

STRATHFIELD COUNCIL

STRATHFIELD LOCAL PLANNING PANEL MEETING AGENDA

Strathfield Municipal Council

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday 12 October 2023

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.



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TO: Strathfield Local Planning Panel Meeting - 12 October 2023
REPORT: SLPP – Report No. 5
SUBJECT: DA2023.33 - 95-97 THE BOULEVARDE STRATHFIELD
DA NO. DA2023.33

SUMMARY

Proposal:	Alterations and additions to existing dwelling for change of use to a childcare centre and associated site works
Applicant:	Archidrome Pty Ltd
Owner:	S Jakucs
Date of lodgement:	21 April 2023
Notification period:	28 April 2023 to 19 May 2023
Submissions received:	11 – as per SPCPP guidelines
Assessment officer:	G Choice
Estimated cost of works:	\$800,000.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	The subject site is located within the <i>C17 - Woodward Avenue</i> HCA
Flood affected:	Yes
Is a Clause 4.6 variation proposed?	No
Extent of the variation supported?	N/A
Peer review of Clause 4.6 variation:	N/A
RECOMMENDATION OF OFFICER:	APPROVAL

Figure 1: Aerial view of the subject site (outlined in yellow)



EXECUTIVE SUMMARY

Proposal

Development consent is being sought for alterations and additions to an existing dwelling and change of use to a childcare centre and associated site works.

Site and Locality

The subject site is legally described as Lot: A DP: 383091 and commonly known as 95-97 The Boulevard STRATHFIELD. The site is a corner allotment located on the southern side of The Boulevard/Woodward Avenue T- intersection. The site is rectangular in shape with a total site area of 1,178.27m²

The subject site is mapped within the C17 - Woodward Avenue Heritage Conservation Area - as listed in Schedule 5(2) of the SLEP 2012. The locality surrounding the subject site contains a mixture of single and two-storey dwelling development.

State Environmental Planning Policy (Transport and Infrastructure) 2021 Early Education And Child Care Facilities

The proposal has been assessed against the relevant provisions in Chapter 3 of the Infrastructure SEPP and is satisfactory.

Strathfield Local Environmental Plan (SLEP) 2012

The site is zoned R2-Low Density Residential under the provisions of SLEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the SLEP 2012.

Strathfield Consolidated Development Control Plan (SLEP) 2005

The proposed development generally satisfies the provisions of SCDCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan (CPP) from 28 April 2023 to 19 May 2023 where 11 countable submissions were received raising concerns regarding traffic impacts; neighbour amenity; acoustic treatment; neighbourhood character; heritage impacts; landscaping; setbacks; patron capacity.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment (EP&A) Act 1979, Development Application (DA) 2023/33 is recommended for approval subject to conditions.

REPORT IN FULL

Proposal

Council has received an application for alterations and additions to an existing dwelling and change of use to a childcare centre and associated site works.

The proposal seeks a change of use to a centre based childcare facility catering for a total of 45 children - four (4) x 0-2 years and 41 x 3-5 years - with six (6) staff. Proposed hours of operation are 7:00am to 6:00pm, Monday to Friday. Internal and external activity areas are proposed for each age group. No signage is included with the subject application.

Specifically, the proposed alterations and additions include the following:

Demolition:

- Removal of existing swimming pool
- Demolition of existing metal outbuilding, north elevation lower level awning, east elevation balcony steps and various internal yard paved areas

Lower Ground Floor:

- Removal of south-west corner powder room and conversion of 3 car garage to 4 car garage and bin storage area
- All other existing lower ground floor internal layout to be retained

- No change to south and west elevations
- Note - the ground floor of the existing dwelling will retain its existing layout and not be used for the childcare centre.

Upper Ground Floor

- Conversion of existing dwelling floor plan to childcare facility including:
 - Commercial kitchen
 - Three (3) indoor play areas
 - Separate sleep room
 - Four separate toilet areas including accessible toilet
 - Admin & meeting room
 - Separate staff room
 - Separate laundry
 - Milk prep and changing area
- No change to south and west elevations

External works:

- 1.8m high sound barrier perimeter wall
- Installation of lift to Upper Ground Floor
- Conversion of pool and outbuilding area to seven (7) parking spaces including one (1) accessible parking space and one (1) staff parking space.
- Sandpit with shade sail
- Synthetic soft-fall play area with raised vegetable garden
- Timber play unit with shade sail
- Dry pebble creek bed with mud kitchen and timber play area
- Sensory flower garden
- Associated landscaping

The breakdown of children by age groups is as follows:

