch]	TILES ON TERRACES
[Hatch]	HARDWOOD TIMBER DECKING
[Hatch]	LIGHTWEIGHT ROOF OR ASPHALT
[Hatch]	SOIL IN PLANTERS
[Hatch]	ROOF PAVES

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOULDER WINDOW
DH	DOUBLE FRAME WINDOW

NOTES

- DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES ON SITE MAINTAIN THE S43 CLEARANCES DERIVED IN SMS-04-GD-0248 FOR HIGH ACCREDITED PERSON
- CHANGES DISPLAYED IN RED

596 CHANGES SUMMARY

- INTERNAL BASEMENT FLOOR FINISHED TO THE FINISH STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BIN ROOM AS PER CONDITION (S4)
- TRUSS AND ALUMINIUM FACE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
- WALLS AND CEILING FINISHED TO FINISH TO FINISH (S4)
- STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 4 RELOCATED TO THE SOUTH EASTING TERRACE (S4)
- EXTERNAL LIGHTING SCREENS TO BE REMOVED (S4)
- INTERNAL LIGHTING SCREENS TO BE REMOVED (S4)
- INTERNAL LIGHTING SCREENS TO BE REMOVED (S4)
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- INTERNAL LIGHTING SCREENS TO BE REMOVED (S4)

BASIX notes

Windows and Skylights			
Description	Type	U Value	SHGC
All windows of all units	Aluminium frame single glazed clear	0.70	0.74
External and Internal Walls			
Description	Type	Insulation	Colour - Solar Abs
All external walls of all units	AAC Panel	R 1.5	Light SA=0.475
All external walls adjacent to common area	AAC Panel	R 1.5	Not Specified
All external walls adjacent to neighbouring unit	AAC Panel	None	Not Specified
All internal walls of all units	Plasterboards on Studs	None	Not Specified

Floors, Ceilings and Roofs

Description	Construction	Insulation	Covering-Solar Abs
All floors of ground floor units	Concrete Slab	R 1.0	Not Specified
All floors of all units on top of another unit	Concrete Slab	None	Not Specified
All ceilings of all units under another unit	Concrete with Plasterboard	None	Not Specified
All ceilings of all units under open air	Concrete with Plasterboard	R 2.5	Not Specified
All roofs of all the building	Concrete	None	Light SA=0.475

REVISIONS:
of scale from drawings, use figure dimensions only. Ensure revision tags used comply with the latest revision no. listed in conjunction with project engineer drawings - ENR correct drawing list.

REVISION	DATE	DESCRIPTION	BY
1	01/12/14	PRELIMINARY SH	CHRS
2	11/01/16	REVISED SH	CHRS

CLIENT: HOME BUSH WEST HOLDING PTY LTD

platform ARCHITECTS

NEW APARTMENTS

86-87 THE CRESCENT HOME BUSH, NSW

DRAWING TITLE: BASEMENT PLAN

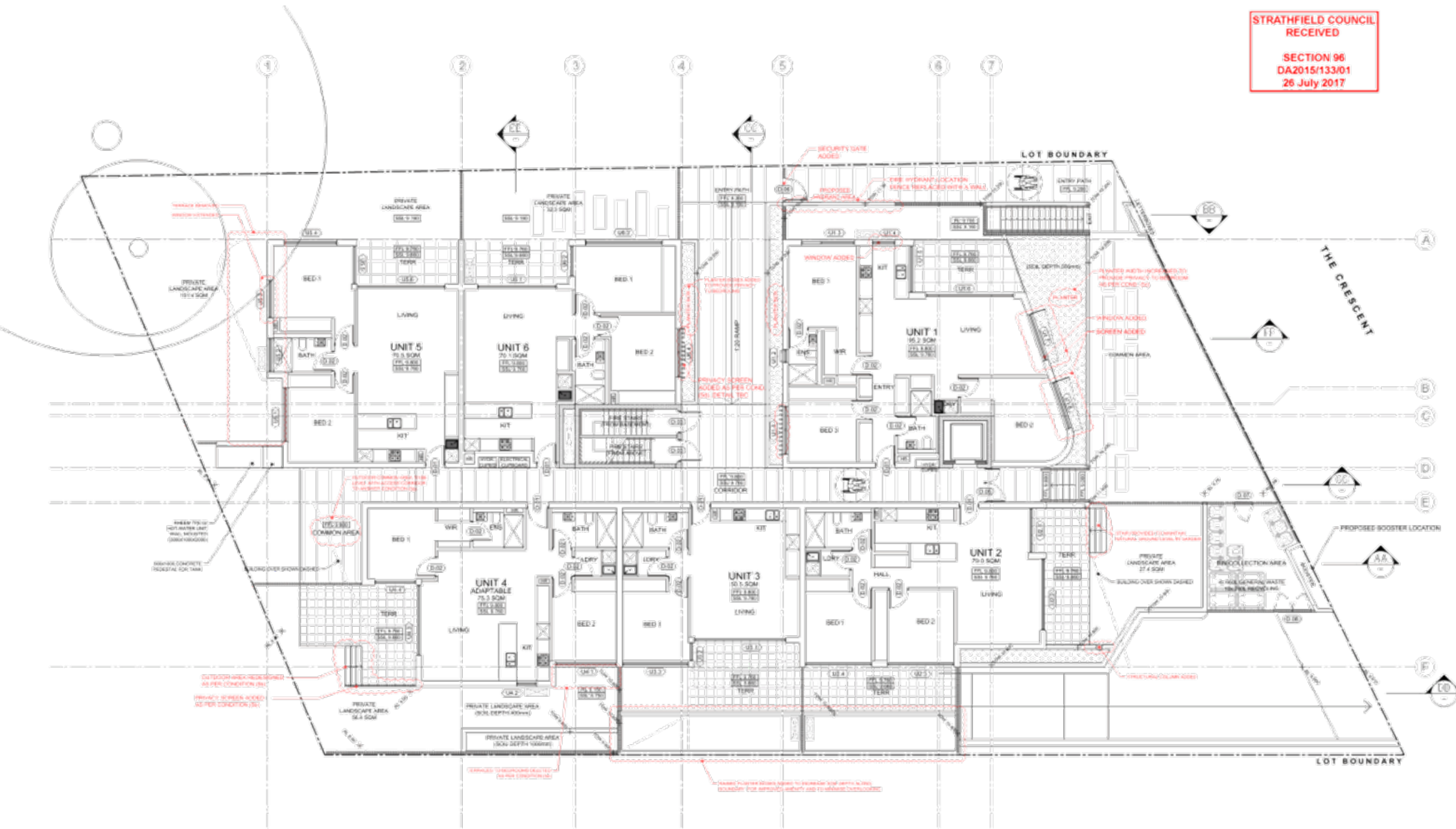
SCALE: 1:100

DATE: 04/17

NUMBER: 1/1

REVISION: D

**STRATHFIELD COUNCIL
RECEIVED**
**SECTION 96
DA2015/133/01
26 July 2017**



FLOOR PLAN TAGS

UNIT 4	UNIT DESCRIPTION
UNIT NUMBER	ADDITIONAL INFO
BATH	ROOM DESCRIPTION
	ROOM NAME, FLOOR/LEVEL, ADDITIONAL INFO
FLOOR	FINISHED FLOOR LEVEL (FFL)
	REFER TO SECTIONS DRAWINGS (SERIES 200)
SLAB	STRUCTURAL SLAB LEVEL (SSL)
	REFER TO SECTIONS DRAWINGS (SERIES 200)
WALL	TOP OF WALL LEVEL (TOW)
	REFER TO SECTIONS DRAWINGS (SERIES 200)
REL	RELATIVE LEVEL (RL)
	REFER TO SECTIONS DRAWINGS (SERIES 200)
CONSTR	CONSTRUCTION DETAIL
	REFER TO CONSTR. DETAILS DRAWINGS (SERIES 200)
WALL	WALL TYPE XX
	REFER TO WALL TYPES SCHEDULE (SERIES 400)
WIN	WINDOW TYPE (UNTIL 2, NOT Y)
	REFER TO WINDOW SCHEDULE (SERIES 500)
DOOR	DOOR TYPE
	REFER TO DOORS SCHEDULE FOR FULL SPECS

SURFACE HATCHES

TILES ON TERRACES	REFER TO EXTERNAL FINISHES SCHEDULE
HARDWOOD TIMBER DECKING	REFER TO EXTERNAL FINISHES SCHEDULE
LIGHT WEIGHT ROOF OR AIRWAYS	REFER TO EXTERNAL FINISHES SCHEDULE
SOIL FINISHES	REFER TO LANDSCAPE DRAWINGS
ROOF FINISHES	REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE FRAME WINDOW

- NOTES**
- DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER LINES MUST BE ENFORCED AND ALL ACTIVITIES ON-SITE MAINTAIN THE S.A.D. CLEARANCES DERIVED IN SMS-04-GO-0248 FOR HIGH ACCREDITED PERSON
 - CHANGES DISPLAYED IN RED

- 596 CHANGES SUMMARY**
- INTERNAL BASEMENT FLOOR RENEWED THE REGIONAL STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BAY 100 WALLS PER CONCRETE (B10)
 - TRUSS AND ALUMINIUM FACIAE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
 - WALL/ROOF/SCREENED TERRACE ADJACENT TO BED 12 (UNIT 1) REMOVED AS PER CONCRETE (C1)
 - STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 4 RELOCATED TO BAY 100 PER CONCRETE (C1)
 - EXTERNAL LIGHT SECURITY SCREENS (PER CONCRETE (C1) AND CONCRETE (C1) PROVIDES AS REQUIRED BY CONCRETE (C1) 1.30 HEIGHT FROM ROOF SCREEN TO BALCONY OF UNIT 1 & 15 REVISIONS AS PER CONCRETE (C1)
 - WATER APPOINTMENTS TO INTERNAL BATHS (B10)
 - ARRANGEMENTS TO LANDSCAPING TO ENSURE STORMWATER FLOW COMPLYING AND INCREASED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING RAILER ADJACENT TO BED 10 (UNIT 1) WITH INCREASE AS PER CONCRETE (C1)
 - ADDITIONAL DRAWING ABOVE BATH FOR ENHANCED ACCESS TO BATH
 - BATHROOM AND BEDROOM 1 OF UNIT 19 SWAPPED TO ACHIEVE CONSISTENT FLOORING HEIGHT ON THE ADJACENT BELOW

BASIX notes

Windows and Skylights

Description	Type	U Value	SHGC
All windows of all units	Aluminium frame single glazed clear	0.70	0.74

Window and skylight U and SHGC values, if specified, are according to NFRRC. Alternative products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower than the U and SHGC values of the product specified above.

External and Internal Walls

Description	Type	Insulation	Colour - Solar Abs
All external walls of all units	AAC Panel	R 1.5	Light SA=0.475
All external walls adjacent to common area	AAC Panel	R 1.5	Not Specified
All external walls adjacent to neighbouring unit	AAC Panel	None	Not Specified
All internal walls of all units	Plasterboards on Studs	None	Not Specified

Floors, Ceilings and Roofs

Description	Construction	Insulation	Covering-Solar Abs
All floors of ground floor units	Concrete Slab	R 1.0	Not Specified
All floors of all units on top of another unit	Concrete Slab	None	Not Specified
All ceilings of all units under another unit	Concrete with Plasterboard	None	Not Specified
All ceilings of all units under open air	Concrete with Plasterboard	R 2.5	Not Specified
All roofs of all the building	Concrete	None	Light SA=0.475

Electric services designer and installer must make sure that approved freepool down-light covers, which can be fully covered by insulation, are specified and deployed during construction for all down-lights installed on the ceilings where insulation is specified and installed.

True North Orientation: 300
Terrain Category: Suburban
Seals on Windows and Doors: Yes
Lighting Design Plans Provided: No
Climate Zone: 56

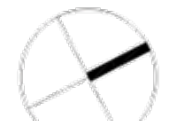
REVISIONS:
If scale from drawings, use figure dimensions only. Ensure revision tags used comply the latest revision no. listed in conjunction with project engineer drawings - ENR correct drawing list.
All dimensions to be checked on site before commencement of work. If discrepancies to be brought to the attention of the Architect, Jigra scale drawings and written dimensions take precedence. The Electronic Planning level is 441.371m AHD. All levels to AHD.

REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
1	01/12/14	PRELIMINARY SH	CHRS	
2	11/07/16	REVISED SH	CHRS	Revision notes show changes from the DA.

CLIENT
HOME BUSH WEST HOLDING PTY LTD

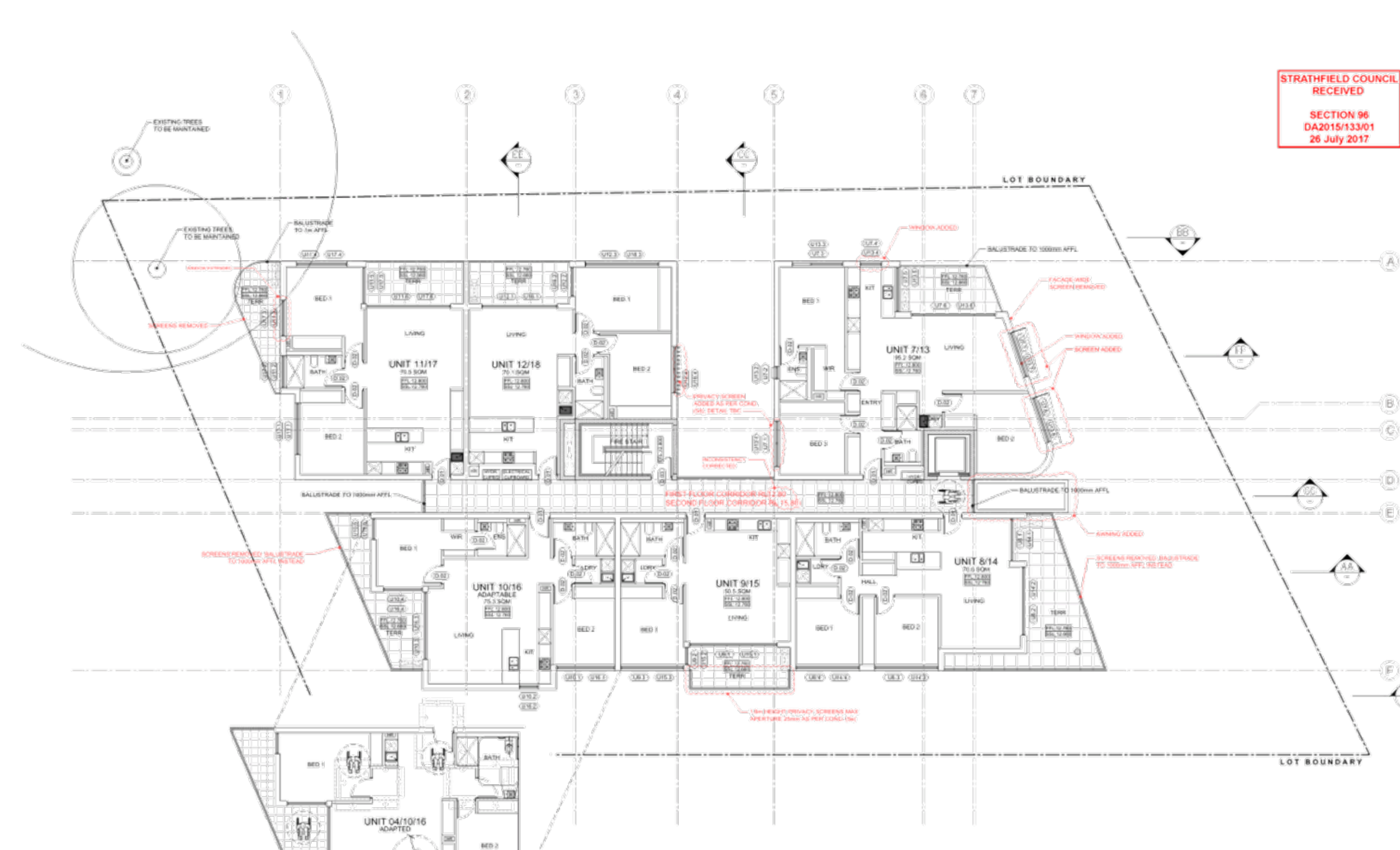
platform ARCHITECTS
Level 1, 37 The Corso, Moore Park, NSW

NEW APARTMENTS
86-87 THE CRESCENT
HOME BUSH, NSW



DRAWING TITLE

SCALE	DATE	NUMBER	REVISION
1:100 (A3)	10/17	100	D



STRATHFIELD COUNCIL RECEIVED
SECTION 96
DA2015/133/01
26 July 2017

FLOOR PLAN TAGS

UNIT 4 (NORTH)	UNIT DESCRIPTION UNIT NUMBER: ADDITIONAL INFO
BATH	ROOM DESCRIPTION ROOM NAME, FLOOR/FINISH: ADDITIONAL INFO
FIN. FLOOR	FINISHED FLOOR LEVEL (FFL) REFER TO SECTIONS DRAWINGS (SERIES 200)
STR. SLAB	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTIONS DRAWINGS (SERIES 200)
TOP OF WALL	TOP OF WALL LEVEL (TOW) REFER TO SECTIONS DRAWINGS (SERIES 200)
REL. LEVEL	RELATIVE LEVEL (RL) REFER TO SECTIONS DRAWINGS (SERIES 200)
CONSTR. DETAIL	CONSTRUCTION DETAIL REFER TO CONSTR. DETAIL DRAWINGS (SERIES 200)
WALL TYPE XX	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
WINDOW TYPE	WINDOW TYPE (UNIT 3, 10, 11) REFER TO WINDOW SCHEDULE (SERIES 500)
DOOR TYPE	DOOR TYPE REFER TO DOORS SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACES REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD TIMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWOOD ROOF OR AWNINGS REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOLID PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	ROOF PAVES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES ON SITE MAINTAIN THE SAID CLEARANCES DERIVED IN SMS-04-GD-0248 FOR NON-ACCREDITED PERSON

2 - IN CHANGES DISPLAYED IN RED

- 596 CHANGES SUMMARY**
- INTERNAL BASEMENT WALL RENOVATED (SEE FLOOR STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BRIDGE WALLS PER FOUNDATION (30))
 - TRUSS AND ALUMINIUM FACADE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
 - REAR REARLY SCREENED TERRACE ADJACENT TO BED 12 (UNIT 12) REAPPROPRIATELY (15)
 - STAIRS ACCESSING THE SOUTH EXTERIOR TERRACE TO UNIT 4 RECONFIGURED (10) (10)
 - EXTERNAL SECURITY SCREENS TO BED 12 (UNIT 12) AND BED 13 (UNIT 13) PROVIDED AS REQUESTED (CONC. 15)
 - 1.5M HIGH FRONT SCREEN TO BALCONY OF UNIT 14 IS PROVIDED AS REQUESTED (15)
 - ADDITIONAL SCREENS TO INTERNAL BALCONY (UNIT 10)
 - ARRANGEMENTS TO ENHANCE TO ENHANCE WATER FLOW EFFICIENCY AND INCREASED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING RAIN WATER ADAPTED TO BED 10 (UNIT 10) WITH INCREASE AS REQUESTED (15)
 - ADDITIONAL AWNING ABOVE ENTRY FOR ENHANCED ENTRY (15)
 - BATHROOM AND BEDROOM 1 OF UNIT 10 SWAPPED TO ADHERE TO CONSISTENT FLOORING HEIGHT ON THE DOOR BELOW

BASIX notes

Windows and Skylights

Description	Type	U Value	SHGC
All windows of all units	Alum.n.m frame single glazed clear	6.70	0.74

Window and skylight U and SHGC values, if specified, are according to NFR. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower than the U and SHGC values of the product specified above.

