



STRATHFIELD MUNICIPAL COUNCIL

**PART P of**  
**Strathfield Consolidated**  
**Development Control Plan 2005**  
*Heritage*

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**Effective from:** 20 June 2017

**Amendment No 1 to Part P – Adopted by Council:** 4 December 2018

**Amendment No 1 to Part P – Effective from:** 8 January 2019

# **Strathfield Consolidated Development Control Plan 2005**

## **Part P: Heritage**

### **1 Introduction**

#### **1.1 Executive summary**

This section of the Development Control Plan establishes controls for development affecting places of heritage significance. This includes development of heritage items (including draft heritage items), properties in a Heritage Conservation Area, and development in the vicinity of a heritage item or conservation area.

Strathfield Local Government Area (LGA) has a large number of items of environmental heritage as well as Heritage Conservation Areas. These are listed respectively under Part 1 and Part 2 of Schedule 5 of the Strathfield Local Environmental Plan 2012.

Examples of listed heritage items include weatherboard cottages, Federation houses, Victorian Italianate houses, Inter-war bungalows, Churches, Victorian houses, Spanish Mission houses, commercial buildings, parks and gardens, and educational establishments. It is important to note that in some instances the curtilage of the listed item including its garden surrounds is also listed as being of heritage significance.

These places contribute to the character of the local government area and help to make Strathfield an attractive place to live and work and help tell the story of the development of Strathfield. It is important to recognise and conserve this heritage.

Development that affects places of heritage significance, whether an individual heritage item and its curtilage, or a Conservation Area, needs to be carefully designed to minimise any negative impacts on heritage significance.

Negative impacts may occur due to actions such as removal of original fabric, loss of design features, loss of views, unsympathetic bulk and scale of new development and inappropriate selection of materials.

Council has a Heritage Inventory for each heritage item, which provides a description of the significance of each item and identifies features of significant value. Please contact Council's Planning Unit should you wish to find out more details.

Not all places of heritage significance may have been identified. These additional places may be identified in the future, through the development application process or by further review of heritage throughout Strathfield.

#### **1.2 Relationship to SLEP 2012 and SCDCP 2005**

Part P of the DCP is to be read in conjunction with the SCDCP 2005 and the Strathfield LEP 2012. Where there is any inconsistency with any part of the SCDCP 2005 in respect of development affecting a heritage item and/or item within a Conservation Area, Part P prevails.

### 1.3 Development to which Part P of SCDCP 2005 applies:

This section of the Development Control Plan applies to:

- development of heritage items;
- development in the vicinity of heritage items; and
- development in Conservation Areas.

Places can be affected by statutory listings as heritage items or in Conservation Areas under a Local Environmental Plan, a Regional Environmental Plan or on the State Heritage Register. One way of determining whether a property is affected by a heritage listing under a Local Environmental Plan or Regional Environmental Plan, whether as a heritage item or a Conservation Area or in the vicinity of a heritage item or a Conservation Area, is to obtain a Section 10.7 Certificate.

A small number of places in Strathfield LGA are identified as being of state heritage significance and are listed on the State Heritage Register. To determine whether a place is listed on the State Heritage Register, a Section 167 form can be lodged with the NSW Heritage Office (Department of Planning).

Council's planning unit is able to assist with preliminary advice on development affecting heritage items and Conservation Areas.

### 1.4 Structure

This DCP Part P is divided into six (6) sections as follows:

**Section One: Introduction**

**Section Two: Development of heritage items**

**Section Three: Development in the vicinity of heritage items**

**Section Four: Development in Conservation Areas**

**Section Five: *Additional Controls for Development within the Residential Conservation Areas***

**Section Six: *Additional Controls for Development within the Retail Conservation Areas***

### 1.5 Objectives of this DCP Part

- A. To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and Heritage Conservation Areas.
- B. To protect those items and areas that are of value to the local community.
- C. To encourage development which complements existing heritage items and Heritage Conservation Areas in a modern context.

- D. To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item and its setting.
- E. To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.

## 1.6 Heritage management documents

Heritage management documents must accompany any development application where the carrying out of the proposed development may affect the heritage significance of a heritage item, Conservation Area, aboriginal object or place of heritage significance in accordance with Section 5.10 of Strathfield Local Environmental Plan 2012 (SLEP 2012).

Heritage management documents will generally be required to accompany all development applications on land which is either heritage listed under Schedule 5 of SLEP 2012, in the vicinity of listed heritage items, or of potential heritage significance (*refer note below*).

Under Section 5.10(5) of SLEP 2012, the consent authority may require a heritage management document, in respect of any development:

- a) on land on which a heritage item is located, or
- b) on land that is within a Heritage Conservation Area, or
- c) on land that is within the vicinity of land referred to in paragraph a) or b),

The heritage management document is to assess the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or Heritage Conservation Area concerned.

Under Section 5.10(6) of the SLEP 2012, the consent authority may require, after considering the heritage significance of a heritage items and the extent of change proposed to it, the submission of a Heritage Conservation Management Plan before granting consent under this clause.

Heritage Management Documents may comprise either:

- a) A **Heritage Impact Statement** which identifies heritage significance, assesses impact on that significance and measures to minimise that impact. In particular a Heritage Impact Statement will:
  - i) demonstrate that all possible means of mitigating any negative impact on the item have been addressed and that the proposed works will not significantly alter the heritage significance of an item or the character of the locality;
  - ii) be prepared by a qualified heritage consultant and in the case of Heritage Impact Statements, Council may accept statements from any other appropriately qualified or experienced person for minor development;
  - iii) assist Council in its assessment of the development but Council may decide not to adopt, or not to fully adopt, the particular recommendations of the documents submitted.
- b) a **Heritage Conservation Management Plan** must be in accordance with the relevant conservation policies and management mechanisms in the NSW Guidelines

and Policy; or

- c) any other document that provides guidelines for the ongoing management and conservation.

## **1.7 Council responsibilities**

Council has certain responsibilities in respect of the Public Domain in relation to the protection of heritage items and their curtilage, land within the vicinity of heritage items, and land within Conservation Areas, as follows:

- 1) The pattern of grass verges, footpaths and street tree planting should be identified and maintained in any development proposal.
- 2) Where there are gaps in the street tree planting, new trees should be planted which match any existing types/species.

## **2 Development of Heritage Items**

Heritage items have been identified as places that should be retained and conserved for future generations. The heritage significance of these places must be understood and respected when designing future development, with a greater level of information, care and retention of heritage values required. The controls for heritage items recognise that the whole of the place - the building, the site and its features – may have heritage significance. The following objectives and controls are provided to retain heritage values while providing opportunities for change and adaptation of places of heritage significance.

### **2.1 General objectives**

- A. To ensure that additions to a heritage item and new buildings on the site of a heritage item are of a scale, mass, bulk, orientation, setback and character consistent with the heritage item.
- B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape, and allows an ongoing application of its heritage significance.
- C. To retain or reinstate missing original details that contribute to the aesthetic quality and/or significance of a heritage item and to encourage the removal of inappropriate alterations and additions.
- D. To ensure that important elements of the form or fabric of a heritage item are not obscured or destroyed by alterations and additions.
- E. To ensure that materials and colours used on both the original heritage item and any alterations and additions are consistent with the significance of the heritage item.
- F. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking.

## **2.2 Setting**

Setting is the area around a heritage item that contributes to its heritage significance and may include the visual catchment of a heritage item. Topography, trees, gardens, fencing, and pavement can all contribute to the setting of a heritage item. Where a heritage item has importance as a landmark, it is particularly important that new development does not obscure its visual presence in the streetscape and/or townscape.

### **Objectives**

- A. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking; and
- B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape and retains the significance of the item.

### **Controls**

- (i) Original elements that contribute to the setting of a heritage item such as landscaping, fences and gates, driveways, seawalls etc. should not be removed and, traditional garden designs should be reinstated where possible.
- (ii) New structures on land on which a heritage item is located such as swimming pools and outbuildings should be located so that they do not adversely impact on the significance of the heritage item.
- (iii) The natural landform and character of the area within which a Heritage Item is located, should be maintained, avoiding any cut and fill to land when constructing new buildings and landscaping grounds.
- (iv) Applications that propose basement additions may be required to provide a Structural Report from a practicing structural engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building or adjoining properties. This report should be provided as part of the development application.
- (v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.

## **2.3 Scale**

Scale is the size of a building and its relationship with its surrounding buildings or landscape. It is important that new development at places of heritage significance respects the scale of the existing buildings and or landscape elements that contribute to the significance of the place.

### **Objective**

- A. To ensure that alterations and additions to a heritage item and new buildings on the site of a heritage item are of a scale consistent with the heritage item so as not to detract from the significance of the item.

## **Controls**

- (i) Development on the site of a heritage item must not dominate the item or detract from its significance.
- (ii) Development shall not obstruct significant views to and from the item of significance.

## **2.4 Form**

The form of a building is its overall shape and volume and the arrangement of its parts. The rooflines of buildings, and elements such as chimneys, parapet walls, verandahs etc. are often important elements of the form of a heritage item and contribute to its aesthetic significance.

### **Objectives**

- A. To ensure that important elements of the form of a heritage item are not obscured or destroyed by alterations and additions.
- B. To ensure that the form of a heritage item retains its importance in the streetscape and/or townscape.

## **Controls**

- (i) Important elements of the form of a heritage item such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.
- (ii) Development of a heritage item must seek to reconstruct missing architectural detailing of a Heritage Item where possible, including gables, finial trims, front verandahs or bays.
- (iii) Verandahs on the front and sides of a heritage item should not be filled in.
- (iv) Additions and alterations to a heritage item should not detract from important aspects of the form of the heritage item.
- (v) The original shape of the roof of a Heritage Item should not be altered.

## **2.5 Materials and colours**

The selection of materials and colours is very important to the aesthetic qualities of most built heritage items. Development that includes changing roof materials, re-skinning of brickwork, rendering or painting of face brickwork and inappropriate textured finishes can degrade the significance of a heritage item.

Additions and alterations to a heritage item should be consistent with the original materials of the heritage item. While it is not always necessary to match the materials of the original building, new materials should be carefully selected to ensure they are consistent with the original building.

### **Objectives**

- A. To ensure that original materials that contribute to the significance of heritage items

are not obscured.

- B. To ensure that colours of paintwork on heritage items are consistent with the significance of the heritage item.
- C. To ensure that materials on alterations and additions to heritage items are consistent with the materials of the heritage item.

### **Controls**

- (i) The original wall treatment of a Heritage Item must be retained where possible. Unpainted brick or stone on a Heritage Item should not be painted or rendered.
- (ii) Original materials of heritage items should not be replaced with different materials or materials of different colour.
- (iii) Non-original materials of heritage items that are being replaced shall, if possible, be replaced with material that matches the original material as closely as possible.
- (iv) Painting, rendering or bagging of original face brickwork and/or stonework is not permitted.
- (v) The texture of original rendered finishes should not be changed.
- (vi) Materials for additions and alterations to heritage items should be compatible with the original materials of the heritage item.
- (vii) Colour schemes for heritage items should have a hue and tonal relationship with traditional colour schemes for the period and style of the heritage item.
- (viii) The use of fluorescent paint on heritage items is not permitted.
- (ix) The façade of a heritage item is not to be painted in a corporate colour scheme.
- (x) The use of modern finishes including stencilled concrete for driveways associated with heritage items is not permitted.
- (xi) The original roof cladding of a heritage item (slate, tiles or corrugated iron) should not be changed if it is in good repair.
- (xii) Sandblasting to remove paint from brick or stone should not be undertaken on a heritage item as it exposes it to weathering and may change its appearance.

## **2.6 Alterations and additions**

### **Objectives**

- A. To support the retention of heritage properties and maintain their heritage significance.
- B. To allow changes to the rear of heritage items where the new work does not impact the heritage significance of the heritage item
- C. To ensure that alterations or additions to heritage properties are sympathetic to the item and reflect the predominant scale, height, proportion, character and setbacks of



the existing property, and surrounding development.

### Controls

- (i) Alterations and additions must not adversely impact the significance of a heritage item.
- (ii) Any alterations and additions must be consistent with the scale, form, proportion, details and materials of the heritage item.
- (iii) Alterations and additions to heritage items must be located so as to minimise their visibility and prominence from the street or adjoining streets, and the height must not be seen above the main ridgeline of the building. Refer to Figure 1.
- (iv) Ancillary buildings on the same site as a heritage item must be located so as to not obscure the significant elements of the Item.

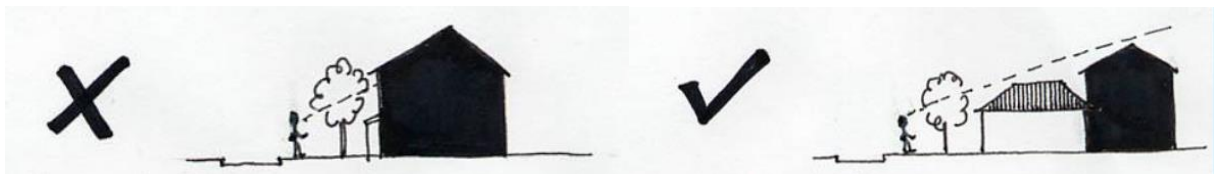


Figure 1: Two storey extension at the rear reduces visibility and prominence

## 2.7 Doors and windows

The spacing, proportions and detailing of doors and windows of heritage items usually contributes greatly to their aesthetic appeal. Altering windows and doors or adding new openings can dramatically affect the character of a building.

### Objectives

- A. To retain original windows and doors that contribute to the aesthetic quality and/or significance of a heritage item.
- B. To reinstate lost details that contributed to the aesthetic qualities and/or significance of a heritage item.
- C. To retain the proportions of walls and openings that contribute to the aesthetic quality of a heritage item.

### Controls

- (i) Original window and door openings in a heritage item should be retained. If the original doors or windows have been lost, they are to be replaced with one of similar size, type and material for the age and style of the Item.
- (ii) Where original windows and doors in a heritage item have been removed and replacement of the new joinery is proposed, the form and detailing of the original windows and/or doors should be reconstructed.
- (iii) New dormer and roof windows of a house should preferably be located on rear roof slopes in preference to roof slopes visible from the street.
- (iv) New dormer windows visible from the street must be located to complement the design of the building with proportions and details which do not detract from the

significance of the building.