Children (Age Bracket)	Number of children
0-2 years	4
3-5 years	41
Staff	6

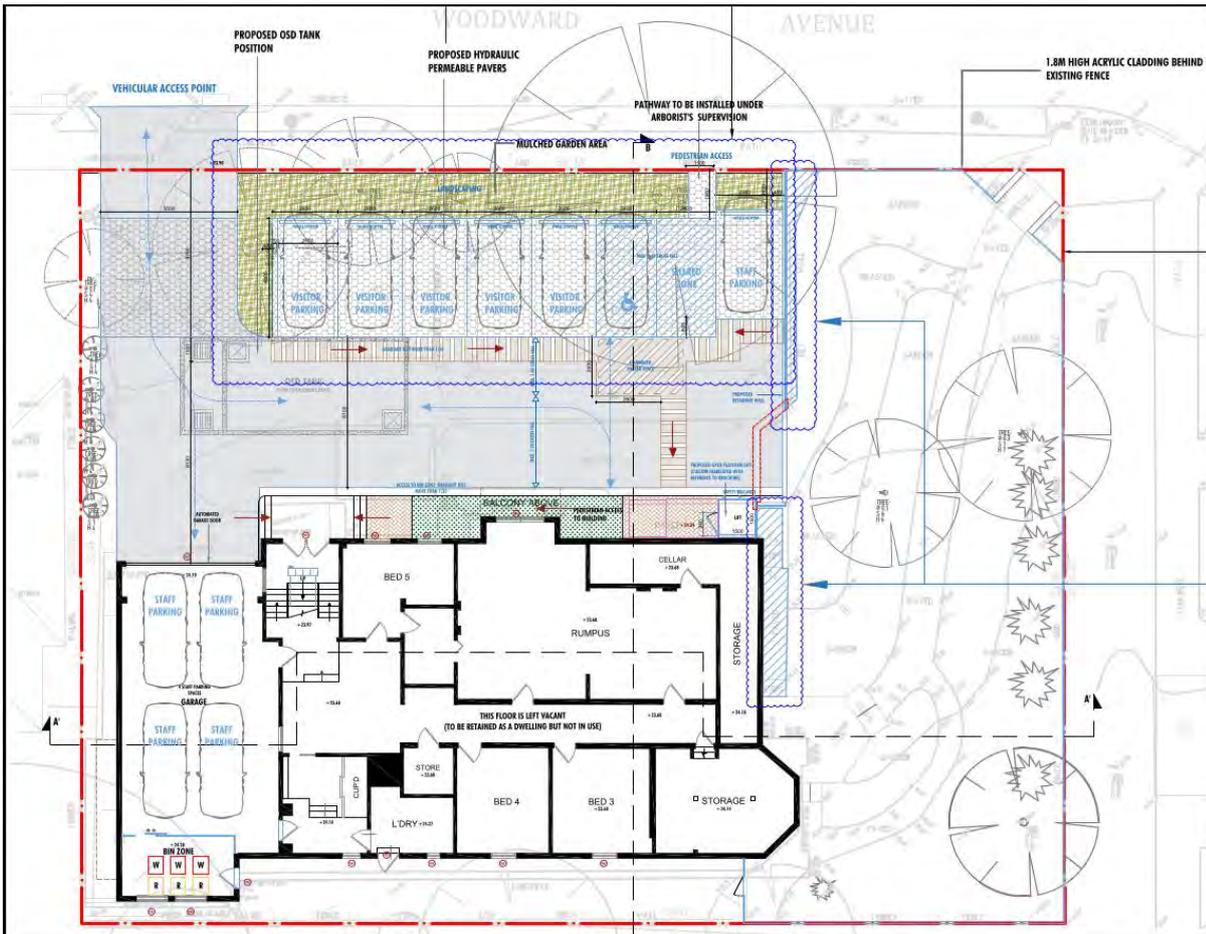


Figure 2: Proposed lower ground floor and parking plan

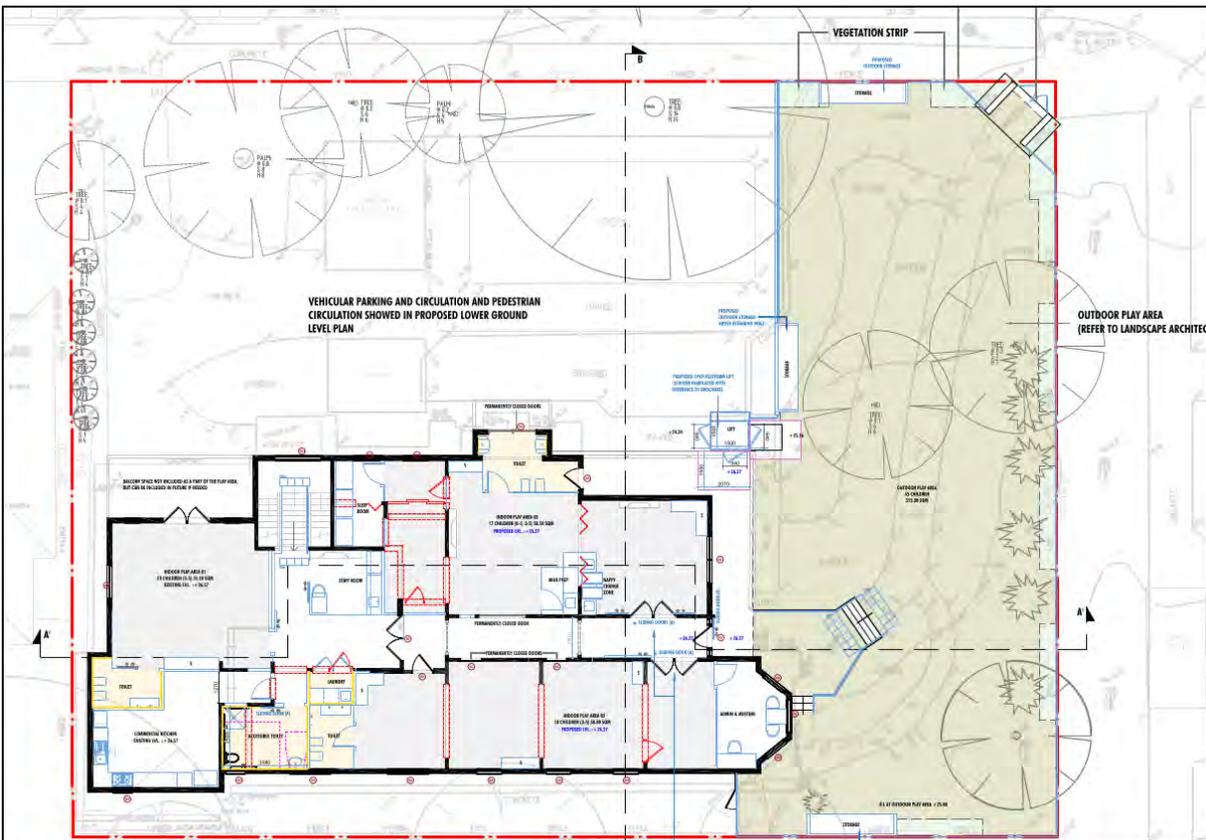


Figure 3: Proposed upper ground floor

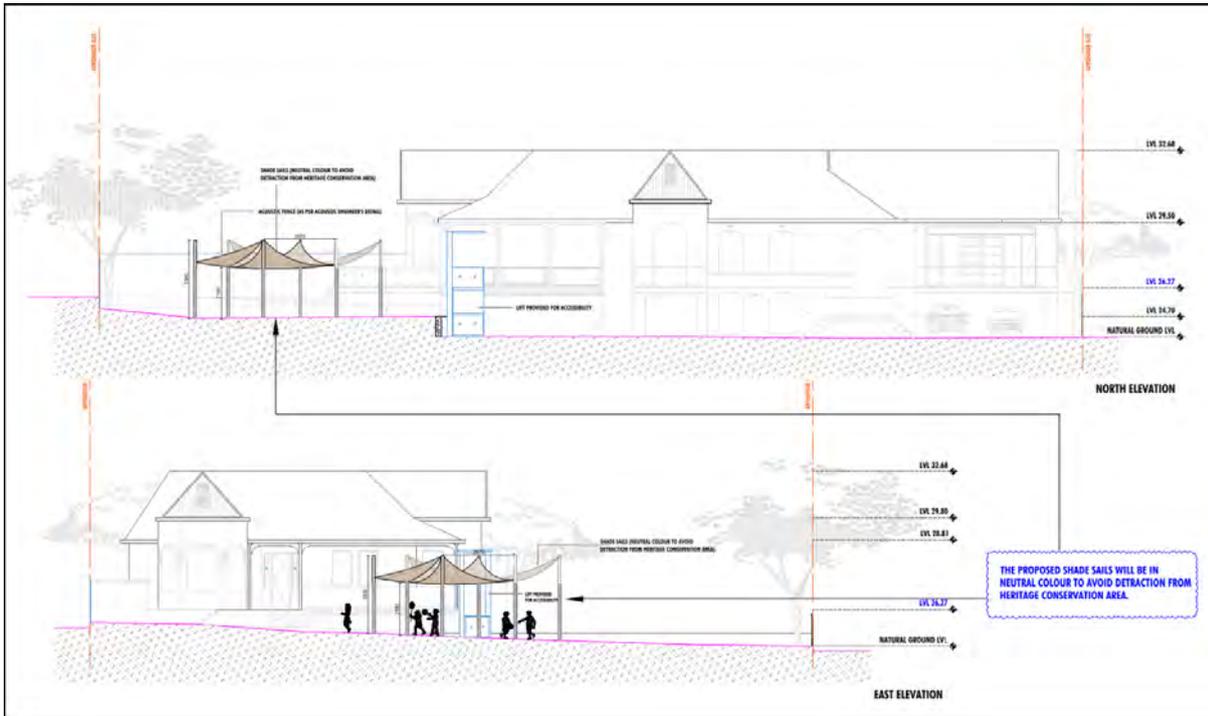


Figure 4: Proposed north and east elevations

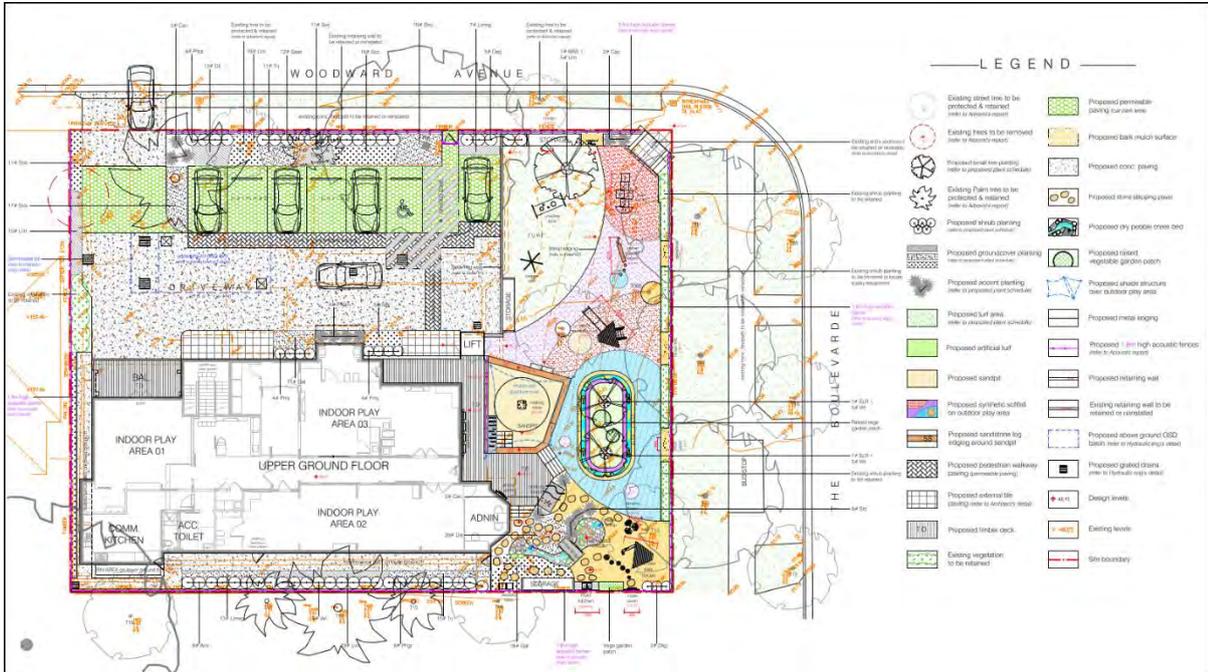


Figure 5: Proposed landscape plan

The Site and Locality

The subject site is legally described as Lot: A DP: 383091 and commonly known as 95-97 The Boulevard STRATHFIELD. The site is a corner allotment with an eastern frontage to The Boulevard and a northern secondary frontage to Woodward Avenue. The site is located on the

west side of the Boulevard between Torrington Road to the north; Albyn Road to the south; and Parsons Avenue to the west.

The site is rectangular in shape with an east boundary (The Boulevard) and rear west boundary length of 30.48m; and north boundary (Woodward Avenue) and south boundary length of 39.47m. The total site area is 1,178.27m²

The site slopes from south to north with a cross-fall of 2-3⁰.

Existing development on the site comprises a two-storey rendered dwelling with attached garage, detached outbuilding and in-ground swimming pool. The ground floor is partly below ground, resulting in a half storey appearance from the outside. Vehicular access is provided to the site via an existing driveway from Woodward Avenue.

Existing development at the adjoining property at 99 The Boulevard (south) comprises a Victorian Italianate style dwelling featuring an asymmetrical, single storey front façade with bay windows, front verandah and pitched slate roof (see **Figure 14**).

Existing development on the adjoining property at 2 Woodward Avenue (west) comprises a single-storey freestanding brick dwelling with detached brick garage. The existing dwelling house is of a comparatively modern architectural style (circa 1940's) and does not contribute to the prevailing Victorian architecture by which the HCA is signified (see **Figure 16**).

The locality surrounding the subject site contains a mixture of single and two-storey dwelling development of various architectural styles. Dwellings in the immediate streetscape are typically traditional in style featuring brick and rendered facades.

The southside Woodward streetscape is characterised by a prevailing row of single-storey late nineteenth Victorian houses which signify the HCA. .



Figure 6: Subject site existing dwelling east elevation



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Figure 7: Subject site existing dwelling north elevation



Figure 8: Subject site existing swimming pool and outbuilding (south elevation)

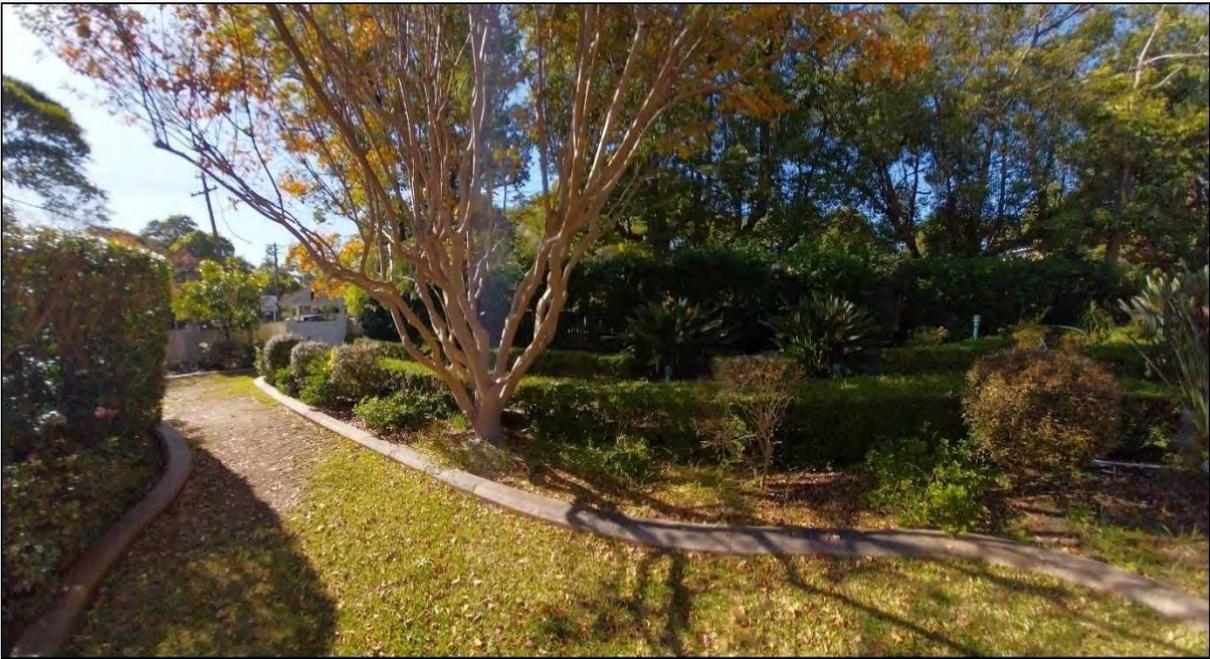


Figure 9: Subject site existing front yard (southwest elevation)



Figure 6: Subject site existing yard (west elevation)



Figure 10: Subject site existing dwelling (south-facing)



Figure 11: Subject site existing dwelling east elevation



Figure 12: Subject site existing street trees on The Boulevard frontage and nearby bus stop



Figure 13: Subject site frontage to The Boulevard



Figure 14: Existing dwelling at 99 The Boulevard



Figure 15: Existing dwelling at 93 The Boulevard



Figure 16: Existing dwelling at 2 Woodward Avenue



Figure 17: Subject site existing Woodward Avenue frontage

Background

5 August 2021

An advisory letter was issued to the Applicant following a pre-development application meeting held at Strathfield Council regarding a proposal for the change of use of the existing dwelling to a centre-based childcare facility to accommodate 64 children.