External and Internal Walls

Description	Type	Insulation	Colour - Solar Abs
All external walls of all units	AAC Panel	R 1.5	Light SA=0.475
All external walls adjacent to common area	AAC Panel	R 1.5	Not Specified
All external walls adjacent to neighbouring unit	AAC Panel	None	Not Specified
All internal walls of all units	Plasterboards on Studs	None	Not Specified

Floors, Ceilings and Roofs

Description	Construction	Insulation	Covering-Solar Abs
All floors of ground floor units	Concrete Slab	R 1.0	Not Specified
All floors of all units on top of another unit	Concrete Slab	None	Not Specified
All ceilings of all units under another unit	Concrete with Plasterboard	None	Not Specified
All ceilings of all units under open air	Concrete with Plasterboard	R 2.5	Not Specified
All roofs of all the building	Concrete	None	Light SA=0.475

Electrical services designer and installer must make sure that approved fireproof down-light covers, which can be fully covered by insulation, are specified and deployed during construction for all down-lights installed on the ceilings where insulation is specified and installed.

True North Orientation: 300
Terrain Category: Suburban
Seals on Windows and Doors: Yes
Lighting Design Plans Provided: No
Climate Zone: 5b

REVISIONS:
of scale from drawings, use figure dimensions only. Ensure revision tags used comply with the latest revisioning. Based in conjunction with unit engineer drawings - ENR correct drawing list.

All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Drawings scale drawings are within dimensions for precedence. The following Planning Level 1 and 2 are: All levels to AFD.

REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
A	01/12/14	PRELIMINARY SH	CHRS	
B	11/07/16	REVISED 996	CHRS	Revision notes show changes from the DA.

CLIENT
HOME BUSH WEST HOLDING PTY LTD



NEW APARTMENTS
86-87 THE CRESCENT
HOME BUSH, NSW

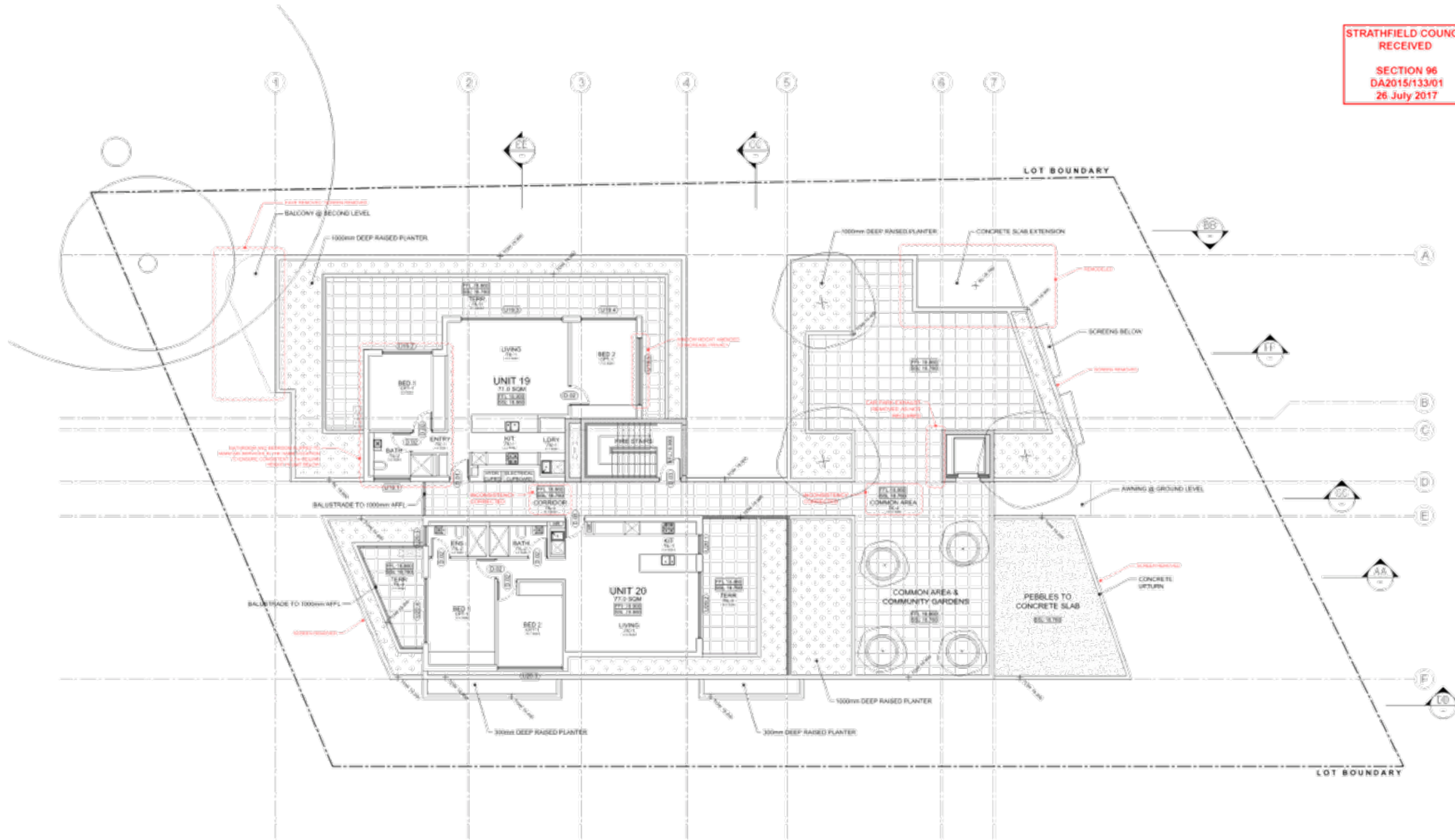


DRAWING TITLE
FIRST & SECOND FLOOR PLAN

PROJECT
TCH

SCALE	DATE	NUMBER	REVISION
1:100	10/17	102	D

STRATHFIELD COUNCIL
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SECTION 96
DA2015/133/01
26 July 2017



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION UNIT NUMBER, ADDITIONAL INFO
BATH #	ROOM DESCRIPTION ROOM NAME, FLOOR/LEVEL, ADDITIONAL INFO
F.F.L.	FINISHED FLOOR LEVEL (FFL) REFER TO SECTIONS DRAWINGS (SERIES 200)
S.S.L.	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTIONS DRAWINGS (SERIES 200)
T.W.L.	TOP OF WALL LEVEL (TOW) REFER TO SECTIONS DRAWINGS (SERIES 200)
R.L.	RELATIVE LEVEL (RL) REFER TO SECTIONS DRAWINGS (SERIES 200)
CONSTR. DETAIL	CONSTRUCTION DETAIL REFER TO CONSTR. DETAILS DRAWINGS (SERIES 200)
WALL TYPE XX	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
WINDOW TYPE	WINDOW TYPE (UNIT #, NO. #) REFER TO WINDOW SCHEDULE (SERIES 500)
DOOR TYPE	DOOR TYPE REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch]	TILES ON TERRACES REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	HARDWOOD TIMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	LIGHTWEIGHT ROOF OR AWNING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	SOIL IN PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch]	ROOF PEBBLES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

- DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES ON SITE MAINTAIN THE SAC CLEARANCES DERIVED IN SMS-04-GO-0248 FOR HIGH ACCREDITED PERSON
- CHANGES DISPLAYED IN RED

596 CHANGES SUMMARY

- INTERNAL BASEMENT FLOOR RENOVATED (SEE FIGURE 1) STRUCTURAL SLAB THICKNESS INCREASED INCLUDING RELOCATION OF BH FROM WASPER TO GARDEN (B-8)
- TRUSS AND ALUMINIUM FACED SCREENS REMOVED - REFER TO (SEE BEFORE FOR DETAILS)
- SLIP RESISTANT SCREENED TERRACE ADJACENT TO BEDROOM 2 (UNIT 19) REMOVED - ALL PERFORMING (C-1)
- STAIRS ACCESSING THE SOUTH ENDING TERRACE TO UNIT 6 RELOCATED FROM GARDEN (B-8)
- EXTERNAL SECURITY SCREENS (SCREENS) (UNIT 19 & 20) AND (UNIT 19 & 20) PROVIDED AS REQUIRED BY (CONV. 156)
- 1.5M HIGH FRONTAL SCREEN TO BALCONY OF UNIT 19 IS PROVIDED AS PER (CONV. 156)
- ALTER ARRANGEMENTS TO INTERNAL BALCONY (B-8)
- ARRANGEMENTS TO LANDSCAPING TO ENSURE STORMWATER FLOW CORRECTLY AND UNHINDERED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING RAINFALL ADAPTED TO RED SOIL (UNIT 19) WITH INCREASED SCREENS (C-1)
- ADDITIONAL AWNING ABOVE ENTRY FOR ENHANCED ACCESSIBILITY
- BATHROOM AND BEDROOM 1 OF UNIT 19 SWAPPED TO ADHERE TO (CONV. 156) FLOORING HEIGHT ON THE DOOR THRESHOLD

BASIX notes

Windows and Skylights			
Description	Type	U Value	SHGC
All windows of all units	Aluminium frame single glazed clear	0.70	0.74

Window and skylight U and SHGC values, if specified, are according to NFRRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower than the U and SHGC values of the product specified above.

External and Internal Walls			
Description	Type	Insulation	Colour - Solar Abs
All external walls of all units	AAC Panel	R 1.5	Light SA=0.475
All external walls adjacent to common area	AAC Panel	R 1.5	Not Specified
All external walls adjacent to neighbouring unit	AAC Panel	None	Not Specified
All internal walls of all units	Plasterboards on Studs	None	Not Specified

Floors, Ceilings and Roofs

Description	Construction	Insulation	Covering-Solar Abs
All floors of ground floor units	Concrete Slab	R 1.0	Not Specified
All floors of all units on top of another unit	Concrete Slab	None	Not Specified
All ceilings of all units under another unit	Concrete with Plasterboard	None	Not Specified
All ceilings of all units under open air	Concrete with Plasterboard	R 2.5	Not Specified
All roofs of all the building	Concrete	None	Light SA=0.475

Electrical services designer and installer must make sure that approved fireproof down-light covers, which can be fully covered by insulation, are specified and deployed during construction for all down-lights installed on the ceilings where insulation is specified and installed.

True North Orientation: 300
Terrain Category: Suburban
Seals on Windows and Doors: Yes
Lighting Design Plans Provided: No
Climate Zone: 5b

IF ANY DIMENSIONS OF SCALE FROM DRAWINGS, USE FIGURED DIMENSIONS ONLY. Ensure readable info used from the latest revision no. Based in conjunction with project engineer drawings - 100% CONTRACT DRAWING SET.
All dimensions to be checked on site before commencement of work. If discrepancies to be brought to the attention of the Architect, Jager scale drawings and written dimensions take precedence. The Electronic Planning level is 1:1 to AFD. All levels to AFD.

REVISION	DATE	DESCRIPTION	BY	REVISION NOTES
1	01/12/14	PRELIMINARY SH	DNRS	
2	1/07/16	REVISED 96	DNRS	Revision notes show changes from the DA.

CLIENT
HOMEBUSH WEST HOLDING PTY LTD

platform ARCHITECTS
Level 1, 27 The Corso, Homebush NSW

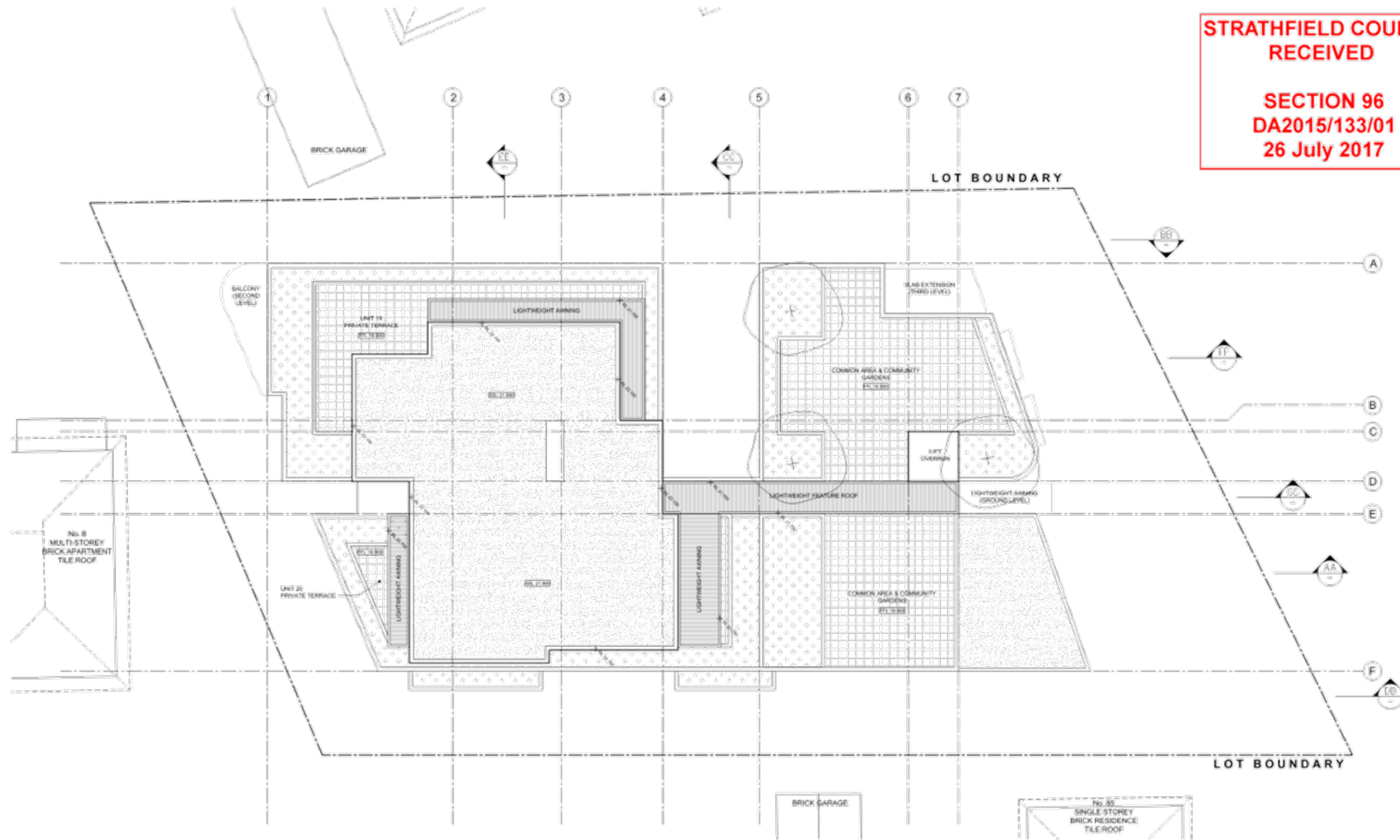
NEW APARTMENTS
86-87 THE CRESCENT HOME BUSH, NSW



