



STRATHFIELD MUNICIPAL COUNCIL

PART Q of
Strathfield Consolidated
Development Control Plan 2005

Urban Design Controls

(June 2017)



Strathfield Consolidated Development Control Plan 2005

Part Q: Urban Design Controls

1 Introduction

1.1 Purpose

The purpose of Part Q of the Strathfield Consolidated Development Control Plan (SCDCP) 2005 is to establish urban design controls that encourage high quality urban design outcomes for the Strathfield community including making it more liveable.

Strathfield Council is committed to encouraging design excellence in relation to development. These urban design controls will assist in facilitating design excellence to deliver the highest standard of architectural, urban and landscape design

Council is also making its area more liveable through good urban design. This is reflected in its **Urban Design Charter**.

The Charter identifies twelve (12) key urban principles that are essential qualities for the functioning of good urban environments, in making places that are valued and significant for the community who use them.

The Charter principles are:

PRINCIPLE 1: STRUCTURE AND CONNECTIVITY

Organise places so that their parts relate well to each other and display strong connectivity.

PRINCIPLE 2: ACCESSIBILITY

Provide ease, safety and choice of access for all people.

PRINCIPLE 3: LEGIBILITY

Enable people to understand how places work and to find their way around.

PRINCIPLE 4: ACTIVATION

Stimulate activity and a sense of vitality in public places

PRINCIPLE 5: FIT AND FUNCTION

Support the intended use of spaces while also allowing for their adaptability to change

PRINCIPLE 6: COMPLEMENTARY MIX OF LAND USES

Ensure land uses and development types complement each other and integrate together

PRINCIPLE 7: SENSE OF PLACE

Recognise and enhance the qualities that give places a valued identity

PRINCIPLE 8: CONSISTENCY AND VARIETY

Balance consistency and variety in the urban environment for intellectual and aesthetic stimulation

PRINCIPLE 9: CONTINUITY AND CHANGE

Maintain a sense of place and time by embracing change yet respecting heritage values.

PRINCIPLE 10: SAFETY AND SECURITY

Design spaces that minimise risks of personal harm and support safe behaviour

PRINCIPLE 11: SENSORY PLEASURE

Create spaces that engage the senses and delight the mind

PRINCIPLE 12: INCLUSIVENESS AND INTERACTION

Create places where all people are free to encounter each other as civic equals.

1.2 Development to which this Part applies

The urban design objectives and controls contained within Part Q of the SCDCP 2005 will be applied in the assessment of all development applications, with the exception of development for the purpose of dwelling-houses on land zoned R2 Low Density Residential under SLEP 2012.

1.3 Relationship to other Planning Instruments and Development Control Plans

This section of the DCP is to be read in conjunction with the SCDCP 2005 and the Strathfield LEP 2012.

Development for the purpose of residential apartment buildings must also comply with the *Apartment Design Guide (ADG)* and *State Environmental Planning Policy No. 65: Design Quality of Residential Apartment Development (SEPP 65)*.

Development within the Parramatta Road Corridor within the Strathfield Local Government Area shall also refer to the *Parramatta Road Urban Transformation Strategy*.

1.4 Objectives of this DCP Part:

- 1) To establish built form guidelines that encourage high quality urban design outcomes for all development types.
- 2) To encourage best practice sustainable urban transformation.
- 3) To strengthen the relationship between people, places and buildings.
- 4) To make the public environment safer, attractive and more liveable.
- 5) To create more efficient, sustainable and inspiring places to live that support the social, cultural, economic and environmental well-being of the community.
- 6) To deliver the highest standard of architectural, urban and landscape design.

1.5 Structure

Part Q is divided into four (4) sections as follows:

- **Section One: Introduction**
- **Section Two: Built form guidelines**

- **Section Three: Amenity guidelines**
- **Section Four: Guidelines for specific developments**

1.6 Design excellence

The objective of design excellence is to deliver the highest standard of architectural, urban and landscape design.

Strathfield Council is committed to encouraging design excellence in relation to development. These urban design controls will assist in facilitating design excellence.

2 Built Form Controls

2.1 Public Domain and place making

The public spaces of an area including its streets, parks, lanes and squares, are collectively known as the “Public Domain”. The Public Domain includes streets, fences, bridges, trees, open spaces, footpaths, car parks and plazas. These vital areas provide space for social interaction and cultural activity, and contribute to a strong sense of place.

The Public Domain is partially defined by private buildings, spaces (i.e. gardens) and elements. The design quality of these adjacent buildings, including their capacity for overshadowing, the design and location of entrances, building siting, massing, articulation, integration with the streetscape, landscaping, and setbacks, all impact on the Public Domain.

Good urban design improves the quality of the urban environment, its amenity, attractiveness, efficiency and cohesion. Successful integration of private buildings with the Public Domain requires care and skill in the design phase of any development

Critical to this is context and site analysis involving a consideration of how the proposed development will respond to site constraints and integrate with its surrounds.

The purpose of Section 2.1.1 of this DCP Part is to outline the built form guidelines that need to be considered in the design phase of all development applications. General objectives for achieving cohesion between a development and the public domain are included below. More specific objectives and design guidelines are discussed in the remaining sections of this DCP Part.

2.1.1 General objectives

- a. To ensure that development adjacent to the Public Domain complements the landscape character, public use and enjoyment of that land.
- b. To enhance the quality of the Public Domain.
- c. To ensure the Public Domain is attractive, safe, interesting, comfortable, readily understood and easily accessed.

2.1.2 Design guidelines

- 1) All development applications involving substantial external changes that are visible from or effect public space, or have significant land use implications, must be designed in accordance with this DCP Part Q to ensure a positive contribution to the public environment.
- 2) Development is to be designed to address elements of the public domain, including the building interface between private and public domains, circulation patterns and access ways, gateways, nodes, edges, landscape features, heritage items, ground floor activity and built form definition to the street.
- 3) Public access to the public domain is to be maximised.
- 4) Development is to be located to provide an outlook to the public domain, without appearing to privatise that space.
- 5) Development is to provide passive surveillance to the public domain. Where appropriate, ground floor areas abutting public space should be occupied by uses that create active building fronts with pedestrian flow, and contribute to the life of the streets and other public spaces.
- 6) Continuous lengths of blank walls and fences at the public domain interface are to be avoided.

2.2 Streetscape

Streets are an important component of the Public Domain. Streetscape refers to the visual elements of a street that combine to form the streets character.

It is vitally important that all development respects and responds to the prevailing streetscape character in order to contribute positively to the street as well as the appearance and character of the surrounding locality.

The individual characteristics of streets and localities should be maintained and reinforced. A high level of townscape quality will result in an area being experienced, not as a number of disconnected parts, but as a whole, with one recognisable area leading into another.

2.2.1 General objectives

- a. To ensure that all development contributes positively to the street and locality.
- b. To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment.
- c. To increase the legibility of streetscapes and urban spaces so that the inter-relationship between development and the Public Domain is visually coherent and harmonious.
- d. To maximise opportunities for buildings to define the Public Domain.
- e. To encourage attractive street frontages and improve pedestrian amenity.