Key issues pertaining to the subject site at Woodward Avenue in the Pre-DA are summarised as follows:

i. State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 ('ESEPP')

The proposal did not adequately provide the minimum square meterage requirements for unencumbered indoor and outdoor space as per the provisions of the Educational Establishments and Child Care Facilities (now found in Chapter 3 of the State Environmental Planning Policy (Transport and Infrastructure) 2021

SEPP ARH applies for development involving a centre-based childcare facility.

The applicant was to provide documents as part of any development application which would satisfy the requirements of the Child Care Planning Guidelines.

ii. Heritage Conservation

The site is part of the Heritage Conservation Area – "C17" Woodward Avenue Conservation Area. The pre-DA application was referred to Council's Heritage Advisor, who provided the following comments –

"It should be noted that any form and shape of any new addition should reflect the character of the existing dwelling (e.g. pitched roof). This is in-line with both Council's SCDCP 2005 – Part P – Heritage Development Controls and the Design Guide for Heritage (May 2008, Heritage Council of NSW)."

iii. Traffic

The proposed development comprising 64 children and 9 staff yields an on-site parking generated the following:

- 9 spaces for employees, and
- 8 spaces for visitors.

The proposal provided 11 on-site parking spaces which resulted in a parking shortfall of 6 spaces.

“..., the RTA Guide to Traffic Generating Developments (GTTGD) stipulates an off-street parking rate of one space for every four children in attendance. The proposal generates a parking requirement of 16 spaces. GTTGD further states that ‘consideration could be given to reducing the parking required if convenient and safe on-street parking is available (e.g. indented parking bays) provided that the use of such parking does not adversely affect the amenity of the adjacent area.’”

“It is not supported that the proposal relies on the surrounding on-street parking to satisfy the additional parking demand. In particular, the use of the existing kerbside parking should not be encouraged noting the convenience and safety requirements set out by GTTGD.”

“The proposal would result in a moderate level of traffic generation. The applicant is required to demonstrate that the additional traffic generation does not result in an acceptable adverse impact on the surrounding road network, in particular the intersection performance at The Boulevard and Woodward Avenue.”

v. Noise

The proposal involves indoor and outdoor play areas located close to living areas of the adjoining dwelling at 99 The Boulevard. Any DA would require an acoustic report to address any potential impacts of the proposed childcare facility on to the neighbouring properties.

NOTE: The proposal was not supported due to intensity of the development (64 children) which, in turn, would create a number of issues as abovementioned.

21 April 2023	The subject application was lodged via the NSW Planning Portal.
12 May 2023	The subject site was inspected and photographed by the Assessing Officer.
19 May 2023	End of neighbour notification period (28/04/2023 – 19/05/2023)
13 July 2021	<p>A Council letter was issued to the Applicant following a preliminary assessment of the proposal which identified the following issues:</p> <p>i. Waste An amended Waste Management Plan and Operational Management Plan was requested to provide additional details on waste collection and recycling.</p> <p>ii. Tree management and protection The subject application was referred to Council’s Tree Management Officer who has assessed the application and submitted Arboricultural Implication Assessment and Tree Protection Report prepared by Horticultural Resource Consulting Group (Issue B; dated 12 February 2022). Comments are provided as follows:</p>

- It was requested that consideration be given to Tree 2 (*Phoenix canariensis*) which is a high-value palm approximately 7m tall.
- Tree 4 (*Lophostemon confertus*) is a High Retention Value tree that makes a significant contribution to the site and streetscape. Removal of this tree was not supported without further supporting evidence of the tree's health and stability. The design was to be amended under the guidance of the project arborist to ensure its protection and ongoing health.
- Tree 6 (*Lagerstroemia indica*) is a large multi-trunked tree with uplifted canopy that is a feature of the site. The design was to be amended to retain this tree and incorporate it as a feature of the proposed playground area.
- Tree 8B (*Jacaranda mimosifolia*) is an asymmetrical tree due to competition with Camphor Laurel, street trees however, it is not unusual for Jacarandas to grow to this form. The tree would provide amenity to the playground area. The submitted arborist's report made mention of decay and poor health however, supporting evidence was requested before approval is granted for the tree's removal.

iii. Environmental health

A revised Operational Management Plan was requested to include additional comments demonstrating procedures of monitoring of the accessible toilet when in use by any child.

iv. Elevations plans

Amended Elevations plans were requested to show the following:

- The proposed shade structure (height and dimensions); and
- Any fixed play equipment (approximate height and dimensions)
- The proposed shade structure must be a neutral colour that will not detract from the Heritage Conservation Area.

31 July 2023	Amended plans and supporting documents were submitted via the NSW Planning Portal.
13 September 2023	Council requested additional arborist comments on tree protection measures via e-mail.
21 September 2023	The Applicant submitted an amended arborist report via the NSW Planning Portal.

Referrals – External

Ausgrid

The subject application was referred to Ausgrid for concurrence due to the proposed development's proximity to existing power poles along Woodward Avenue.

Ausgrid raised no objection to the proposal provided 'as constructed' minimum clearances to Ausgrid's infrastructure were maintained including during demolition and construction stages.

TFNSW

The subject application was referred to Transport for New South Wales (TfNSW) for concurrence due to the subject site's frontage to a classified road. TfNSW provided the following comments:

'Following the review of the submitted information, TfNSW notes that the proposed access arrangement is located on Woodward Avenue (which is a local road) and does not qualify as traffic generating development under Clause 2.122, Schedule 3 of State Environmental Planning Policy (Transport and Infrastructure) 2021. Accordingly, the proposal is a matter for Council's consideration.'

Notwithstanding, due to the proximity of the proposed access arrangement to the Boulevard (which is a state road), TfNSW provides the following advice:

- 1. Council should be satisfied that the surrounding road network can accommodate any additional traffic generated by the proposal, without significantly impacting on the efficiency of the surrounding road network.*
- 2. Vehicles entering and exiting the site should be restricted to left in/left out movement only. No right turn movement is to be permitted to/from the site on Woodward Avenue.*
- 3. Any entry gate at the access point on Woodward Avenue should remain open during business hours to cater for uninterrupted traffic flow without vehicle queuing to the road network.'*

Referrals - Internal

Environmental Health

The subject application was referred to Council's Environmental Health who provided the following comments:

'Depending on the length of time given to groups of children, background noise levels should not exceed 5dBA - 10dBA. Total time of outdoor play less than 3 hours across the day, noise above 10 dBA from background is deemed acceptable. More than 3 hours per day, 5dBA above background should be adhered to.'

The plans show that the outdoor play area is located on the Eastern side of the property, adjacent to The Boulevarde. Therefore, complying with the requirement of Council's DCP regarding outdoor play areas must be designed/ located away from living/ bedroom areas of residential properties.

The acoustic report identifies on plans, that there is a 1.8m acoustic fence along sections of the boundary. This acoustic report has noted that compliance must be met with noise not exceeding 5dba above background, for both indoor and outdoor areas.

Unattended noise monitoring was conducted in location A from Monday November 21st 2022- Sunday November 27th 2022. Location A is the Western boundary of the premise.

Attended noise monitoring was conducted at Location B in the morning and evening of Monday and Friday November 21st and 25th 2022. Location B is the Eastern boundary of the premise.

The background level of general indoor areas is estimated at 40dBA. The background level of the outdoor play area is estimated at 55-60dBA.

Estimations have been made in relation to projections of noise generated from outdoor play areas. Residential receivers (5 and 6) directly adjacent to the premise; 2 Woodward Avenue and 99 The Boulevarde are affected in all scenarios estimated. The restriction of a maximum of 15 children in an outdoor play area and limited to a maximum of 3 hours per day at any one time should be adhered to, which will ensure the minimum amount of disturbance.

Two sections of the boundary fence will have acoustic measures implemented. Acoustic impact modelling regarding vehicle arrivals and departures in peak morning and afternoon times, demonstrates compliance.

Air quality report demonstrates compliance, air quality is appropriate for the site. The site has a history residential use. There are no immediate risks surrounding environmental or contamination risks....

The proposal is supported subject to specific conditions of consent.

Stormwater

The subject application was referred to Council's Development Engineer for assessment. No objections were raised and the proposal is supported subject to specific conditions of consent.

Traffic

The subject application was referred to Council's Senior Traffic Engineer who provided the following comments:

‘The Statement of Environmental Effects states that no access is proposed via The Boulevarde and the submitted Acoustic and Air Quality Assessment Report confirm that the proposal will not be affected by traffic noise and vehicle emissions. This is considered satisfactory.

In addition the Statement of Environmental Effects states that the proposal is accompanied by a Traffic Report which confirms that the proposal has been designed to accommodate the anticipated car parking demands of the use satisfactorily and safely and that no adverse traffic impacts will arise.

1. On-site parking provision

The Traffic and Parking Assessment Report referred to the Child Care Planning Guideline (CCPG). It should be noted that CCPG states:

“The provisions of the Child Care Planning Guideline will generally take precedence over a DCP, other than building height, side and rear setbacks and car parking rates.”

The DCP parking rates prevail. Council’s DCP Part E Clause 5.6 stipulates the following on-site parking requirement for Child Care Centres:

- *1 space per employee (stack parking is permitted for staff parking), and*
- *1 visitor space per 8 children or part thereof. (stack parking is not permitted for parents or guardians)*

Capacity of CCC

S. No.	Components	Description
1	0-2 years	04
2	3-5 years	09
3	3-5 years	12
4	3-5 years	20
	Total capacity of the Children Centre	45

The proposed centre capacity of 6 staff and 45 children results in a minimum passenger vehicle parking requirement of 11 (including one disabled space).

Proposed Parking Provision

1 space per 8 children (45 children places proposed) $45 / 8 = 5.6$ spaces

1 space per employee (6 employees proposed) $1 \times 6 = 6$ spaces

Total: $5.6 + 6 = 11.6$ spaces [OR] 12 spaces rounded up.

Comment:

The above onsite parking provision equates to a shortfall of one space. Given the availability of public transport and the location of a bus shelter and the number of bus routes that stop in front of the subject site (i.e. 415, 450, 913, 914, M90) this shortfall is considered satisfactory.

2. *Traffic generation (previously assessed - no significant changes).*

Traffic generation rates for various land-uses established through extensive surveys undertaken throughout NSW and published within TfNSW's Guide to Traffic Generating Developments.

This publication specifies the following traffic generation rates for childcare centres:

0.8 vehicle trips per child during the morning commuter peak hour (36)

0.7 vehicle trips per child during the evening commuter peak hour (31)

The trip generation provided by in the traffic assessment report is shown below.