- (v) Extensive areas of glazing visible from the Public Domain are not permitted unless this was a feature of the original design of the building.
- (vi) New skylights are not permitted in roof slopes visible from the Public Domain.
- (vii) New skylights that involve the removal of significant fabric (e.g. decorative plaster ceilings) are generally not supported.

## **2.8 Car parking**

Garages and carports can have the greatest detrimental impact on the significance of heritage items. Garages and carports in front of the building line obscure views of the buildings and break the rhythm and pattern of the streetscape. The proportions of garage doors do not relate to the smaller and more vertical proportions of windows and doors that are usually found on heritage items.

### **Objectives**

- A. To ensure that garages and carports are designed to minimise the visual impact on views of heritage items.
- B. To ensure that car parking does not compromise the structural integrity of heritage items.

### **Controls**

- (i) Garages and carports must be located behind the front building line.
- (ii) Garages should not be incorporated into the front façade of a heritage item.
- (iii) Where a new garage or carport is on the same side of a building as a front verandah, the garage or carport must be located entirely behind the verandah.
- (iv) Applications that propose basement additions are required to provide a Structural Report from a practicing structural and geotechnical engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building as part of the development application.
- (v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.
- (vi) Refer to the Controls for Garages and Carports in the Residential section of this Development Control Plan for general provisions regarding garages and carports.

## **2.9 Fencing**

Fencing, particularly fencing facing the street, is of particular importance in establishing the setting of a heritage item. Fencing should complement the style and scale of the house.

## **Objectives**

- A. To conserve gates and fences that are contemporary with heritage items.
- B. To ensure that new fences and gates are in keeping with the character of the heritage item.
- C. To ensure that the significance of the heritage item is not diminished by inappropriate fencing.

## **Controls**

- (i) Original fencing styles and materials on a heritage item should be repaired and retained where possible.
- (ii) New fencing and gates to a heritage item should be of a style and scale that is consistent with the style of the building.
- (iii) Unless evidence is provided to establish a greater height, solid fencing (i.e. brickwork/stone) forward of the building line should not be greater than 1m in height above the adjacent public footpath level.
- (iv) Unless evidence is provided to establish a greater height, fencing forward of the building line, constructed of material such as timber pickets, metal pickets or wrought metal panels or a combination of masonry and one of the above materials, should not be greater than 1.5m in height above the adjacent public footpath level.
- (v) Original face brick or sandstone fencing to a heritage item should not be painted.
- (vi) For front boundaries where there is no existing front fence or the existing fence is not contemporary with the Heritage Item, a new low fence should be constructed. Materials used for front fencing of Heritage Items should be similar to those of the building or those for which there is historical evidence.
- (vii) Refer to the Controls for Fencing in the Residential section of this Development Control Plan for general provisions regarding fencing.

## **2.10 Landscape elements including paving and driveways**

Landscape elements are of great importance in contributing to the significance of heritage items. The design of front gardens usually provides a setting for the building and reinforces the significance of the heritage item.

## **Objectives**

- A. To retain and protect heritage listed landscape elements.
- B. To retain important landscape elements that contribute to the significance of heritage items.
- C. To reinforce the significance of the heritage item through appropriate landscaping.

## **Controls**

- (i) Original driveways and footpath crossings that relate to a heritage item should not be

relocated.

- (ii) Double driveways and footpath crossings will generally not be permitted for houses listed as heritage items.
- (iii) Original or early garden layouts that contribute to the significance of the heritage item should not be altered.
- (iv) Established trees and shrubs that contribute to the significance of the heritage item should not be removed unless it can be established by an arborist that the health of the tree or shrub is such that it must be removed.
- (v) Proposals involving substantial works should consider landscaping the front setback in a manner appropriate to the age and style of the dwelling.

## **2.11 Outbuildings**

Outbuildings such as garden sheds, outhouses, gazebos, pool pavilions can easily detract from the setting of heritage items. The location and setting of these must be carefully considered so that they have minimal impact on important views of heritage items.

### **Objective**

- A. To minimise visual intrusion on views of heritage items due to outbuildings.

### **Controls**

- 1) Outbuildings should be located in the rear yard of heritage items.
- 2) Outbuildings should be single storey and designed so that they have negligible if any impact on important views of heritage items.
- 3) Outbuildings must not be greater in height or bulk than the heritage item.

## **2.12 Modern technologies**

“Modern technologies” is defined as an advancement of old technology or the introduction of new technology in modern life and includes fixtures such as solar electricity collectors, air vents, television aerials and satellite dishes. These are usually large elements and are often intrusive elements in a roofscape.

### **Objective**

- A. To ensure that modern technologies do not impact on important views of heritage items

### **Controls**

- (i) Modern technologies such as solar electricity collectors, television aerials and satellite dishes are to be located on roof planes facing the rear yard of heritage items and in a position to ensure they are not visible from the Public Domain.
- (ii) Modern technologies should not be higher than the main ridge line of a building that is or is part of a heritage item and shall be located so that they are not visible from

the Public Domain.

## **2.13 Demolition**

Demolition of heritage items is generally not supported by Council. However, should an applicant insist in pursuing such a request, the onus is on the applicant to demonstrate why the building is not reasonably capable of retention. Demolition of a heritage item is usually only considered where the structure is unsound. In its determination of any application to demolish a heritage item, Council will give consideration to the relevant Planning Principles established by the Land and Environment Court. The Planning Principles can be viewed on the Land and Environment Court's website ([www.lawlink.nsw.gov.au/lec](http://www.lawlink.nsw.gov.au/lec)).

### **Objective**

- A. To retain buildings that are of heritage significance or contribute to the significance of a heritage item.

### **Controls**

- (i) Buildings that are listed as heritage items or contribute to the significance of a heritage item shall not be demolished.
- (ii) Applications for the demolition of a heritage item must be accompanied by a Demolition Report. The report is to provide details of the heritage significance of the heritage item and is to address the applicable matters within this Part of the DCP. Plans of the replacement development are to be submitted with any application for demolition.  
Note: Submitting the documentation to seek approval to demolish a heritage item or contributory item does not imply that approval will be granted. Council may seek independent advice on aspects of any application for demolition.
- (iii) Partial demolition of heritage items may be possible subject to the merits of the proposal. Partial demolition of a heritage item may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the heritage item.
- (iv) Outbuildings associated with heritage items can only be demolished where a Statement of Heritage Impact has established that the outbuilding does not contribute to the heritage significance of the place and the demolition does not impact on the significance of the heritage item.
- (v) Where demolition is allowed, a photographic record of the building must be prepared for the site and submitted to Council prior to the commencement of the demolition works.

## **2.14 Subdivision**

The grounds and gardens associated with a building are often important in providing a setting to a heritage item. The grounds of a heritage item can also ensure that important views to or from a heritage item are available. Subdivision can result in the loss of the setting of a heritage item and should only be done if an adequate curtilage can be retained.

In certain cases, Council may require the proposed subdivision plan to show the proposed building envelopes for each proposed lot, in order to determine whether or not the proposed

curtilage of the heritage item is appropriate, in order to maintain the significance of the item and to maintain any views to or from the heritage item. Council may impose restrictions upon the title of a proposed lot that is within the vicinity of a heritage site, to ensure that the development of the adjoining land does not adversely affect the cultural significance of a heritage site. This may include (but not necessarily be limited to) height limitations, building setbacks, access arrangements, building orientation, and presentation to the street.

### **Objectives**

- A. To ensure that subdivision of heritage items does not result in a loss of appropriate curtilage for the heritage item.
- B. To ensure that subdivision of heritage items does not result in development that would obscure important views to or from the heritage item.

### **Controls**

- (i) Subdivision of an allotment that includes a heritage item will not be approved unless it can be demonstrated in a Statement of Heritage Impact that an adequate curtilage of the heritage item is retained.
- (ii) Subdivision of land that includes a heritage item will not be allowed unless it can be established in a Statement of Heritage Impact that proposed or future development on the created allotments will not impact on important views to or from the heritage item.

## **2.15 Signage**

Many commercial buildings built in the late nineteenth and early twentieth century incorporate areas on the main façade designed for locating a sign to identify the business operating within. This allows for appropriate signage while the unity of the streetscape is retained.

Residential heritage items can be obscured by inappropriate signage. For most late nineteenth century and early twentieth century buildings house names are often incorporated into the building or placed on a small sign fixed to a wall near the front door.

### **Objectives**

- A. To allow for appropriate signage on heritage items, complementing the historic character of the building
- B. To ensure the original details of heritage items are not obscured by inappropriate signage.
- C. To conserve existing heritage signs which have cultural significance.

### **Controls**

- (i) Signage on commercial buildings is to be confined to:
  - an under-awning sign of appropriate size;
  - a window sign in the ground floor shopfront of appropriate design; or
  - a first floor sign contained within a purpose designed panel on the building façade.

- (ii) The architectural details of a building are not to be obscured or damaged by commercial signage.
- (iii) Signage for the use of residential buildings for professional rooms or commercial purposes is to be designed to have minimal impact on the significance of the heritage item.
- (iv) Backlight signs and neon signs should only be allowed for under-awning signs on commercial buildings.
- (v) Advertising structures are not permitted.

## **2.16 Adaptive reuse**

Whilst the continued original use of a heritage item is the best conservation outcome, this is not always possible. Adaptive reuse of buildings is a process that changes a place that is no longer suitable for its original purpose to a new purpose while retaining the significance of the item. This is desirable both for environmental sustainability and heritage conservation.

All buildings have “embodied energy”; the energy consumed by all the processes involved in producing materials, delivering them to site and constructing the building. New buildings have high energy costs.

Adaptive reuse of buildings is an important part of sustainable development. Reusing historic buildings also has long term benefits for the community. Adaptive reuse allows buildings that are valued by the community to be retained for future generations. Sometimes it is the only way a place can be conserved for the future.

In many cases, adaptive reuse will involve few if any changes to a building. Where changes are needed to a building of heritage significance, it is important to first understand why the place is significant. Changes should then ensure that significant aspects of the place are conserved and that new development respects the significance of the place.

### **Objectives**

- A. To encourage sympathetic adaptive reuse of buildings which are no longer suitable for their original use, by encouraging heritage items to be used for purposes that are appropriate to their heritage significance.
- B. To ensure that adaptive reuse of heritage items respects the significance of the building and relates to the architectural qualities of the existing building.
- C. To retain original building structure and fabric, and legibility of the original building layout, form and setting, and to reinstate significant missing details.
- D. To ensure that the adverse impacts of adaptive reuse on heritage items are minimised.
- E. To ensure that changes to the building as a result of adaptive reuse can be interpreted in the future as belonging to its applicable historical period.

### **Controls**

- i) Alterations and additions to a building as part of adaptive reuse must be designed by

a suitably qualified heritage architect to respect the original architectural qualities of the building such as building form, façade articulation, fenestration pattern, parapet profile and detail, materials and colours.

- ii) Adaptive reuse of a heritage item is to involve minimal change to the significant fabric of the place.
- iii) Adaptive reuse of a heritage item must respect significant associations and meanings of the place.
- iv) Retention of only the façades of the building is discouraged.
- v) New work necessary in the adaptive reuse of a heritage item should be distinguishable from original work and designed by a suitably qualified heritage architect.
- vi) Fire engineered solutions should be sought to allow retention of original structural systems that would otherwise not meet “deemed to comply” provisions of the Building Code of Australia. Proposals involving “alternative solutions” must be accompanied by a report from an appropriately qualified and experienced specialist confirming the proposal achieves the applicable performance requirements.
- vii) Access to heritage buildings must be provided in accordance with the requirements of the *Disability (Access to Premises - buildings) Standards 2010*. Accessibility solutions must be designed by a suitably qualified heritage architect and respond to the heritage significance of the site.

### **3 Development in the Vicinity of Heritage Items**

Development near a heritage item can have adverse impacts on the heritage item. This may be as a result of obstructing views to or from the heritage item, affecting trees or landscape elements that are part of the heritage item. It can also have an adverse impact by obscuring the landmark significance of a heritage item.

New development in the vicinity of a heritage item should take into consideration the importance of that item in the local streetscape or townscape.

In most cases, development in the vicinity of a heritage item will only affect properties that share a boundary with or are opposite a heritage item. In a few cases, development in the vicinity of a heritage item might have wider impacts. An example of this might be where important views of a landmark building such as a church spire might be lost by a new development.

#### **3.1 General**

- A. To ensure that development located in the vicinity of a heritage item is designed and sited in a manner sympathetic to the significance of the heritage property and its setting.
- B. To ensure that development in the vicinity of a heritage item does not detrimentally impact upon the heritage significance of heritage items and their settings.
- C. To ensure that new development is compatible with the heritage values of nearby heritage items.



## 3.2 Setting

Setting is the area around a heritage item that contributes to its heritage significance and may include the visual catchment of a heritage item. Topography, trees, gardens, fencing, and pavement can all contribute to the setting of a heritage item.

Where a heritage item has importance as a landmark, it is particularly important that new development in the vicinity of the heritage item does not obscure its visual presence in the streetscape and/or townscape.

### Objectives

- A. To ensure the setting of heritage items is not compromised by development in the vicinity of the heritage item.
- B. To ensure that new development respects the contribution of heritage items to the streetscape and/or townscape.

### Controls

- 1) Development in the vicinity of a heritage item should not be of such bulk or height that it visually dominates or overshadows the heritage item.
- 2) Views to or from a heritage item should not be obscured by new development.
- 3) Where a heritage item is part of a streetscape of buildings of consistent style, form and materials, development in the vicinity of the heritage item should incorporate elements of the dominant style, form and materials in the streetscape.
- 4) Where trees are integral to the significance of a heritage item, development should not be allowed beneath the drip zone of the trees. An arborist report may be required to establish the development will not impact upon trees on nearby heritage items.

## 3.3 Scale

Scale is the size of a building and its relationship with its surrounding buildings or landscape. Buildings of inappropriate scale in the vicinity of a heritage item can detract from its contribution to the streetscape and/or townscape.

### Objective

- A. To ensure that new development in the vicinity of a heritage item is of a scale that does not detract from the significance of the heritage item.

### Controls

- (i) The scale of new development in the vicinity of a built heritage item should not be substantially greater than that of the heritage item.
- (ii) New development that obscures important views of a heritage item is not permitted.

### 3.4 Siting

Siting relates to the position of the building on the site and includes the orientation of a building in relation to the street as well as the setbacks of the building from the boundaries. Setbacks define the overall footprint of a building and the outer extremities of that building in relation to the front, side and rear boundaries.