2.2.2 Essential criteria

- 1) Building height at the street frontage and building alignment must maintain a compatible scale with adjacent development, whilst having regard to this Plan's height controls; and
- 2) Buildings and fences must be designed to complement and/or visually improve existing streetscapes.
- 3) Development must respond and sensitively relate to the broader urban context including topography, block patterns and subdivision, street alignments, landscape, views and vistas and the patterns of development within the area (*refer Figure 1a*)



Figure 1a: Streetscape continuity, rhythm and spacing

- 4) Building design and landscaping must be in harmony with the form, mass and proportions of the streetscape.
- 5) New buildings must recognise and reinforce the elements of facades within the street. Designs must have regard to the horizontal and vertical proportions of building elements which create the visual scene.
- 6) Building setbacks from the street boundary must be consistent with prevailing setbacks of adjoining and nearby buildings (*refer Figures 2 & 3*)



Figure 2: Building frontage setbacks – rectilinear streets

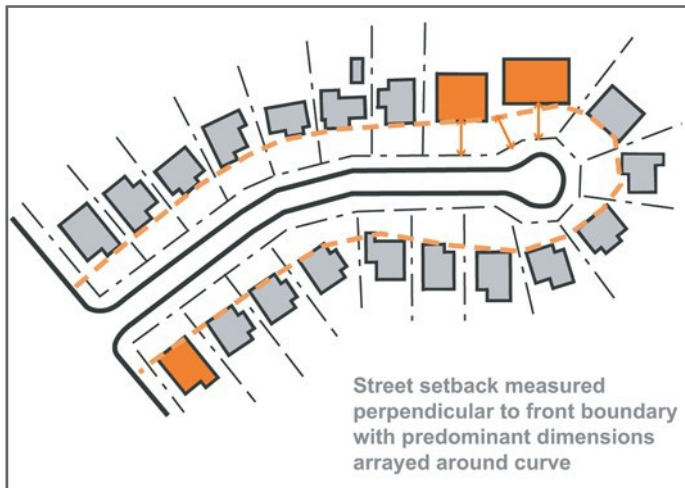


Figure 3: Building frontage setbacks – curvilinear street

- 7) Buildings on corner sites must be designed and articulated to address each street frontage and must define corners (*refer Figure 4*).

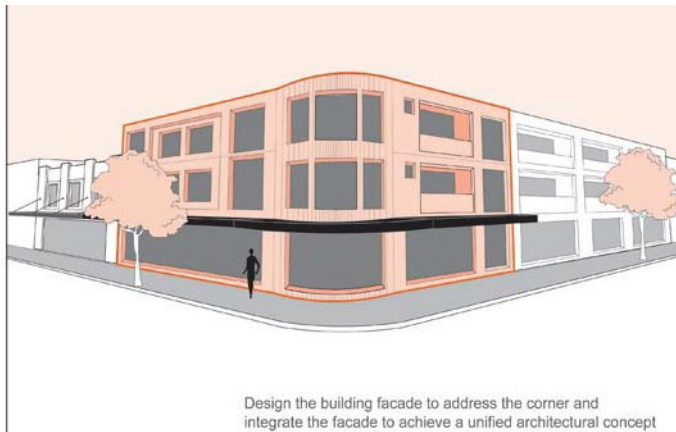


Figure 4: Corner Building Articulation

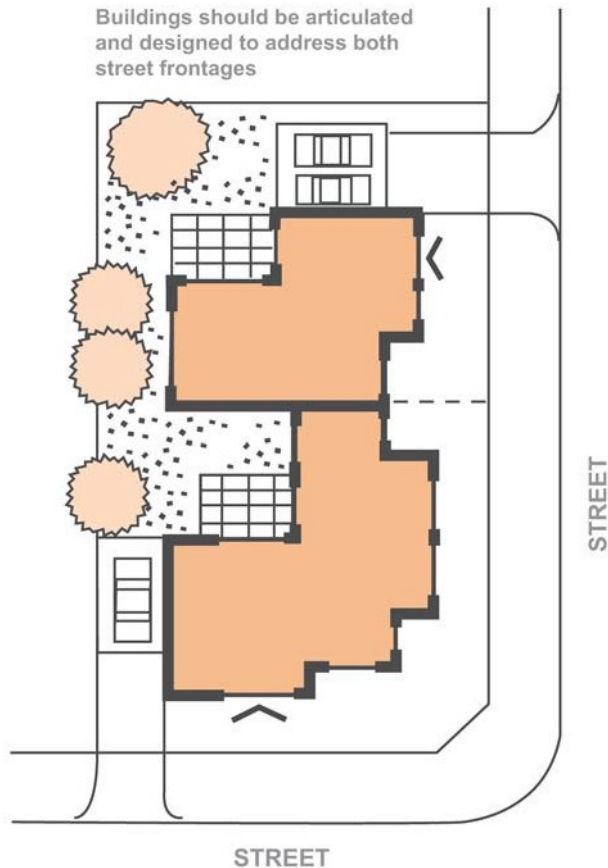


Figure 5: Plan view – corner articulation

- 8) Development adjoining land use zone boundaries must provide a transition in form, height, scale, appearance, materials and setbacks with adjoining development and the Public Domain.
- 9) Buildings must be constructed of suitably robust and durable materials which contribute to the overall quality of the streetscape.
- 10) The use of security devices, such as roller shutters or grilles on shopfronts, shall not compromise natural surveillance of streets and public places. Solid roller shutters will not be permitted as security devices on shop fronts (windows and doors).
- 11) Where side setbacks are an important part of the local streetscape character, these are to be maintained.

2.3 Siting

Development must achieve high quality urban form that is cohesive. The arrangement of buildings affects the Public Domain, amenity of spaces, the quality of space between buildings, visual and acoustic privacy and solar access to private and shared open spaces.

Appropriate building separation is required to maximize light, air and outlook. Good site planning can reinforce an area's character, or make an important contribution to the future character of an area undergoing change.

Appropriate building configuration and site planning will be informed by the surrounding built environment, street conditions and any vision statements adopted for individual areas.

2.3.1 Building configuration and site planning essential criteria

- 1) Development must respond to the scale of surrounding buildings and definition of the street networks and public spaces.
- 2) The distinctive and valued character of the surrounding area, particularly those elements that contribute to a sense of place and identity, must be protected and enhanced.
- 3) Building forms (including heights and massing) are to be arranged to reinforce the future desired structure and character of the area.
- 4) Buildings must address the street, laneway, new through-site link or open space.
- 5) Street edges must be defined with low rise buildings or appropriately scaled podiums to create a pedestrian scale and active frontages at street level.
- 6) Appropriate building separation must be provided to protect privacy and solar access to private property and the Public Domain.
- 7) Building corners on key streets must be emphasised to signify key intersections and enhance Public Domain legibility.
- 8) Possible future development on adjoining sites must be considered as part of any design.

2.4 Building envelope

The building envelope is the three dimensional space within which development may take place. The building envelope is generated by maximum building height, floor space ratio and setback controls. These are defined under the SLEP 2012 and SCDP 2005.

The total space defined by the building envelope is generally greater than the resultant building form.

- The building envelope **includes** articulation zones for blade walls, balconies, shading devices and the like. These features may not project outside the building envelope.
- Building envelopes should allow for a 'loose fit' and room for articulation and modulation (*refer Figure 6*).



Figure 6: Example of a building envelope in elevation and plan

2.4.1 Objective

- a. To ensure the scale and bulk of future development is compatible with site conditions, surrounding development and the existing and desired future character of the streetscape and locality.

2.4.2 Essential criteria

- 1) The bulk and scale of any development must reflect the existing and future character of the existing street and surrounding locality.
- 2) The bulk and scale of any development must be compatible with the amenity of the immediately and surrounding locality.
- 3) Buildings must not be designed to be outside the building envelope even if they do not achieve 100% of the permissible Gross Floor Area (GFA) or maximum height permitted.