<i>Morning peak hour</i>	<i>Afternoon peak hour</i>
<i>35 trips</i>	<i>30 trips</i>
<i>20 movements in / 15 movements out</i>	<i>13 movements in/17 movements out</i>

The proposed trip generation is consistent with the TfNSW's Guide to Traffic Generating Developments. The additional traffic generated by the proposed development is not expected to result in significant impacts on the existing operational performance of the intersections in the surrounding road network.

3. *On-site parking layout*

The vehicular access to the parking area is proposed via a 5.5m wide combined ingress / egress driveway connecting to Woodward Ave to the northwestern corner of the site.

As swept path analysis for the proposed car park has been provided using a B85 Vehicle.

The proposed aisle widths, parking space widths and swept path analysis are considered satisfactory.

4. *Pedestrian Access.*

Pedestrian access is proposed via a pedestrian path connecting Woodward Ave to the entrance of the Centre.

The pedestrian access pathway is defined by the use of contrasting pavement materials, this helps separate pedestrians from the vehicular access and is considered satisfactory.'

Council's Traffic Engineer has also considered TfNSW comments as mentioned elsewhere in this report and does not consider point 2 necessary. From a Traffic perspective, the proposal is supported.

Heritage

The subject application was referred to Council's Heritage Planner who raised no objections to the proposal. Further discussion is provided in the Part P – Heritage SCDCP 2005 section of this report.

Tree Management and Protection

The subject application was referred to Council's Urban Forest Supervisor for assessment. The proposal as amended including the amended Arboricultural Implication Assessment And Tree Protection Specification report prepared by Horticultural Resources Consulting Group (Isse E; dated 21 September 2023).

The proposal is supported subject to specific conditions of consent.

Waste

The subject application was referred to Council's Coordinator of Waste Services who raised no objection to the subject application subject to specific conditions of consent.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15(1) of the EP&A Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provision of:

(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below: (delete SEPP's not applicable)

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> <input type="checkbox"/> Chapter 2 – Vegetation in non-rural areas <input type="checkbox"/> Chapter 10 – Sydney Harbour Catchment 	Yes Yes
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> <input type="checkbox"/> Chapter 4 – Remediation of land 	Yes
State Environmental Planning Policy (Transport and Infrastructure) 2021 <ul style="list-style-type: none"> <input type="checkbox"/> Chapter 2 – Infrastructure <input type="checkbox"/> Chapter 3 - Educational Establishments and Child Care Facilities 	Yes Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in Non-Rural Areas

The proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

No objection was raised to the removal of a number of trees on the site subject to replacement planting. Relevant consent conditions will be imposed.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Chapter 10 – Sydney Harbour Catchment

All stormwater from the proposed development as modified can be treated in accordance with Council's Stormwater Management Code and would satisfy the relevant planning principles of Chapter 10 - Sydney Harbour Catchment.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of Land

Chapter 4 applies to the land and, pursuant to Section 4.15 of the EP&A Act 1979, is a relevant consideration.

A Preliminary Site Investigation report prepared by N.G. Child & Associates (dated 20 March 2023) accompanies the subject application.

Twenty-six soil samples were collected and examined from the surface and 600 mm depth at eight soil bore locations throughout the site. These samples were carefully examined for any indications of contamination. The key findings of this physical inspection of soil samples from the site were as follows:

- None of the twenty-six soil samples from the site provided any physical indication of contamination, either by discoloration, staining, odour or response to examination by a photoionisation detector;
- No significant indication of the introduction to or presence of contaminated fill was identified at the site;
- Asbestos fragments were not noted anywhere on the exposed site surfaces; and

On this basis, the soils at the site are assessed on a preliminary basis as being free of contamination, and soil quality at the site is considered appropriate for the childcare centre development proposed.

The report provides appropriate recommendations for demolition and any future modification or clearance of the site. Accordingly, the objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (TRANSPORT AND INFRASTRUCTURE) 2021

s2.119 – Development with a frontage to a classified road; and

The proposed development was referred to Transport for NSW in accordance with the requirements of the Infrastructure SEPP.

Concurrence was received by TfNSW (dated 4 May 2023) and (as noted elsewhere in this report) notes that the proposal does not qualify as traffic generating development under Clause 2.122, Schedule 3 of State Environmental Planning Policy (Transport and Infrastructure) 2021. Accordingly, the proposal is a matter for Council's consideration only.

Early Education And Child Care Facilities

Chapter 3 -Educational Establishments and Child Care Facilities aims to facilitate the effective delivery of educational establishments and early education and care facilities across NSW.

Clause 3.22 of the SEPP prescribes that a consent authority must not grant consent to a development for the purpose of a centre-based childcare facility, except with the concurrence of the regulatory authority, if:

- *The floor area of the building or place does not comply with regulation 107 (indoor unencumbered space requirements) of the Education and Care Services National Regulations; or*
- *The outdoor space requirements for the building or place do not comply with regulation 108 (outdoor unencumbered space requirements) of those regulations.*

The proposed development complies with the abovementioned provisions, therefore concurrence is not required.

Clause 107(2) of the Education and Care Services National Regulations contains the following provision:

The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 3.25 square metres of unencumbered indoor space.

Based on the above requirement, 146.25m² of unencumbered indoor space is required for the proposed capacity of (45) children. The proposal seeks to provide a minimum 148m² of unencumbered indoor space which exceeds the minimum unencumbered indoor space requirement and is acceptable.

Clause 108(2) of Education and Care Services National Regulations contains the following provision:

The approved provider of an education and care service must ensure that, for each child being educated and cared for by the service, the education and care service premises has at least 7 square metres of unencumbered outdoor space.

Based on the above requirement, 315m² of unencumbered outdoor space is required for the proposed capacity of (45) children. The centre proposes to provide 315m² of unencumbered outdoor space - including outdoor play equipment and other activity areas – and complies with the minimum unencumbered outdoor space requirement.

Section 3.23 of SEPP Transport and Infrastructure, Chapter 3, prescribes as follows:

Before determining a development application for development for the purpose of a centre-based child care facility, the consent authority must take into consideration any applicable provisions of the Child Care Planning Guideline, in relation to the proposed development.

An assessment of the proposal against the relevant matters for consideration as prescribed in Part 2, 3 and 4 of the Child Care Planning Guidelines are as follows:

Matter for Consideration		Comment
3.1 Site selection and location		
C1	<p><i>Objective: To ensure that appropriate zone considerations are assessed when selecting a site.</i></p> <p><i>For proposed developments in or adjacent to a residential zone, consider:</i></p>	<p>Objective is satisfied.</p> <p>The application is supported by an Acoustic Report prepared by NG Child & Associates (dated 20 March 2023) has deemed that the site will not cause “Offensive Noise’ to</p>

	<ul style="list-style-type: none"> • <i>the acoustic and privacy impacts of the proposed development on the residential properties</i> • <i>the setbacks and siting of buildings within the residential context</i> • <i>traffic and parking impacts of the proposal on residential amenity</i> 	<p>neighbouring residences provided that the noise control measures recommended in the report is implemented.</p> <p>Acoustic barriers are proposed as part of the design to minimise any possible noise disturbances to adjoining properties (see Figure 18 for reference).</p> <p>The proposal includes on-site parking to accommodate staff and visitor vehicles which is supported by Council's Traffic Engineer. The proposal does not need to rely on existing on-street parking availability to function. Vehicles are capable of entering and exiting the site in a forward motion provided by the proposed driveway along the northern boundary of the site via Woodward Avenue.</p>
C2	<p><u>Objective:</u> <i>To ensure that the site selected for a proposed child care facility is suitable for the use.</i></p> <p><i>When selecting a site, ensure that:</i></p> <ul style="list-style-type: none"> • <i>the location and surrounding uses are compatible with the proposed development or use</i> • <i>the site is environmentally safe including risks such as flooding, land slip, bushfires, coastal hazards</i> • <i>there are no potential environmental contaminants on the land, in the building or the general proximity, and whether</i> 	<p>Objective is satisfied.</p> <p>The subject site has a frontage to a classified busy road .</p> <p>The proposed land use is permissible within the R2 zone. The proposal does not generally alter the existing built form on the site and, therefore remains compatible with the existing character of the neighbourhood.</p> <p>The site is a large rectangular-shaped parcel of land providing a suitable frontage width, depth and overall size to accommodate a childcare facility. The childcare is not located near any incompatible social activities. See flooding section of SLEP 2012 section of this report for flooding details.</p> <p>See SEPP section of this report.</p>

	<p><i>hazardous materials remediation is needed</i></p> <ul style="list-style-type: none"> • <i>the characteristics of the site are suitable for the scale and type of development proposed having regard to:</i> <ul style="list-style-type: none"> - <i>size of street frontage, lot configuration, dimensions and overall size</i> - <i>number of shared boundaries with residential properties</i> - <i>the development will not have adverse environmental impacts on the surrounding area, particularly in sensitive environmental or cultural areas</i> - <i>there are suitable drop off and pick up areas, and off and on street parking</i> 	<p>The subject site is a corner allotment with two (2) open sides and a single common boundary with 99 The Boulevard and 2 Woodward Avenue respectively. Activity areas are by and large away from these boundaries.</p> <p>The proposal does not present significant environmental or cultural impacts to surrounding land use activities. Traffic related matters have been adequately addressed.</p>
C3	<p><u>Objective:</u> <i>To ensure that sites for child care facilities are appropriately located</i></p> <p><i>A child care facility should be located:</i></p> <ul style="list-style-type: none"> • <i>near compatible social uses such as schools and other educational establishments, parks and other public open space, community facilities, places of public worship</i> • <i>near or within employment areas, town centres, business centres, shops</i> • <i>with access to public transport including rail, buses, ferries</i> • <i>in areas with pedestrian connectivity to the local community, businesses, shops, services and the like.</i> 	<p>Objective is satisfied.</p> <p>The proposed childcare is located approximately 800m to Strathfield Plaza and Strathfield Railway Station. Regular bus services are available within 20m of the site.</p> <p>The site is located within close proximity to Trinity Grammar School and Santa Sabina College and Woodgreen Early Learning Centre.</p> <p>The site location is considered to be appropriate.</p>
C4	<p><u>Objective:</u> <i>To ensure that sites for child care facilities do not incur risks from environmental, health or safety hazards</i></p> <p><i>A child care facility should be located to avoid risks to children, staff or visitors and adverse environmental conditions arising from:</i></p> <ul style="list-style-type: none"> • <i>proximity to:</i> <ul style="list-style-type: none"> - <i>heavy or hazardous industry, waste transfer depots or landfill sites</i> 	<p>Objective is satisfied.</p> <p>The site is not located within close proximity to any land use which would result in adverse environmental conditions. The submitted Preliminary Site Investigation report provides recommendations to ensure the safe development of the site. These are conditioned as part of the draft consent.</p>