Setbacks of buildings in the vicinity of heritage items can be of importance in ensuring the retention of important views to and from the heritage item. In some cases, it is also necessary to consider the potential impact of the building on important landscape elements associated with the heritage item.

#### Objectives

- A. To ensure new development in the vicinity of a heritage item is sited so that it does not obscure important views to or from the heritage item.
- B. To ensure that new development in the vicinity of a heritage item does not adversely impact landscape elements that are significant or are associated with a heritage item

#### Controls

- (i) The siting and setback of new development (including alterations and additions) in the vicinity of a heritage item should ensure that important views to or from the heritage item are not adversely impacted on.
- (ii) The siting and setback of new development in the vicinity of a heritage item should ensure that landscape elements associated with or listed as a heritage item are not adversely affected by the development.

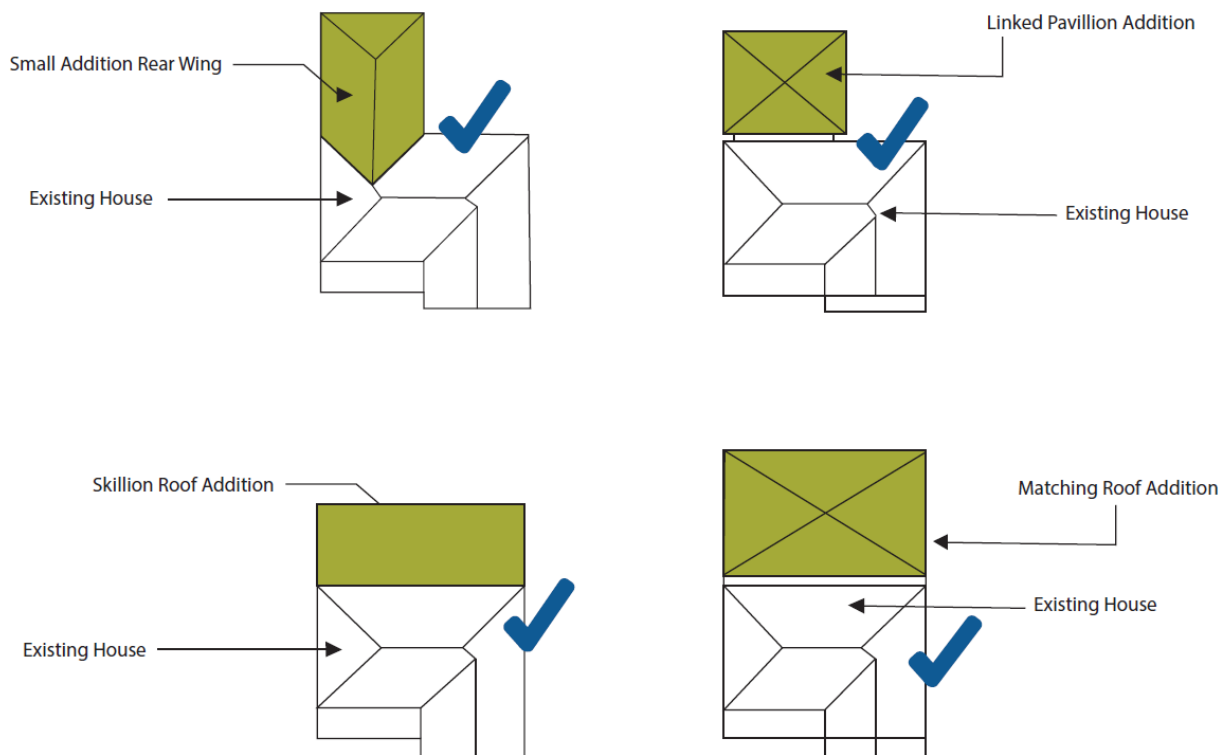


Figure 2: Examples of appropriate siting for additions to heritage items

### 3.5 Materials and colours

New development should take into consideration the dominant original materials of heritage items in the vicinity of the development. Materials should be selected so that attention is not drawn away from the heritage item to the new development.

#### Objective

- A. To ensure that new development in the vicinity of a heritage item does not detract from the significance of the heritage item.

#### Control

- (i) Materials and colours for development in the vicinity of a heritage item shall be selected to avoid stark contrast with the adjacent development where this would result in the visual importance and significance of the heritage item being reduced.

### 3.6 Excavation

#### Objective

- A. To ensure that new development does not put nearby heritage items at risk of damage.

#### Control

- (i) Applications involving excavation adjacent to a heritage item must demonstrate that the proposed excavation will not compromise the structural integrity of the heritage item and will not detract from its setting.

## 4 Development in Conservation Areas

Strathfield Council has a number of Heritage Conservation Areas of local significance, which are listed under Part 2 of Schedule 5 of SLEP 2012. These are identified on the Heritage Maps accompanying SLEP 2012 and include fifteen (15) residential Conservation Areas and two (2) retail Conservation Areas as follows:

#### ***Residential Conservation Areas:***

- Albert Road Central Conservation Area - Federation Queen Anne style group (C7)
- Birriwa Avenue Conservation Area - Inter-war California bungalow style group (C1)
- Broughton Road Conservation Area - Federation houses group (C9)
- Churchill Avenue Conservation Area - Federation houses group (C10)
- Homebush Road Conservation Area (C11)
- Marion Street Conservation Area – Inter-war bungalow style group (C12)
- Meredith Street Conservation Area - Victorian Villa style group (C4)
- Merley Road Conservation Area (C13)
- Pair of Federation Queen Ann style houses (C3)
- Redmyre Road Conservation Area (C14)
- Vernon Street Conservation Area (C16)
- Welfare Street Conservation Area - Inter war bungalow style group (C6 )
- Woodward Avenue Conservation Area (C17)

### ***Retail Conservation Areas:***

- The Boulevard Retail Conservation Area (C15)
- “Village of Homebush” Retail Conservation Area (C5)

## **4.1 Setting**

Setting relates to the space and details around buildings in a Conservation Area that contribute to its heritage significance and may include the visual catchment of a Conservation Area. Street trees, gardens, fencing, and pavement can all contribute to the setting of a Conservation Area. The setback of buildings from the street and the space between buildings also contribute to the setting of a place.

### **Objectives**

- A. To provide an appropriate visual setting for Heritage Conservation Areas, including landscaping, fencing and car parking.
- B. To maintain and enhance the existing character of the streetscape of a Heritage Conservation Area.
- C. To ensure that new development respects the established patterns in the streetscape of a Heritage Conservation Area, including setbacks, siting, landscaped settings, car parking and fencing.
- D. To protect street trees within Heritage Conservation Areas

### **Controls**

- (i) The side and front setbacks of new development in a Conservation Area should be typical of the spacing of existing buildings in the vicinity of the proposed development in that Conservation Area, such that the rhythm of buildings in the streetscape is retained.
- (ii) No new structures should be built forward of the established street building line.
- (iii) The established landscape character of the locality including the height of canopy and density of boundary landscape plantings should be retained in any new development.
- (iv) Driveways must be placed having regard to street trees that contribute to the character of Heritage Conservation Area. An arborist report may be required for any development in the vicinity of significant street trees.

## **4.2 Scale**

Scale is the size of a building and its relationship with its surrounding buildings or landscape. It is important that new development in Conservation Areas respects the scale of the existing buildings and/ or landscape elements that contribute to the significance of the Conservation Area.

### **Objectives**

- A. To ensure that new development adjacent to or within a Heritage Conservation Area

is of a scale consistent with the existing development in the vicinity of the site that contributes to the character of the in the Heritage Conservation Area.

- B. To ensure that additions and alterations to a building within a Conservation Area are of a scale consistent with the contributory buildings in the Conservation Area.

### **Controls**

- (i) The scale of new development adjacent to or within a Conservation Area should relate to the scale of the adjacent or nearest contributory elements of the Conservation Area.
- (ii) Development of a larger scale is allowable only if it can be demonstrated that the new development will not adversely impact the identifiable character of the Conservation Area.

## **4.3 Form**

The form of a building is its overall shape and volume and the arrangement of its parts. The rooflines of buildings, and elements such as chimneys, parapet walls, verandahs etc. can contribute greatly to the character of an area.

### **Objectives**

- A. To ensure that new development in a Conservation Area relates positively to the dominant forms of existing contributory buildings in the Conservation Area.
- B. To ensure that buildings that contribute to the character of a Conservation Area retain their importance in the streetscape and/or townscape.

### **Controls**

- (i) Important elements of the form of a contributory building in a Conservation Area such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.
- (ii) New development in a Conservation Area is to complement existing nearby buildings that contribute to the Conservation Area.
- (iii) Chimneys and roof features such as ventilation gables should not be removed from contributory buildings in a Conservation Area.
- (iv) Dormer windows should generally be confined to rear or side roof slopes to minimize visibility in the streetscape.
- (v) Additions and alterations to existing buildings that contribute to the character of a Conservation Area should not detract from the original form of the existing building as viewed from the Public Domain.
- (vi) The treatment of the street façade of new development in a Conservation Area should relate to existing nearby buildings that contribute to the Conservation Area.

## 4.4 Siting

Siting relates to the position of the building on the site and includes the orientation of a building in relation to the street as well as the setbacks of the building from the boundaries.

Most buildings in a Conservation Area are oriented to the street frontage. The regular orientation of buildings contributes to the pattern and rhythm of the streetscape.

Setbacks define the overall footprint of a building and the outer extremities of that building in relation to the front, side and rear boundaries.

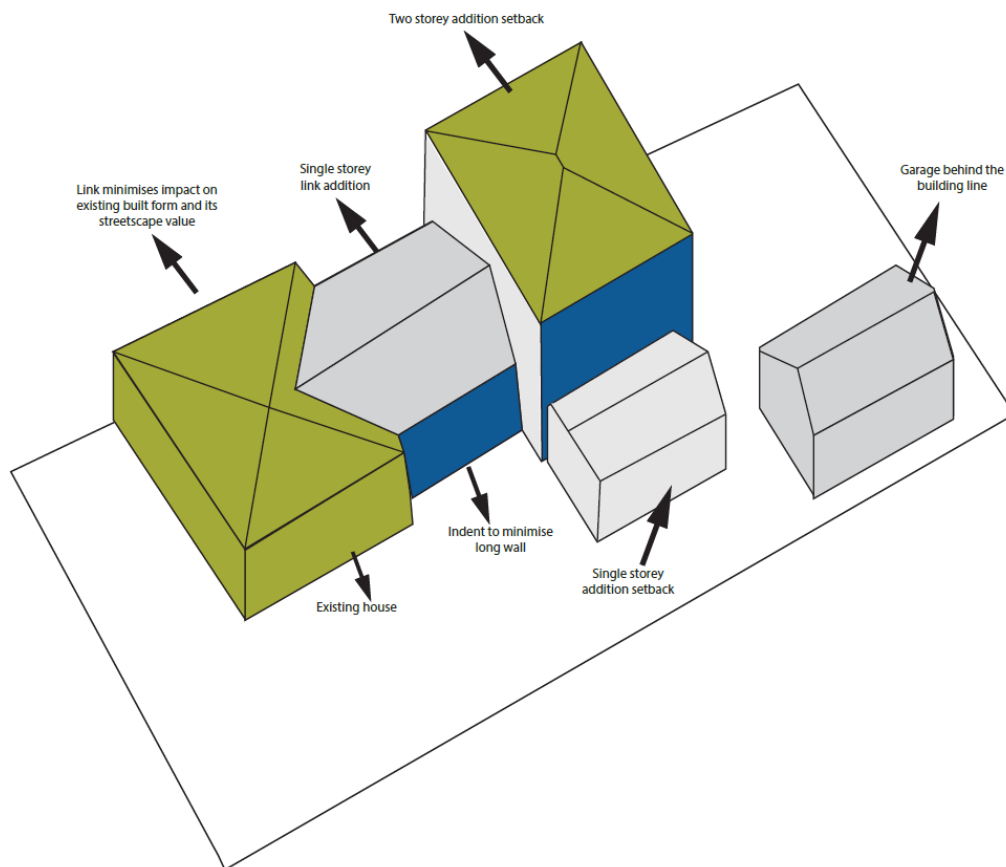
In Conservation Areas, setbacks are of greater importance in establishing the continuity of the streetscape. Side setbacks are also of importance in providing separation between buildings and establishing a rhythm in the streetscape.

### Objective

- A. To integrate new development in Conservation Areas with the identifiable character of the area.

### Controls

- (i) The front setback of new development (including alterations and additions) in Conservation Areas should match that of adjacent contributory development. Where adjacent developments have different setbacks, new development should align with the greater setback.
- (ii) For Conservation Areas where first floor additions are appropriate, the first floor must be located behind the main roof form in a manner that does not detract from the streetscape character of the Conservation Area. (Refer to Figure 3)
- (iii) Side setbacks of new development (including alterations and additions) in Conservation Areas should match the pattern of adjacent and/or nearby contributory development. This will often include a greater setback on one side of the development to provide vehicular access at the side of a property.
- (iv) The orientation of new development should follow the established pattern of development in the Conservation Area.
- (v) Where trees are important to a Conservation Area, new buildings should be sited away from the drip line of the trees.



**Figure 3: Siting diagram for additions.**

## 4.5 Materials and colours

The quality of many of the Conservation Areas in Strathfield is reinforced by the use of a cohesive palette of materials and colours. Use of sympathetic materials and colours can help new development to reinforce the identifiable character of the area. Development that includes changing roof materials, re-skinning, rendering or painting of face brickwork can degrade the significance of a Conservation Area.

New development should take into consideration the dominant original materials of contributory development in the Conservation Area. Where there are contributory buildings of differing materials in close proximity to the proposed development, the building that reflects the dominant period of development in the Conservation Area should be given greater weight when selecting materials.

### Objective

- A. To encourage the use of external materials on new development that is consistent with the existing contributory buildings in a Conservation Area.

### Controls

- (i) Original materials of contributory buildings in Conservation Areas should not be replaced with different materials or with materials of different colours.
- (ii) Non-original materials of existing contributory buildings in Conservation Areas that are being replaced shall, if possible, be replaced with material that matches the

original material as closely as possible.