2.5 Building massing and scale

Built form massing and articulation is fundamental to the character and identity of streetscapes and neighbourhoods. Articulation should define and reinforce the identity and character of the streetscape and surrounding locality and be used to develop an appropriate scale of building(s).

Facade treatments are encouraged to create variety and interest while contributing to the continuity of the streetscape.

2.5.1 Objectives

- a. To ensure buildings are compatible in form relative to the spatial characteristics of the local area.

- b. To ensure building mass and form reinforces, complements and enhances the visual character of the street.
- c. To ensure the building height and mass preserves and enhances the Public Domain, neighbourhood amenity, and site characteristics.
- d. To ensure that where changes in building scale, mass and/or height is proposed, it occurs in a manner that is sensitive to amenity issues of surrounding or nearby development.

2.5.2 Essential criteria

- 1) Buildings must be of a height that responds to the topography and shape of the site.
- 2) Buildings, or their individual elements, must be appropriately scaled to reinforce the surrounding character.
- 3) Building heights are to be reduced and setbacks increased to provided appropriate transitions to heritage buildings and places or sensitive uses such as public recreation areas and schools.
- 4) The proportion and massing of buildings must relate favourably to the form, proportions and massing of existing and proposed building patterns in the street.
- 5) Building height and mass must not result in loss of amenity to adjacent properties, open space or the Public Domain.
- 6) The form and massing of buildings must provide a transition between adjoining land use zones and building types.
- 7) Building form and massing must support individual and communal entries.

2.6 Transition zones

In situations where there is a change between height and scale controls, development is required to transition. This also applies to heritage buildings and Conservation Areas, and to adjoining existing low scale neighbourhoods.

New development will be required to respond to the overall scale and form of existing elements to preserve visual scale and to avoid overshadowing or loss of amenity.

2.6.1 Transition zone essential criteria

- 1) Development proposing to be higher than adjoining development must incorporate gradual stepping up of the built form at its interface with existing low rise development. Where there is a common boundary between areas where a different height limit is specified, one solution may be that the top storey of the development on the land with the higher height limit be stepped back to fit within a plane projected at a 45 degree angle from the floor below the topmost floor (*refer Figure 7*):

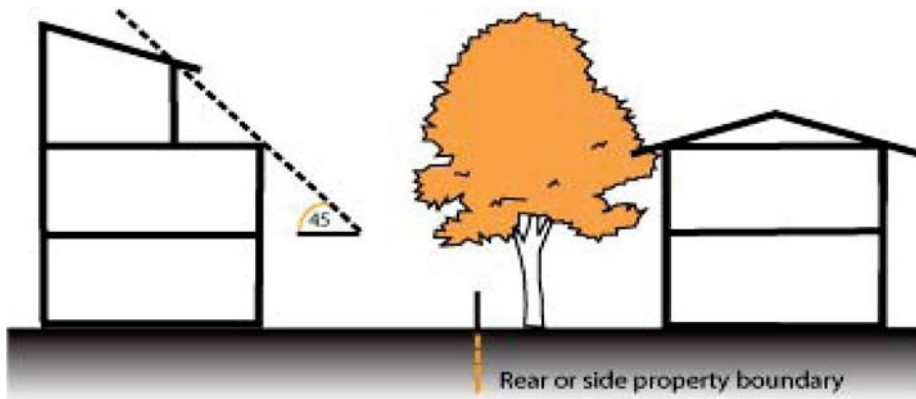


Figure 7: Transition in height – recommended approach

- 2) Development proposals are to be sensitive and complementary in scale and site location to surrounding properties of identified heritage and/or streetscape value, and which contributes positively to the desired character of the street or area concerned (refer Figure 8).

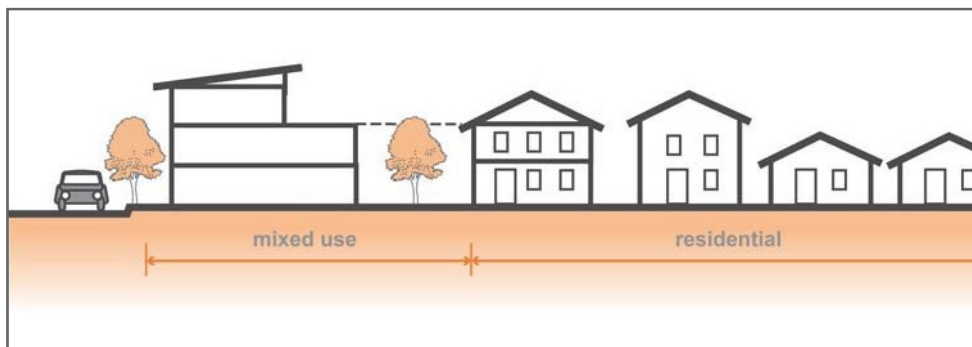


Figure 8: Transitional building between land use zones

2.7 Building frontages to Public Domain

The way a building ‘reads’ from the street is important to maintaining the character and continuity of the streetscape.

It is important when considering the design of new development that the predominant patterns, compositions and articulation of facades reinforces the character and continuity of the streetscape.

This does not necessarily mean replicating the appearance of buildings. Contemporary design solutions based on sound design principles, which reinforce and make reference to the underlying elements that create the character of the area are encouraged.

2.7.1 Objectives

- a. To ensure the appearance of buildings complement and enhance neighbourhood and streetscape character.
- b. To encourage contemporary designs which integrate with the appearance of the streetscape.

- c. To provide attractive building facades which establish identity and contribute to the streetscape.

2.7.2 Essential criteria

- 1) Building design and architectural style must interpret and respond to the positive character of the locality, including the dominant patterns, textures and compositions of buildings.
- 2) Demonstrated design consideration must be given to the underlying building elements that contribute to the character of the area. Such things include roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; the location and proportion of windows and doors.
- 3) Building facades must be modulated in plan and elevation and articulated to reduce the appearance of building bulk and to express the elements of the building's architecture.
- 4) Alterations and additions must be compatible with design elements of the existing building.
- 5) Building frontages and entries must provide a sense of address and visual interest from the street. Stairwells must not be located at the front and in view of the Public Domain.
- 6) Where security grilles/screens, ventilation louvres and car park entry doors are proposed, they must be integrated into facade designs. Solid security shutters will not be permitted.
- 7) New buildings and facades must not result in glare that causes discomfort or threaten the safety of pedestrians or motorists. A Reflectivity Report that analyses the effects of potential glare from the proposed new development on pedestrian and motorists may be required by Council
- 8) Large areas of blank walls are not acceptable. Measures to avoid this may include windows, awnings, sun shading devices, pergolas, or a recognisable increased setback to the upper storey.
- 9) New business and industrial buildings shall be designed so that entry points and client service areas are easily identified from the street and are clearly linked to car parking areas and pedestrian paths.
- 10) Where dwelling houses do not face the street, they are to have recognisable entries and a sense of address as they would if they faced the street.
- 11) For commercial and mixed-use development:
 - ground floor activities must activate the adjoining Public Domain to create a vibrant streetscape and promote a sense of community. Buildings shall be carefully designed to ensure active frontages contributes to the liveliness, interest, comfort and safety of the street for those who use it; and
 - awnings or colonnades for weather protection and shade must be provided along active frontages.