	<ul style="list-style-type: none"> - LPG tanks or service stations - water cooling and water warming systems - odour (and other air pollutant) generating uses and sources or sites which, due to prevailing land use zoning, may in future accommodate noise or odour generating uses 	
3.2 Local Character, Streetscape and the Public Domain Interface		
C5	<p>Objective: To ensure that the child care facility is compatible with the local character and surrounding streetscape.</p> <p>The proposed development should:</p> <ul style="list-style-type: none"> • contribute to the local area by being designed in character with the locality and existing streetscape • reflect the predominant form of surrounding land uses, particularly in low density residential areas • recognise predominant streetscape qualities, such as building form, scale, materials and colours • include design and architectural treatments that respond to and integrate with the existing streetscape • use landscaping to positively contribute to the streetscape and neighbouring amenity • integrate car parking into the building and site landscaping design in residential areas. 	<p>Objective is satisfied.</p> <p>The proposed development involves the re-purposing of an existing dwelling within the C17 - Woodward Avenue HCA.</p> <p>The proposal has sought to retain finishes and colours and the sound barrier is conditioned to be flush with the fence. Outdoor finish in neutral colours with timber accents to the front boundary fence. This will complement the prevailing development in the street.</p> <p>Council's Heritage Planner confirms the proposal is acceptable.</p>
C6	<p>Objective: To ensure clear delineation between the child care facility and public spaces.</p> <p>Create a threshold with a clear transition between public and private realms, including:</p> <ul style="list-style-type: none"> • fencing to ensure safety for children entering and leaving the facility • windows facing from the facility towards the public domain to provide passive surveillance to the street as a safety measure and connection between the facility and the community • integrating existing and proposed landscaping with fencing. 	<p>Objective is satisfied.</p> <p>The proposal includes a fence along the site's front boundary. A pedestrian entry gate is provided at the northeast corner of the site and a second entrance is provided via the Woodward Avenue secondary street frontage, with a separate driveway entrance provided to the building via Woodward Avenue. The design incorporates large, glazed windows to the façade with adequate opportunities for passive surveillance to the street.</p> <p>The proposal is for the purposes of a</p>

<p>C7</p>	<p>On sites with multiple buildings and/or entries, pedestrian entries and spaces associated with the childcare facility should be differentiated to improve legibility for visitors and children by changes in materials, plant species and colours.</p>	<p>childcare facility only with no other uses proposed on the site.</p>
<p>C8</p>	<p>Where development adjoins public parks, open space or bushland, the facility should provide an appealing streetscape frontage by adopting some of the following design solutions:</p> <ul style="list-style-type: none"> • clearly defined street access, pedestrian paths and building entries • low fences and planting which delineate communal/ private open space from adjoining public open space • minimal use of blank walls and high fences. 	<p>The proposal does not adjoin any public parks, open space or bushland to require any additional streetscape treatment to what has been proposed.</p>
<p>C9</p>	<p><i>Objective: To ensure that front fences and retaining walls respond to and complement the context and character of the area and do not dominate the public domain.</i></p>	<p>Objective is satisfied.</p>
<p>C10</p>	<p><i>Front fences and walls within the front setback should be constructed of visually permeable materials and treatments. Where the site is listed as a heritage item, adjacent to a heritage item or within a conservation area front fencing should be designed in accordance with local heritage provisions.</i></p> <p><i>High solid acoustic fencing may be used when shielding the facility from noise on classified roads. The walls should be setback from the property boundary with screen landscaping of a similar height between the wall and the boundary</i></p>	<p>The proposal seeks to provide a 1.8m high sound wall behind fence which will be flush with the existing front fence. line. The fencing is therefore considered compatible with the streetscape and appropriate in this instance.</p> <p>Existing (materials) boundary fencing to a height of 1.8m in addition to acoustic barrier walls is incorporated into the design to minimise noise impacts to adjoining residents.</p>
<p>3.3 Building Orientation, Envelope and Design</p>		
<p>C11</p>	<p><i>Objective: To respond to the streetscape and site, while optimising solar access and opportunities for shade</i></p>	<p>Objective is satisfied.</p>

	<p><i>Orient a development on a site and design the building layout to:</i></p> <ul style="list-style-type: none"> • <i>ensure visual privacy and minimise potential noise and overlooking impacts on neighbours by:</i> <ul style="list-style-type: none"> - <i>facing doors and windows away from private open space, living rooms and bedrooms in adjoining residential properties</i> - <i>placing play equipment away from common boundaries with residential properties</i> - <i>locating outdoor play areas away from residential dwellings and other sensitive uses</i> • <i>optimise solar access to internal and external play areas</i> • <i>avoid overshadowing of adjoining residential properties</i> • <i>minimise cut and fill</i> • <i>ensure buildings along the street frontage define the street by facing it</i> • <i>ensure that where a child care facility is located above ground level, outdoor play areas are protected from wind and other climatic conditions.</i> 	<p>The proposed outdoor play area is located near the common boundary of 99 The Boulevard street frontage, and frontage adequately distanced from the common Boundary with the 2 Woodward Avenue front setback.</p> <p>The proposal has been considered with respect to adjoining land uses and has been designed to minimise visual and acoustic privacy impacts to adjoining residents. Building walls around the peripheries of the site are predominantly enclosed with a nil setback proposed along the site's western side boundary. The existing building is located in the southwest bounds of the site with outdoor areas open and able to receive adequate solar access despite the east-west orientation of the site.</p> <p>Setbacks to both street frontages will be retained.</p> <p>Screen planting is proposed along the common south boundary with 99 The Boulevard to minimise visual privacy impacts and overlooking between neighbours.</p>
<p>C12</p>	<p><u>Objective:</u> <i>To ensure that the scale of the childcare facility is compatible with adjoining development and the impact on adjoining buildings is minimised.</i></p> <p><i>The following matters may be considered to minimise the impacts of the proposal on local character:</i></p> <ul style="list-style-type: none"> • <i>building height should be consistent with other buildings in the locality</i> • <i>building height should respond to the scale and character of the street</i> • <i>setbacks should allow for adequate privacy for neighbours and children at the proposed child care facility</i> • <i>setbacks should provide adequate access for building maintenance</i> • <i>setbacks to the street should be</i> 	<p>Acceptable.</p> <p>The proposal does not alter the existing building height and setbacks which is consistent with the prevailing setbacks of The Boulevard and Woodward Avenue.</p>

	<i>consistent with the existing character.</i>	
C13	<p>Objective: To ensure that setbacks from the boundary of a child care facility are consistent with the predominant development within the immediate context.</p> <p>Where there are no prevailing setback controls minimum setback to a classified road should be 10 metres. On other road frontages where there are existing buildings within 50 metres, the setback should be the average of the two closest buildings. Where there are no buildings within 50 metres, the same setback is required for the predominant adjoining land use.</p>	<p>Acceptable.</p> <p>The building retains a minimum 10.5m setback to The Boulevarde.</p>
C14	<p>On land in a residential zone, side and rear boundary setbacks should observe the prevailing setbacks required for a dwelling house.</p>	
C15	<p>Objective: To ensure that the built form, articulation and scale of development relates to its context and buildings are well designed to contribute to an area's character.</p> <p>The built form of the development should contribute to the character of the local area, including how it:</p> <ul style="list-style-type: none"> • respects and responds to its physical context such as adjacent built form, neighbourhood character, streetscape quality and heritage • contributes to the identity of the place • retains and reinforces existing built form and vegetation where significant • considers heritage within the local neighbourhood including identified heritage items and conservation areas • responds to its natural environment including local landscape setting and climate • contributes to the identity of place. 	<p>Objective is satisfied.</p> <p>The proposal does not alter the architectural character of the existing building. The proposed outdoor shade sails have been amended to an earthy colour scheme which is sympathetic to the area.</p>
C16	<p>Objective: To ensure that buildings are</p>	<p>Objective is satisfied.</p>

	<p>designed to create safe environments for all users.</p> <p>Entry to the facility should be limited to one secure point which is:</p> <ul style="list-style-type: none"> • located to allow ease of access, particularly for pedestrians • directly accessible from the street where possible • directly visible from the street frontage • easily monitored through natural or camera surveillance • not accessed through an outdoor play area. • in a mixed-use development, clearly defined and separate from entrances to other uses in the building. 	<p>The proposal provides clearly defined pedestrian entry points with separate vehicular access provided. The entry allows ease of pedestrian access directly from the street and is easily monitored via natural surveillance without the need to access through a play area. Staff can access the facility via the basement carpark and a lift core and stair is provided from ground floor to patrons.</p>
<p>C17</p>	<p><u>Objective:</u> To ensure that child care facilities are designed to be accessible by all potential users.</p> <p>Accessible design can be achieved by:</p> <ul style="list-style-type: none"> • providing accessibility to and within the building in accordance with all relevant legislation • linking all key areas of the site by level or ramped pathways that are accessible to prams and wheelchairs, including between all car parking areas and the main building entry • providing a continuous path of travel to and within the building, including access between the street entry and car parking and main building entrance. Platform lifts should be avoided where possible • minimising ramping by ensuring building entries and ground floors are well located relative to the level of the footpath. 	<p>Objective is satisfied.</p> <p>The design achieves equitable access throughout via use of ramps and lifts incorporated into the design.</p>
<p>3.4 Landscaping</p>		
<p>C18</p>	<p><u>Objective:</u> To provide landscape design that contributes to the streetscape and amenity.</p> <p>Appropriate planting should be provided</p>	<p>Objective is satisfied.</p> <p>The submitted landscape plan indicates screen hedging along the site's eastern,</p>

<p>C19</p>	<p>along the boundary integrated with fencing. Screen planting should not be included in calculations of unencumbered outdoor space.</p> <p>Use the existing landscape where feasible to provide a high quality landscaped area by:</p> <ul style="list-style-type: none"> • reflecting and reinforcing the local context • incorporating natural features of the site, such as trees, rocky outcrops and vegetation communities into landscaping. <p>Incorporate car parking into the landscape design of the site by:</p> <ul style="list-style-type: none"> • planting shade trees in large car parking areas to create a cool outdoor environment and reduce summer heat radiating into buildings • taking into account streetscape, local character and context when siting car parking areas within the front setback • using low level landscaping to soften and screen parking areas. 	<p>southern and northern boundaries which does not encroach on the unencumbered outdoor space.</p> <p>The proposal seeks a carpark which is largely hidden from street view from existing fencing and the proposed sound wall is compatible with surrounding carparks which are all provided with direct access via Woodward Avenue.</p>
<p>3.5 Visual and Acoustic Privacy</p>		
<p>C20</p>	<p><u>Objective:</u> To protect the privacy and security of children attending the facility</p> <p>Open balconies in mixed use developments should not overlook facilities nor overhang outdoor play spaces.</p>	<p>Objective is not applicable.</p>
<p>C24</p>	<p><u>Objective:</u> <i>To minimise the impact of childcare facilities on the acoustic privacy of neighbouring residential developments.</i></p> <p><i>A suitably qualified acoustic professional should prepare an acoustic report which will cover the following matters:</i></p> <ul style="list-style-type: none"> <input type="checkbox"/> <i>identify an appropriate noise level for a child care facility located in residential and other zones</i> <input type="checkbox"/> <i>determine an appropriate background noise level for outdoor play areas during times they are proposed to be in use</i> <input type="checkbox"/> <i>determine the appropriate height of any</i> 	<p>Objective is satisfied.</p> <p>The subject application is accompanied by an acoustic report.</p> <p>Council's Environmental Services Coordinator concurred with the conclusion and recommendations of this report.</p> <p>Conditions are recommended to be imposed to ensure appropriate mitigation and management of noise are achieved during the centre operations.</p>