- (iii) Painting, rendering or bagging of face brickwork and sandstone is not permitted.
- (iv) The texture of original rendered finishes should not be changed.
- (v) Colour schemes for existing and new development in Conservation Areas should have a hue and tonal relationship with traditional colour schemes for the dominant style of development found in the Conservation Area
- (vi) The use of fluorescent paint on buildings in Conservation Areas is not permitted.

#### **4.6 Doors and windows**

The spacing, proportions and detailing of doors and windows of buildings in Conservation Areas usually contributes to the quality of the streetscape. Altering windows and doors or adding new openings can dramatically affect the character of a building and incrementally erode the character of a Conservation Area.

##### **Objectives**

- A. To retain original door and window details of contributory buildings in Conservation Areas.
- B. To ensure that new development in a Conservation Area has fenestration patterns and proportions consistent with contributory buildings in the Conservation Area.

##### **Controls**

- (i) Extensive areas of glazing are not permitted for doors and windows visible from the Public Domain on buildings within a Conservation Area.
- (ii) Original door and window joinery visible from the Public Domain on contributory buildings in a Conservation Area should be conserved.
- (iii) New door and window openings to contributory buildings in a Conservation Area that are visible from the Public Domain should be of proportions and details that relate to existing door and window openings.
- (iv) Roof structures (i.e. skylights) should be located on roof slopes where they will not be visible from the Public Domain.

#### **4.7 Car parking**

Garages and carports can have a detrimental impact on the aesthetic qualities of Conservation Areas. Garages and carports in front of the building line obscure views of the contributory buildings and break the rhythm and pattern of the streetscape. The proportions of garage doors do not relate to the smaller and more vertical proportions of windows and doors that are usually found on contributory buildings within Conservation Areas.

##### **Objective**

- A. To ensure that, where possible, garages and carports are designed to minimise the visual impact on the streetscape of Conservation Areas.



## **Controls**

- (i) Garages and carports must be located as far behind the front building line as possible.
- (ii) Garages should not be incorporated into the front façade of a building in a Conservation Area.
- (iii) Where a new garage or carport is on the same side of a building as a front verandah, the garage or carport must be located entirely behind the verandah.
- (iv) Carports will only be allowed in front of the front building alignment where there is no possibility for side or rear access for car parking. Any such carports shall be limited to a single carport.
- (v) Applications that propose basement additions may be required to provide a Structural Report from a practicing structural engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building or adjoining properties. This report should be provided as part of the development application. The placement of the basement entrance should not detract from the street presentation of the item of the streetscape.
- (vi) Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.
- (vii) Refer to the Controls for Garages and Carports in the Residential section of this Development Control Plan for general provisions regarding garages and carports.

## **4.8 Fencing**

Fencing, particularly fencing facing the street is important in retaining the significance of Conservation Areas. Consistent and uniform fencing can contribute significantly to the streetscape and character of a Conservation Area. Fencing should complement the style and scale of the house. Inappropriate fencing can detract from the streetscape by interrupting the pattern of development and by obscuring views.

### **Objectives**

- A. To conserve original gates and fences within Conservation Areas.
- B. To ensure new fences and gates are consistent with the character of the Conservation Area and in particular with contributory housing in a Conservation Area.
- C. To ensure that the quality of the streetscape or townscape in a Conservation Area is not diminished by inappropriate fencing.

### **Controls**

- (i) Fencing and gates that are constructed at the same time as the contributory building should not be demolished.
- (ii) New fencing and gates to contributory housing in a Conservation Area should be designed to complement the style of the house.

- (iii) New fencing and gates to infill development in a Conservation Area should be in keeping with the dominant character of the Conservation Area.
- (iv) Unless evidence is provided to establish a greater height, fencing constructed of solid material such as masonry forward of the building line should not be greater than 1m in height above the adjacent public footpath level. In all cases, the height of fencing should relate to the style of the house and width of the allotment.
- (v) Original face brick or sandstone fencing in a Conservation Area should not be painted.
- (vi) Refer to the Controls for Fencing in the Residential section of this Development Control Plan for general provisions regarding fencing (Note: this section prevails in the event of any inconsistency).

#### **4.9 Landscape elements including paving and driveways**

Landscape elements are important in reinforcing the significance of the Conservation Areas. The design of front gardens provides a setting for the house and reinforces the character of the place. In many Conservation Areas, street plantings are an integral part of the original design of the area.

##### **Objectives**

- A. To retain important landscape elements that contribute to the significance of Conservation Areas.
- B. To reinforce the qualities of the Conservation Area through appropriate landscaping

##### **Controls**

- (i) Street trees in Conservation Areas should not be removed to allow for new development. New and relocated driveways should be located to accommodate existing street tree. An arborist report may be required for works in the vicinity of street trees.
- (ii) Existing driveways and footpath crossings that relate to original development in a Conservation Area should not be relocated.
- (iii) Double driveways and footpath crossings will not be permitted in Conservation Areas.

#### **4.10 Outbuildings**

Outbuildings such as garden sheds, outhouses, gazebos, pool pavilions can easily detract from the quality of the streetscape. The location and setting of these must be carefully considered so that they have minimal impact on the streetscape.

##### **Objective**

- A. To minimise visual intrusion on the streetscape due to outbuildings.

## **Controls**

- (i) Outbuildings should be located in the rear yard of properties within a Conservation Area.
- (ii) Outbuildings should be single storey and designed so that they have negligible if any impact on the streetscape.

### **4.11 Modern technologies**

“Modern technologies” is defined as an advancement of old technology or the introduction of new technology in modern life and includes fixtures such as solar electricity collectors, air vents, television aerials and satellite dishes.

#### **Objective**

- A. To ensure that modern technologies do not impact on the streetscape and/or townscape in Conservation Areas

#### **Controls**

- (i) Modern technologies such as solar electricity collectors, television aerials and satellite dishes are to be located on roof slopes facing the rear of a property in Conservation Areas.
- (ii) Modern technologies should not be higher than the main ridge line of a building and shall be located so that they are not visible from the Public Domain in a Conservation Area.

### **4.12 Demolition**

Demolition of buildings within a Conservation Area can diminish the qualities of the Conservation Area. It is important that contributory buildings in the Conservation Area are retained.

#### **Objective**

- A. To retain the contributory buildings in a Conservation Area.

#### **Controls**

- (i) Contributory buildings within a Conservation Area must not be demolished.
- (ii) Partial demolition of contributory items within a Conservation Area may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the contribution of the item to the Conservation Area.
- (iii) Demolition of rear outbuildings in Conservation Areas may be acceptable. For places listed as heritage items, additional restrictions might apply.

#### **4.13 Subdivision**

The subdivision pattern of Conservation Areas is important in the existing streetscape and reflects the historic subdivision of large estates and land grants as the area developed over time. The regular sizes of blocks together with the regular setbacks of buildings helps to establish a rhythm to the streetscape.

Consolidation of allotments often results in larger buildings that have an undesirable impact on the pattern of the streetscape. Similarly, subdivision of allotments can result in development with inadequate setbacks and/or narrow allotments that break the pattern of the streetscape.

##### **Objective**

- A. To retain subdivision patterns that contribute to the rhythm of streetscapes in Conservation Areas.

##### **Controls**

- (i) Consolidation of allotments of an early subdivision within a Conservation Area is not permitted unless it can be demonstrated that the original pattern of development in that part of the Conservation Area will be maintained.
- (ii) Subdivision of allotments of an early subdivision within a Conservation Area will not be supported unless it can be demonstrated that the original pattern of development in that part of the Conservation Area will be maintained.
- (iii) New subdivision within a Heritage Conservation Area should reinforce the original pattern of development within the Heritage Conservation Area.

#### **4.14 Signage**

Many commercial buildings built in the late nineteenth and early twentieth century incorporate areas on the main façade designed for locating a sign to identify the business operating within. This allows for appropriate signage while the unity of the streetscape is retained. Residential streetscapes in Conservation Areas can be obscured by inappropriate signage. For late nineteenth century and early twentieth century buildings house names are often incorporated into the building or placed on a small sign fixed to a wall near the front door.

##### **Objectives**

- A. To allow for appropriate signage on commercial buildings in Conservation Areas.
- B. To ensure the original details of buildings in Conservation Areas are not obscured by inappropriate signage.
- C. To ensure that signage does not have a detrimental impact on residential parts of Conservation Areas.

##### **Controls**

- (i) Signage on commercial buildings is to be confined to:
  - an under-awning sign of appropriate size;
  - a window sign in the ground floor shopfront of appropriate design; or

- a first floor sign contained within a purpose designed panel on the building façade.
- (ii) The façade of any building in a Conservation Area is not to be painted in a corporate colour scheme.
  - (iii) The architectural details of a building are not to be obscured or damaged by signage.
  - (iv) Signage for the use of residential buildings for professional rooms or commercial purposes is to be designed to have minimal impact on the streetscape.
  - (v) Backlight signs and neon signs should only be allowed within Conservation Areas where they are temporary and do not detract from the character of the Conservation Area.
  - (vi) Advertising structures are not permitted.

## **5 Additional controls for development within the Residential Conservation Areas**

Development within Strathfield's Residential Conservation Areas must satisfy the general objectives and controls below as well as the provisions contained within this DCP in respect of heritage items and/or land/buildings within the vicinity of heritage items, and development within Conservation Areas generally, as relevant.

### **5.1 General objectives**

- A. To conserve the existing character and heritage significance of Strathfield's residential Conservation Areas.
- B. To facilitate sympathetic and appropriate alterations and additions, whilst minimising the impact on the heritage significance of the dwellings and streetscapes within residential Conservation Areas.
- C. To ensure that new development is sympathetic to the particular building and/or relevant Conservation Area in terms of siting, form, massing, articulation and detail composition.
- D. To ensure that the proposed form of roof and details, the style, size, proportion and position of openings of windows and doors, the colours, textures, style, size and type of finish of materials to be used on the exterior of the building is compatible with similar features and materials used in the existing building on the site and within the relevant Conservation Area
- E. To retain any horticultural or landscape features within the relevant Conservation Area.
- F. To retain the subdivision pattern of the relevant Conservation Area.
- G. To promote an understanding of the importance of conserving the fabric of existing buildings and its context within the relevant Conservation Area.

## **5.2 Siting and Garden Area**

- (i) The historical pattern of development of individual buildings on separate allotments of land separated by garden space, which characterise each of the Residential Conservation Areas, should be maintained.
- (ii) Front garden areas, lawns and associated pathways as traditional garden settings for houses should be maintained in any development proposal within a Residential Conservation Area.
- (iii) Views around and between buildings collectively forming a Residential Conservation Area are to be retained in any development proposal.
- (iv) Existing side boundary setbacks should be maintained. A lesser setback may be considered for additions where it can be demonstrated that the resulting development does not detract from the character of the Conservation Area.

## **5.3 Building Form**

- (i) Any proposed development should retain the particular building character of each Residential Conservation Area as identified in the particular Statement of Significance for the Conservation Area.
- (ii) Extensions should be sited to the rear of a dwelling within a Conservation Area, and are to be consistent with and complement the existing dwelling. Alterations to the original main part of a building (other than a non-conforming building), including front and side facades, verandahs and roof forms, are discouraged.
- (iii) Where a building, other than a non-conforming building has undergone limited change, restoration/reinstatement and repair of the original front of the building is encouraged

## **5.4 Roof Forms**

- (i) Roof extensions on buildings within a Residential Conservation Area are to relate sympathetically and subordinately to the original roof in shape, pitch, proportion and materials.
- (ii) New buildings are to have roofs that reflect the size, mass, shape of original roofs in the vicinity, particularly of the adjoining roofs.
- (iii) Replacement roof materials are to match original materials or are to use approved alternative materials.
- (iv) Roof details such as finials, ridge capping, are to be maintained, repaired and reinstated where possible.

## **5.5 Walls, chimneys, doors and windows**

- (i) The original shape and materials of the front and side walls of buildings within a Residential Conservation Area shall not be altered.
- (ii) Chimneys on buildings within a Residential Conservation Area should not be demolished, unless they are structurally unsound and only when accompanied by

plans for immediate reconstruction in the original design. Reconstruction of original chimneys where there is evidence of previously removed chimneys is encouraged.

- (iii) Original doors and windows of dwellings within a Conservation Area, are to be kept, maintained and repaired when necessary.
- (iv) New doors and windows of dwellings within a Conservation Area are to reflect the proportion, location, size, sill heights, header treatment, materials, detailing and glazing pattern of the original doors and windows on the house to which they belong.

## **5.6 Verandahs**

- (i) Existing original verandahs at the front of contributory dwellings within a Residential Conservation Area are to be kept and repaired or reinstated where possible.

## **5.7 Garages and Carports**

- (i) New garages and carports are to be located at the back or at the side of the house.
- (ii) Carports, but not garages, forward of the building line may be permitted only in circumstances where access is not available to the rear and only where the design and materials are considered acceptable within the streetscape.
- (iii) Driveways consisting of wheel tracks with central grass/planting are preferred to fully paved driveway spaces.