- 12) Site services and related enclosures (such as for waste disposal and recycling, mail and deliveries, water and energy metering and emergency services) are to be integrated into the design of the development and not detract from the streetscape.
- 13) Development must respond to the positive attributes of an area by incorporating dominant patterns, textures and compositions into the built form.
- 14) Development must provide a sense of address and visual interest from the street through the use of insets and projections that create interest and, where relevant, the appearance of finer grain buildings. Recesses that undermine the safety of the Public Domain are to be avoided.
- 15) Building materials, finishes and colours must be of a high quality and compatible with those qualities that are dominant in and contribute to the streetscape and locality.
- 16) The reflectivity of external materials and finishes (including roofs and walls) must be minimal in accordance with industry standards. The use of reflective glass and curtain walling as a facade treatment is not generally favoured by Council. Council may require the lodgement of manufacturer's specifications of certain materials and finishes to demonstrate adequately low levels of glare and reflectivity from external surfaces in certain circumstances.

2.8 Roof forms

The design of the roof of a building has a significant impact on its appearance and its integration with its surroundings. A roof may also accommodate private or shared open space. The type, shape, materials and details of a roof's design can significantly affect views of, and beyond, a building.

2.8.1 Objectives

- a. To treat roof spaces and forms as an important element of the overall building appearance.
- b. To encourage roof forms that provide continuity and consistent character in the streetscape.
- c. To encourage roof designs that integrate with the building composition and form.

2.8.2 Essential criteria

- 1) Plant and lift overrun structures must be incorporated into the roof design. Plant equipment, vents or lift over-runs or solar energy and stormwater collectors are to be designed to avoid visibility from the surrounding spaces and buildings.
- 2) The roof is to be designed to provide for rainwater and solar energy collection.
- 3) The proposed roof form shall minimise the appearance of bulk and scale of the building and be treated as an important architectural element in the street, which can reinforce continuity and character.

- 4) Roof forms are to respond to the neighbouring roofs, in particular in terms of scale and pitch. Roof forms should complement, but not necessarily replicate the predominant form in the locality and in particular those of adjacent buildings.
- 5) Roofs must be designed to avoid or minimise loss of views from adjacent and nearby properties and public spaces, however, this does not justify a roof form that is inconsistent with the prevailing streetscape character.
- 6) Attics are to be designed to fit within the building envelope with the exception of dormer windows.

3 Amenity Guidelines

3.1 Accessibility and connectivity

In some areas local constraints limit the ability of pedestrians to walk to neighbourhood facilities, increasing the dependence on cars, lowering opportunities for social interaction and reducing the safety and vitality of the public realm.

New development, particularly on large sites, can provide opportunities for the creation of new pedestrian links through sites to improve the accessibility and connectivity within neighbourhoods.

3.1.1 Objectives

- a. To improve pedestrian access and connectivity between housing, open space networks, community facilities, public transport, local activity centres and schools.
- b. To encourage pedestrian through-site links that are designed to promote safety and amenity.

3.1.2 Essential criteria

- 1) Pedestrian links must be provided where possible through large development sites to improve connectivity between housing, open space networks, community facilities, public transport, local activity centres and schools. Where Council considers it appropriate to have through site links, it will consider the public benefit that is derived from this in terms of potential loss of development potential.
- 2) Through-site links must be arranged on the site to enable casual surveillance from buildings on the site and from the street or Public Domain. Through-site links are to be landscaped appropriately and include provision for appropriate lighting.
- 3) Public, communal and private areas must be clearly delineated within the site.
- 4) Pedestrian and cycle links must be provided on sites adjacent to waterways to improve accessibility to these natural systems.
- 5) Existing through-site pedestrian links are to be retained by all types of development, except where alternative access can be provided to Council's satisfaction.

3.2 Building entries

Building entries are important points of activity in the street. They support the identity of buildings as well as providing access. They may occur as entries to individual units or shared entries to multiple units. A variety of activity is associated with entries including resident access, deliveries, meetings, and visitor access. In addition to 'front doors' there are car park entries and other service entries (e.g. rubbish collection). Service entries should be located to subdue their presence, especially on major pedestrian streets and shopping areas. The primary and secondary roles of different entries should be clearly identifiable.

3.2.1 Objectives

- a. To create street entrances with a strong identity that provide a transition from the street to residential interiors.
- b. To ensure car park entries do not detract from the street.

3.2.2 Essential criteria

- 1) Legible entry/lobby areas accessed from a public street are to be provided to encourage surveillance and activation of the Public Domain, thereby increasing safety.
- 2) Strong visual and physical connections must be provided between the street and lobby spaces. Entries and foyers must be designed to be comfortable, sheltered, safe, convenient and visible at all times of day and night.
- 3) Car park entrances and crossovers are not permitted unless there is no alternative in retail and commercial areas. Entrances must be located off streets that have a predominantly service role, and these streets should be upgraded as necessary to cater for this role.
- 4) Pedestrian access must be incorporated with car park entrances to reduce the visual impact of the car park entrance. Car park entrances must be carefully designed to avoid unattractive or extensive gaps in street frontages.
- 5) New commercial and industrial buildings must be designed so that entry points and client service areas are easily identified from the street and are clearly linked to car parking areas and pedestrian paths.
- 6) Where a dwelling house does not face the street, it must have a recognisable entry and a sense of address.

3.3 Visual and acoustic privacy

Privacy refers to both visual and acoustic privacy.

3.3.1 Objectives

- a. To ensure that development does not cause unreasonable overlooking of habitable rooms and principal private open spaces of dwellings.

- b. To ensure that visual privacy is provided both within a development and between a development and its neighbours.
- c. To ensure that the siting and design of development minimises the impacts of noise transmission between properties.

3.3.2 Essential criteria

- 1) New development must ensure adequate visual and acoustic privacy levels for neighbours and residents.
- 2) Development must be located, oriented and designed to maximise visual and acoustic privacy between buildings.
- 3) The internal layout of buildings must be designed to minimise overlooking of living areas, private open spaces and adjoining school yards.
- 4) Building elements such as balconies and decks must be designed to minimise overlooking of living areas, private open spaces of adjoining dwellings and adjoining school yards.
- 5) The windows of dwellings must be located so they do not provide direct and close views into the windows of other dwellings, particularly those of living areas (*refer Figure 9*).

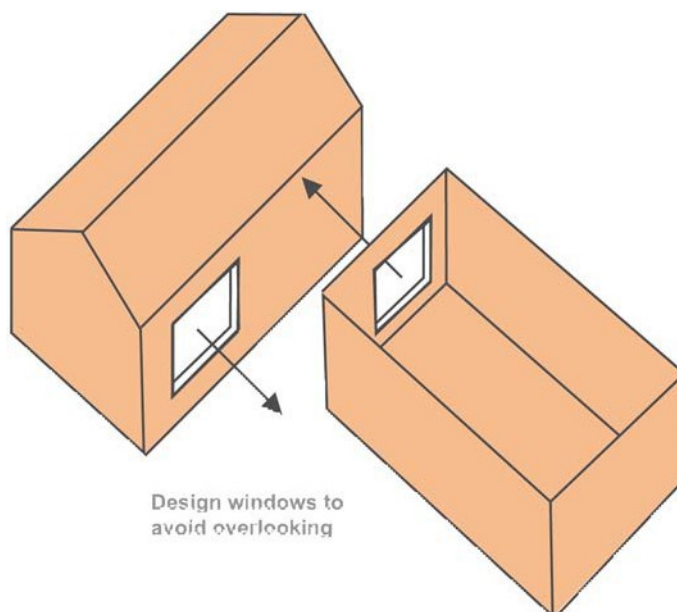


Figure 9: Offset windows

- 6) Building design elements shall be used to increase visual and acoustic privacy such as recessed balconies and/or vertical fins between adjacent balconies, oblique windows, fencing, vegetation and louvres and pergolas which limit overlooking of lower dwellings, private open space and adjoining school yards (*refer Figure 10*).