	<p><i>acoustic fence to enable the noise criteria to be met.</i></p>	
<p>3.6 Noise and Air Pollution</p>		
<p>C25</p>	<p><u>Objective:</u> <i>To ensure that outside noise levels on the facility are minimized to acceptable levels.</i></p> <p><i>Adopt design solutions to minimise the impacts of noise, such as:</i></p> <ul style="list-style-type: none"> <input type="checkbox"/> <i>creating physical separation between buildings and the noise source</i> <input type="checkbox"/> <i>orienting the facility perpendicular to the noise source and where possible buffered by other uses</i> <input type="checkbox"/> <i>using landscaping to reduce the perception of noise</i> <input type="checkbox"/> <i>limiting the number and size of openings facing noise sources</i> <input type="checkbox"/> <i>using double or acoustic glazing, acoustic louvres or enclosed balconies (wintergardens)</i> <input type="checkbox"/> <i>using materials with mass and/or sound insulation or absorption properties, such as solid balcony balustrades, external screens and soffits</i> <input type="checkbox"/> <i>• locating cot rooms, sleeping areas and play areas away from external noise sources.</i> 	<p>Objective is satisfied.</p> <p>The childcare centre has been appropriately designed to minimise the impact of external noise sources. A series of acoustic fencing barriers have been proposed throughout the site to reduce adverse noise impacts upon adjoining land uses as discussed elsewhere in this report.</p> <p>Outdoor play areas are proposed to the central north-northeast bounds of the site so as to maximise solar access and orientate noise sources away from adjoining residential properties.</p> <p>The cot sleeping area in playroom 1 is located in the far west portion of the site away from the main outdoor play area and is adequately screened from busy congregation areas such as indoor play area 03, reception bay and other play rooms proposed for older age groups.</p>
<p>C26</p>	<p><i>An acoustic report should identify appropriate noise levels for sleeping areas and other non-play areas and examine impacts and noise attenuation measures where a child care facility is proposed in any of the following locations:</i></p> <ul style="list-style-type: none"> <i>• on industrial zoned land</i> <i>• where the ANEF contour is between 20 and 25, consistent with AS 2021 - 2000</i> <i>• along a railway or mass transit corridor, as defined by State Environmental Planning Policy (Infrastructure) 2007</i> <i>• on a major or busy road</i> <i>• other land that is impacted by substantial external noise.</i> 	

<p>C27</p>	<p><i>Objective: To ensure air quality is acceptable where child care facilities are proposed close to external sources of air pollution such as major roads and industrial development.</i></p> <p><i>Locate child care facilities on sites which avoid or minimise the potential impact of external sources of air pollution such as major roads and industrial development.</i></p>	<p>Objective is satisfied.</p> <p>The proposed childcare centre has a frontage to The Boulevard – a busy classified road and the application is accompanied by an Air Quality Assessment which states that background air quality at the 95-97 The Boulevard Strathfield site is not considered to present an environmental or health risk or hazard and is not considered to present an impediment to the development and safe operation of a childcare or early learning centre at the site.</p> <p>Landscaping has been maximised with screen planting where possible to create improved visual separation between existing developments where possible and achieve an appropriate level of amenity for children at the centre.</p>
<p>C28</p>	<p><i>A suitably qualified air quality professional should prepare an air quality assessment report to demonstrate that proposed child care facilities close to major roads or industrial developments can meet air quality standards in accordance with relevant legislation and guidelines. The air quality assessment report should evaluate design considerations to minimise air pollution such as:</i></p> <ul style="list-style-type: none"> <i>• creating an appropriate separation distance between the facility and the pollution source. The location of play areas, sleeping areas and outdoor areas should be as far as practicable from the major source of air pollution</i> <i>• using landscaping to act as a filter for air pollution generated by traffic and industry. Landscaping has the added benefit of improving aesthetics and minimising visual intrusion from an adjacent roadway</i> <i>• incorporating ventilation design into the design of the facility</i> 	<p>Objective is satisfied.</p> <p>The proposed operating hours are 7am – 6pm Monday to Friday (not inclusive of public holidays). This is considered acceptable.</p>
<p>C29</p>	<p><i>Objective: To minimise the impact of the child care facility on the amenity of neighbouring residential developments.</i></p> <p><i>Hours of operation within areas where the predominant land use is residential should be confined to the core hours of 7.00am to 7.00pm weekdays. The hours of operation of the proposed child care facility may be extended if it adjoins or is adjacent to non-residential land uses.</i></p>	<p>Objective is satisfied.</p>

<p>C30</p>	<p><i>Within mixed use areas or predominantly commercial areas, the hours of operation for each child care facility should be assessed with respect to its compatibility with adjoining and co-located land uses.</i></p>	
<p>3.8 Traffic, Parking and Pedestrian Circulation</p>		
<p>C31</p>	<p><u>Objective:</u> <i>To provide parking that satisfies the needs of users and demand generated by the centre.</i></p> <p><i>Off street car parking should be provided at the rates for child care facilities specified in a Development Control Plan that applies to the land.</i></p> <p>viii)</p>	<p>Objective is satisfied.</p> <p>Under Part E 'Child Care Centres' of the SCDCP 2005, car parking shall be provided at a rate of one (1) space per employee and one (1) visitor space per eight (8) children. In accordance with the prescribed car parking rates, the centre is to provide 12 spaces (6 staff and 6 visitors). The proposal provides a total of (11) spaces which is supported by Council's Traffic Engineers.</p>
<p>C33</p>	<p><i>A Traffic and Parking Study should be prepared to support the proposal to quantify potential impacts on the surrounding land uses and demonstrate how impacts on amenity will be minimised.</i></p> <p><i>The study should also address any proposed variations to parking rates and demonstrate that:</i></p> <ul style="list-style-type: none"> • <i>the amenity of the surrounding area will not be affected</i> • <i>there will be no impacts on the safe operation of the surrounding road network</i> 	<p>Objective is satisfied.</p> <p>A traffic report was submitted as part of the development application. The proposed shortfall of one (1) space is supported by Council's Traffic Engineer.</p> <p>Council's Traffic Manager confirmed that an increase in children / capacity will not generate a significant increase in traffic or the operational performance of the intersection of Woodward Avenue and The Boulevard.</p>
<p>C34</p>	<p><u>Objective:</u> <i>To provide vehicle access from the street in a safe environment that does not disrupt traffic flows.</i></p> <p><i>Alternate vehicular access should be provided where child care facilities are on sites fronting:</i></p> <ul style="list-style-type: none"> • <i>a classified road</i> 	<p>Objective is satisfied.</p> <p>The proposal provides vehicle access via Woodward Avenue and this has been reviewed and considered by Council's Traffic Engineer who has raised no</p>

<p>C35</p>	<ul style="list-style-type: none"> • roads which carry freight traffic or transport dangerous goods or hazardous materials. <p>The alternate access must have regard to:</p> <ul style="list-style-type: none"> • the prevailing traffic conditions • pedestrian and vehicle safety including bicycle movements • the likely impact of the development on traffic. <p>Child care facilities proposed within cul-de-sacs or narrow lanes or roads should ensure that safe access can be provided to and from the site, and to and from the wider locality in times of emergency.</p>	<p>concerns with the proposal in this regard and agrees that the proposal will not significantly disrupt traffic flows.</p> <p>In times of an emergency, staff and children can exit the site from via a pedestrian entrance Loftus Crescent via two (2) separate pedestrian entrances.</p>
<p>C36</p>	<p><u>Objective:</u> To provide a safe and connected environment for pedestrians both on and around the site.</p> <p>The following design solutions may be incorporated into a development to help provide a safe pedestrian environment:</p> <ul style="list-style-type: none"> • separate pedestrian access from the car park to the facility • defined pedestrian crossings included within large car parking areas • separate pedestrian and vehicle entries from the street for parents, children and visitors • pedestrian paths that enable two prams to pass each other • delivery and loading areas located away from the main pedestrian access to the building and in clearly designated, separate facilities • in commercial or industrial zones and mixed use developments, the path of travel from the car parking to the centre entrance physically separated from any truck circulation or parking areas • vehicles can enter and leave the site in a forward direction. 	<p>Objective is satisfied.</p> <p>The existing off-street car parking spaces are appropriately separated from the main entrance of the child care centre by means of a separate driveway entrance from Woodward Avenue and a separate pedestrian entrance via Woodward Avenue. A 1.8m high fence is provided along the site's front and secondary street boundaries and a 1.8m fence is proposed along all remaining perimeters of the site to maintain child safety.</p> <p>The parking design provides for 1 accessible parking space located with ample direct access to the proposed ground floor lift. Visitor parking spaces, openings to the basement lobby as well as openings to the ground floor reception and lounge area are pram accessible.</p>
<p>C38</p>	<p>Car parking design should:</p>	<p>Parking is separate to the ground floor play</p>