DRAWING TITLE		PROJECT	
SCALE	STAGE	NUMBER	REVISION
AS SHOWN	+0.2	104	D

**STRATHFIELD COUNCIL
RECEIVED**

**SECTION 96
DA2015/133/01
26 July 2017**



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION UNIT NUMBER, ADDITIONAL INFO
BATH	ROOM DESCRIPTION ROOM NAME, FLOOR/LEVEL, ADDITIONAL INFO
FINISHED FLOOR LEVEL (FFL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
STRUCTURAL SLAB LEVEL (SSL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
TOP OF WALL LEVEL (TOW)	REFER TO SECTIONS DRAWINGS (SERIES 200)
RELATIVE LEVEL (RL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
CONSTRUCTION DETAIL	REFER TO CONSTR. DETAIL DRAWINGS (SERIES 300)
WALL TYPE XX	REFER TO WALL TYPES SCHEDULE (SERIES 400)
WINDOW TYPE	REFER TO WINDOW SCHEDULE (SERIES 500)
DOOR TYPE	REFER TO DOORS SCHEDULE FOR FULL SPECS

SURFACE HATCHES

	TILES ON TERRACES REFER TO EXTERNAL FINISHES SCHEDULE
	HARDWOOD TIMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
	LIGHTWEIGHT ROOF OR AWNING REFER TO EXTERNAL FINISHES SCHEDULE
	SOIL IN PLANTERS REFER TO LANDSCAPE DRAWINGS
	ROOF PAVES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE FRAME WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES ON SITE MAINTAIN THE SAID CLEARANCES DERIVED IN SMS-04-GO-0248 FOR HIGH ACCREDITED PERSON

2 - IN CHANGES DISPLAYED IN RED

- 596 CHANGES SUMMARY**
- INTERNAL BASEMENT LA FLOOR RENOVATED THE POOR STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BRICK GARAGE POSITION (R1)
 - TRUSS AND ALUMINIUM FACIAE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
 - WATERPROOFING REMOVED TERRACE ADJACENT TO UNIT 2 (UNIT 2) REMOVED AT PERFORMING (R2)
 - STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 2 RELOCATED TO THE SOUTH EAST (R3)
 - EXTERNAL LIGHTING PRIVACY SCREENS (R4) (R5) (R6) (R7) (R8) (R9) (R10) (R11) (R12) (R13) (R14) (R15) (R16) (R17) (R18) (R19) (R20) (R21) (R22) (R23) (R24) (R25) (R26) (R27) (R28) (R29) (R30) (R31) (R32) (R33) (R34) (R35) (R36) (R37) (R38) (R39) (R40) (R41) (R42) (R43) (R44) (R45) (R46) (R47) (R48) (R49) (R50) (R51) (R52) (R53) (R54) (R55) (R56) (R57) (R58) (R59) (R60) (R61) (R62) (R63) (R64) (R65) (R66) (R67) (R68) (R69) (R70) (R71) (R72) (R73) (R74) (R75) (R76) (R77) (R78) (R79) (R80) (R81) (R82) (R83) (R84) (R85) (R86) (R87) (R88) (R89) (R90) (R91) (R92) (R93) (R94) (R95) (R96) (R97) (R98) (R99) (R100)
 - WATERPROOFING REMOVED TERRACE ADJACENT TO UNIT 2 (UNIT 2) REMOVED AT PERFORMING (R2)
 - STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 2 RELOCATED TO THE SOUTH EAST (R3)
 - EXTERNAL LIGHTING PRIVACY SCREENS (R4) (R5) (R6) (R7) (R8) (R9) (R10) (R11) (R12) (R13) (R14) (R15) (R16) (R17) (R18) (R19) (R20) (R21) (R22) (R23) (R24) (R25) (R26) (R27) (R28) (R29) (R30) (R31) (R32) (R33) (R34) (R35) (R36) (R37) (R38) (R39) (R40) (R41) (R42) (R43) (R44) (R45) (R46) (R47) (R48) (R49) (R50) (R51) (R52) (R53) (R54) (R55) (R56) (R57) (R58) (R59) (R60) (R61) (R62) (R63) (R64) (R65) (R66) (R67) (R68) (R69) (R70) (R71) (R72) (R73) (R74) (R75) (R76) (R77) (R78) (R79) (R80) (R81) (R82) (R83) (R84) (R85) (R86) (R87) (R88) (R89) (R90) (R91) (R92) (R93) (R94) (R95) (R96) (R97) (R98) (R99) (R100)
 - WATERPROOFING REMOVED TERRACE ADJACENT TO UNIT 2 (UNIT 2) REMOVED AT PERFORMING (R2)
 - STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 2 RELOCATED TO THE SOUTH EAST (R3)
 - EXTERNAL LIGHTING PRIVACY SCREENS (R4) (R5) (R6) (R7) (R8) (R9) (R10) (R11) (R12) (R13) (R14) (R15) (R16) (R17) (R18) (R19) (R20) (R21) (R22) (R23) (R24) (R25) (R26) (R27) (R28) (R29) (R30) (R31) (R32) (R33) (R34) (R35) (R36) (R37) (R38) (R39) (R40) (R41) (R42) (R43) (R44) (R45) (R46) (R47) (R48) (R49) (R50) (R51) (R52) (R53) (R54) (R55) (R56) (R57) (R58) (R59) (R60) (R61) (R62) (R63) (R64) (R65) (R66) (R67) (R68) (R69) (R70) (R71) (R72) (R73) (R74) (R75) (R76) (R77) (R78) (R79) (R80) (R81) (R82) (R83) (R84) (R85) (R86) (R87) (R88) (R89) (R90) (R91) (R92) (R93) (R94) (R95) (R96) (R97) (R98) (R99) (R100)
 - WATERPROOFING REMOVED TERRACE ADJACENT TO UNIT 2 (UNIT 2) REMOVED AT PERFORMING (R2)
 - STAIRS ACCESSING THE SOUTH EASTING TERRACE TO UNIT 2 RELOCATED TO THE SOUTH EAST (R3)
 - EXTERNAL LIGHTING PRIVACY SCREENS (R4) (R5) (R6) (R7) (R8) (R9) (R10) (R11) (R12) (R13) (R14) (R15) (R16) (R17) (R18) (R19) (R20) (R21) (R22) (R23) (R24) (R25) (R26) (R27) (R28) (R29) (R30) (R31) (R32) (R33) (R34) (R35) (R36) (R37) (R38) (R39) (R40) (R41) (R42) (R43) (R44) (R45) (R46) (R47) (R48) (R49) (R50) (R51) (R52) (R53) (R54) (R55) (R56) (R57) (R58) (R59) (R60) (R61) (R62) (R63) (R64) (R65) (R66) (R67) (R68) (R69) (R70) (R71) (R72) (R73) (R74) (R75) (R76) (R77) (R78) (R79) (R80) (R81) (R82) (R83) (R84) (R85) (R86) (R87) (R88) (R89) (R90) (R91) (R92) (R93) (R94) (R95) (R96) (R97) (R98) (R99) (R100)

BASIX notes

Windows and Skylights

Description	Type	U Value	SHGC
All windows of all units	Aluminium frame, single glazed clear	0.70	0.74

External and Internal Walls

Description	Type	Insulation	Colour - Solar Abs
All external walls of all units	AAC Panel	R 1.5	Light SA=0.475
All external walls adjacent to common area	AAC Panel	R 1.5	Not Specified
All external walls adjacent to neighbouring unit	AAC Panel	None	Not Specified
All internal walls of all units	Plasterboard on Studs	None	Not Specified

Floors, Ceilings and Roofs

Description	Construction	Insulation	Covering-Solar Abs
All floors of ground floor units	Concrete Slab	R 1.0	Not Specified
All floors of all units on top of another unit	Concrete Slab	None	Not Specified
All ceilings of all units under another unit	Concrete with Plasterboard	None	Not Specified
All ceilings of all units under open air	Concrete with Plasterboard	R 2.5	Not Specified
All roofs of all the building	Concrete	None	Light SA=0.475

Electrical services designer and installer must make sure that approved fireproof down-light covers, which can be fully covered by insulation, are specified and deployed during construction for all down-lights installed on the ceilings where insulation is specified and installed.

True North Orientation: 300
Terrain Category: Suburban
Seals on Windows and Doors: Yes
Lighting Design Plans Provided: No
Climate Zone: 56

NOTES:
1. All dimensions to be checked on site before commencement of work. If discrepancies to be brought to the attention of the Architect, sign scale drawings and written amendments take precedence over the Electronic Planning level 1 and 2 drawings. All levels to AHD.

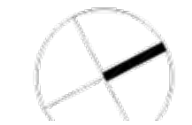
REVISION	DATE	DESCRIPTION	BY
1	01/12/14	PRELIMINARY SH	CHRS
2	11/07/16	REVISED SH	CHRS

Revision marks show changes from the DA.

CLIENT
HOMEBUSH WEST HOLDING PTY LTD

platform ARCHITECTS
Level 1, 57 The Corso, Homebush NSW

NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW

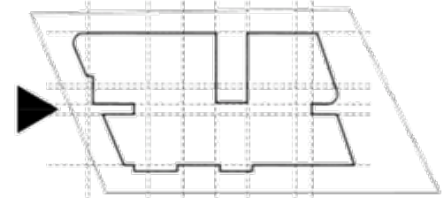
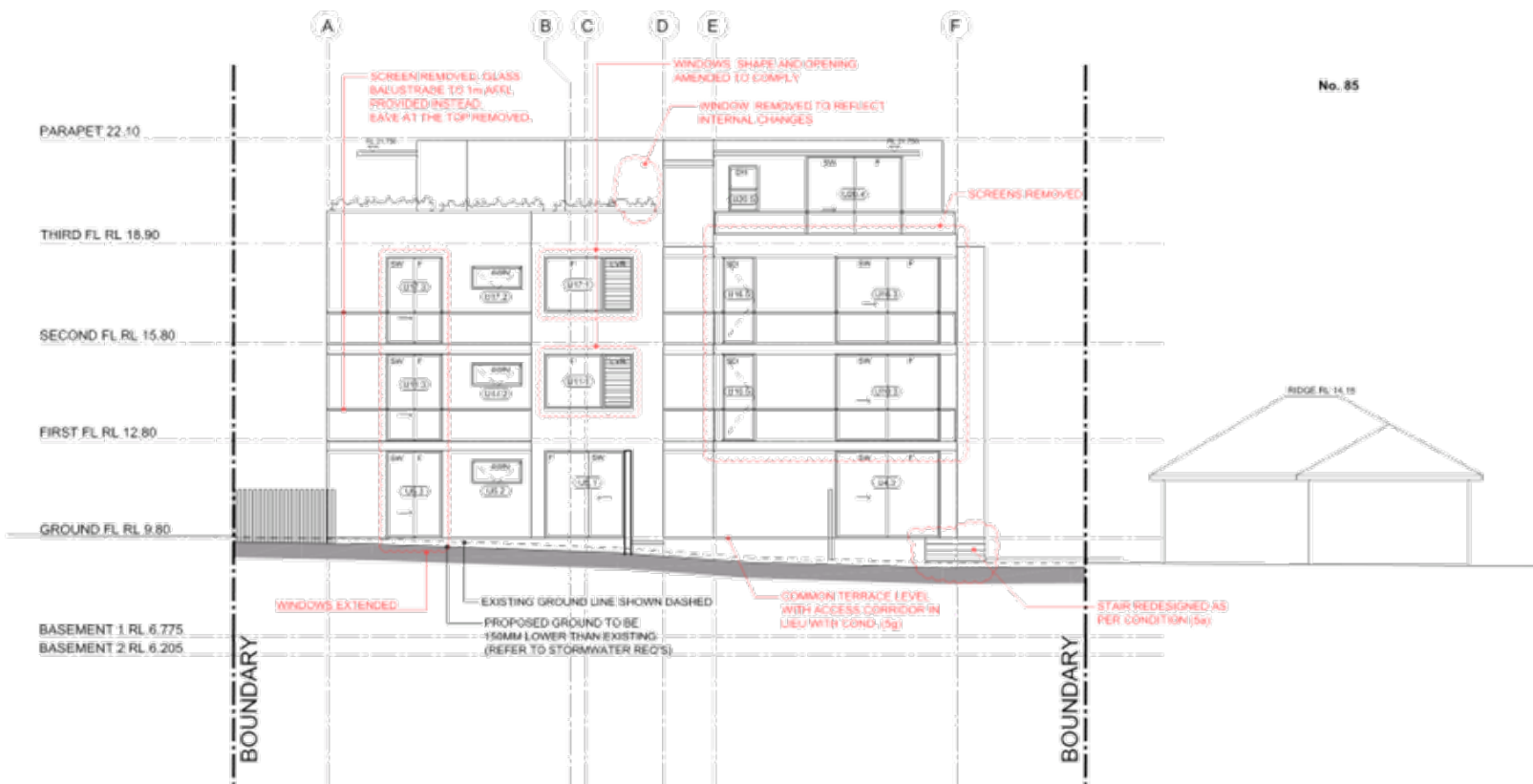
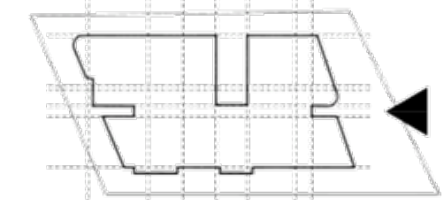
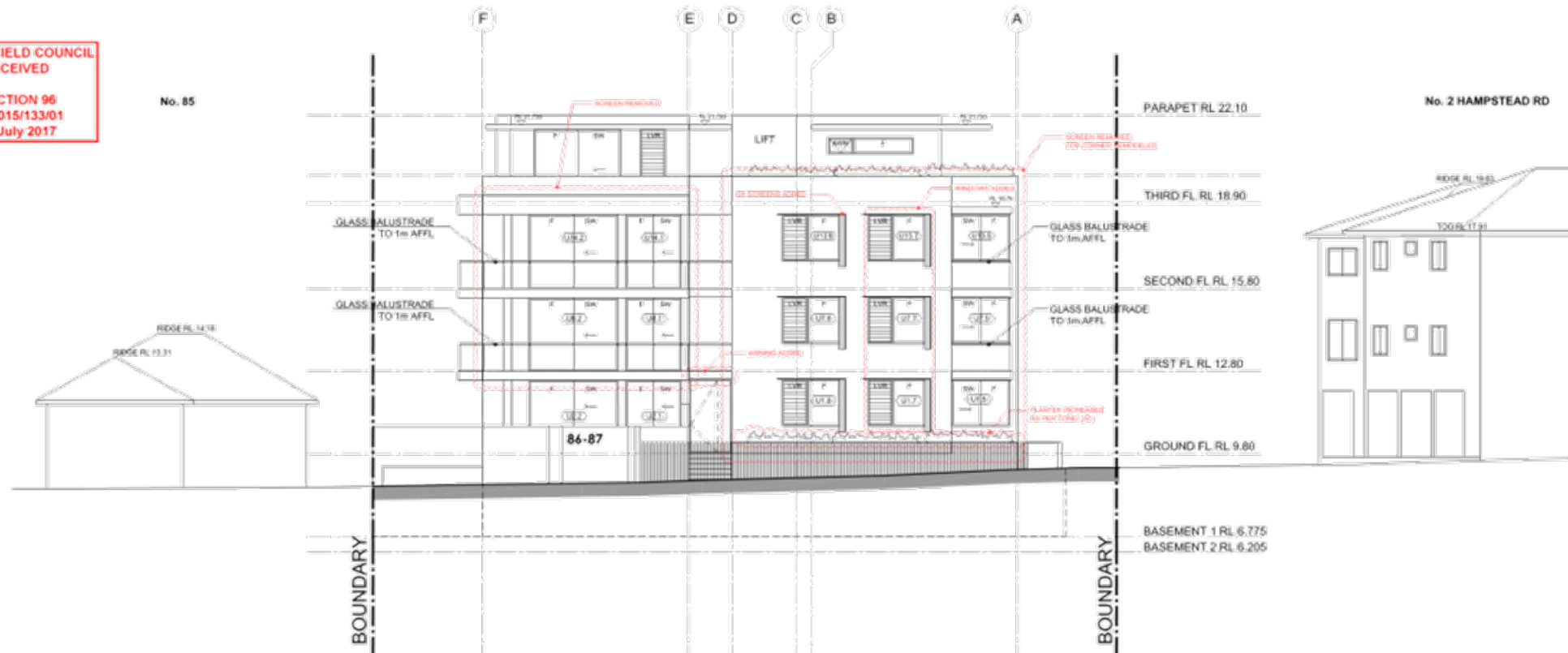


DRAWING TITLE

SCALE	STATUS	NUMBER	REVISION
AS SHOWN	02	102	0

PROJECT
TCH

STRATHFIELD COUNCIL RECEIVED
SECTION 96
DA2015/133/01
26 July 2017



- 596 CHANGES SUMMARY**
- INTERNAL BASEMENT 1 POLY RENOVATED THE POLE STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BH RIGID AS PER CONDITION (S)
 - TRUSS AND ALUMINIUM FACADE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
 - WATERPROOFING REMOVED TERRACE AND ADJACENT TERRACE HEIGHTS REMOVED - AS PER CONDITION (S)
 - STAIRS ACCESSING THE SOUTH FACING TERRACE TO UNIT 6 REDESIGNED AS PER CONDITION (S)
 - EXTERNAL LOGGERS PRIVACY SCREENS (REMOVED) UNITS 1 & 2 AND UNITS 3 & 4 PROVIDED AS REQUIRED BY COND. (S)
 - 1.5M HEIGHT FRONT SCREEN TO BALCONY OF UNIT 1 & 2 PROVIDED AS PER CONDITION (S)
 - LANDSCAPE ARRANGEMENTS TO INTERNAL BAYS (S)
 - ARRANGEMENTS TO LANDSCAPE TO ENSURE STORMWATER FLOW COMPLETE AND INCREASED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING RAINFALL ANTI-FACE IT TO BE SUE UNIT 6 WITH INCREASE AS PER CONDITION (S)
 - ADDITIONAL RAINFALL ANTI-FACE IT FOR ENHANCED AFFECTION
 - BATHROOM AND BEDROOM 1 OF UNIT 3 SWAPPED TO ACHIEVE CONSISTENT BEDROOM HEIGHT ON THE SOUTH ELEVATION

NOTES:
1. All dimensions to be checked on site before commencement of work.
2. All dimensions to be checked on site before commencement of work.
3. All dimensions to be checked on site before commencement of work.
4. All dimensions to be checked on site before commencement of work.
5. All dimensions to be checked on site before commencement of work.