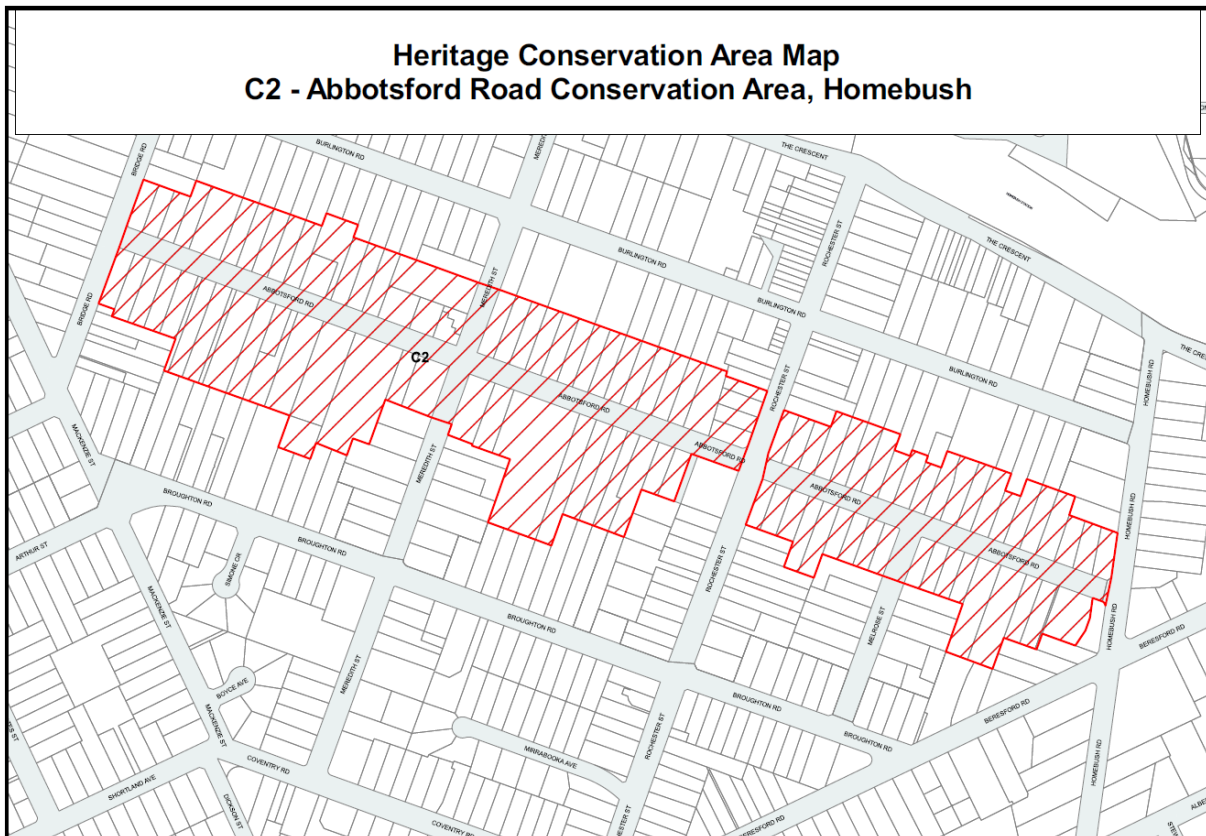
## **5.8 Fences & Gates**

- (i) Original front fences and gates are to be kept and repaired where possible.
- (ii) Where replacement is necessary, replace side and rear fences with a timber paling fence of same height to the original, or a fence of unobtrusive lightweight materials such as timber or wire mesh with covering plants. Replacement fences must be in keeping with the character of the Conservation Area.
- (iii) Privacy walls higher than 1m of brick, timber or brush are not permitted on the street frontage.

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## 5.9 Statement of Significance and additional controls for each Conservation Area

### 5.9.1 Abbotsford Road Conservation Area (C2)



#### **Statement of Significance**

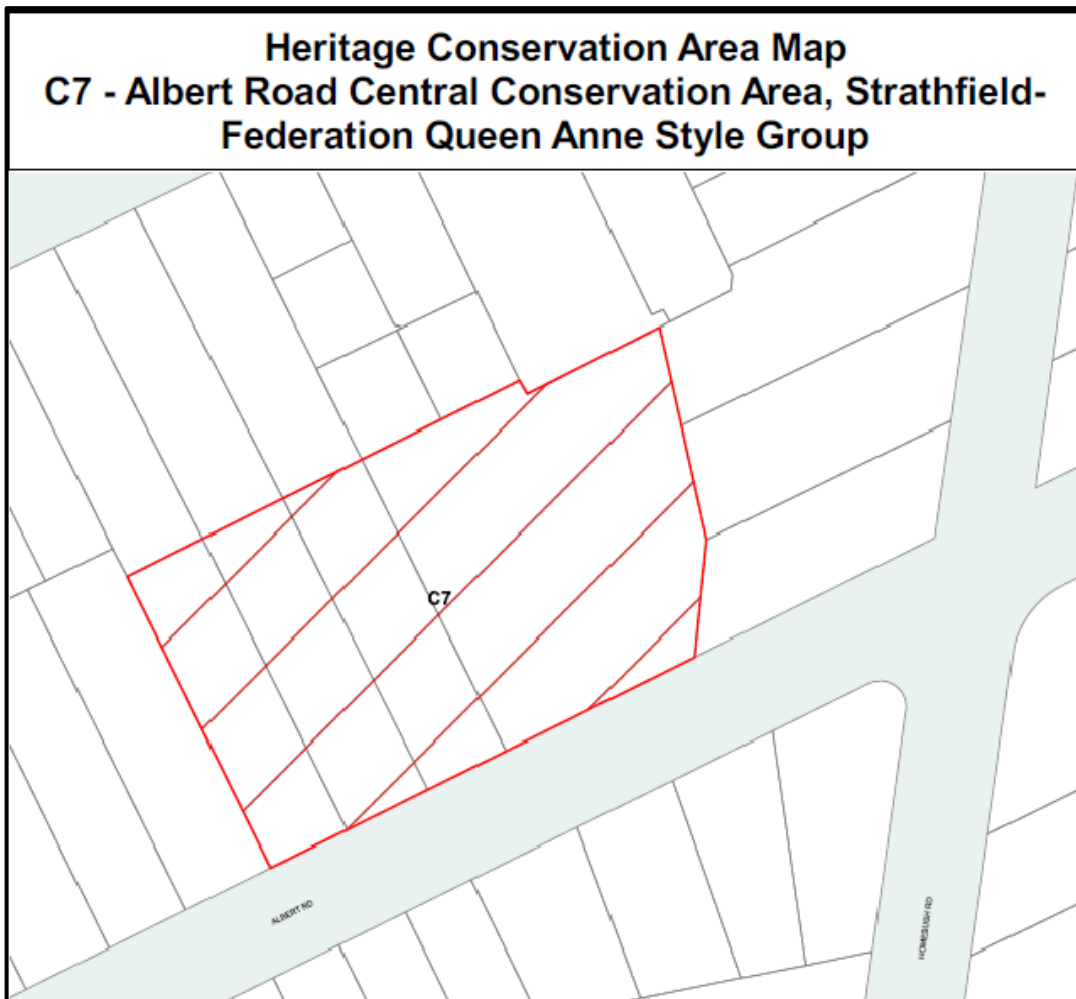
Abbotsford Road contains a consistently high quality streetscape with housing dating from the late nineteenth and early twentieth century. There is some modern infill but generally it is unobtrusive. The streetscape is tied together by mature street planting and well-maintained gardens. Abbotsford Road is of particular significance for its architectural and aesthetic qualities.

#### **Additional Controls**

- (i) The characteristic pattern of street tree planting comprising mature trees on the verges must be retained. New development must be designed to avoid impacting on the health of the street trees.
- (ii) Mature trees should be planted to match the existing type and species where there are gaps in the street tree planting.



## 5.9.2 Albert Road Central Conservation Area - Federation Queen Anne style group (C7)



### ***Statement of Significance***

All built between 1899 and 1901, this group of houses are a cohesive group of Federation Queen Anne Style houses featuring terracotta tiled roofs with hipped and gabled roof forms, face brick walls trimmed with roughcast render, a variety of window types and verandahs with decorative timber work. As a group they are a distinctive and attractive part of the streetscape of Albert Road.

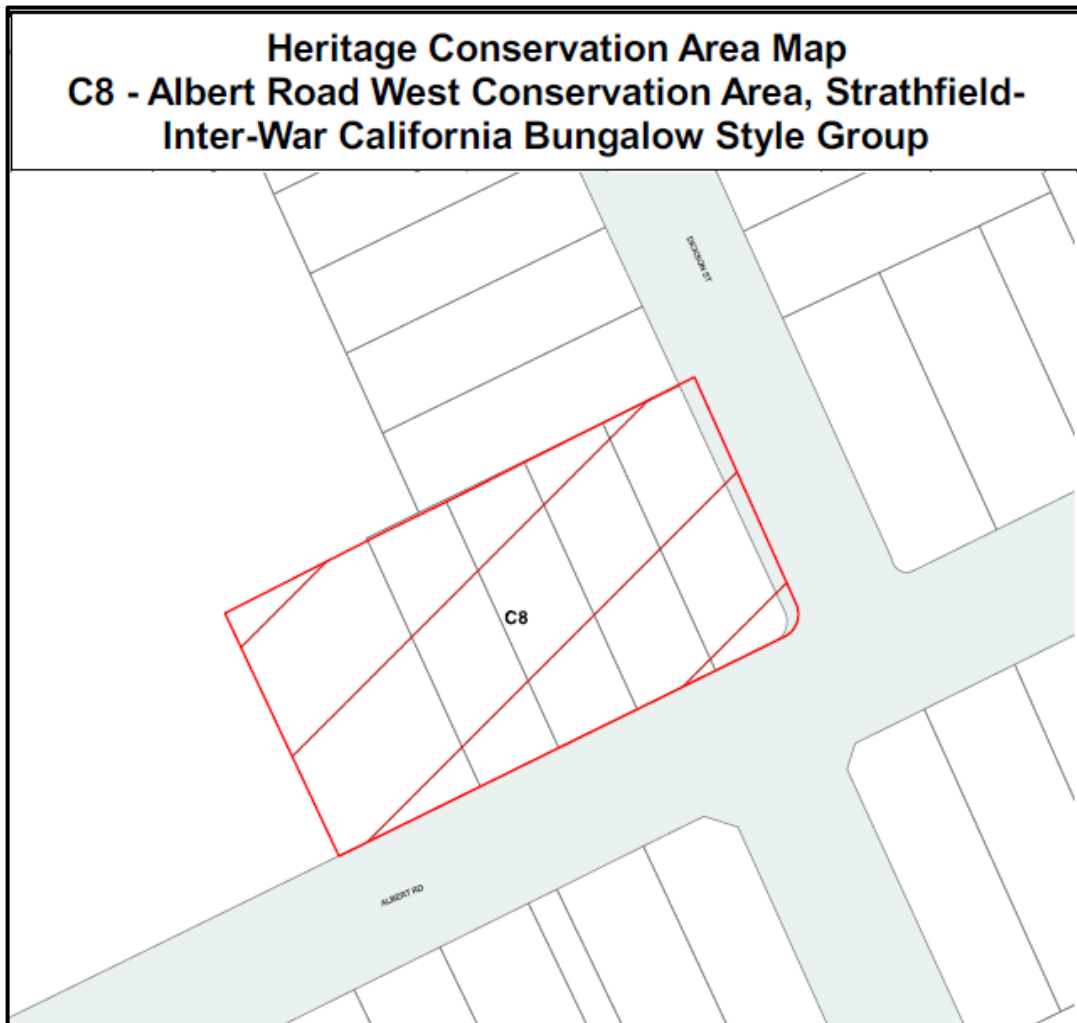
This group has historic importance as part of the development of this precinct following the decision of the Camden Congregational Church to subdivide their Strathfield property. As individual homes, these houses have a number of important historical connections. The Strathfield Education Centre is important for being built for William Arnott. The three houses from Numbers 71-75 Albert Road are the work of the prominent Strathfield builder John Lyon Gardiner.

### ***Additional Controls***

- (i) Replacement roof materials are to match original materials of dwellings within this Conservation Area, these being unglazed terra cotta Marseilles tiles.
- (ii) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Characteristic face brickwork trimmed with roughcast render should be retained and repaired or replaced where appropriate.

- (iii) Existing original verandahs with timber detailing which are characteristic of dwellings within this Conservation Area are to be kept and repaired or reinstated where possible.

### 5.9.3 Albert Road West Conservation Area - Inter-war California bungalow style group (C8)



#### ***Statement of Significance***

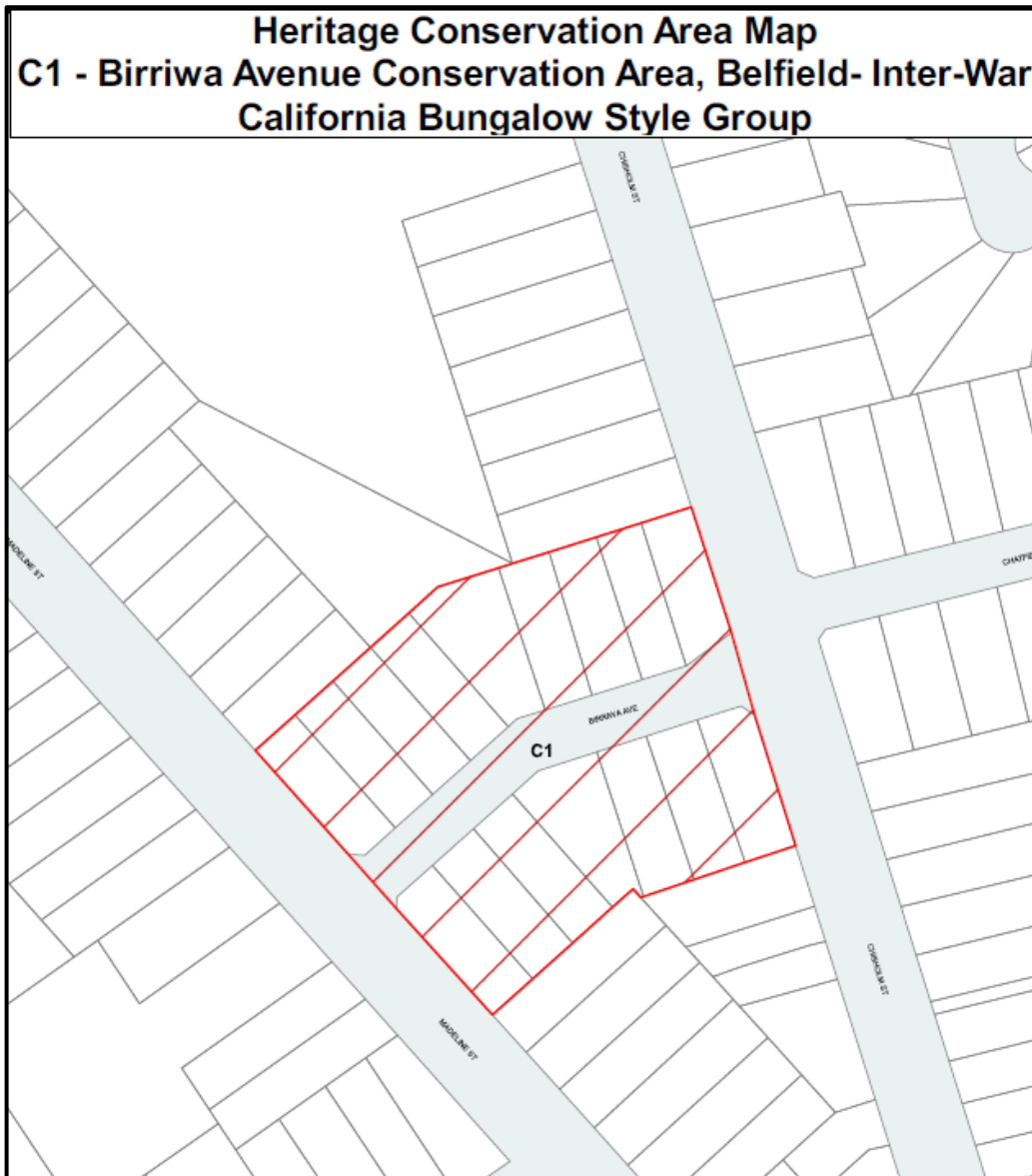
Built in a short period between 1920 and 1924, this group of houses are a cohesive group of Inter-War California Bungalows with a consistency of scale, form and materials. All the houses feature characteristics of the style including low-medium pitched roofs, most with broad gables facing the street, front verandahs with brick piers and timber posts, casement windows, and battened fibre and shingled cladding to the gables. As a group, the pattern of gables and verandahs of these houses makes an important contribution to the local streetscape.