<ul style="list-style-type: none"> • include a child safe fence to separate car parking areas from the building entrance and play areas • provide clearly marked accessible parking as close as possible to the primary entrance to the building in accordance with appropriate Australian Standards • include wheelchair and pram accessible parking 	<p>areas and the design achieves minimal conflicts with pedestrians.</p>
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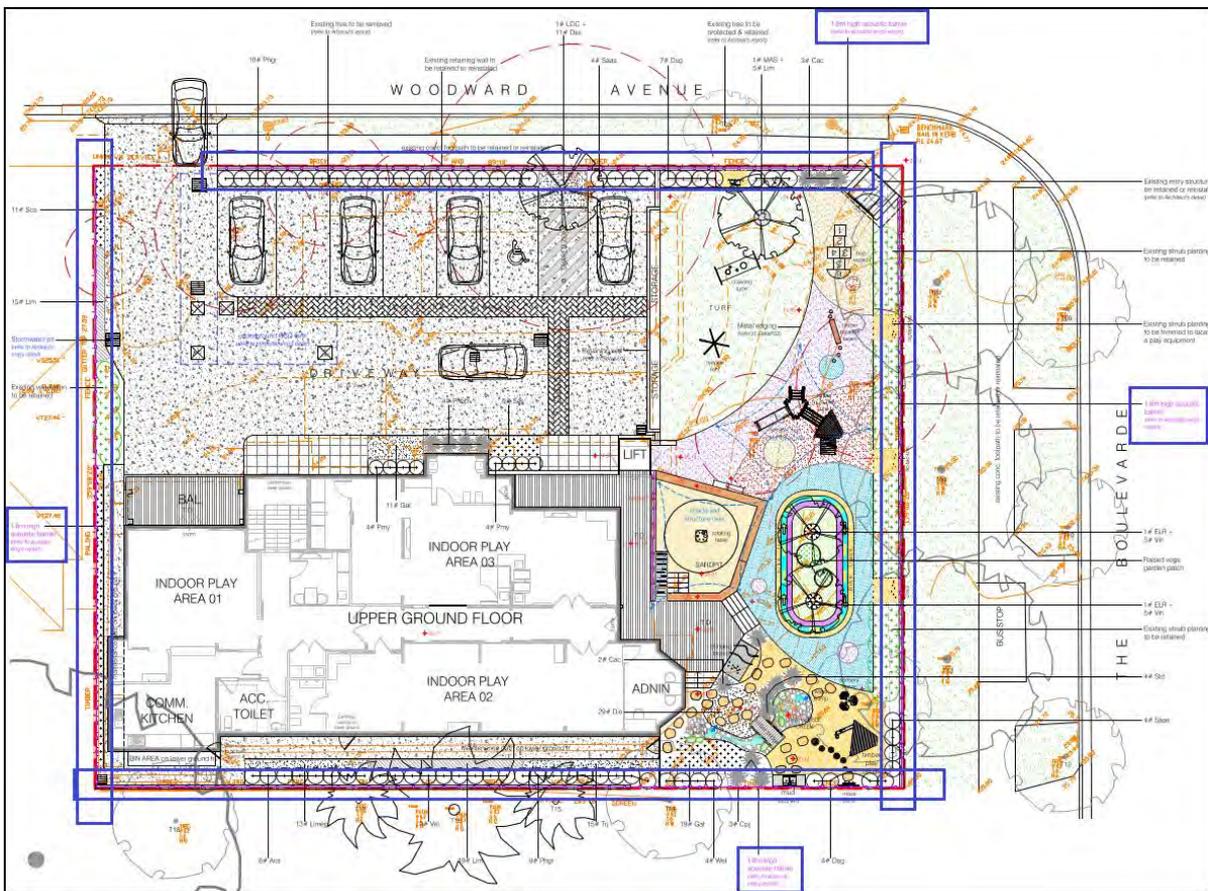


Figure 18: Proposed acoustic barrier (highlighted in blue)

3.26 Centre-based child care facility—non-discretionary development standards

- (1) *The object of this clause is to identify development standards for particular matters relating to a centre-based child care facility that, if complied with, prevent the consent authority from requiring more onerous standards for those matters.*
- (2) *The following are non-discretionary development standards for the purposes of section 4.15(2) and (3) of the Act in relation to the carrying out of development for the purposes of a centre-based child care facility—*
 - (a) **location**—*the development may be located at any distance from an existing or proposed early education and care facility*

With regard to point (a) above, the proposal is located within close proximity to any existing childcare facility.

(b) indoor or outdoor space

- (i) for development to which regulation 107 (indoor unencumbered space requirements) or 108 (outdoor unencumbered space requirements) of the Education and Care Services National Regulations applies—the unencumbered area of indoor space and the unencumbered area of outdoor space for the development complies with the requirements of those regulations, or
- (ii) for development to which clause 28 (unencumbered indoor space and useable outdoor play space) of the Children (Education and Care Services) Supplementary Provisions Regulation 2012 applies—the development complies with the indoor space requirements or the useable outdoor play space requirements in that clause.

With regard to (b) above, the proposal complies with the indoor and outdoor unencumbered space areas required for the site and is acceptable in this regard.

The proposal has been assessed against the relevant provisions of the Infrastructure SEPP and is satisfactory.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012 and is consistent with the aims of this plan.

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2 - Low Density Residential and the proposal is a permissible form of development with Council’s consent. The proposal being for the purposes of a centre-based childcare facility aligns with the objectives of the zone which seeks to provide a variety of land uses which provide facilities or services that meet the day to day needs of residents.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.1A Minimum lot size	N/A	1178m ²	There is no numeric requirement for a childcare facility under this Clause.
4.3 Height of Buildings	16m	8.2m	Yes
4.4 Floor Space Ratio	Site area 1,178m ² 0.5:1 (589m ²)	0.46:1 (544m ²)	Yes

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is mapped within the *C17 - Woodward Avenue* Heritage Conservation Area - as listed in Schedule 5(2) of the SLEP 2012. The application is accompanied by a Statement of Heritage Impact prepared by Heritage 21 (dated February 2023). The heritage assessment for the proposed development was completed by Council's Heritage Planner and informed by the Pre-DA advice of Council's former Specialist Heritage Planner. The proposed works are satisfactory subject to the imposition of a number of conditions, which have been included in the draft conditions of consent.

It is considered that the proposed works, as amended and conditioned, satisfactorily address the provisions of this Clause.

Flood Planning

The subject site has been identified as being at or below the flood planning level. A Flood Impact Assessment was prepared and submitted during the assessment process having consideration for the proposal and the flood affectation of the site.

A Flood Study prepared by KD Stormwater Pty Ltd. (dated March 2023) accompanies the proposal. As the existing modelling results indicate the bulk of overland flow traverses western part of the site, the proposed bunds in the eastern part are not expected to cause any significant flood impacts.

Hydrological and hydraulic analyses have been performed for the development in conjunction with the Council's flood data. The modelling results demonstrate that the development does not cause adverse flood impacts to the neighbouring properties.

The application has been reviewed by Council's Engineer who has advised that subject to suitable conditions, the development is considered compatible with the flood hazard of the land, will not result in significant adverse effects on flood behaviour or environment and is not likely to result in unsustainable social and economic loss. The proposed development is considered to satisfy the objectives of this clause.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves excavation works for the removal of an existing swimming pool and treatment for a new carpark. The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls. The proposed works are unlikely to disrupt or effect existing

drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

Section 3.27 of the Transport and Infrastructure SEPP - Centre-based child care facility—development control plans states the following:

- (1) A provision of a development control plan that specifies a requirement, standard or control in relation to any of the following matters (including by reference to ages, age ratios, groupings, numbers or the like, of children) does not apply to development for the purpose of a centre-based child care facility—*
 - (a) operational or management plans or arrangements (including hours of operation),*
 - (b) demonstrated need or demand for child care services,*
 - (c) proximity of facility to other early education and care facilities,*
 - (d) any matter relating to development for the purpose of a centre-based child care facility contained in—*
 - (i) the design principles set out in Part 2 of the Child Care Planning Guideline, or*
 - (ii) the matters for consideration set out in Part 3 or the regulatory requirements set out in Part 4 of that Guideline (other than those concerning building height, side and rear setbacks or car parking rates).*
- (2) This section applies regardless of when the development control plan was made*

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within Part E – Childcare Centres. For all other controls, the SEPP and Guideline override council DCPs where they cover the same matters. Thus this confirms that in the event of any inconsistency between the SEPP and Council DCP, the

principles, objectives and regulations set out under the SEPP and Guideline prevail. The remaining matters of relevance provided in Part E of SCDCP 2005 are addressed in the table below.

Part E – Child Care Centres

1.2: Objectives of Part E

1.2	Objectives	Satisfactory
A.	<i>To encourage the provision of child care centres to meet the needs of the community and ensure that such centres will be appropriate for the purpose and provide a functional and pleasant environment for users.</i>	Yes
B.	<i>To ensure that there is a consistent approach to the provision, construction and approval of child care centres.</i>	Yes
C.	<i>To ensure that child care centres are compatible with neighbouring land uses.</i>	Yes
D.	<i>To ensure the amenity of adjoining neighbours is retained (including protection of privacy, access to property, etc) and is not detrimentally affected by noise emissions from the site.</i>	Yes
E.	<i>To ensure child care centres are located with adequate, convenient and safe parking for visitors that do not impose on any residential neighbourhoods or commercial areas.</i>	Yes
F.	<i>To ensure that child care centres integrate into existing residential environments and are unobtrusive in terms of size, bulk, height and the amount of landscaped area provided.</i>	Yes
G.	<i>To provide child care centres that are located or designed so as not to pose a health risk to children using the centre.</i>	Yes
H.	<i>To retain and protect significant existing vegetation in the Strathfield Municipality.</i>	Yes

Comments: Development is acceptable in this regard. The proposed design responds appropriately to the site and environmental impacts such as noise are mitigated appropriately.

5.1: Site Analysis and Design Principles

5.1	Objectives	Satisfactory
A.	<i>To ensure that the site layout and building design consider the existing characteristics, opportunities and constraints of the site and the surrounds which will result in a design sensitive to its environment and of high visual quality</i>	Yes
B.	<i>To ensure that a child care centre is compatible with the bulk, scale and height of existing buildings in the surrounding area</i>	Yes
C.	<i>To ensure that the amenity of neighbours is maintained</i>	Yes
5.1	Guidelines	Complies
	<i>Design Principle</i>	
	Council will consider the results of the site analysis and in order for Council to	

		grant development consent it must be satisfied that:	
	1	The bulk, scale, height, character and external detailing of the development is compatible with the character of development within the vicinity, including any adjoining items of environmental heritage or conservation areas	Yes
	2	The child care centre design is generally consistent and sympathetic with the existing streetscape character of the locality	Yes
	3	The development is unlikely to adversely affect the amenity of any existing development in terms of overshadowing, privacy, excess noise, loss of views or otherwise.	Yes
	4	Adequate screening has been provided where balconies and decks cause privacy concerns for adjoining properties.	Yes

Comments: The existing character of the streetscape features predominantly low-density residential development. The overall existing design, style and external finishes palate is to a high standard and remains commensurate with existing development in the streetscape.

5.2: Site Requirements

5.2	Objectives		Satisfactory
A.	<i>To ensure that the relationship between a child care centre and adjoining land uses is favourable in terms of traffic, parking and noise impacts</i>		Yes
B.	<i>To ensure that a child care centre is located where it is safe for children and has a minimal impact on traffic and the amenity of residents.</i>		Yes
5.2	Guidelines		Complies
	1	Child care centres are not favoured on classified roads or within 30 metres of a classified road.	See discussion
	2	Child care centres are not favoured in residential cul-de-sacs.	N/A
	3	Child care centres are not favoured adjoining service stations or heavy industrial developments	N/A
	4	In residential areas, a minimum site area of 1,000 m ² is required in order to overcome the potential problem of noise and nuisance.	Yes
	5	In commercial areas, the site area shall be determined by the requirements of the Centre Based and Mobile Child Care	N/A

		Services Regulation (No 2) 1996, as amended in May 1997.	
	6	Sites other than corner sites need to have a minimum width of 25 metres.	Yes
	7	Child care centres shall be set back a minimum of 4 metres from side and rear boundaries.	No – refer below
	8	The entry areas of a child care centre should be setback at least 12 metres from the front boundary line. A 9 metre setback may be considered by Council where it can be shown that the objectives of section 5.6 of Part E can be achieved.	A 14m front setback is proposed to the second Woodward Avenue pedestrian entry from The Boulevard.
	9	Child care centres will not be allowed on sites with existing swimming pools and swimming pools proposed within child care centre developments will not be permitted due to DOCS licensing standards.	Noted

5.2	Requirements		Complies
	1	Minimum site area of 1000m ² .	1,178m²
	2	Sites other than corner sites require a minimum width of 25 metres.	Yes
	3	Minimum side and rear boundary setback of 4 metres.	1.8m to 0.5m 9.5m rear setback provided to 99 The Boulevard. Nil setback to southwest corner with 2 Woodward Avenue.
	4	Minimum entry area setback from front boundary line of 12 metres.	14m to secondary street entrance

Comment: The proposal complies with the SEPP guidelines for child care centres located with a frontage to classified roads. The proposal seeks to retain 1.8m to nil setback along sections of the southern boundary and western boundary of the site. The recommended noise attenuation measures as outlined in the submitted acoustics report are supported by Council's Environmental Health Coordinator this is considered acceptable in this instance.