REVISION	DATE	DESCRIPTION	BY
1	01/12/14	PRELIMINARY SH	CHRS
2	11/07/16	REVISED 966	CHRS

REVISION NOTES
Revision blocks show changes from the DA.

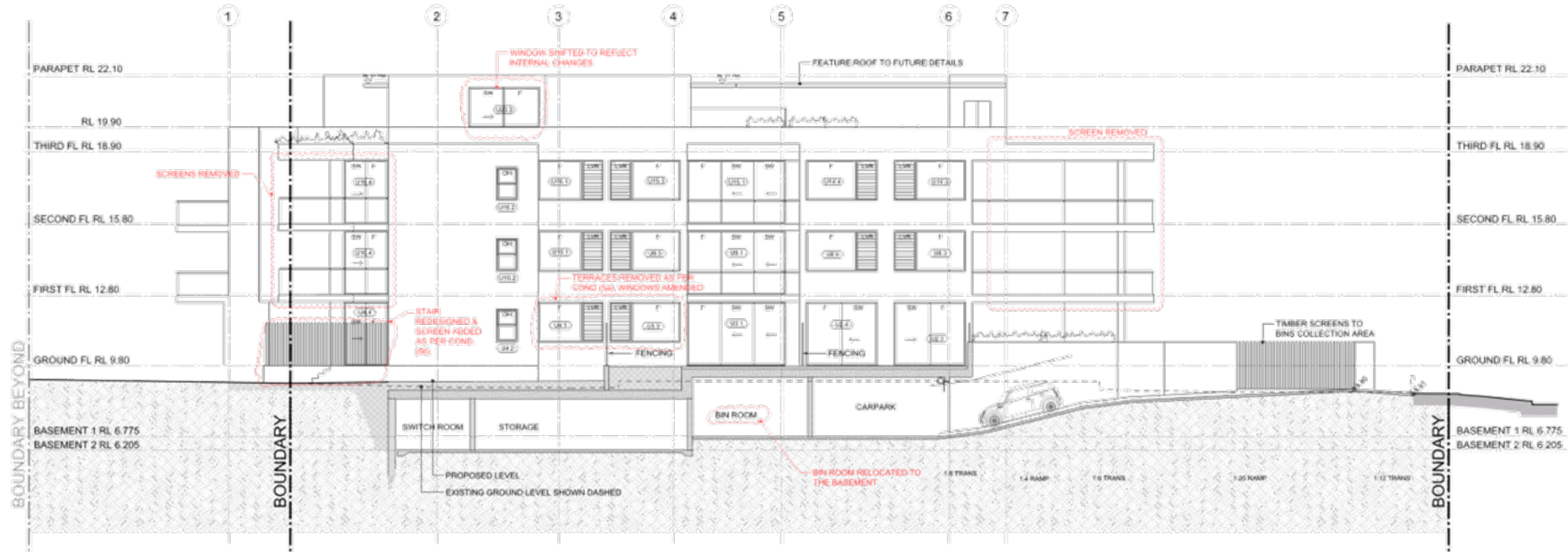
CLIENT
HOMEBUSH WEST HOLDING PTY LTD



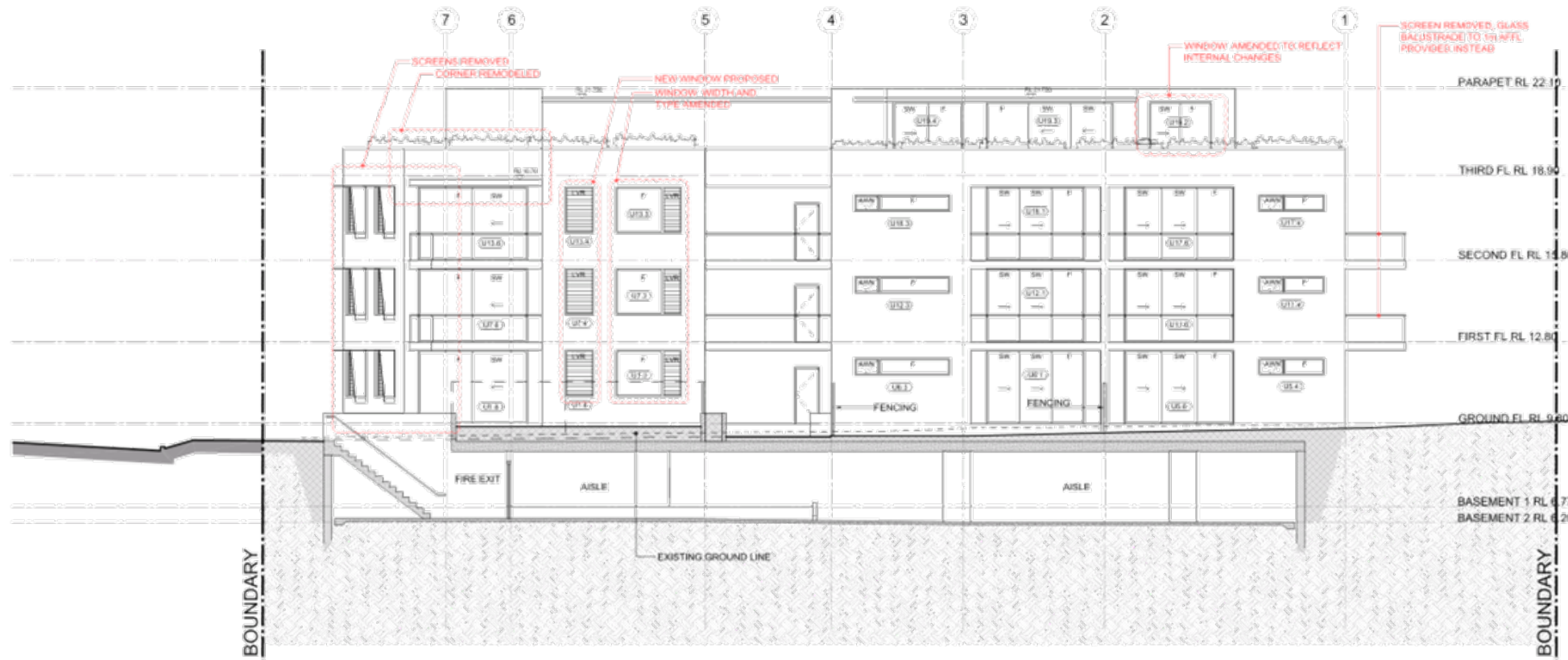
PROJECT
NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW



SCALE	DATE	NUMBER	REVISION
1:100 (A4)	10/17	001	D



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SECTION 96
DA2015/13301
26 July 2017



596 CHANGES SUMMARY

1. INTERNAL BASEMENT 1 FLOOR REDESIGNED IN THE NORTH STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BIN ROOM AS PER CONDITION (S6)
2. TABLER AND ALUMINIUM FACADE SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
3. BALUSTRADE SCREENED TERRACE ADJACENT TO BEDROOM 12 (UNIT 12) REMOVED AS PER CONDITION (S1)
4. STAIRS ACCESSING THE SOUTH FACING TERRACE TO UNIT 6 REDESIGNED AS PER CONDITION (S6)
5. EXTERNAL FLOORING PRIVACY SCREENS TO BEDROOM 12 (UNIT 12) AND BEDROOM 13 (UNIT 13) PROVIDED AS REQUIRED BY COND. (S6)
6. 1.5M HEIGHT FRENCH SCREEN TO BALCONY OF UNIT 14 IS PROVIDED AS PER CONDITION (S6)
7. LAMP ARRANGEMENTS TO INTERIOR BAYS FOR UNIT 12
8. ARRANGEMENTS TO LANDSCAPING TO ENSURE STORMWATER FLOW CONTINUITY AND INCREASED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING PLANTER ADJACENT TO BED ROOM UNIT 6 WITH INCREASE AS PER CONDITION (S2)
9. A BEDROOM PLANNING ABOVE BATH FOR ENHANCED ACCESS TO TERRACE
10. BATHROOM AND BEDROOM 1 OF UNIT 13 SWAPPED TO ACHIEVE CONSISTENT BEDROOM HEIGHTS ON THE ABOVE GROUND FLOOR

NOTES:
1. All dimensions to be checked on site before commencement of work.
2. All discrepancies to be brought to the attention of the Architect.
3. All scale drawings are written dimensions take precedence.
4. The Effective Planning Level is 441.371m AHD. All levels to AHD.

REVISION	DATE	DESCRIPTION	BY
1	01/12/14	PRELIMINARY SH	CHRS
2	11/07/16	REVISED 996	CHRS

REVISION NOTES
Revision blocks show changes from the DA.

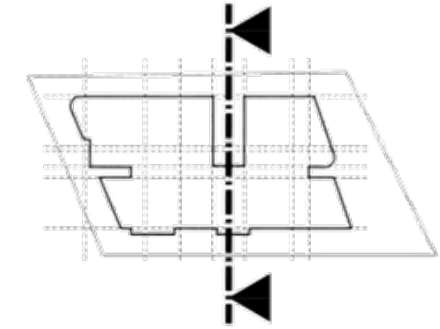
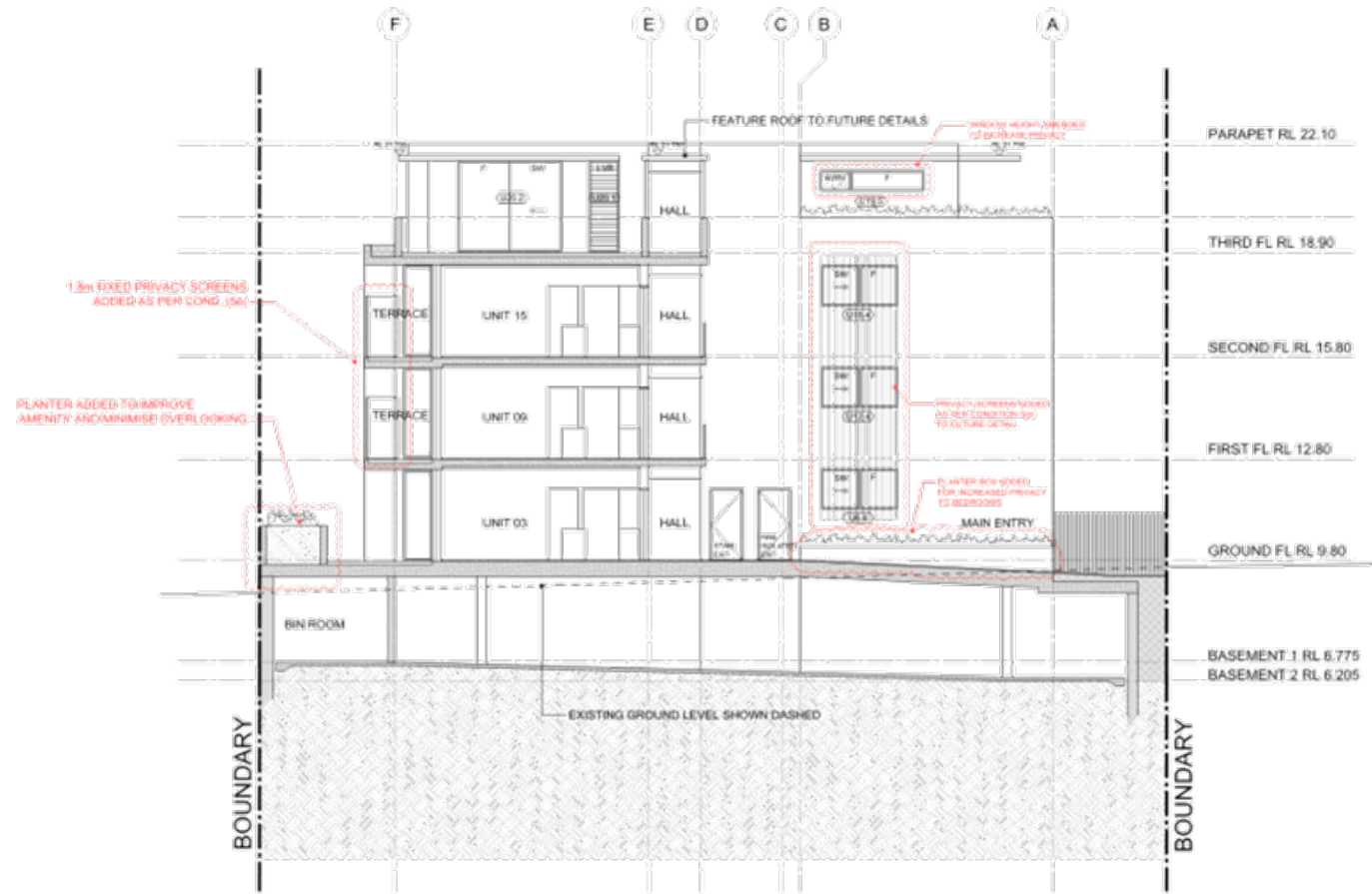
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HOMEBUSH WEST HOLDING PTY LTD



PROJECT
NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW



DRAWING TITLE	SCALE	STATUS	NUMBER	PROJECT
EAST ELEVATION & SECTION DD WEST ELEVATION & SECTION BB	1:100 (A4)	REVISED	002	TCH



STRATHFIELD COUNCIL
RECEIVED
SECTION 96
DA2015/133/01
26 July 2017

596 CHANGES SUMMARY

- INTERNAL BASEMENT 1 FLOOR REDESIGNED THE ROOMS. STRUCTURAL SLAB THICKNESS INCREASE INCLUDING RELOCATION OF BIN ROOM AS PER CONDITION 59 (1)
- TRUSS AND ALUMINIUM FACIAD SCREENS REMOVED - REFER TO THE SEE REPORT FOR DETAILS
- WATERPROOFING REMOVED TERRACE ADJACENT TO BEDROOM 15 (1)
- STAIRS ACCESSING THE SOUTH FACING TERRACE TO UNIT 6 REDESIGNED AS PER COND. 100 (1)
- EXTERNAL GLASS PRIVACY SCREENS (1000) (1) UNITS 03, 09 AND 15 OF UNIT 3 & 13 PROVIDED AS REQUIRED BY COND. 56 (1)
- 1.8M HEIGHT PRIVATE SCREEN TO BALCONY OF UNIT 15 PROVIDED AS PER COND. 104
- LANDSCAPING ARRANGEMENTS TO INTERIOR BAYS (1) (1)
- LANDSCAPING TO LANDSCAPING TO ENSURE STORMWATER FLOW EFFICIENTLY AND INCREASED PRIVACY ALONG THE EASTERN BOUNDARY INCLUDING PLANTER ADJACENT TO BED ROOM 03 WITH INCREASE AS PER COND. 56 (1)
- ADDITIONAL PLANTER ADDED TO IMPROVE AMENITY
- BATHROOM AND BEDROOM 1 OF UNIT 13 SWAPPED TO ACHIEVE CONSISTENT FLOORING HEIGHT ON FLOOR BELOW

REVISIONS:
If scale from drawings, use figure dimensions only. Ensure readable info used from the latest revision no. Used in conjunction with project engineer drawings - 100% correct drawing file.
All dimensions to be checked on site before commencement of work. If discrepancies to be brought to the attention of the Architect, large scale drawings and written amendments take precedence. The Strategic Planning level is 1:100 (1:100) and 1:200 (1:200).

REVISION	DATE	DESCRIPTION	BY
A	01/12/14	PRELIMINARY DR	CHRS
B	11/07/16	REVISED 966	CHRS

REVISION NOTES
Revision circles show changes from the DA.