#### ***Additional Controls***

- (i) New buildings or alterations to existing buildings are to have roofs that reflect the low-medium roof pitch of the neighbouring original roofs within this Conservation Area.

- (ii) Replacement roof and gable materials are to match original materials in the use of battened fibre and shingled cladding to the gables which are characteristic of dwellings within this Conservation Area.
- (iii) Existing original front verandahs with brick piers and timber posts which are characteristic of dwellings within this Conservation Area are to be kept and repaired or reinstated where possible.

**5.9.4 Birriwa Avenue Conservation Area - Inter-war California bungalow style group (C1)**



**Statement of Significance**

Birriwa Avenue is an intact streetscape of Inter-War California Bungalows, terminated at the western end by an Inter-War corner shop. The cohesive nature of the streetscape is created in a large part by the regular pattern of gabled roofs and front verandahs along the street. The construction of a whole street by one builder has resulted in a similarity of scale, style and material through the streetscape. The plantings of Nerium oleander and the gentle curve in the avenue add to the quality of the streetscape.

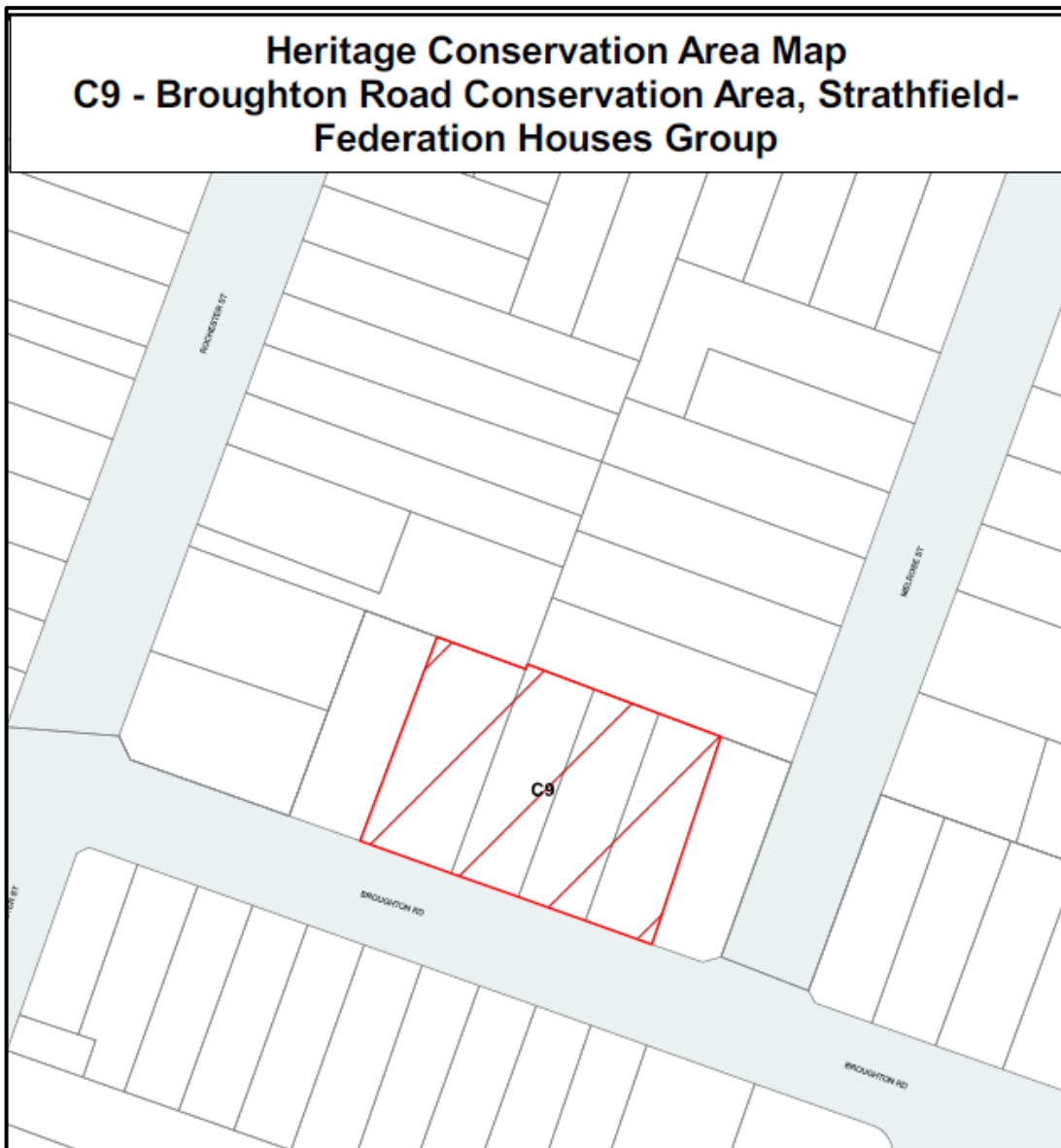
The houses of Birriwa Avenue are representative of the Inter-War California bungalow style through the use of gabled fronts to the street, imitation half timbering and imitation timber shingles to contrast with face brickwork, verandahs on brick piers and sets of timber casement windows. The corner shop is also a good representative example of a small Inter-War commercial building attached to a residence.

***Additional Controls***

- (i) The characteristic pattern of street tree planting comprising Nerium oleander on the verges, must be retained.
- (ii) New trees using advanced Nerium oleander should be planted where there are gaps in the street tree planting.
- (iii) The original Inter-War corner shop should be retained in any development proposal.
- (iv) Existing original front verandahs with brick piers and timber posts which are characteristic of dwellings within this Conservation Area are to be kept and repaired or reinstated where possible.
- (v) The original shape and materials of the front and side walls on dwellings within this Conservation Area shall not be altered. Characteristic imitation half timbering and imitation timber shingles along with face brickwork should be retained, replaced or repaired where appropriate.

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### 5.9.5 Broughton Road Conservation Area - Federation houses group (C9)



#### **Statement of Significance**

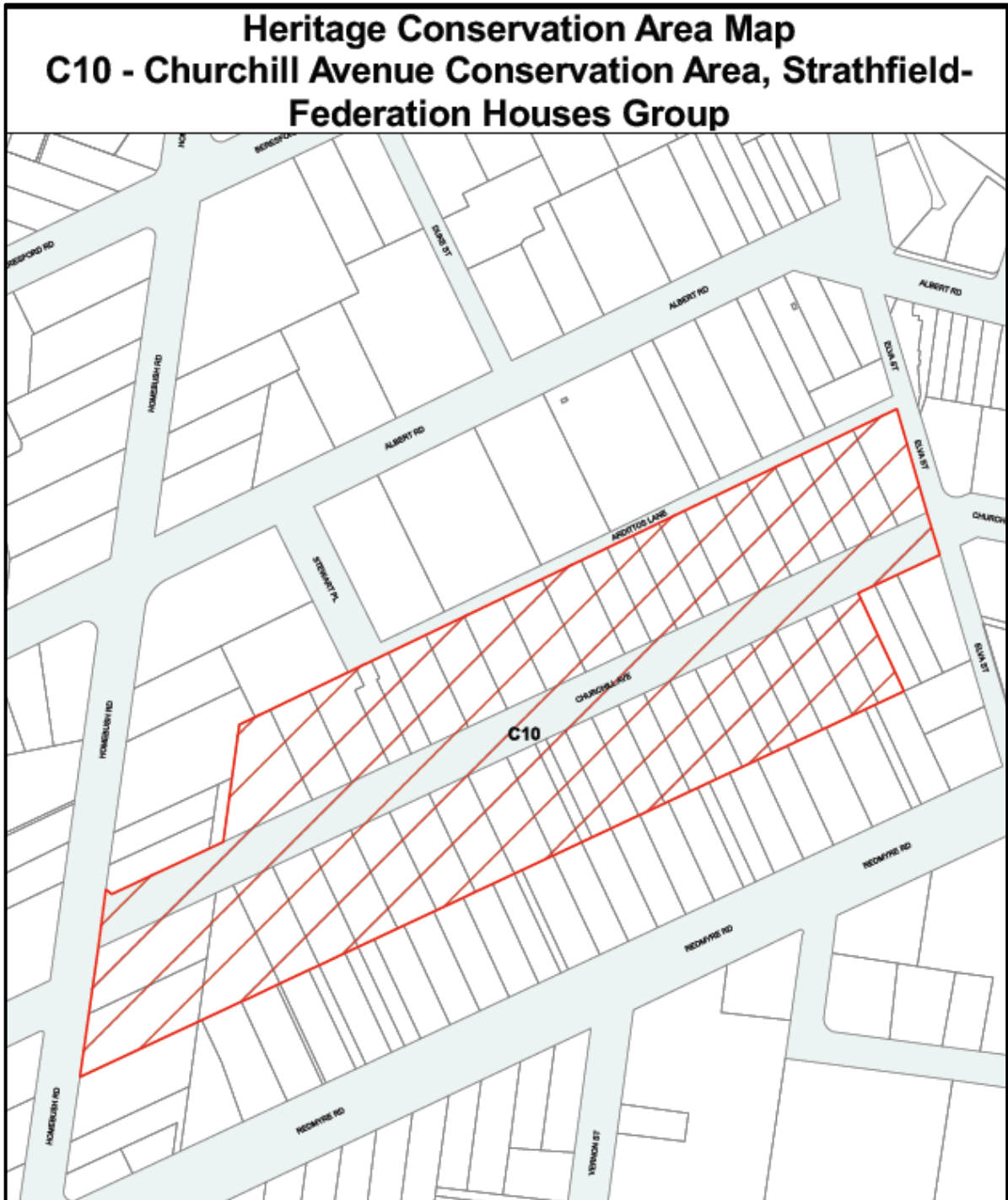
Built within a three-year period, this group of houses has a similarity of scale, form, details and materials. As examples of the Federation Queen Anne style, they have characteristic features including terracotta and slate roofing with hipped and gabled forms, face brickwork contrasting with imitation half timbering to the gables, verandahs supported on timber posts with timber detailing and casement windows. As a group, they are an important part of the Broughton Road streetscape.

#### **Additional Controls**

- (i) The predominant gable pattern which is characteristic of the Broughton Road Conservation Area should be retained or restored in any development.
- (ii) Existing original front verandahs with brick piers and timber posts which are characteristic of dwellings in this Conservation Area are to be kept and repaired or reinstated where possible.

- (iii) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Characteristic imitation half timbering and imitation timber shingles along with face brickwork should be retained, replaced or repaired where appropriate.

**5.9.6 Churchill Avenue Conservation Area - Federation houses group (C10)**



**Statement of Significance**

Churchill Avenue is of local significance for its high retention of form, scale, and architectural detail. Mature street planting and period style fences provide a unified streetscape. The housing stock is comprised of Federation and bungalow styled residences. Elements that

give the precinct its character include Marseilles tile and slate roofs, brick construction, single storey, timber detailing and well-maintained gardens.

**Additional Controls**

- (i) Replacement roof materials are to match original materials where possible on dwellings within this Conservation Area. Suitable roof materials are unglazed terra cotta Marseilles tiles or slate where applicable.
  
- (ii) The original shape and materials of the front and side walls shall not be altered. Characteristic brickwork should be retained, replaced or repaired where appropriate.

**5.9.7 Homebush Road Conservation Area (C11)**



### Statement of Significance

Homebush Road precinct is of local significance for its architectural character and for its diverse high quality streetscape. Important streetscape elements include fencing, gardens and Brush Box street planting that combine to provide a sense of enclosure and continuity.

### Additional Controls

- (i) Original brick and iron fencing should be retained and repaired. New fencing must respond to the prevailing design and materiality of the Conservation Area.
- (ii) The characteristic pattern of street tree planting comprising Brush Box on the verges of this Conservation Area is to be retained.
- (iii) The predominance of soft landscaping within the front setback is to be retained. Reinstatement of period gardens is encouraged.

### 5.9.8 Marion Street Conservation Area – Inter-war bungalow style group (C12)





### **Statement of Significance**

Marion Street is of local significance as representing a cohesive group of housing from the 1930's and 1940's that retains representative form, scale and detail. The houses are predominantly single storey with tiled hip roofs, dark coloured brick, small front bays and verandahs, timber windows and low brick fences. Marion Street has Brush Box planting and well-kept gardens that add to the overall streetscape value.

### **Additional Controls**

- (i) The characteristic pattern of street tree planting comprising Brush Box on the verges of this Conservation Area must be retained. New development should be designed to avoid impacting on the health of the street trees.
- (ii) New trees using mature Brush Box should be planted where there are gaps in the street tree planting.
- (iii) Roof extensions of dwellings within this Conservation Area are to relate sympathetically and subordinately to the original roof in shape, pitch, proportion and materials, with hipped roof forms and Marseilles tiles to be used where appropriate.
- (iv) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Characteristic dark coloured brick should be retained, replaced or repaired where appropriate
- (v) Existing original small front verandahs and bays which are characteristic of dwellings within this Conservation Area are to be kept and repaired or reinstated where necessary.
- (vi) Original low brick front fences which are characteristic of the Conservation Area are to be kept and repaired where possible.