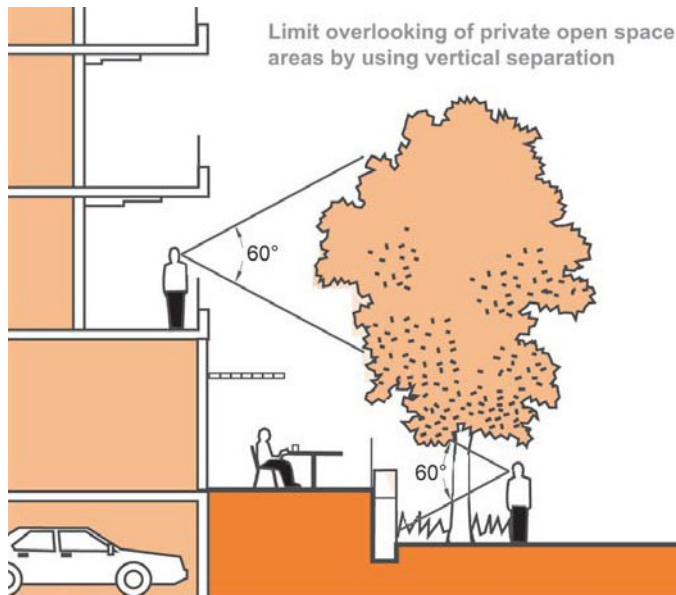


Figure 10: Vertical separation

- 7) The internal layout of buildings including windows must be designed so as to reduce the effects of noise transmission. For example, dwellings with common party walls should locate noise generating rooms such as living rooms adjacent the noise generating rooms of other dwellings.
- 8) Appropriate building materials shall be used to provide acoustic privacy.
- 9) Consideration to the relationship between residential and non-residential components of mixed use development with regard to noise attenuation and privacy must be demonstrated in the design of the development.

3.4 Acoustic amenity and air quality

3.4.1 Objectives

- a. To ensure that the siting and design of buildings minimises noise impacts from abutting roads, rail corridors and other noise-generating land uses.
- b. To ensure that new commercial or industrial development does not unreasonably diminish the amenity of nearby residential uses by noise intrusion.
- c. To ensure mitigation measures such as building layout and design and building materials are taken into consideration where poor air quality is likely to affect inhabitants.

3.4.2 Essential criteria

- 1) Where dwellings are proposed within proximity to noise-generating land uses such as major roads and rail corridors; entries, halls, storage rooms, bathrooms and laundries must be located on the noise affected side of each dwelling and should be able to be sealed off by doors from living areas and bedrooms where practicable.
- 2) Where dwellings are proposed within proximity to noise-generating land uses, appropriate materials with acoustic properties shall be incorporated into the

development.

- 3) New non-residential development must not adversely affect the amenity of adjacent residential development in terms of noise, odour, poor air quality, hours of operation and/or service deliveries.
- 4) Noise generating developments particularly those adjacent residential developments and residential developments adjacent to noise generating sources such as busy roads and rail corridors, must submit an Acoustic Report prepared by a suitably qualified acoustic consultant with a development application.
- 5) The provisions of *State Environmental Planning Policy (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline* must be taken into consideration, to minimise impacts of busy roads and railway corridors on residential and other sensitive development such as schools, child care centres, places of public worship and health services facilities when designing a development proposal.
- 6) For residential development:
 - internal habitable rooms of dwellings affected by high levels of external noise must be designed to achieve internal noise levels of no greater than 50dBA;
 - The internal layout of buildings/dwellings shall be designed so as to minimize the impacts of poor air quality on inhabitants.

3.5 Solar access and cross ventilation

3.5.1 Objectives

- a. To provide thermal comfort for occupants.
- b. To ensure that development does not unreasonably diminish sunlight to neighbouring properties and within the development site.
- c. To ensure that sunlight access is provided to private open space and habitable rooms to improve amenity and energy efficiency.
- d. To ensure sufficient volumes of fresh air circulate through buildings to create a comfortable indoor environment and to optimize cross ventilation.
- e. To ensure that sunlight access is provided to the Public Domain.

3.5.2 Essential criteria

- 1) Development must be designed and sited to minimise the extent of shadows that it casts on:
 - private and communal open space within the development;
 - private and communal open space of adjoining dwellings;
 - significant areas of the Public Domain, such as main streets, open space

and plaza areas, main pedestrian links etc;

- solar collectors of adjoining development; and
- habitable rooms within the development and in adjoining developments.

Note: Building setbacks may need to be increased to maximise solar access and to minimise overshadowing from adjoining buildings. Building heights may also need to be stepped to maximise solar access.

- 2) Generally, dwellings within the development site and adjoining properties are to receive a minimum of 3 hours sunlight in habitable rooms and in at least 50% of the private open space between 9am and 3pm on 21 June. Where existing development currently receives less sunlight than this requirement, this should not be unreasonably reduced. In order to demonstrate that this can be achieved, shadow diagrams may be required with the development application.
- 3) Living areas of dwellings such as kitchens and family rooms shall be located on the northern side of dwellings and service areas such as laundries and bathrooms to the south or west.
- 4) In habitable rooms, head and sill heights of windows must be sufficient to allow sun penetration into rooms.
- 5) Landscaping must provide shade in summer without reducing solar access in winter.
- 6) Buildings must have narrow cross sections, providing dual aspect for dwellings to allow for cross ventilation.
- 7) Buildings must be orientated to benefit from prevailing breezes.
- 8) All rooms must contain an external window to provide direct light and ventilation. Exceptions may be considered for non-habitable rooms where this cannot be achieved practicably and mechanical ventilation can be provided.
- 9) Natural cross ventilation shall be achieved by locating window openings in opposing walls and in line with each other.
- 10) Building elements such as operable louvres and screens, pergolas, blinds etc shall be used to modify environmental conditions where required, such as maximizing solar access in winter and sun shading in summer.

Note: The extent of shadows is to take into account the range of factors that impact on solar access, including the slope of the land, aspect, existing and proposed vegetation and the height and position of existing buildings and structures, including fences

3.6 Safety and security

The design of buildings and places has an impact on perceptions of safety and security as well as actual opportunities to commit crime. Design for safety works by enabling casual surveillance, reinforcing territory, controlling access and managing space.

The application of the principles outlined in the NSW Police Service's 'Crime Prevention Through Environmental Design' (CPTED), promotes physical conditions that deter opportunities for criminal behaviour and aims to make our communities safer places.

3.6.1 Objectives

- a. To ensure a safe physical environment by promoting crime prevention through design.
- b. To encourage increased use of shopping centres, particularly at night.
- c. To create a balance of uses that are safe and easily accessible.
- d. To ensure there is adequate lighting and signage.
- e. To reduce crime risk and minimise opportunities for crime.
- f. To increase and contribute to the safety and perception of safety in public and semi-public spaces.
- g. To encourage the consideration and application of crime prevention principles when designing and siting buildings and spaces.
- h. To encourage dwelling layouts that facilitate safety and encourage interaction and recognition between residents.

3.7 Essential criteria

- 1) Development must be designed to incorporate and/or enhance opportunities for effective natural surveillance by providing clear sight lines between public and private places, installation of effective lighting, and the appropriate landscaping of public areas (*Refer Figure 11*).