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NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW

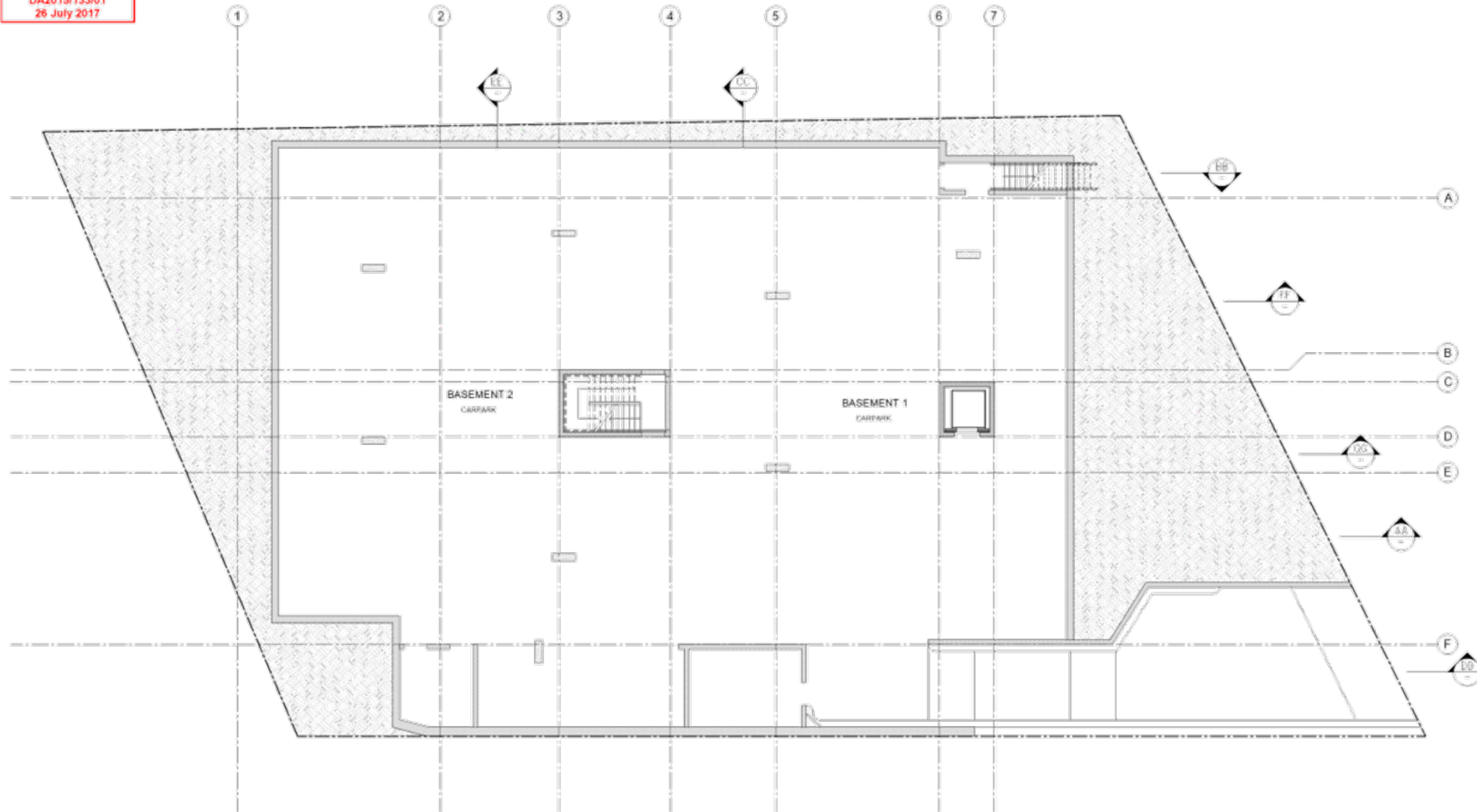


DRAWING TITLE
SECTION CC
SCALE 1:100 (4:1)

PROJECT
TCH
NUMBER 016
REVISION 0

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**SECTION 96
DA2015/133/01
26 July 2017**



FLOOR PLAN TAGS

LINE #	UNIT DESCRIPTION
1	UNIT NUMBER, ACCESSION INFO
2	ROOM DESCRIPTION, ROOM NAME, FLOOR FINISH, ADDITIONAL INFO
3	FINISHED FLOOR LEVEL (FFL) REFER TO SECTIONS DRAWINGS (SERIES 200)
4	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTIONS DRAWINGS (SERIES 200)
5	TOP OF WALL LEVEL (TOW) REFER TO SECTIONS DRAWINGS (SERIES 200)
6	RELATIVE LEVEL (RL) REFER TO SECTIONS DRAWINGS (SERIES 200)
7	CONSTRUCTION DETAIL REFER TO CONSTRUCTION DETAILS DRAWINGS (SERIES 200)
8	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
9	WINDOW TYPE (W) (2, 3, 4, 5) REFER TO WINDOW SCHEDULES (SERIES 500)
10	DOOR TYPE REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACE REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD LAMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWEIGHT ROOF OR FINISH REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOIL PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	BRICK PAVES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER LINES MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE SAID CLEARANCES. REFER TO SMS-04-GD-0248 FOR RINA-ACCREDITED PERSON

2 - ALL CHANGES DISPLAYED IN RED

REVISION NOTES:
All scales from drawings use figured dimensions only. Ensure features are used to carry the detail resolution. Read in conjunction with relevant engineering drawings - refer contract drawing set.
All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and section drawings take precedence over the relevant Planning Level (under 30m AHD) drawings by AHD.

REVISION	DATE	DESCRIPTION	BY
A	01/12/16	PRELIMINARY	CH/RS
B	11/01/17	REVISED PER	CH/RS

REVISION NOTES
Revision blocks show changes from the DA.

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HOMEBUSH WEST HOLDING PTY LTD



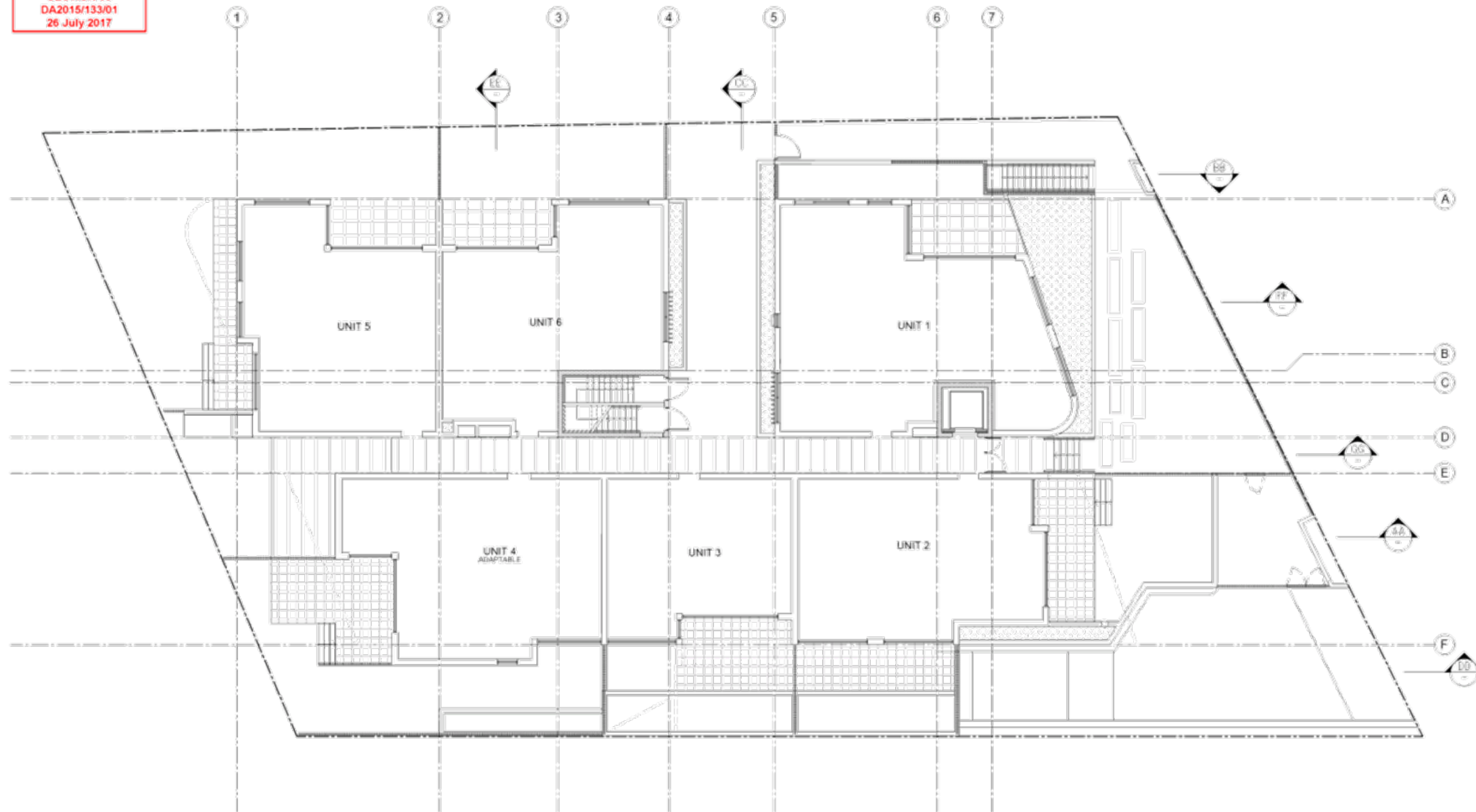
NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW



DRAWING TITLE
NOTIFICATION PLAN BASEMENT
SCALE: 1:1000
DATE: 07/17

PROJECT
TCH

STRATHFIELD COUNCIL
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SECTION 96
DA2015/133/01
26 July 2017



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION
UNIT 1	UNIT 1 (SEE UNIT 1)
UNIT 2	UNIT 2 (SEE UNIT 2)
UNIT 3	UNIT 3 (SEE UNIT 3)
UNIT 4	UNIT 4 (SEE UNIT 4)
UNIT 5	UNIT 5 (SEE UNIT 5)
UNIT 6	UNIT 6 (SEE UNIT 6)
UNIT 7	UNIT 7 (SEE UNIT 7)

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACE REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD LAMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWEIGHT ROOF OR FINISH REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOIL PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	ROOF TERRACE REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVER - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

- DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE SAID CLEARANCES DERIVED IN SMS-04-GD-0248 FOR RNIA-ACCREDITED PERSON
- ALL CHANGES DISPLAYED IN RED

REVISION NOTES:
All scale from drawings use figured dimensions only. Ensure feature tags used carry the correct revision no. Read in conjunction with relevant engineering drawings - refer contract drawing list.
All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and section drawings take precedence over the relevant Planning Level (L1 or L2) drawings for any.

REVISION	DATE	DESCRIPTION	BY
A	01/12/16	PRELIMINARY DWG	CH-RE
B	11/01/17	REVISED DWG	CH-RE

REVISION NOTES:
Revision clouds show changes from the DA.

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NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW

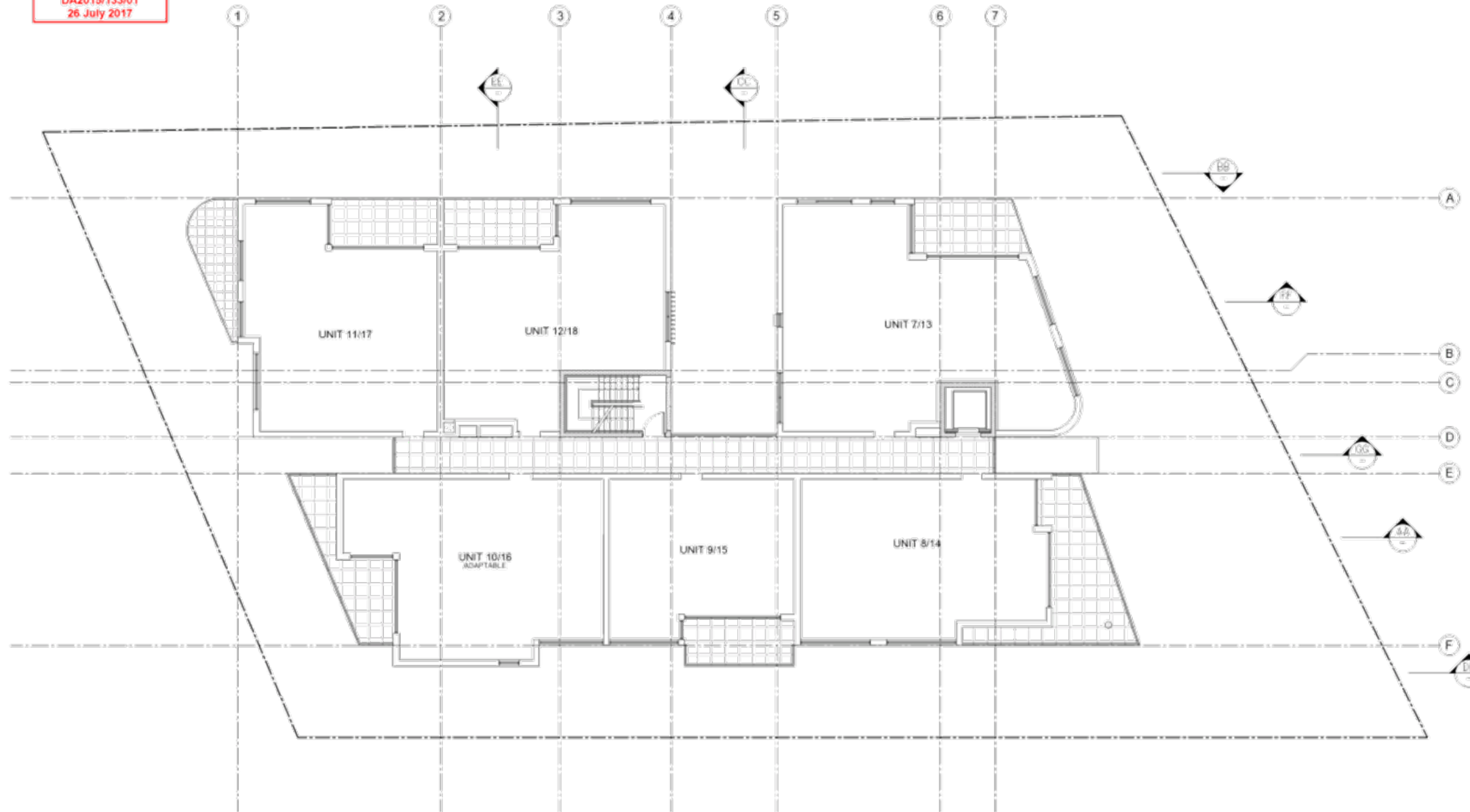


DRAWING TITLE
NOTIFICATION PLAN
GROUND FLOOR
SCALE: 1:100
DATE: 01/12/16

PROJECT
TCH

STRATHFIELD COUNCIL
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SECTION 96
DA2015/133/01
26 July 2017



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION
UNIT 11/17	UNIT NUMBER, ACCESSION INFO
BATH	ROOM DESCRIPTION, ROOM NAME, FLOOR FINISH, ADDITIONAL INFO
FFL	FINISHED FLOOR LEVEL (FFL) REFER TO SECTIONS DRAWINGS (SERIES 200)
SSL	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTIONS DRAWINGS (SERIES 200)
TWL	TOP OF WALL LEVEL (TOW) REFER TO SECTIONS DRAWINGS (SERIES 200)
REL	RELATIVE LEVEL (RL) REFER TO SECTIONS DRAWINGS (SERIES 200)
CD	CONSTRUCTION DETAIL REFER TO CONSTR. DETAILS DRAWINGS (SERIES 300)
WT	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
WT	WINDOW TYPE (W17, W18, W19) REFER TO WINDOW SCHEDULES (SERIES 500)
DT	DOOR TYPE REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACE REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD LAMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWEIGHT ROOF OR AWNING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOIL PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	RIVER PEBBLES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVRES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER LINES MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE SAID CLEARANCES. REFER TO SMS-04-GD-0248 FOR RINA-ACCREDITED PERSON

2 - ALL CHANGES DISPLAYED IN RED

IMPORTANT NOTES:
All scale drawings use figured dimensions only. Ensure features are used to carry the load. Read in conjunction with relevant engineering drawings. - refer contract drawing set.
All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and section drawings take precedence over the Strategic Planning Level (Level 3) drawings. All work to be done.

REVISION	DATE	DESCRIPTION	BY
A	01/12/14	PRELIMINARY	CH/RS
B	11/07/16	REVISED	CH/RS

REVISION NOTES
Revision blocks show changes from the DA.