### **5.9.9 Meredith Street Conservation Area - Victorian Villa style group (C4)**



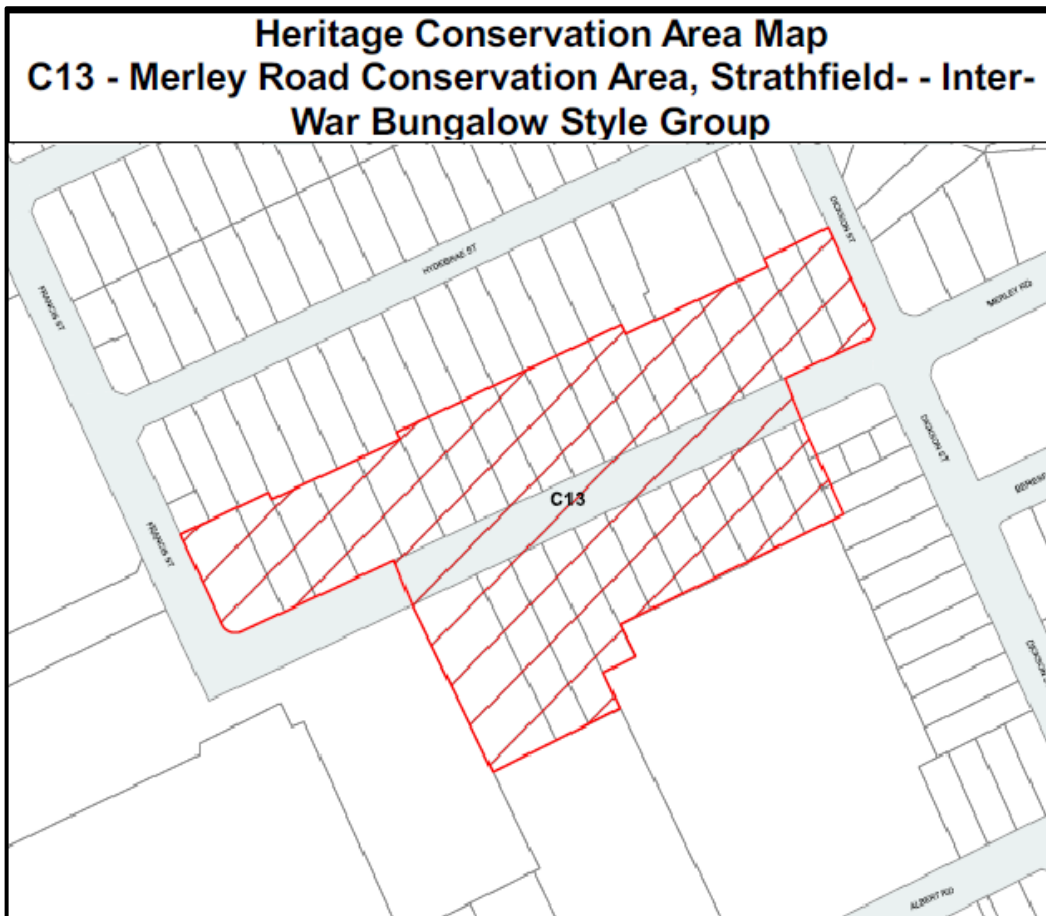
### **Statement of Significance**

This late 19th Century Victorian Precinct is of local significance for retaining its form, scale and some detail and illustrates early housing on the 1878 Underwood Estate. These villas retain their asymmetrical facades with projecting bays, arch top windows and front verandahs. They are of single storey, constructed of rendered brick. The tiled roofs and the unsympathetic fences detract from the overall streetscape value. The retention of the eaves detailing (brackets and medallions) are important features.

### ***Additional Controls***

- (i) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Characteristic rendered brick should be retained, replaced or repaired where appropriate.
- (ii) Existing original verandahs and projecting bays which are characteristic of dwellings within this Conservation Area are to be kept and repaired or reinstated where necessary.

#### **5.9.10 Merley Road Conservation Area (C13)**



### ***Statement of Significance***

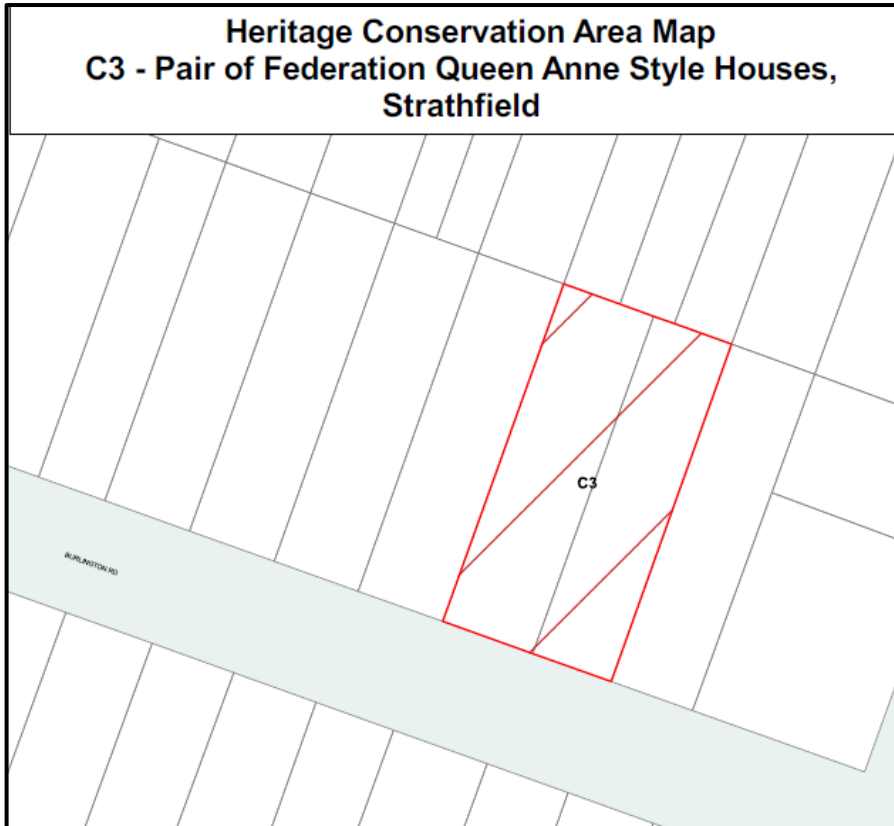
Merley Road, between Dickson Street and Francis Street, is an intact streetscape dominated by Inter-War California bungalow style houses. The few Federation period houses in the street blend well with the Inter-War houses due to the use of gables facing the street, front verandahs, terracotta tiled roofs and face brick walling contrasted with small areas of render and/or battened fibre and shingles.

### ***Additional Controls***

- (i) Gables should be restored, repaired or replaced to follow the consistent pattern throughout the Conservation Area.
- (ii) Replacement roof materials are to match original materials on dwellings within this Conservation Area, such as unglazed terra cotta Marseilles tiles.

- (iii) The original shape and materials of the front and side walls of dwellings within this Conservation Area shall not be altered. Face brickwork with render should be repaired or replaced where appropriate.
- (iv) Existing original front verandahs are to be kept and repaired or reinstated where necessary.

#### 5.9.11 Pair of Federation Queen Ann style houses (C3)



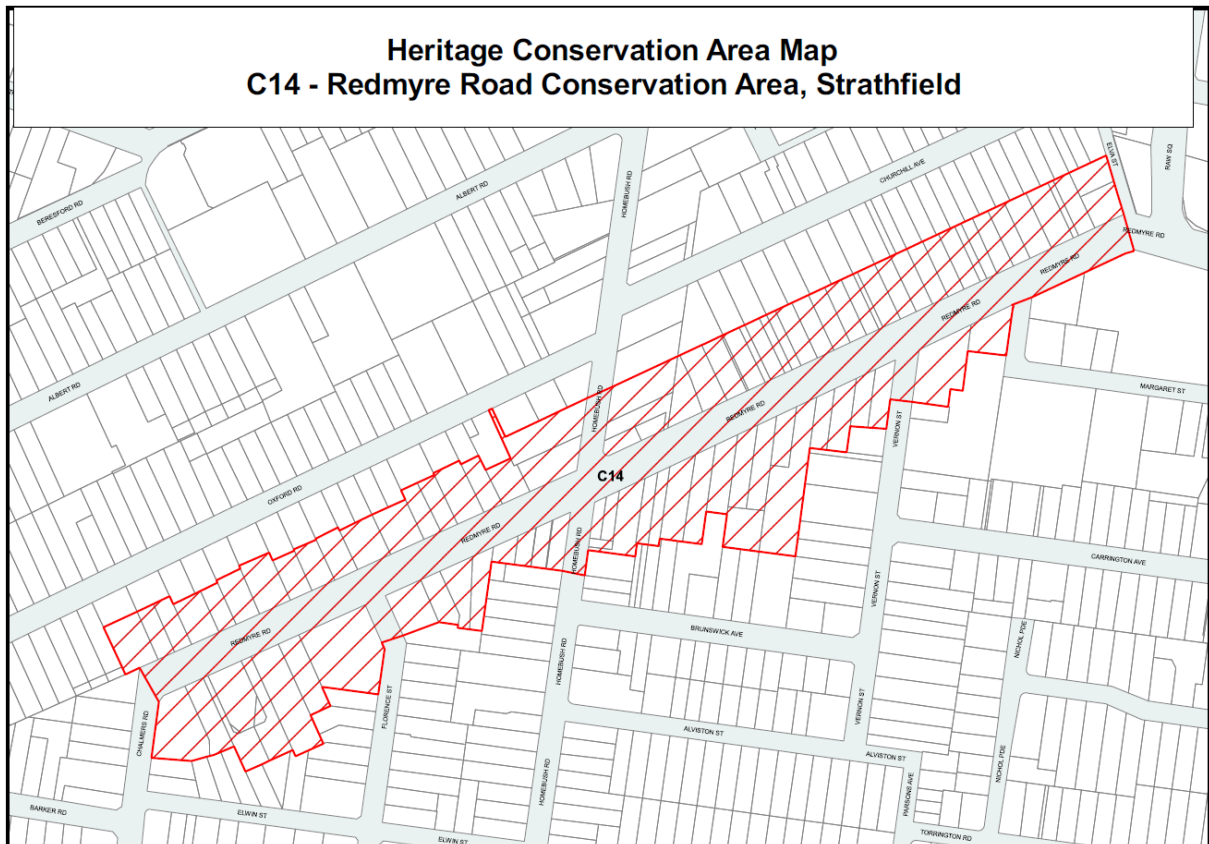
#### ***Statement of Significance***

Talgai and Gowan Brae are a good example of a pair of Federation Queen Anne style houses. Characteristics of the style evident in Talgai and Gowan Brae include the hipped and gabled terracotta roof, detailed entry porch, face brickwork contrasted with roughcast render and grouped casement windows

#### ***Additional Controls***

- (i) Replacement roof design and materials on each of the dwellings are to match original materials, including hipped and gabled terracotta roof types.
- (ii) The original shape and materials of the front and side walls of the two dwellings shall not be altered. Characteristic face brickwork contrasted with roughcast render should be retained on the two dwellings or replaced like-for-like.
- (iii) The existing detailed entry porches which are characteristic of this dwelling pair are to be kept and repaired or reinstated where necessary.

## 5.9.12 Redmyre Road Conservation Area (C14)



### **Statement of Significance**

Redmyre Road is of significance for its historical and architectural qualities. This Conservation Area displays a full range of housing that is dominated by early twentieth century architecture. It features a unified streetscape with predominantly single storey, well-maintained houses. The housing types include Victorian Italianate, Late Victorian/Early Federation and Federation/bungalow. Also featured is the Council Chambers and former Town Clerk's house. The central planting of Jacarandas in a grassed median strip and side planting of Brush Box form an important landscape feature to the street.

### **Additional Controls**

- (i) The characteristic pattern of grass verges, footpaths and street tree planting comprising Jacarandas within the grassed median strip, and Brush Box on the verges, must be retained.
- (ii) New trees using mature Jacarandas on the median strip and Brush Box on the verges, should be planted where there are gaps in the street tree planting.

### 5.9.13 Vernon Street Conservation Area (C16)



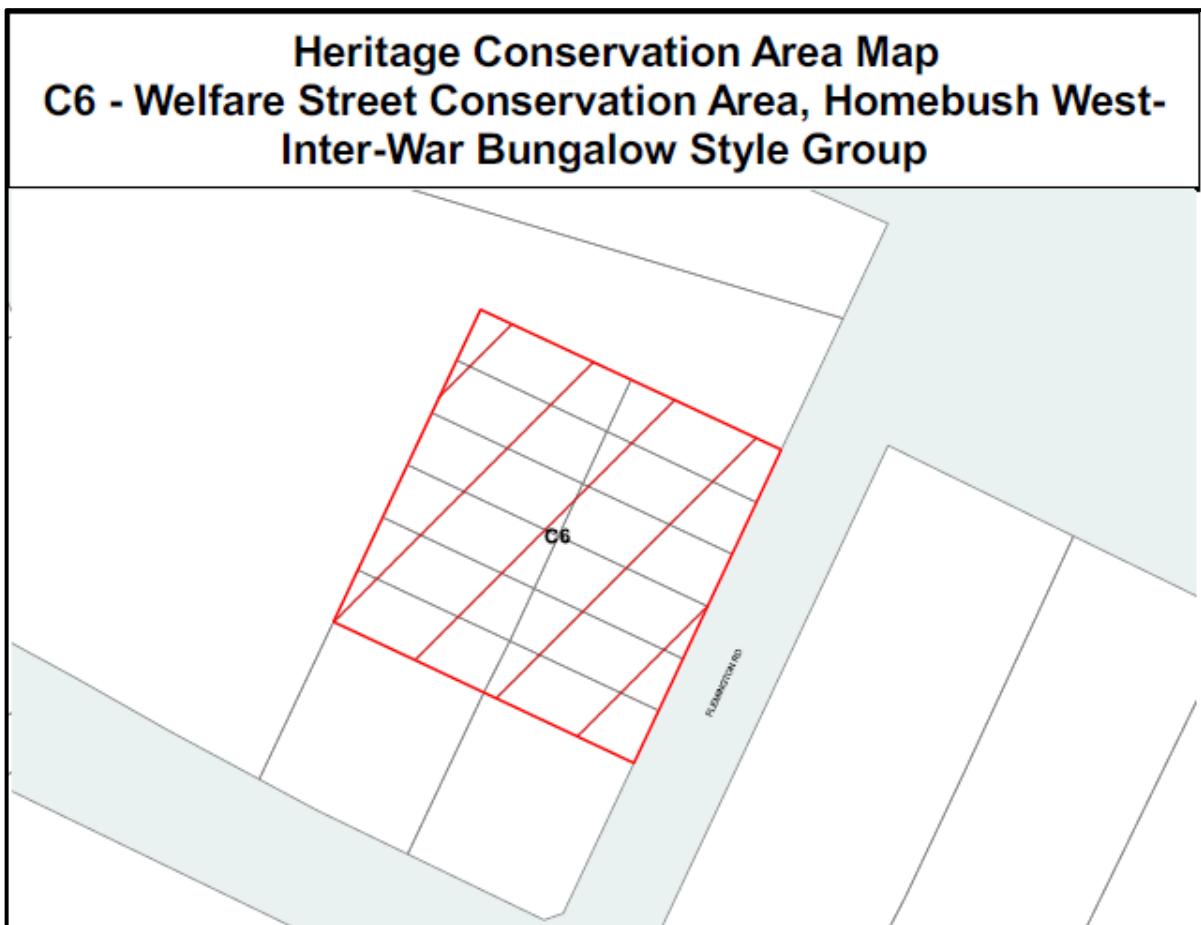
#### ***Statement of Significance***

This Conservation Area contains many buildings from the late Nineteenth Century. It is of local significance as the villas retain their form and scale and they combine to provide an attractive streetscape. The villas are predominantly single storey with asymmetrical facades and projecting bays.