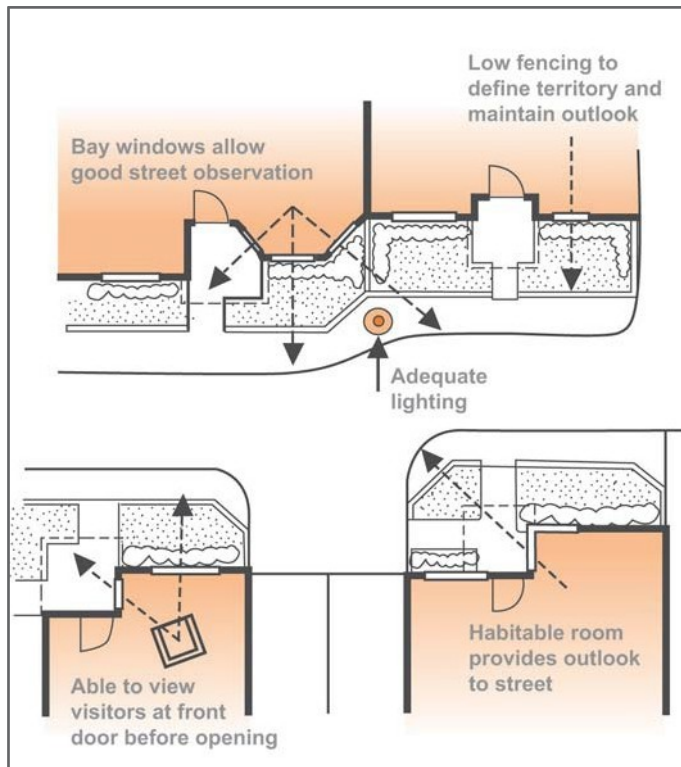


Figure 11: Design for natural surveillance (Source: AMCORD)

- 2) Development must be designed to minimise opportunities for crime through suitable access control. Physical or symbolic barriers should be used to attract, channel and/or restrict the movement of people. Landscaping and/or physical elements may be used to direct people to destinations, identify where people can and cannot go and restrict access to high crime risk areas such as car parks.
- 3) Development must incorporate design elements that contribute to a sense of community ownership of public spaces. Encouraging people to gather in public spaces through appropriate design techniques, helps to nurture a sense of responsibility for a place's use and condition.
- 4) Building entrances must be clearly identified and accentuated. Entries and associated elements including signs, street numbers, post boxes, landscaping etc. must be designed to emphasise their visible presence from various locations or approaches to the building.
- 5) Entrances must serve as points of orientation or way-finding within the development, and providing clear sightlines and visual connections between the street, the entry, foyers and residential interiors.
- 6) The installation of solid security shutters as a means of defining the boundaries between public and private spaces will not be supported.
- 7) The incorporation of crime prevention measures in the design of new buildings and spaces shall not detract from the quality of the streetscape. Subtle design techniques must blend into façades and places and be integrated with the overall design of the development.
- 8) A site management plan and formal crime risk assessment (Safer by Design

Evaluation) involving the NSW Police Service may be required for large developments, which in Council's opinion, would create a crime risk.

- 9) The design of buildings adjoining laneways and through site connections must be designed to activate these spaces at ground level and provide casual surveillance from ground and upper levels.
- 10) Lighting of laneway space is required.

3.8 Views

3.8.1 Objective

- a. To provide view sharing for both existing and proposed and future residents.
- b. To minimise disruption to views from adjacent and nearby development and views to and from public spaces, including accumulated view loss i.e. 'view creep'.

3.8.2 Essential criteria

- 1) The design of any development must minimise the loss of views from neighbouring and nearby dwellings and from public spaces.
- 2) Views between and over buildings are to be maximised and exceptions to side boundary setbacks will not be considered if they contribute to loss of primary views from living areas.
- 3) View assessment is to be carried out having regard to the Land and Environment Court Planning Principle in respect of view sharing, which was set out in *Tenacity Consulting v Warringah Council* (2004) NSWLEC40 ("*Tenacity*").

Note: The assessment of any development application will assess the extent of, and impact on views at eye height level in a standing position (1.6m above finished floor level) from within the main living areas (and associated terraces/balconies) of the affected proposed and existing, adjacent and nearby developments, as well as public spaces.

3.9 Landscaping

3.9.1 General objectives

- a. To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings.
- b. To ensure developments make an equitable contribution to the landscape setting of the locality.
- c. To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade.

3.9.2 Essential criteria

- 1) The design, quantity and quality of open space must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.
- 2) Existing trees within the front setback shall be retained. Front setback areas must contain at least two (2) canopy trees adjacent the front boundary and comprise at least 50% of the setback is to be for deep soil planting.
- 3) Existing trees on Council's Road Reserve area must be retained and protected. New driveway locations that necessitate removal of a Council street tree will not be supported.
- 4) In higher density areas the provision of adequate private open space and landscaped areas must maximise residential amenity. Site works must be minimised to protect natural features.
- 5) Landscaping must be designed to protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts.
- 6) Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained.
- 7) In areas adjacent to native habitat, the design of development must be sympathetic to the natural environment in order to protect and enhance the area as habitat for native fauna.
- 8) In relation to conservation and energy efficiency, plant species must be retained, selected and planted to achieve:
 - shaded buildings in summer;
 - reduced glare from hard surfaces;
 - sunlight access into living rooms in cooler months;
 - cooling air currents channelled into the dwelling in summer; and
 - windbreaks where desirable.
- 9) Natural features on the site, such as trees, rock outcrops, cliffs, ledges, indigenous species and vegetation communities must be retained and incorporated into the design of development.
- 10) Landscaping must enhance the visual setting and accentuate the design qualities of the built form. Landscaping solutions shall be used to create a screening effect for visually obtrusive land uses or building elements.
- 11) Trees must be planted at the front and rear of properties to encourage tree canopy, to soften the built environment and to encourage the continuity of the landscape pattern.
- 12) Landscaping is to be designed so as to minimise overlooking between properties.

- 13) The amount of hard surface area shall be minimised to reduce run-off. Run-off from hard surfaces is to be directed to permeable surfaces such as garden beds.

3.10 Private and communal open space

Private open space is important for providing residents with quality, useable outdoor areas for recreation and outdoor activities.

The purpose of communal landscaped open space is to provide a deep soil area outside of private courtyards that is planted with trees and landscaping that will mature and contribute to the amenity of the site and locality.

3.10.1 Objectives

- a. To ensure that private open space is designed to provide residents with quality usable private outdoor living areas for recreational and outdoor activities.
- b. To ensure that private open space is designed for privacy, solar access, and is well integrated with living areas.
- c. To provide low maintenance communal open space areas for residents that facilitate opportunities for recreational and social activities, passive amenity, landscaping and deep soil planting (*refer Figure 13*)

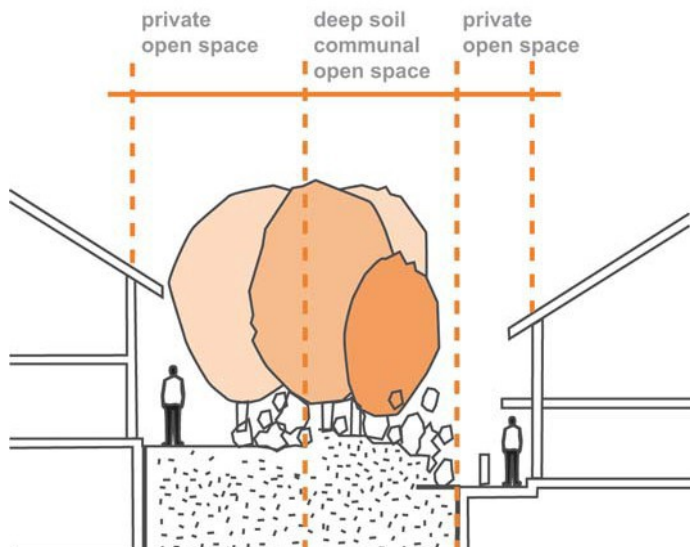


Figure 13: Deep soil communal open space zones

3.10.2 Essential criteria

- 1) Private open space must be:
 - Provided for all dwellings (with the exception of secondary dwellings, which are able to share the private open space of the principal dwelling). Open space within the front setback does not constitute private open space.
 - Directly accessible from the living area of the dwelling and capable of serving as

an extension of the dwelling for relaxation, entertainment and recreation.