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HOMEBUSH WEST HOLDING PTY LTD



NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW

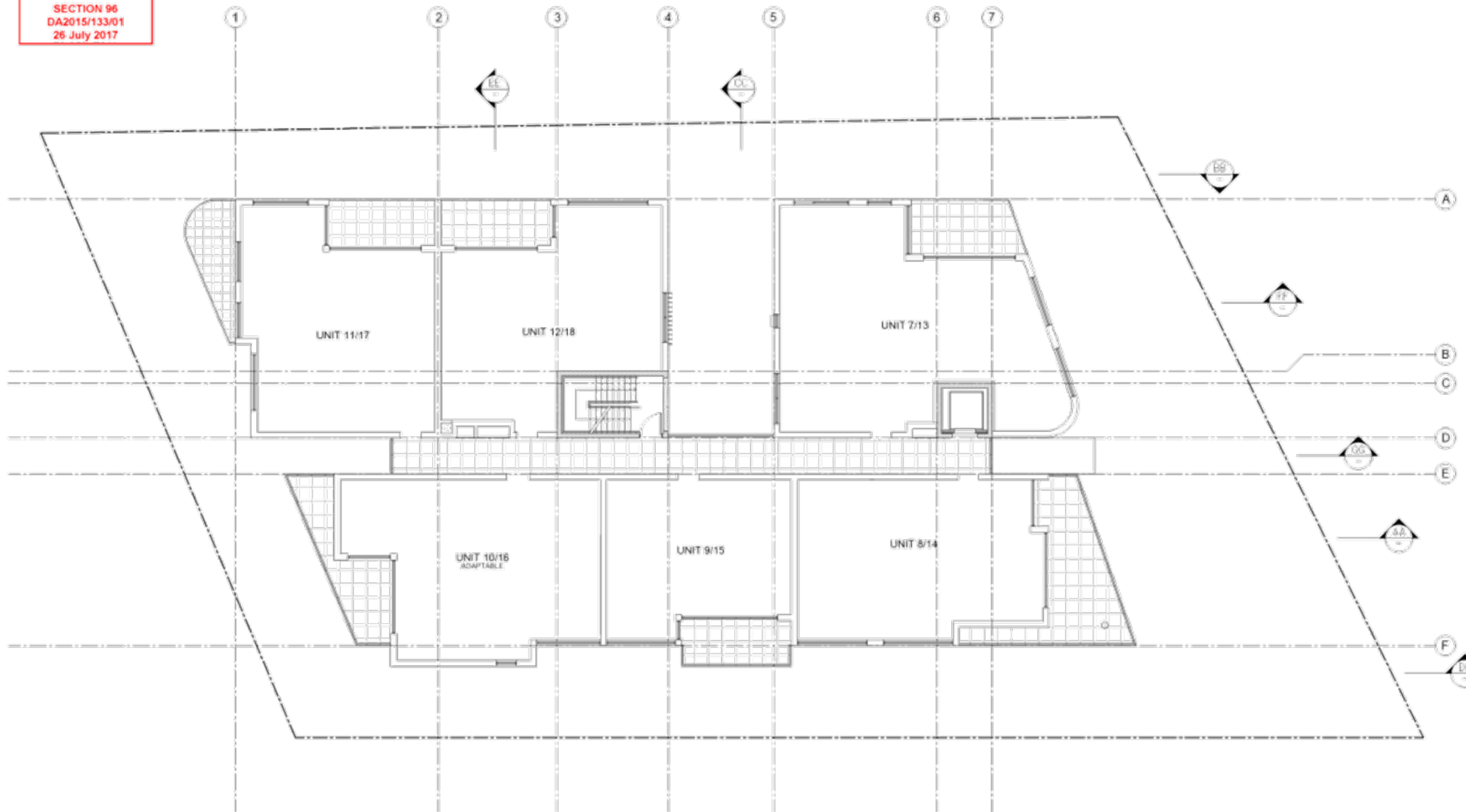


DRAWING TITLE
NOTIFICATION PLAN FIRST FLOOR
SCALE: 1:100
DATE: 07/17

PROJECT
TCH

**STRATHFIELD COUNCIL
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**SECTION 96
DA2015/133/01
26 July 2017**



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION
ROOM #	ROOM DESCRIPTION
FINISHED FLOOR LEVEL (FFL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
STRUCTURAL SLAB LEVEL (SSL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
TOP OF WALL LEVEL (TOW)	REFER TO SECTIONS DRAWINGS (SERIES 200)
RELATIVE LEVEL (RL)	REFER TO SECTIONS DRAWINGS (SERIES 200)
CONSTRUCTION DETAIL	REFER TO CONSTR. DETAILS DRAWINGS (SERIES 300)
WALL TYPE XX	REFER TO WALL TYPES SCHEDULE (SERIES 400)
WINDOW TYPE (W#)	REFER TO WINDOW SCHEDULE (SERIES 500)
DOOR TYPE	REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch]	TILES ON TERRACE	REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	HARDWOOD/FIBER DECKING	REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	LIGHTWEIGHT ROOF OR FINISH	REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch]	SOIL PLANTERS	REFER TO LANDSCAPE DRAWINGS
[Hatch]	ROOF FINISHES	REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVRES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE S.A.D CLEARANCES DERIVED IN SMS-04-GD-0248 FOR A NGA-ACCREDITED PERSON

2 - ALL CHANGES DISPLAYED IN RED

IMPORTANT NOTES:
 All scale drawings are for information only. Do not use for construction without the approval of the architect.
 All dimensions to be checked on site before commencement of work.
 All dimensions to be checked on site before commencement of work.
 All dimensions to be checked on site before commencement of work.
 All dimensions to be checked on site before commencement of work.

REVISION	DATE	DESCRIPTION	BY
1	01/12/16	PRELIMINARY	CH/RS
2	11/07/17	REVISED PER	CH/RS

REVISION NOTES
 Revision 02/17 show changes from the DA.

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HOMEBUSH WEST HOLDING PTY LTD



NEW APARTMENTS
 86-87 THE CRESCENT
 HOMEBUSH, NSW

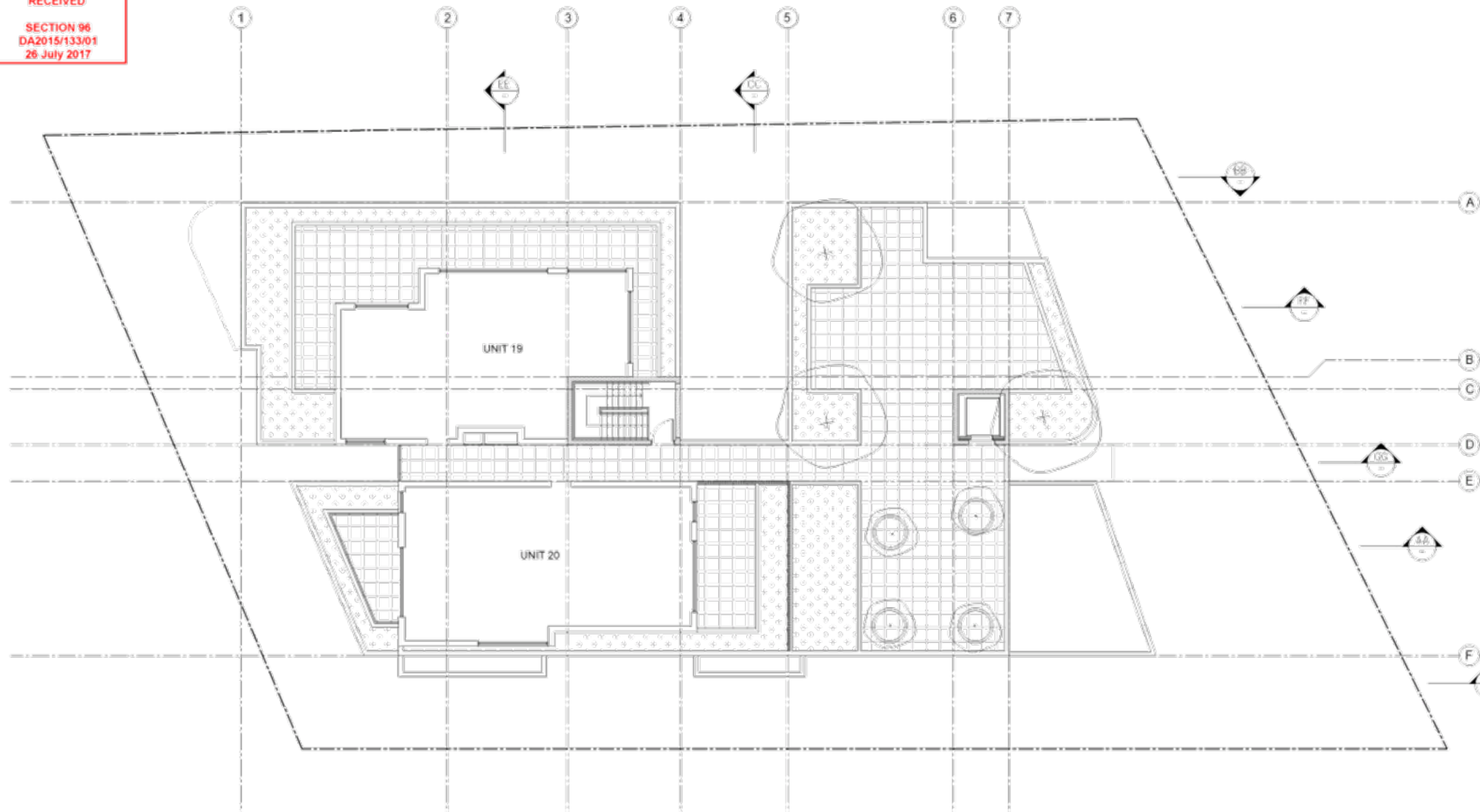


DRAWING TITLE
**NOTIFICATION PLAN
 SECOND FLOOR**

PROJECT
TCH

**STRATHFIELD COUNCIL
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SECTION 96
DA2015/133/01
26 July 2017



FLOOR PLAN TAGS

UNIT #	UNIT DESCRIPTION
19/20	UNIT NUMBER, ACCESSION INFO
19/20	ROOM DESCRIPTION ROOM NAME, FLOOR FINISH, ADDITIONAL INFO
FFL	FINISHED FLOOR LEVEL (FFL) REFER TO SECTIONS DRAWINGS (SERIES 200)
SSL	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTIONS DRAWINGS (SERIES 200)
TWL	TOP OF WALL LEVEL (TOW) REFER TO SECTIONS DRAWINGS (SERIES 200)
REL	RELATIVE LEVEL (RL) REFER TO SECTIONS DRAWINGS (SERIES 200)
CD	CONSTRUCTION DETAIL REFER TO CONSTR. DETAILS DRAWINGS (SERIES 200)
WT	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
WT	WINDOW TYPE (W/T) (2/3/4/5) REFER TO WINDOW SCHEDULES (SERIES 500)
DT	DOOR TYPE REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACE REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD LAMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWEIGHT ROOF OR FINISH REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOIL PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	RIVER PEBBLES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVRES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE SAID CLEARANCES. DERIVED FROM SMS-04-GD-0248 FOR RINA-ACCREDITED PERSON

2 - ALL CHANGES DISPLAYED IN RED

IMPORTANT NOTES:
All scale from drawings use figured dimensions only. Ensure features are used to carry the detail resolution. Read in conjunction with relevant engineering drawings - refer contract drawing set.
All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the architect. Larger scale drawings and section drawings take precedence over the relevant Planning Level (under 30m AHD) drawings by AHD.

REVISION	DATE	DESCRIPTION	BY
A	01/12/16	PRELIMINARY	CH/RS
B	11/07/17	REVISED PER	CH/RS

REVISION NOTES
Revision blocks show changes from the DA.

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HOMEBUSH WEST HOLDING PTY LTD



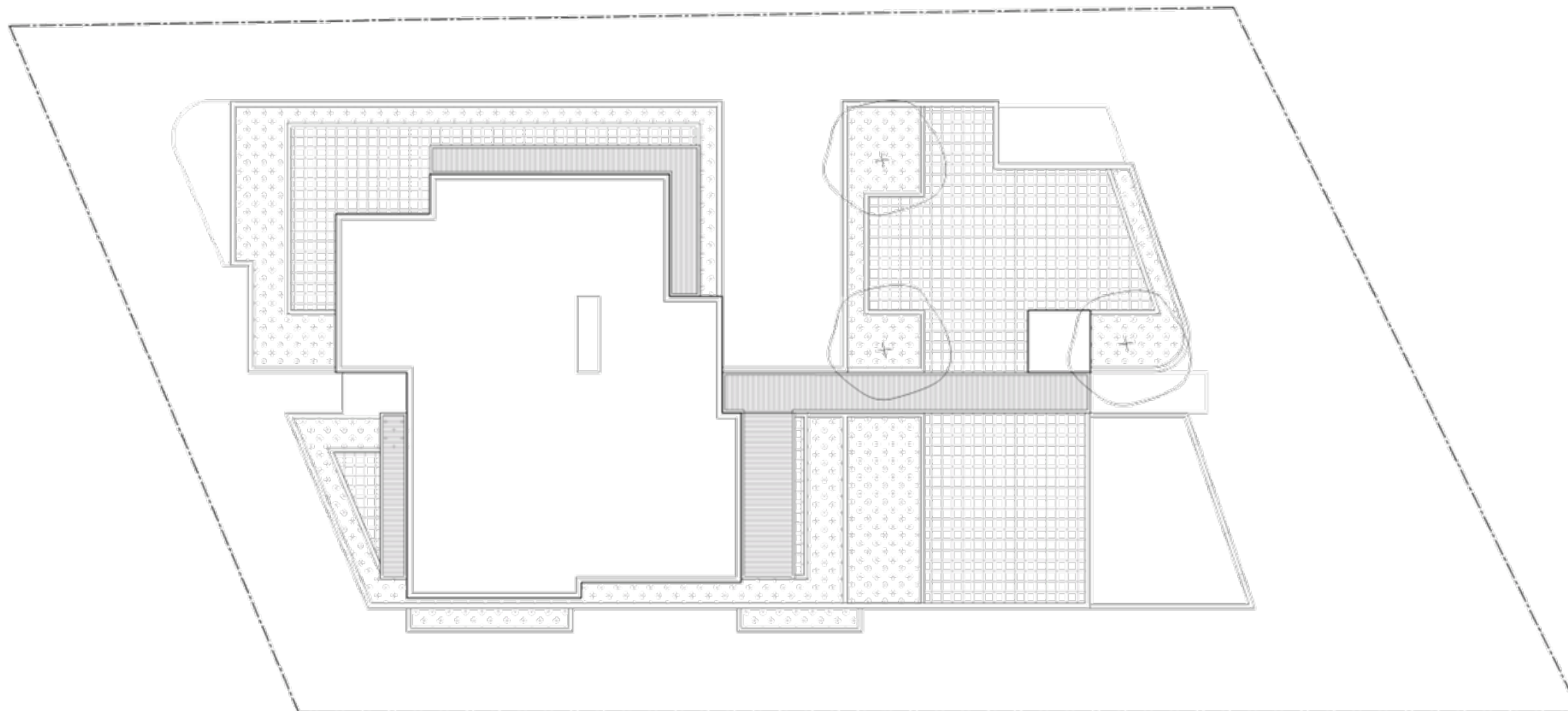
NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW



DRAWING TITLE
**NOTIFICATION PLAN
THIRD FLOOR**
SCALE: 1:100
DATE: 11/07/17

PROJECT
TCH

STRATHFIELD COUNCIL
RECEIVED
SECTION 96
DA2015/133/01
26 July 2017



FLOOR PLAN TAGS

LINE #	UNIT DESCRIPTION
100	ROOM DESCRIPTION REFER TO SECTION DRAWINGS (SERIES 200)
101	FINISHED FLOOR LEVEL (FFL) REFER TO SECTION DRAWINGS (SERIES 200)
102	STRUCTURAL SLAB LEVEL (SSL) REFER TO SECTION DRAWINGS (SERIES 200)
103	TOP OF WALL LEVEL (TOW) REFER TO SECTION DRAWINGS (SERIES 200)
104	RELATIVE LEVEL (RL) REFER TO SECTION DRAWINGS (SERIES 200)
105	CONSTRUCTION DETAIL REFER TO CONSTR. DETAIL DRAWINGS (SERIES 300)
106	WALL TYPE XX REFER TO WALL TYPES SCHEDULE (SERIES 400)
107	WINDOW TYPE (W) (2, 3, 4, 5) REFER TO WINDOW SCHEDULE (SERIES 500)
108	DOOR TYPE REFER TO DOOR SCHEDULE FOR FULL SPECS

SURFACE HATCHES

[Hatch Pattern]	TILES ON TERRACE REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	HARDWOOD LAMBER DECKING REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	LIGHTWEIGHT ROOF OR FINISH REFER TO EXTERNAL FINISHES SCHEDULE
[Hatch Pattern]	SOIL PLANTERS REFER TO LANDSCAPE DRAWINGS
[Hatch Pattern]	RAMP FINISHES REFER TO SECTIONS & DETAILS

WINDOW TAGS

F	FIXED GLASS
SW	SLIDING WINDOW - GLAZED
AWN	AWNING WINDOW
LVR	LOUVERES - GLAZED
SD	SLIDING WINDOW OR DOOR - GLAZED
SH	SHOUTING WINDOW
DH	DOUBLE HUNG WINDOW

NOTES

1 - DURING CONSTRUCTION WORK THE SAFE WORKING DISTANCES FROM OVERHEAD POWER LINES MUST BE ENFORCED AND ALL ACTIVITIES MUST MAINTAIN THE SAID CLEARANCES DERIVED IN SMS-04-GD-0248 FOR A QUALIFIED PERSON

2 - ALL CHANGES DISPLAYED IN RED

REVISION NOTES:
All dimensions to be checked on site before commencement of work.
All dimensions to be checked by the architect.
All dimensions to be checked by the architect.
All dimensions to be checked by the architect.

REVISION	DATE	DESCRIPTION	BY
A	01/12/16	PRELIMINARY	CH/RS
B	11/07/17	REVISED	CH/RS

REVISION NOTES
Revision 02/04 show changes from the DA.

CLIENT
HOMEBUSH WEST HOLDING PTY LTD



NEW APARTMENTS
86-87 THE CRESCENT
HOMEBUSH, NSW



DRAWING TITLE
NOTIFICATION PLAN ROOF
SCALE: 1:100
DATE: 11/07/17

PROJECT
TCH

TO: Strathfield Independent Hearing and Assessment Panel Meeting - 5 October 2017

REPORT: SIHAP – Report No. 4

SUBJECT: 2 EDGAR STREET, STRATHFIELD
LOT 12 DP 1095571

DA NO. DA2017/113

SUMMARY

Proposal: Minor alteration to a heritage item - retiling

Applicant: St. Patrick's College, Strathfield

Owner: Craig Wattam

Date of lodgement: 28 July 2017

Notification period: 8 August 2017 to 21 August 2017

Submissions received: Nil

Assessment officer: KL

Estimated cost of works: \$115,000.00

Zoning: R2 Low Density Residential - SLEP 2012

Heritage: **Heritage Item I132**

Flood affected: No

RECOMMENDATION OF OFFICER: **APPROVAL**

EXECUTIVE SUMMARY

- 1.0 Approval is sought to replace the existing roof tiles of a heritage building located within the school complex known as St. Patrick's College Strathfield.
- 2.0 The application was notified in accordance with Part L of the SCDCP 2005 from 8 August 2017 to 21 August 2017. No written submissions were received.
- 3.0 The proposed development generally complies with the relevant statutory controls. The proposed development is not considered significant in nature, only seeking to replace the existing roof tiles of a local heritage item.
- 4.0 The proposed alterations to the heritage item are considered acceptable and are recommended for approval.