#### ***Additional Control***

- (i) Existing original projecting bays characteristic of dwellings in this Conservation Area are to be kept and repaired where possible or reinstated.

#### 5.9.14 Welfare Street Conservation Area - Inter war bungalow style group (C6)



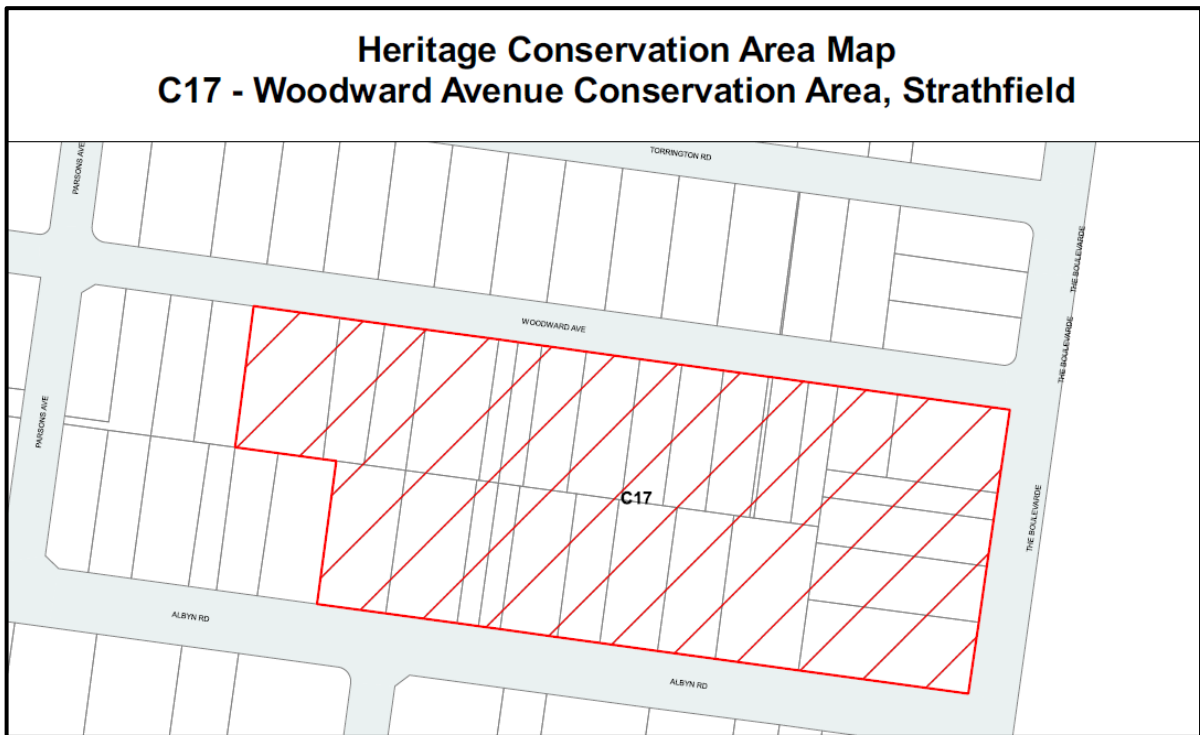
#### ***Statement of Significance***

Bounded by Welfare Street, Park, Flemington and Parramatta Roads this precinct is of local significance as it features a homogenous group of bungalow housing dating from c. 1920. The houses are single storey, brick with asymmetrical façades and have Marseilles tiled gables, terra cotta finials, square timber posts on brick supports, decorative timber brackets, timber sun hoods, brick verandahs and small front gardens. Throughout the Conservation Area there is a repetition of design and a high retention of detail, form and scale.

#### ***Additional Controls***

- (i) New development should complement the asymmetrical facade designs that are characteristic of the Conservation Area.
- (ii) Replacement roof materials are to match original materials used within this Conservation Area, including Marseilles tiled gables.
- (iii) Original roof details on dwellings within this Conservation Area, such as terracotta finials, ridge capping, are to be maintained, repaired and reinstated where necessary.
- (iv) Existing original brick verandahs that characterise dwellings within the Conservation Area are to be kept and repaired or reinstated where necessary.

## 5.9.15 Woodward Avenue Conservation Area (C17)



### **Statement of Significance**

This Conservation Area is a Victorian era precinct that is of local significance for its retention of form, scale and architectural detail from the late 19th century. Features of the Conservation Area include predominantly single storey, asymmetrical facades, projecting bays, slate roofs, rendered brick construction and front verandahs.

### **Additional Controls**

- (i) Where appropriate, new development should complement the asymmetrical facade designs that are characteristic of the Conservation Area.
- (ii) Replacement roof materials are to match original materials such as slate, or are to employ approved alternative materials where possible.
- (iii) Rendered brick construction on dwellings within this Conservation Area should be retained and repaired where possible.
- (iv) Existing original front verandahs and projecting front bays that characterise dwellings within the Conservation Area are to be kept and repaired or reinstated where necessary.

## **6 Additional controls for development within Retail Conservation Areas**

Development within Strathfield's Retail Conservation Areas must satisfy the general objectives and controls below as well as the provisions contained within this DCP in respect of heritage items and/or land/buildings within the vicinity of heritage items, and development within Conservation Areas generally, as relevant.

### **6.1 General objectives**

- A. To ensure the retail Conservation Areas continue to provide a range of retail and commercial services with varied and interesting active frontages to the street.
- B. To encourage the retention of significant and contributory shopfronts and promote the reinstatement of original characteristics and shopfronts.
- C. To retain and enhance the prevailing character given by buildings built to street and side boundaries.
- D. To ensure the prevailing pattern of buildings built to the front boundary and massed to their existing height at the street frontage is continued.
- E. To ensure the rear of properties complement the existing streetscape.
- F. Retain/repair original awnings.
- G. To retain the prominence of the building form and character given by the roofs, parapets and architectural features of buildings within the retail Conservation Areas.

### **6.2 Land use**

- (i) Shopfronts within the Retail Conservation Areas should incorporate a range of uses to engage with and activate the street.

### **6.3 Building design**

- (i) Buildings must be massed towards the street frontage.
- (ii) The height of the buildings at the street boundary must be determined by the prevailing height of adjacent and neighbouring contributory buildings.

### **6.4 Setbacks**

- (i) Side setbacks are not required where new development matches an existing or concurrently proposed adjoining building.
- (ii) Setbacks to the street are only permitted where the established pattern is set back.



## **6.5 Rear elevations**

- (i) Rear elevations and structures are to be treated and maintained in a manner that complements the existing character of the Retail Conservation Areas.

## **6.6 Shop fronts and building facades**

- (i) New shop fronts shall reflect original details and proportions characteristic of the retail shop fronts, including the siting of recessed entrance doors.
- (ii) Original facades and shop fronts should be conserved, reinstated and maintained where possible.

## **6.7 Roofs, parapets and architectural features**

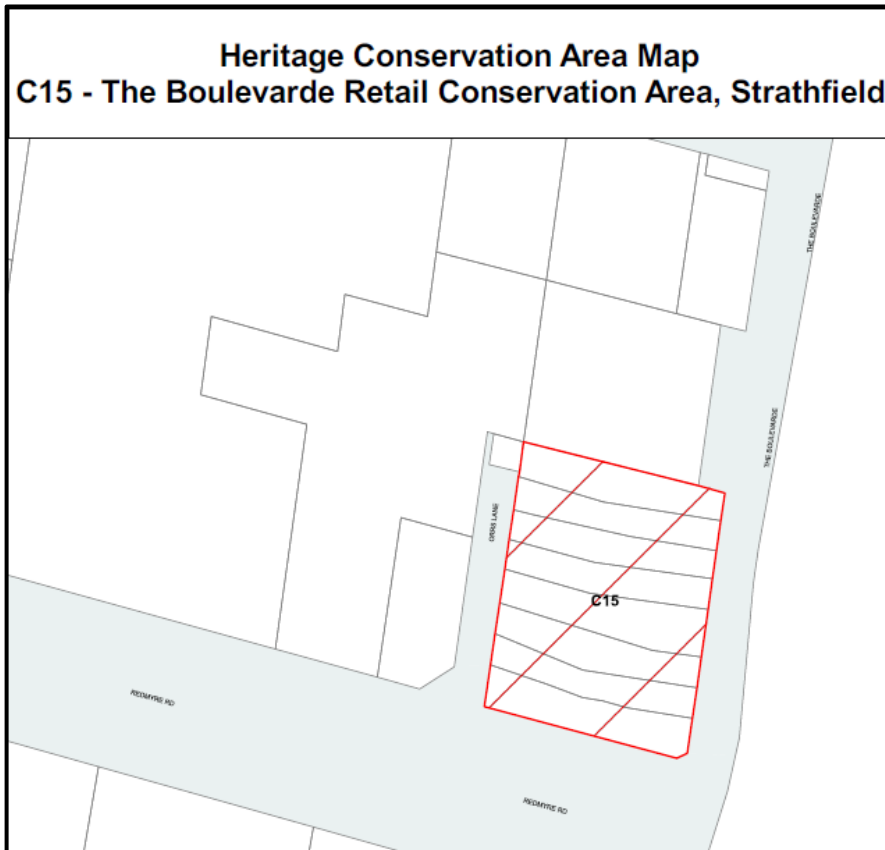
- (i) Original parapets should be preserved and maintained, with existing detailing, unpainted and free of hoarding signs.
- (ii) The profile of the front parapet wall should be maintained as a silhouette against the sky.
- (iii) Gable ends to the roof above eaves level should retain their existing details, where they are present. Reinstatement of lost elements is encouraged.
- (iv) Original chimneys should be retained, or reinstated where possible and the introduction of new roof fixtures (such as roof vents, aerials, solar collectors, mobile phone transmitters or satellite dishes) must not be located on the front façade of shop fronts within the Retail Conservation Area.
- (v) Continuous awnings should be provided where possible, at a unified height and fascia to each shop. The level of overhead awnings above the footpath should match the existing.
- (vi) Original upper level windows should be restored and maintained.
- (vii) The removal of first floor windows that have altered the profile of former openings is encouraged, with the original window to be restored.

## **6.8 Materials and finishes**

- (i) Materials must be sympathetic to the original materials used within the relevant Retail Conservation Area.

## 6.9 Statement of Significance and specific additional controls for Retail Conservation Areas

### 6.9.1 The Boulevarde Retail Conservation Area (C15)



#### ***Statement of Significance***

These shops are part of a group of commercial buildings developed along The Boulevarde in the late nineteenth century by the financier, land agent and architect Randolph Nott, capitalising on the importance of the nearby railway station in generating business. The shops remained in the possession of Nott until the 1920's.

This is a rare group of late nineteenth century shops in Strathfield. Numbers 25-31 and Number 33 are representative examples of early Federation commercial buildings and retain much of their original brick and sandstone detailing. Number 35-39 is a good example of a commercial building with Federation free classical detailing.

#### ***Additional Objectives***

- A. To reinforce the prevailing pattern of early Federation shop fronts which is characterised by simple, rectilinear building forms, full height at street frontage, and variation in roof parapet, chimney, roof eaves, details and other features.
- B. To preserve and reinstate original early Federation shopfront facades where possible.
- C. To encourage the reinstatement of original windows.
- D. To ensure buildings are sympathetic to characteristic materials, finishes and colours including using brick and sandstone.

### **Additional Controls**

- (i) A range of uses must be provided to engage with and activate the street and which reinforce the connection with Strathfield Railway Station.
- (ii) New shop fronts shall reflect original details and proportions characteristic of this group of early Federation shop fronts, including the siting of recessed entrance doors.
- (iii) Original Federation façades and shop fronts are to be conserved, reinstated and maintained where possible.
- (iv) Original materials used such as sandstone and brick, must be retained and preserved.

### **6.9.2 “Village of Homebush” Retail Conservation Area (C5)**



### ***Statement of Significance***

The “Village of Homebush” Retail Conservation Area has aesthetic value as a cohesive group of late Federation and Inter-War commercial buildings. There is a consistency of materials, scale and detailing through the group. The Conservation Area demonstrates the importance of Rochester Street in connecting Homebush and Strathfield residential areas with Homebush Railway Station and, prior to the closure of the level crossing over the railway line, with Parramatta Road.

The precinct has, since the nineteenth century, been the location of small commercial premises. The survival of an Inter-War garage as part of the group underlines the continued importance of this precinct in connecting the adjacent suburb with major transport routes. While the incorporation of first floor cantilevered balconies on Inter-War commercial buildings was not uncommon, surviving examples such as those on Number 1 Rochester Street and Numbers 5-7 Rochester Street are now rare.

### ***Additional Controls***

- (i) Land uses within the Homebush Retail Conservation Area should comprise small-scale commercial premises which can engage with and activate the street and residential above (i.e. shop-top housing).
- (ii) Original Federation and Inter-War façades and shop fronts must be conserved, maintained and reinstated.
- (iii) First floor cantilevered balconies must be retained or reinstated as important functional and architectural elements of the front facade within the Homebush Retail Conservation Area where possible.