- Designed to ensure visual and acoustic privacy of the occupants of adjacent buildings and within the proposed development.
- Located so as to maximise solar access.
- Designed to focus on the quality of the space in terms of its outlook, orientation, relationship to the dwelling, size and shape and its enclosure and landscape treatment.

2) Communal open space must be:

- Located where it is highly visible and directly accessible to the maximum number of dwellings.
- Designed with an integral role in the site and include uses such as circulation, BBQ or play areas, and areas of passive amenity, but excludes swimming pools.
- Integrated with the deep soil zone to provide a landscaped setting with opportunities for large and medium size tree planting
- Located adjacent to surrounding public open spaces such as reserves and public through site links where appropriate.

3.11 Energy efficient design

3.11.1 Objectives

- a. To promote sustainable development which uses energy efficiently and minimises non-renewable energy usage in the construction and use of buildings.
- b. To ensure that development contributes positively to an overall reduction in energy consumption and greenhouse gas emissions.

3.11.2 Essential criteria

- 1) Where applicable, development must demonstrate compliance with the design principles embodied in the Building Sustainability Index (BASIX). All commitments listed on a BASIX certificate must be marked on all relevant plans and specifications.
- 2) For residential development not subject to BASIX, the principles and properties of thermal mass, glazing, insulation and solar energy must be recognised and incorporated into the design of the development.
- 3) Water Sensitive Urban Design principles must be integrated into the development through the design of stormwater drainage, on-site detention and landscaping and in the orientation of the development rather than relying on 'end of pipe' treatment devices prior to discharge.
- 4) All commercial, mixed-use and residential flat buildings must achieve a 4-6 green star rating in accordance with the Green Building Council of Australia's Green Star program.

4 Guidelines for Specific Developments

4.1 Car parking and vehicular access

4.1.1 Objectives

- 1) Vehicular access points are to be minimised and should not break the continuity of the streetscape. Landscaping should be used to minimise the visual intrusion of vehicular access points.
- 2) Garages and parking structures are not to dominate the building facade and front setback
- 3) To ensure that the location and design of driveways, parking spaces and other areas used for the movement of motor vehicles are efficient, safe, convenient and are integrated into the design of the development to minimise their visual impact.

4.1.2 Essential criteria

- 1) Vehicle access points and parking areas must:
 - be easily accessible and recognisable to motorists;
 - not disrupt pedestrian flow and safety;
 - be located to minimise traffic hazards and the potential for vehicles to queue on public roads; and
 - minimise the loss of on street car parking, and to minimise the number of access points.
- 2) Car parking and service/delivery areas must be located so that they do not visually dominate either the development or the Public Domain surrounding the development.
- 3) For mixed-use development:
 - loading/manoeuvring areas must be located within buildings or screened from adjacent residential uses; and
 - residential non-residential car parking spaces must be physically separated.
- 4) For industrial development:
 - loading docks must be designed to allow heavy vehicles to enter and leave the site in a forward direction, without interfering with visitor and employee parking;
 - adequate and suitable on-site receiving areas and parking for trucks and large vehicles must be provided to prevent queuing or off-site parking of such vehicles;
 - materials for kerbs, gutters, footpaths, walkways and driveways must be selected to resist damage by large vehicles or frequent use; and

- a traffic management plan must be prepared detailing all transport options for the development, including type of transport used, size of trucks and frequency.
- 5) Development on corner sites may be required to accommodate a splay corner to facilitate improved traffic conditions. This matter should be identified at the initial design stage in consultation with Council's development assessment officers.
 - 6) Where properties have access to a rear lane or secondary street frontage, parking and servicing access shall be provided from the secondary street/lane.
 - 7) Driveways must be designed to avoid a long and straight appearance by using landscaping and variations in alignment.
 - 8) Car parking areas and vehicle access ways shall be landscaped to integrate sympathetically with the development and the landscape character of the locality.
 - 9) The area between property boundaries and driveways, access ways and parking spaces must be of sufficient width to enable landscaping and screen planting.
 - 10) All parking provision must be designed and sited to respond to and respect the prevailing streetscape. The visual impact of parking within the front setback is to be minimised.
 - 11) The width and number of footpath crossings shall be minimised.

4.2 Front Fences

The character of street frontages, particularly in residential developments is often significantly affected by front fences. Aspects such as height, materials and transparency of fences determine the level of visibility and outlook, informal surveillance, privacy, security and frontage activity.

4.2.1 Objectives

- a. To avoid creating inactive frontages as a result of fencing private open spaces.
- b. To ensure fences complement and conserve the visual character of the street and neighbourhood.
- c. To contribute positively to the Public Domain.

4.2.2 Essential criteria

- 1) Front fences shall generally be low, open or partially transparent.
- 2) Front fences are to be consistent with the existing character or contribute to establishing a new neighbourhood character.
- 3) Front fences and landscaping shall allow residents to view street activity, thereby encouraging passive surveillance of the Public Domain.
- 4) Colours and materials of new fences are to be consistent with with the associated building and adjoining fences.

- 5) Fences must respond to the architectural character of the street and/or area and the buildings that they front, with streetscape character maintained on all street frontages.
- 6) Front fences must not be erected where the streetscape is characterised by an absence of front fences. In these instances, landscaping shall be used to create identifiable street address and privacy.
- 7) Use of continuous lengths of blank walls at street level must be avoided.
- 8) Suitable planting shall be used to soften the edges of fences at the interface of the Public Domain.
- 9) Sheet metal fencing is not to be used at the street frontage or forward of the building line or in locations that have an interface with the Public Domain.
- 10) Fencing must respond to the topography of the site.
- 11) Front fencing, particularly on busy roads, must be designed to ensure an appropriate level of visibility and outlook, informal surveillance, privacy, security and frontage activity.
- 12) Fences must not be constructed in floodways. Where this is unavoidable fences are to be constructed in a manner that will not restrict the flow of flood water or cause blockages.

Note: Additional requirements for fences, where certain areas or items have historical significance and special character, are addressed separately within the SDCDP 2005.

4.3 Residential subdivision

4.3.1 Objectives

- a. To ensure that subdivision of land for residential development has regard to site opportunities and constraints.
- b. To ensure that subdivision respects the predominant subdivision pattern of the locality.
- c. To ensure that allotments of sufficient size are created to facilitate development that meets the requirements of this plan.

4.3.2 Essential criteria

- 1) Subdivision must be designed to:
 - take account of topography and slope and minimise the need for cut and fill associated with dwelling and driveway construction,
 - protect natural and cultural/heritage features, and
 - retain significant trees and vegetation communities.