The subject application was referred to Council's Internal Development Assessment Panel (IDAP) for consideration on 27 September 2017. The Panel supported the Assessing Officers recommendation and associated conditions and recommended that the application be referred to SIHAP for determination.

DESCRIPTION OF THE SITE AND LOCALITY

The subject site is legally described as Lot 12 DP 1095571 and is commonly known as 2 Edgar Street, Strathfield - St. Patrick's College, Strathfield.

2 Edgar Street, Strathfield
 Lot 12 DP 1095571 (Cont'd)

The subject site is located on the southern side of Edgar Street bound by Francis Street to the east and Fraser Street to the west. The site comprises St. Patrick's College, comprising of school buildings and associated sports grounds to the rear.



Figure 1: Locality plan

PROPERTY BURDENS AND CONSTRAINTS

There are no easements or burdens on the land which could affect, or be affected by, the proposed development.

DESCRIPTION OF THE PROPOSED DEVELOPMENT

The application seeks Council approval for minor alteration to a heritage item. The specific elements of the proposal are:

External works:

- Replacement of the existing "curvato" terracotta roof tiles of a local heritage item with like terracotta roof tiles.

REFERRALS

INTERNAL REFERRALS

Heritage Comments

Council's Heritage Advisor has reviewed the Heritage Impact Statement prepared by Ruth Daniell, dated May 2017, together with the addendum report dated 26 July 2017.

Council's Heritage Advisor has commented that the proposal to replace the deteriorated existing roof tiles with new tiles that match the existing in profile and colour to provide for the long-term conservation of the building is supported.

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

Subject to the inclusion of conditions, there were no objections raised in relation to the proposal.

SECTION 79C CONSIDERATIONS – EP&A Act, 1979

In determining a development application, the consent authority is to take into consideration the following matters of consideration contained within section 79C of the Environmental Planning and Assessment Act, 1979 as relevant to the development application:

79C(1)(a) the provisions of:

(i) any environmental planning instrument

STATE ENVIRONMENTAL PLANNING POLICY NO.55 – REMEDIATION OF LAND

State Environmental Planning Policy No.55 – Remediation of Land (SEPP 55) contains planning controls for the remediation of contaminated land. The policy states that land must not be developed if it is unsuitable for a proposed use because it is contaminated.

The proposed works do not involve the disturbance of the ground and do not therefore trigger contamination related concerns.

STATE ENVIRONMENTAL PLANNING POLICY (INFRASTRUCTURE) 2007

Clause 28 of State Environmental Planning Policy (Infrastructure) 2007 outlines development permitted with consent. As the subject site is zoned R2 Low Density Residential, use as an educational establishment is permissible with consent.

Clause 32 of the SEPP outlines the requirements in terms of determination of development applications. However, as the proposed works are limited to the replacement of roof tiles, the abovementioned controls are not applicable to the subject proposal.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

An assessment of the proposal against the general aims of SLEP 2012 is included below:

Cl. 1.2(2)	Aims	Complies
(a)	<i>To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield</i>	Yes
(b)	<i>To promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development</i>	Yes
(c)	<i>To promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community</i>	Yes
(d)	<i>To provide opportunities for economic growth that will enhance the local community</i>	Yes
(e)	<i>To promote future development that integrated land use and transport planning, encourages public transport use, and reduced the traffic and environmental impacts of private vehicle use</i>	Yes
(f)	<i>To identify and protect environmental and cultural heritage</i>	Yes
(g)	<i>To promote opportunities for social, cultural and community activities</i>	Yes
(h)	<i>To minimise risk to the community by identifying land subject to flooding and restricting incompatible development</i>	Yes

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

Comments: The proposal to replace the existing roof tiles of the heritage building is considered appropriate in terms of helping to protect the building from dilapidation. Further discussion will be made in the likely impact section of this report.

Permissibility

The subject site is Zoned R2 Low Density Residential under Strathfield Local Environmental Plan (SLEP) 2012.

The existing and proposed use as an educational establishment is not listed as permissible within the R2 Low Density Residential zone. However, pursuant to the SEPP (Infrastructure) 2007, R2 Low Density Residential zone is listed as a prescribed zone and Clause 28(1) states that development for the purpose of educational establishments may be carried out by any person with consent on land in a prescribed zone.

Clause 8(1) of the SEPP states that if there is any inconsistency between this Policy and any other environmental planning instrument, whether made before or after the commencement of this Policy, this Policy prevails to the extent of the inconsistency.

It is also noted that the proposal is consistent with the objectives of the zone in that it will ensure that the heritage significance of the existing school building, being a heritage item, will be retained.

Zone Objectives

An assessment of the proposal against the objectives of the R2 Low Density Residential Zone is included below:

Objectives	Complies
➤ <i>To provide for the housing needs of the community within a low density residential environment.</i>	Yes
➤ <i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	Yes
➤ <i>To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas.</i>	Yes

Comments: *The proposal to replace the existing roof tiles of the heritage building is considered appropriate as it will not adversely impact the heritage significance.*

Part 5: Miscellaneous Provisions

The relevant provisions contained within Part 5 of the SLEP 2012 are addressed below as part of this assessment:

5.10 Heritage Conservation

Heritage Impact Statement submitted with the Development Application, prepared by Ruth Daniell, May 2017, along with the addendum dated 26 July 2017 concluded that:

“In my professional opinion, the decision to replace the roof tiling is a sound decision and will benefit the care and ongoing life of the heritage listed building. The HIS has determined that the selected tiles and colour are a suitable replacement and are sympathetic to the heritage listed building.”

As previously discussed, Council’s Heritage Advisor has commented on the proposal as follows:

“Council’s Heritage Advisor has reviewed the Heritage Impact Statement prepared by Ruth Daniell, May 2017, along with the addendum dated 26 July 2017 and supports the proposal to replace the deteriorated existing roof tiles with new tiles that match the existing in profile and colour to provide for the long-term conservation of the building.”

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

No objections to the proposal, subject to the imposition of recommended conditions, are therefore raised.

79C(1)(a)(ii) any draft environmental planning instruments

There are no applicable draft planning instruments that are or have been placed on public exhibition, to consider as part of this assessment.

79C(1)(a)(iii) any development control plan

STRATHFIELD CONSOLIDATED DEVELOPMENT CONTROL PLAN (SCDCP) 2005

The following is an assessment of the proposal's compliance with the relevant provisions contained within SCDCP 2005.

Heritage and Conservation

Cl. 1.11 Aims	Complies
A <i>To preserve and enhance the visual and environmental amenity of heritage items and heritage conservation areas within the municipality of Strathfield</i>	Yes
B <i>Ensure all new development affecting heritage items and conservation areas is designed to be compatible in setting, scale, setbacks, form, materials and character with the building and surrounding area</i>	Yes
C <i>Ensure that development in the vicinity of a heritage item or conservation area does not have any adverse impact on the heritage significance or setting and that development is compatible in setting, scale, setbacks, form, materials and character with the item or conservation area</i>	Yes
D <i>Conserve archaeological sites and places of Aboriginal significance</i>	Yes
Cl. 1.11 Controls	Complies
(1) <i>A Statement of Heritage Impact is required for proposed development:</i> a) <i>affecting a heritage item;</i> b) <i>within a heritage conservation area; or</i> c) <i>in the vicinity of an item or heritage conservation area</i>	Yes
(2) <i>This statement must set out the heritage significance of the structure or place and assess the extent to which carrying out of the proposed development would affect the significance of the heritage item or heritage conservation area concerned and outline measures to minimise any identified impact</i>	Yes

Comments: *The proposed replacement of existing roof tiles will enhance the visual amenity of the heritage item. As previously mentioned, Council's Heritage Advisor raised no objections to the proposal, subject to the imposition of recommended conditions of consent.*

PART M – EDUCATIONAL ESTABLISHMENTS

An assessment of the proposal against the objectives contained within Clause 1.3 of Part A of SCDCP 2005 is included below:

No.	Objectives	Complies
A	<i>To ensure that a satisfactory educational environment is provided which will also preserve, maintain and enhance the general amenity and heritage character of Strathfield by ensuring that educational establishments are compatible with neighbouring land uses.</i>	Yes
B	<i>To ensure that educational establishments satisfactorily integrate into existing residential and other area streetscapes in terms of size, bulk, height, site coverage, form, character, noise generation, privacy</i>	Yes

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

	<i>impact, maintaining solar access and landscaping.</i>	
C	<i>To ensure that educational establishments operate to maintain pedestrian and traffic safety for both those associated with educational establishments as well as neighbours and other road and footpath users.</i>	Yes
D	<i>To ensure that educational establishments operate with acceptable traffic impact on the local and regional road network.</i>	Yes
E	<i>To ensure that educational establishments themselves take active on-going responsibility for the maintenance of traffic and pedestrian safety, the appropriate control of generated vehicular and pedestrian traffic, the dissemination of relevant safety and traffic procedures and requirements information and the ongoing monitoring and minimization of traffic impact.</i>	Yes
F	<i>To ensure educational establishments provide aesthetically and environmentally attractive and safe environments in regard to design, site lay out, materials, internal spaces, external open space, soft landscaping, vegetation in order to enhance the learning environment and nurture aesthetic and environmental appreciation.</i>	Yes

Comments: *The proposal seeks to replace the existing roof tiles to an existing building within the school campus and therefore will not affect the overall built form and layout of the school.*

Given the limited scope of works proposed, retiling of the roof to retain the existing heritage building, the proposal is considered satisfactory.

PART H - WASTE MANAGEMENT (SCDCP 2005)

The proposal was accompanied by a Waste Management Plan prepared in accordance with Part H of the SCDCP 2005. Compliance with the waste minimisation strategies of this waste management plan is enforced via recommended conditions of consent.

79C(1)(iia) any planning agreement or draft planning agreement

No planning agreement has been entered into under section 93F of the *Environmental Planning and Assessment Act 1979*.

(i) matters prescribed by the regulations

Clause 92 of the *Environmental Planning and Assessment (EP&A) Regulation 2000* requires Council to take into consideration the provisions of the Government Coastal Policy and Australian Standard AS2601–1991: *The Demolition of Structures*, in the determination of a development application.

Having regard to these prescribed matters, the proposed development is not located on land subject to the Government Coastal Policy as determined by Clause 92(1)(a)(ii) and does not involve the demolition of a building for the purposes of AS 2601 – 1991: *The Demolition of Structures*.

(ii) any coastal zone management plan

The NSW Government projects sea levels to rise by 40cm in 2050 and by 90cm in 2100 above the relative mean sea level in 1990. These planning benchmarks are to be considered in the assessment of development applications through the applicable coastal zone management plan or alternatively the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

Although Council is not subject to a coastal zone management plan, the sea level rise planning benchmarks have also been established in order to assess the likely increase in the frequency, duration and height of flooding and as a consequence likely property and infrastructure damage on affected and potentially affected land. Council is therefore required to consider the impact of sea level rise and resultant flooding from Powell's Creek and Cook's River which are tributaries of Sydney Harbour (Parramatta River) and Botany Bay respectively.

The proposed development is not located on a site that is subject to flooding attributed to either Powell's Creek or Cook's River and is therefore not required to be considered under the provisions of the *NSW Coastal Planning Guideline: Adapting to Sea Level Rise*.

79C(1)(b) *the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality*

The proposed development generally complies with the relevant statutory controls and is not considered to have an adverse impact. As previously discussed, the proposed development is considered relatively modest in nature, seeking to replace the existing roof tiles of a local heritage item which will benefit the care and ongoing life of the building.

79C(1)(c) *the suitability of the site for the development*

The proposed development is considered to be suitable to the site in that the proposal seeks to undertake restoration to the existing heritage item within the St. Patrick's College campus to ensure its long-term viability. The proposed works will not result in any adverse environmental impacts.

79C(1)(d) *any submissions made in accordance with this Act or the regulations*

The application was notified in accordance with Part L of the SCDCP 2005 from **8 August 2017** to **21 August 2017**. No written submissions was received.

79C(1)(e) *the public interest*

The public interest is served through the detailed assessment of this development application under the relevant local planning controls and legislation and consideration of any submissions received relating to it by Council. The proposed development is not considered to be contrary to the public interest.

SECTION 94 CONTRIBUTIONS

Section 94 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. The Act reads as follows:

- “(1) If a consent authority is satisfied that development for which development consent is sought will or is likely to require the provision of or increase the demand for public amenities and public services within the area, the consent authority may grant the development consent subject to a condition requiring:*
- (a) the dedication of land free of cost, or*
 - (b) the payment of a monetary contribution, or both.*
- (2) A condition referred to in subsection (1) may be imposed only to require a reasonable dedication or contribution for the provision, extension or augmentation of the public amenities and public services concerned.”*

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

STRATHFIELD INDIRECT SECTION 94 CONTRIBUTIONS PLAN

Section 94 Contributions are not applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan 2010-2030.

CONCLUSION

The application has been assessed having regard to Section 79C of the Environmental Planning and Assessment Act 1979, the Strathfield Local Environmental Plan 2013 and the Strathfield Development Control Plan 2005 and is considered to be satisfactory for approval, subject to the recommended conditions of consent.

RECOMMENDATION

That Development Application No. DA2017/113 for minor alterations to a heritage item – retiling at 2 Edgar Street, Strathfield be **APPROVED**, subject to the following conditions:

SPECIAL CONDITIONS (SC)

1. HERITAGE - RECORDS (SC)

Colour photographs are to be taken of the works affected by the roof replacement, (including the roof, parapet, ridge capping and rainwater goods), prior to the commencement of works, and on completion of the works, and this photographic record is to be submitted to Strathfield Council in digital form.

(Reason: To preserve and enhance the visual and environmental amenity of heritage items)

2. HERITAGE - MATERIALS (SC)

New roof tiles are to match the profile and the variegated colour of the existing roof tiles, parapet tiles, and ridge capping. Any replacement works to the rainwater goods, including gutters and downpipes, should closely match existing profiles, details and materials.

(Reason: To preserve and enhance the visual and environmental amenity of heritage items)

GENERAL CONDITIONS (GC)

3. APPROVED PLANS AND REFERENCE DOCUMENTATION (GC)

The development, except where modified by a condition(s) of consent, is to be carried out in accordance with the following plans and reference documentation:

Plans affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2017/113:

Drawing No.	Title/Description	Prepared by	Issue / Revision & Date	Date received by Council
J1307/SK-01	Site Plan	Glendenning Szoboszlay Architects	Issue A	28 July 2017
J1307/SK-02	Elevations 1	Glendenning Szoboszlay Architects	Issue A	28 July 2017

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

J1307/SK-03	Elevations 2	Glendenning Szoboszlay Architects	Issue A	28 July 2017
J1307/SK-04	Cross Section	Glendenning Szoboszlay Architects	Issue A	28 July 2017
J1307/SK-05	Site Plan	Glendenning Szoboszlay Architects	Issue A	28 July 2017

Reference Documentation affixed with Council's 'Development Consent' stamp relating to Development Consent No. DA2017/113:

Title / Description	Prepared by	Issue/Revision & Date	Date received by Council
Waste Management Plan	St. Patrick's College		28 July 2017
Heritage Impact Statement	Ruth Daniell	May 2017	28 July 2017
Heritage Impact Statement Addendum Report	Ruth Daniell	26 July 2017	28 July 2017

In the event of any inconsistency, the conditions of this consent shall prevail.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council.)

4. CONSTRUCTION HOURS (GC)

No construction or any other work related activities shall be carried out on the site outside the hours of 7.00 am to 5.00 pm Mondays to Fridays and 8am to 1pm Saturdays.

No building activities are to be carried out at any time on a Sunday or public holiday.

Where the development involves the use of jackhammers/ rock breakers and the like or other heavy machinery, such equipment may only be used between the hours of 7.00 am - 5.00 pm Monday to Friday only.

(Reason: To maintain amenity to adjoining land owners.)

5. DEMOLITION – GENERALLY (GC)

Alteration and demolition of the existing building is limited to that documented on the approved plans (by way of notation). No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is not shown to be altered or demolished.

(Reason: To ensure compliance with the approved development.)

6. DEMOLITION - HERITAGE ITEMS (GC)

Alterations to, and demolition of, the existing building shall be limited to that documented on the approved plans (by way of notation) or conditioned in this consent. No approval is given or implied for removal and/or rebuilding of any portion of the existing building which is shown to be retained.

Should any portion of the existing building which is indicated on the approved plans to be retained, be damaged for whatever reason, all the works in the area of this damaged portion are to cease and written notification given to Council. No work is to resume until the written approval of Council is obtained.

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

(Reason: Heritage conservation.)

7. DEMOLITION - SITE SAFETY FENCING (GC)

Site fencing is to be erected to a minimum height of 1.8m complying with WorkCover Guidelines, to exclude public access to the site, prior to any demolition works occurring and maintained for the duration of the demolition works.

If applicable, a separate Hoarding Application for the erection of an A class (fence type) or B class (overhead type) hoarding along the street frontage(s) complying with WorkCover requirements must be obtained including:

payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges before the commencement of work; and

provision of a Public Risk Insurance Policy with a minimum cover of \$10 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained with a copy provided to Council.

(Reasons: Statutory requirement and health and safety.)

8. MATERIALS – CONSISTENT WITH SUBMITTED SCHEDULE (GC)

All external materials, finishes and colours are to be consistent with the schedule submitted and approved by Council with the development application.

(Reason: To ensure compliance with this consent.)