- 2) Subject to minimum lot size requirements, subdivision must reflect and reinforce the established subdivision pattern of the locality.
- 3) Lots must be oriented to maximise solar access for future dwellings.
- 4) Lot size and dimensions must provide for:
 - a suitable building platform;
 - outdoor open space and service space;
 - landscaped area;
 - vehicular access that connects to a public road; and
 - on-site parking.
- 5) Subdivision involving a new lot for residential development must identify on the subdivision plan that a dwelling can be successfully accommodated on each allotment, in compliance with the SCDCP 2005 and the SLEP 2012. Concept plans of likely future redevelopment are required to be submitted with the development application.
- 6) Where appropriate, subdivisions shall provide connections for public access, both vehicular and pedestrian within and beyond the site and are to facilitate open space and active transport linkages.
- 7) Adequate provision must be made within new lots for infrastructure services.
- 8) Vehicular access corridors must:
 - provide safe and practical vehicular access to a formed public road;
 - allow vehicles to leave the driveway in a forward direction;
 - make provision for vehicles to pass on site where necessary;
 - include appropriate landscaping to maintain the amenity of the area; and
 - be accessible for service providers and emergency services.

4.4 Child care centres

4.4.1 Objectives

- a. To encourage the provision of high quality child care which have a minimum impact on surrounding land uses and are appropriate for the surrounding built and natural environment.
- b. To ensure that Child Care Centres are appropriately located on sites which have high levels of safety, security, environmental health and amenity for children.

- c. To ensure the amenity of adjoining neighbours is retained (including protection of privacy, access to property, etc.) and is not detrimentally affected by noise emissions from the site.

4.4.2 Essential criteria

- 1) Child care centres must integrate into existing residential environments and are to be unobtrusive in terms of size, bulk, and height, and complement the prevailing character of the streetscape.
- 2) Child care centres must be suitably located with adequate, convenient and safe parking that does not adversely impact adjoining land uses in terms of traffic, parking, noise impacts and privacy. Child care centres must not affect the traffic safety of pedestrians, particularly children, motorists and cyclists of surrounding areas.
- 3) The site layout and building design must take into account the characteristics, constraints and opportunities of the site and its surrounds, and consider the users of surrounding areas with respect to privacy and noise.
- 4) The appearance of the development must be of a high visual quality, enhance the streetscape and complement good quality surrounding development.
- 5) Roof design must be compatible with surrounding properties with respect to height, pitch, building materials and colour.
- 6) Suitable acoustic barriers and design measures, such as screen fencing shall be incorporated into the design to mitigate against external noise sources or transmission of noise from the child care centre to surrounding properties.

4.5 Signage and advertising

Signage and advertising should seek to limit the cumulative visual impact of signage and advertising.

4.5.1 Essential criteria

- 1) Signage must comply with the requirements of State Environmental Planning Policy No 64-Advertising and Signage.
- 2) Signage must contribute positively to the streetscape and create a sense of place. Advertising signs must convey the advertisers' message whilst complementing and conforming to the visual appearance of the building or other structure on which it is displayed and the overall character of the street and locality, in order to maintain the amenity of the surrounding environment.
- 3) Signage on the main facades of buildings from the first floor to the rooftop or parapet, are to be limited to building identification signs only.
- 4) Signs must not to be erected above the parapet or on the roof of a building.
- 5) Signage must relate to an approved use on the property/site.
- 6) Development shall incorporate clear signage for access and egress to public

transport and public places

- 7) Signs painted on or applied to the roof of a building are not permitted.
- 8) Existing signs that have heritage value must be retained where appropriate, preferably in their original location, or adaptively reused. Refer Heritage section of this DCP for further details.

4.6 Flood Affected Land

Land identified as Flood Prone requires additional consideration with regards to potential flooding and floor levels. It is recommended that any person wanting to develop Flood Prone Land contact Council for further information regarding its flood studies as well as the NSW Government's Flood Prone Land Policy.

4.7 Development Adjoining Residential Zones

4.7.1 Essential criteria

In addition to the general guidelines contained within this DCP Part, the following Essential criteria apply:

- 1) Wherever the Council considers it to be appropriate, proposed buildings must be compatible with the height, scale, siting and character of adjoining buildings within the residential zone.
- 2) Any goods, plant, equipment and other material that will be on the land as a consequence of the proposed development shall be stored within a building, or be suitably screened and located at least 3m from the boundary with a residential zone.
- 3) The elevation of any proposed building facing land in a residential zone must be compatible with existing buildings within the residential zone, or be suitably screened.
- 4) The development must not inhibit reasonable solar access to existing buildings within the residential zone between the hours of 9am and 3pm during the winter solstice.
- 5) The development must not otherwise cause nuisance to residents, by way of hours of operation, traffic movement, parking, headlight glare, security lighting or the like.
- 6) Windows facing residential areas shall be treated to avoid overlooking of private open spaces or windows of adjoining residences.

4.8 Development within Mixed Use Zones

4.8.1 Essential criteria

In addition to the general guidelines contained within this DCP Part, the following Essential criteria apply:

- 1) Any new mixed use development must complement significant elements of the built environment in the vicinity of the land;
- 2) Any new mixed use development must improve the appearance of the built environment in the vicinity of the land, particularly in terms of the relationship of buildings to each other and from the perspective of motorists, pedestrians, employees and users of the Public Domain generally.
- 3) Any proposal shall be consistent with the established landscaping themes that the Council considers to be desirable.
- 4) Activities associated with mixed use developments that impact on the use of the Public Domain such as management arrangements, including ownership/ leasing proposals must be considered at the design stage to ensure proper functioning of various components of the building.

4.9 Development in the Industrial Zone

4.9.1 Essential criteria

In addition to the general guidelines contained within this DCP Part, the following Essential criteria apply:

- 1) Adequate off-street parking, relative to the likely demand for parking generated by the proposed development, must be provided on-site.
- 2) The site of the proposed development must be suitably landscaped, particularly between any buildings and the street alignment.
- 3) The proposed development must contribute to the maintenance or improvement of the character and appearance of the locality.
- 4) Any proposal shall demonstrate that detailed consideration has been given to the effect of traffic generated from the site and the likely impact on surrounding residential areas, including the identification of appropriate traffic management schemes which would mitigate potential impacts of the traffic generated from the development on any residential environ.
- 5) Any goods, plant, equipment and other material used in carrying out the proposed development must be suitably stored or screened at the rear of the site.
- 6) The proposal must not detract from the amenity of any residential area in the vicinity.

4.10 The Parramatta Road Urban Transformation Strategy.

The *Parramatta Road Urban Transformation Strategy* is the Plan for the growth and revitalisation of the Parramatta Road Corridor. The vision for the Corridor is that it will be a high quality multi-use corridor with improved transport choices, better amenity and balanced growth of housing and jobs.

UrbanGrowth NSW is working closely with local communities, local councils and state

agencies to develop and implement the strategy.

The Homebush Precinct is located immediately northwest of Strathfield Town Centre and Strathfield Railway Station. Sitting between Sydney's two main CBD's (Sydney and Parramatta), the Homebush Precinct will be transformed into a major high-density mixed-use precinct focused on providing employment and housing opportunities, and supported by an extensive open space network and efficient vehicular, active, and public transport linkages.

4.10.1 General Essential criteria

General design controls for the Precinct include:

- New links to the Bakehouse Quarter, creating main-street style uses on Parramatta Road and George Street.
- Streets must be well connected for pedestrians, cyclists, public transport users and drivers.
- Employment and retail focus in and around Flemington Markets.
- A green corridor with improved walking and cycling facilities along Powells Creek from Parramatta Road that links with Sydney Olympic Park, Homebush Bay and beyond.
- Any proposed development must not detrimentally affect the viability of any business centre within the locality or adversely affect any planned improvements to Parramatta Road or any associated local area traffic management schemes.

Further information regarding redevelopment of the Corridor, particularly the Homebush Precinct can be obtained from Council's Planning Unit.