9. PRINCIPAL CERTIFYING AUTHORITY (PCA) IDENTIFICATION SIGN (GC)

Prior to commencement of any work, signage must be erected in a prominent position on the work site identifying:

- i) the Principal Certifying Authority (PCA) by showing the name, address and telephone number of the PCA;
- ii) the Principal Contractor by showing the Principal Contractor's name, address and telephone number (outside of work hours) for that person; and
- iii) the sign must state that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.

(Reason: Statutory requirement.)

10. SITE MANAGEMENT (DURING DEMOLITION AND CONSTRUCTION WORKS)

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standard AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997. All excavated material should be removed from the site in an approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- x) All waste must be contained entirely within the site.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept on site as evidence of approved methods of disposal or recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways, include nature strips and roadways adjacent to the site must be maintained and cleared of obstructions during construction. No building materials, waste containers or skips may be stored on the road reserve or footpath without prior separate approval from Council, including payment of relevant fees.
- xvi) Building operations such as brick-cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Any work must not prohibit or divert any natural overland flow of water.
- xix) Toilet facilities for employees must be provided in accordance with WorkCover NSW.
- xx) Protection pads are to be installed to the kerb and gutter where trucks and vehicles enter the site.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

11. **WASTE – TRACKABLE (GC)**

Removal of trackable waste (as defined by the NSW Environment Protection Authority) from the site must comply with the Protection of the Environment Operations (Waste) Regulation 2005 for the transportation, treatment and disposal of waste materials. Waste materials must not be disposed on land without permission of the land owner and must with the

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

provisions of the Protection of the Environment and Operations Act 1997.

(Reason: To ensure compliance with legislation.)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE (CC)

12. BUILDING CODE OF AUSTRALIA - COMPLIANCE WITH (CC)

All architectural drawings, specifications and related documentation shall comply with the Building Code of Australia (BCA). All work must be carried out in accordance with the requirements of the Building Code of Australia (BCA).

In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by the consent commences.

Details demonstrating compliance with this condition are to be submitted to the Principle Certifying Authority, prior to issue of the Construction Certificate.

(Reason: This is a 'prescribed' condition under clause 98(1) of the Environmental Planning and Assessment Regulation 2000.)

13. COMMENCEMENT OF WORKS (NO WORKS UNTIL A CC IS OBTAINED)

Building work, demolition or excavation must not be carried out until a Construction Certificate has been issued by either Strathfield Council or a Principal Certifying Authority.

Demolition of any part of a building triggers 'commencement of erection of building' pursuant of section 81A(2) of the EP&A Act 1979. Accordingly, demolition works must not commence until a Construction Certificate has been issued, a Principal Certifying Authority has been appointed and a Notice of Commencement has been issued.

(Reason: To ensure compliance with statutory provisions.)

14. HERITAGE - REUSE OF SIGNIFICANT BUILDING ELEMENTS (CC)

The reuse and recycling of significant elements such as bricks, sandstone blocks, verandah thresholds, wall vents, ceiling roses and timber joinery etc. is required. The recycling is to occur, preferably on site and/or to suitable professional recycling yards specialising in the recycling of historic building materials. Removal and storage of these materials is to be carefully carried out by the workers and a specific stockpile area is to be designated and protected. A detailed plan for execution of the above requirements is to be submitted to and approved by Council's Heritage Advisor, prior to issue of a Construction Certificate.

(Reason: To allow for preservation of cultural resources within the Strathfield Council area.)

15. HERITAGE - SUBMISSION OF PHOTOGRAPHIC SURVEY (CC)

A photographic archival record is to be made of all the existing buildings and structures (including the interiors and exteriors and their setting) in accordance with NSW Heritage Council Guidelines 'Photographic Recording of Heritage Items Using Film or Digital Capture' prior to commencement of works or any demolition works. The record is to include measured drawings of the existing buildings. Two copies are to be submitted to Council's satisfaction prior to the issue of a Construction Certificate. Written confirmation that the

2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)

Council reserves the right to use the photographs for its own purposes and genuine research purposes is also to be included.

(Reason: To provide a historic record of heritage significant works on the site for archival purposes.)

16. WASTE MANAGEMENT PLAN (CC)

A Waste Management Plan (WMP) is to be provided in accordance with Part H of Strathfield Consolidated Development Control Plan 2005. All requirements of the approved Waste Management Plan must be implemented during demolition, construction and on-going use of the premises.

The WMP must identify the types of waste that will be generated and all proposals to re-use, recycle or dispose of the waste. The WMP is to be submitted to the Principal Certifying Authority, prior to issue of the Construction Certificate.

(Reason: To ensure appropriate management of waste.)

CONDITIONS TO BE SATISFIED DURING DEMOLITION AND BUILDING WORKS (DW)

17. SITE REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION

All of the following are to be satisfied/complied with during demolition, construction and any other site works:

- i) All demolition is to be carried out in accordance with Australian Standards AS 2601-2001.
- ii) Demolition must be carried out by a registered demolition contractor.
- iii) A single entrance is permitted to service the site for demolition and construction. The footway and nature strip at the service entrance must be planked out with close boarded, hardwood timber footpath protection pads. The pad shall cover the entire width of the footpath opening for the full width of the fence.
- iv) No blasting is to be carried out at any time during construction of the building.
- v) Care must be taken during demolition/ excavation/ building/ construction to prevent any damage to adjoining buildings.
- vi) Adjoining owner property rights and the need for owner's permission must be observed at all times, including the entering onto land for the purpose of undertaking works.
- vii) Any demolition and excess construction materials are to be recycled wherever practicable.
- viii) The disposal of construction and demolition waste must be in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- ix) All waste on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- x) All excavated material should be removed from the site in the approved manner and be disposed of lawfully to a tip or other authorised disposal area.
- xi) Section 143 of the Protection of the Environment Operations Act 1997 requires waste to be transported to a place which can lawfully accept it. All non-recyclable demolition materials are to be disposed of at an approved waste disposal depot in accordance with legislation.
- xii) All materials on site or being delivered to the site are to generally be contained within the site. The requirements of the Protection of the Environment Operations Act 1997 must be complied with when placing/stockpiling loose material, disposing of concrete waste, or other activities likely to pollute drains or water courses.

**2 Edgar Street, Strathfield
Lot 12 DP 1095571 (Cont'd)**

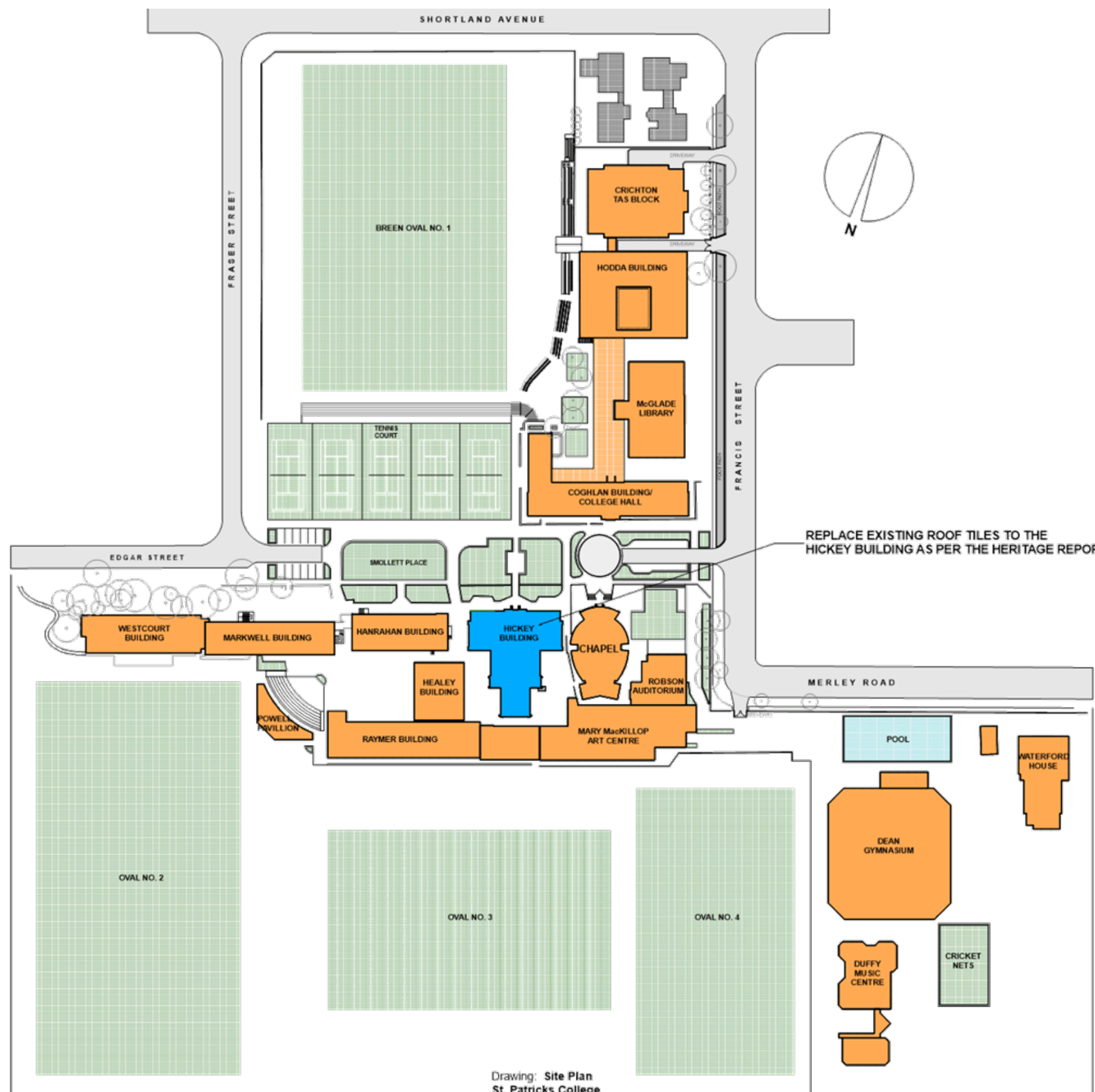
- xiii) Details as to the method and location of disposal of demolition materials (weight dockets, receipts etc.) should be kept on site as evidence of approved methods of disposal and recycling.
- xiv) Any materials stored on site must be stored out of view or in such a manner so as not to cause unsightliness when viewed from nearby lands or roadways.
- xv) Public footways and roadways adjacent to the site must be fully maintained and cleared of obstructions during construction unless prior separate approval from Council is obtained including payment of relevant fees.
- xvi) Building operations such as brick cutting, washing tools or paint brushes, and mixing mortar not be performed on the roadway or public footway or any other locations which could lead to the discharge of materials into the stormwater drainage system.
- xvii) All site waters during excavation and construction must be contained on site in an approved manner to avoid pollutants entering into waterways or Council's stormwater drainage system.
- xviii) Stamped plans, specifications, documentation and the consent shall be available on site at all times during construction.

(Reason: To ensure that demolition, building and any other site works are undertaken in accordance with relevant legislation and policy and in a manner which will be non-disruptive to the local area.)

(Reason: Ensure industry operates between approved hours.)

ATTACHMENTS

1. Architectural Plans



Drawing: Site Plan
 St. Patricks College
 Hickey Administration Building
 Roof Plan

Francis Street, Strathfield NSW

Glendenning Szoboszlaj Architects Pty. Limited 2/005 Pacific Highway, Mt. Colah, NSW - 2079.
 Tel - (02) 9482 7033, Fax - (02) 9482 7201, email: gparch@ozemail.com.au

Issue A: DA Issue 2 June 2017

Checked by: MG/LS
 Drawn by :

Drawing No. - J1307/ SK-01

SHEET SIZE: A3

Date: June 2017



1 North Elevation 1:200



2 South Elevation 1:200

Drawing: Elevations Sheet 1
 St. Patricks College
 Hickey Administration Building
 Roof Plan

Francis Street, Strathfield NSW

Glendenning Szoboszlay Architects Pty. Limited 2/805 Pacific Highway, Mt. Colah, NSW - 2079.
 Tel - (02) 9482 7033, Fax - (02) 9482 7201, email: ggarch@ozemail.com.au

Issue B : Modified 12 June 2017
 Issue A : DA Issue 2 June 2017

Drawing No. - J1307 / SK-2

Checked by: LG
 Drawn by :

SHEET SIZE: A3

Date: June 2017



1 NORTH ELEVATION 1:200



2 South Elevation 1:200

Drawing: Elevations Sheet 2
 St. Patricks College
 Hickey Administration Building
 Roof Plan

Francis Street, Strathfield NSW

Glendinning Szoboszlay Architects Pty. Limited 2/805 Pacific Highway, Mt. Colah, NSW - 2079.
 Tel - (02) 9482 7033, Fax - (02) 9482 7201, email: ggarch@ozemail.com.au

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 Issue A: DA Issue 2 June 2017

Drawing No. - J1307 / SK-3

Checked by: LG
 Drawn by :

SHEET SIZE: A3

Date: June 2017



1

Section

1:200

Drawing: Cross Section
 St. Patricks College
 Hickey Administration Building
 Roof Plan

Francis Street, Strathfield NSW

Glendenning Szoboszlay Architects Pty. Limited 2/805 Pacific Highway, Mt. Colah, NSW - 2079.
 Tel - (02) 9482 7033, Fax - (02) 9482 7201, email: ggarch@ozemail.com.au

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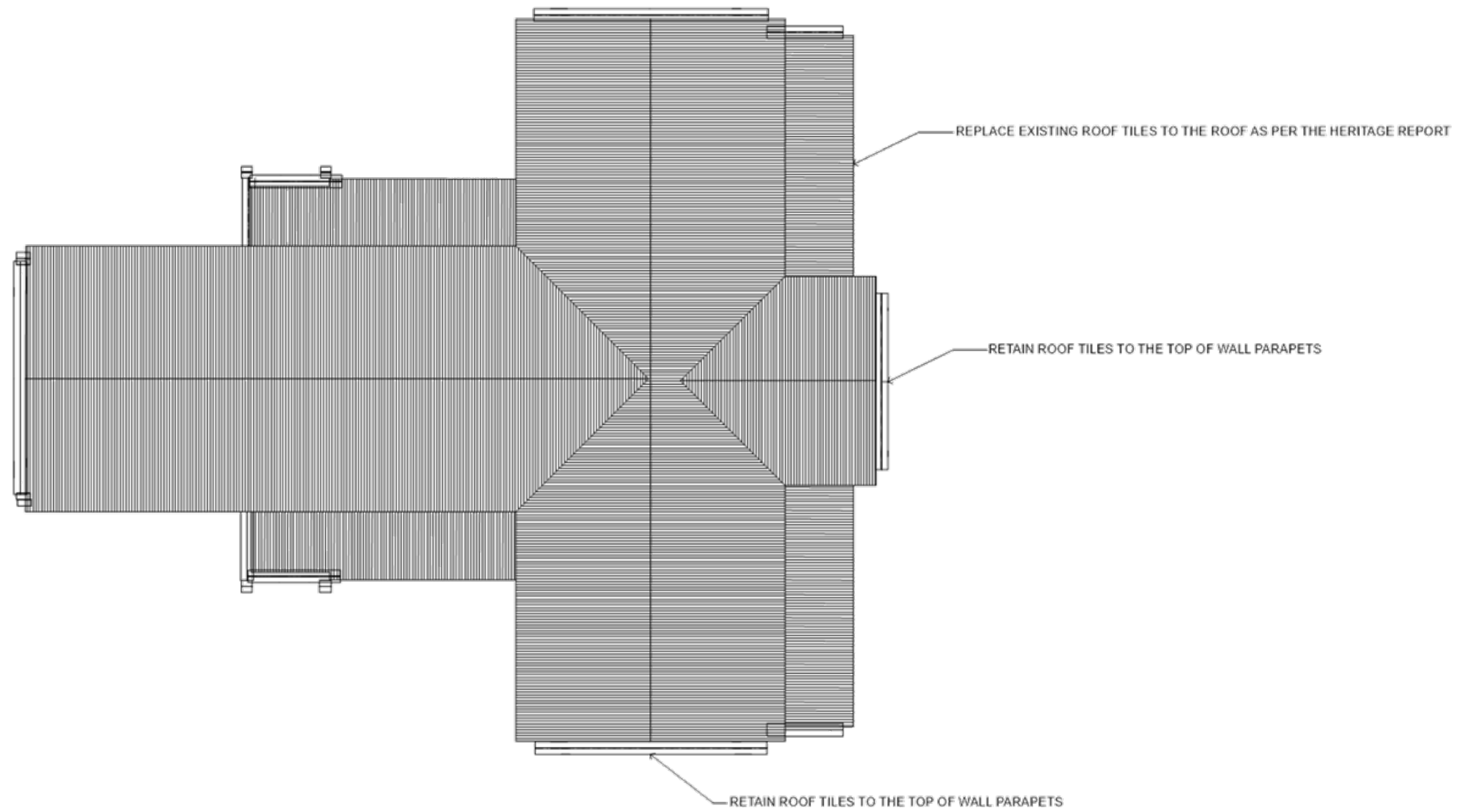
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SHEET SIZE: A3

Date: June 2017

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1

Roof Level

1:200

Drawing: Roof Plan
 St. Patrick's College
 Hickey Administration Building
 Roof Plan

Francis Street, Strathfield NSW

Glendenning Szoboszlay Architects Pty. Limited 2/805 Pacific Highway, Mt. Colah, NSW - 2079.
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Issue B : Modified 12 June 2017
 Issue A : DA Issue 2 June 2017

Drawing No. - J1307 / SK-5

Checked by: LG
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SHEET SIZE: A3

Date: June 2017

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