5.4: Site Contamination

5.4	Objectives		Satisfactory
A.	<i>To ensure that a site is a safe and healthy environment for children.</i>		Yes
5.4	Guidelines		Complies
	1	Where a child care centre is proposed on a site that is identified as potentially unhealthy or contaminated, an environmental site contamination assessment is produced to Council by the applicant to demonstrate that the site is environmentally safe and is suitable for use as a child care centre.	Yes

Comments: Refer to previous Resilience and Hazards SEPP assessment and PSI comments elsewhere in this report.

5.5: Environmental Hazards

5.5	Objectives		Satisfactory
A.	<i>To minimise the possible adverse health effects to children of electromagnetic radiation emitted from telecommunication facilities.</i>		Yes
5.5	Guidelines		Complies
	1	Child care centre is no closer than 300 metres to existing mobile phone towers or antennas or transmission line easements or other similar electromagnetic radiation sources.	Yes

Comments: The centre is not located in close proximity to any mobile phone towers or transmission line easements.

5.6: Traffic, Parking and Access

5.6	Objectives		Satisfactory
A.	<i>To ensure that the relationship between child care centres and adjoining land uses are favourable in terms of parking, traffic and vehicular access</i>		Yes
B.	<i>To ensure that a child care centre is safe for children</i>		Yes
5.6	Guidelines		Complies
	1	Car parking shall be provided at a rate of 1 space per employee	Supported by

	(stack parking is permitted for staff parking) and 1 visitor space per 8 children or part thereof (stack parking is not permitted for parents or guardians).	Traffic Engineers
2	Two (2) additional parking spaces have been provided for any associated residence	N/A
3	Dimensions of parking spaces and vehicle access areas shall comply with Part I - Provision of Off-street Parking Facilities.	Noted
4	The centre has been designed to allow the safe drop off and collection of children and safe movement and parking of staff, parents, visitors and service vehicles.	Yes
5	Parking spaces and vehicle access points are located to ensure the safe movement of children to and from the centre.	Yes
6	Standing areas for the dropping off and collecting of children have been provided.	Yes
7	All vehicles shall move in a forward direction on the site at all times.	Yes
8	Access for people with disabilities provided to allow continuous wheelchair access from the street, car park, building entry and into individual playrooms and toilets.	Yes
9	Parking and vehicle access areas separated from any area used by children by safety fencing and gates	Yes
10	If appropriate, pedestrian safety measures shall be installed.	Yes

5.6	Requirements	Complies
1	The optimal height for a child care centre is 1 storey	No
2	The maximum height for a child care centre is 2 storeys (9.5 metres from natural ground level to ridge of the roof).	Yes

Comments: The submitted Access Report demonstrates that the proposal can achieve equitable access through the site. The proposed childcare will utilise the upper floor of the two-storey building and is considered appropriate in effectively carrying out the day-to-day activities required for the centre.

SEPP prevails in regard to height consideration/two-storey outcome.

5.8: Licensing Standards and Internal Layout

5.8	Objectives		Satisfactory
A.	<i>To ensure that a Child Care Centre that has received development consent will be able to be licensed under the Children (Care and Protection) Act 1987</i>		Noted
B.	<i>To ensure that children using a child care centre receive appropriate care</i>		Noted
5.8	Guidelines		Complies
	1	For a Child Care Centre to be licensed under the Children (Care and Protection) Act 1987, the centre shall satisfy the requirements of the NSW DOCS	Noted

Comments: Conditions of consent recommended to ensure the site attains the appropriate licensing prior to its operation.

5.9: Noise

5.9	Objectives		Satisfactory
A.	<i>To protect neighbours from excessive noise by ensuring that noise from a child care centre is not created by additional traffic, activities on and off the site and children's activities on site.</i>		Yes
5.9	Guidelines		Complies
	<i>Protecting Neighbours from Excessive Noise</i>		
	1	Access points are located so as to minimise disruption to neighbours	Yes
	2	Playground areas are appropriately located	Yes
	3	Appropriate location of windows and doors	Yes
	4	No public address systems have been installed at the centre	Yes
	5	The use of fencing and landscaping to reduce the impact of noise	Yes
	6	The proposed hours of operation, particularly the impact of early morning starting times	Yes

5.9	Objectives	Satisfactory
A.	<i>To protect children from excessive noise which may be generated by proximity to roads, industrial premises, aircraft or rail operations.</i>	Yes

5.9	Guidelines	Complies
	<i>Protecting The Child Care Centre from Excessive Noise</i>	
1	Site has been chosen which protects children from excessive noise.	Yes
2	Where the centre is affected by excessive noise, the centre is designed to minimise the impact of that noise source.	Yes
3	Details of any mitigation measures have been submitted in the Statement of Environmental Effects.	Yes
4	In situations where noise may be excessive from surrounding areas, an acoustic consultant's report may be required.	Yes
5	Where sites are adjoining or adjacent to railway land, the State Rail publication entitled Rail Related Noise and Vibration; Issues to consider in Local Environmental Planning - Development Applications and Building Applications have been considered.	N/A

Comments: Refer to previous discussion under Childcare Planning Guidelines. The proposal will comply with the design recommendations made in the submitted Acoustic Report to minimise noise disruption to adjoining residents. Acoustic barriers are proposed around the site to minimise excessive noise where possible. The submitted Plan of Management notes a restriction placed on the number of children (15 x 2-3 year olds) to be playing outdoors at any given time. Children will be placed in different groupings to ensure all receive an acceptable level of outdoor play throughout the day.

5.10: Outdoor Play Areas

5.10	Objectives	Satisfactory
A.	<i>To protect children from excessive noise which may be generated by proximity to roads, industrial premises, aircraft or rail operations.</i>	Yes

5.10	Guidelines	Complies
1	Outdoor play areas are not located so that they are adjacent to the living/bedroom areas of adjoining residents, busy roadways/driveway areas and other potential noise or pollution sources.	Yes
2	An outdoor play area shall be provided in each child care centre development, having space for the following areas, equipment and facilities:	

	(i)	An open flat grassed area for running.	Yes
	(ii)	Quiet play areas for focused play (including a sandpit).	Yes
	(iii)	A formal quiet area for contained play (eg finger painting).	Yes
	(iv)	An active area for busy physical play which includes some paved surfaces for wheeled toys and suitable play equipment with impact absorbent material beneath.	Yes
	(v)	A transition zone from indoor and outdoor areas for covered outdoor play.	Yes
		The transition zone shall be a veranda with a minimum width of 4 metres.	
	(vi)	A baby/toddler area which is flat, soft and separated from older children.	Yes
	(vii)	Secure fencing (refer to section 5.12 of Part E).	Yes
	3	A variety of surfaces, such as grass, sand, hard paving and moulding shall be provided in outdoor play areas. The heat absorption qualities and texture of materials must be suitable, with surfaces such as bitumen being avoided.	Yes
	4	Outdoor play areas are not occupied by any motor vehicles during operating hours.	Yes
5	Outdoor play areas shall have immediate access to toilets.	Yes	
6	Where possible, outdoor play areas shall be located to the north or north-east of the site to ensure that play areas receive adequate sunlight.	Yes	
7	Outdoor play areas shall be designed to allow constant supervision and access to children by staff.	Yes	
8	Outdoor play areas shall utilise the site's natural features (where possible).	Yes	
9	Attention given to the design and construction of outdoor play areas, to provide a variety of experiences for children.	Yes	
10	Outdoor play areas are shaded in accordance with the conditions of the NSW Cancer Council and the NSW Health Department publication Under Cover: Guidelines For Shade Planning and Design.	Yes	

Comments: The proposal provides a large outdoor play area with a variety of activity stations throughout the facility. A landscape plan was prepared and submitted with the application demonstrating the variation in textures and materials provided for outdoor play areas (see **Figure 18**).

5.11: Landscaping and Vegetation

5.11	Objectives		Satisfactory	
A.	<i>To improve the overall visual amenity of Strathfield Municipality</i>		Yes	
B.	<i>To protect existing significant vegetation</i>		Yes	
C.	<i>To protect the privacy of any adjoining residences</i>		Yes	
D.	<i>To aid in noise abatement</i>		Yes	
5.11	Guidelines		Complies	
	Ofj.0fj.1	All development shall be in accordance to the Strathfield Landscaping Code.	Yes	
	2	Landscaping shall be in keeping with adjoining developments.	Yes	
	3	Landscaping and fencing shall be designed to provide a noise barrier and privacy screen for adjoining residents. In residential zones, or on land adjoining residential zones, a 1.5 metre landscaping strip shall be provided on all boundaries to help with noise abatement and privacy	Yes	
	4	Existing natural features and significant vegetation of a site shall be conserved where possible to help increase the amenity of the area. Where appropriate existing trees are retained and incorporated as shade elements in outdoor play areas.	Yes	
	5	Plant species shall be chosen for their suitability to the site, ease of maintenance and interest to children.	Yes	
	6	Plant species shall not be toxic, allergic, prickly or otherwise unsafe for children.	Yes	
	7	When choosing plant species, the following shall also be considered:		
		(i)	Protection from prevailing winds	Yes
		(ii)	Shelter and enclosure	Yes
		(iii)	Shade	Yes

		(iv)	Reduction of reflection from bright surfaces	Yes
		(v)	Emphasis of pedestrian and vehicular routes	Yes
		(vi)	Ensure visibility of play areas	Yes
	8	A Detailed Landscape Plan prepared by a suitably qualified landscape professional submitted. The plan includes the following details:		
		(i)	The location of play areas, equipment and facilities within the outdoor play area	Yes
		(ii)	Details of boundary fencing to adjoining properties	Yes
		(iii)	The location of the drop off/pick up area, including the location and design of safety fencing and gates to separate the area from play areas	Yes

5.11	Requirements		Complies
	1	All development shall be in accordance with the Strathfield Landscaping Code.	Yes
	2	In residential zones, or on land adjoining residential zones, a 1.5 metre landscaping strip shall be provided on all boundaries to help with noise abatement and privacy.	See discussion

Comments: A detailed landscape plan was submitted as part of the subject application illustrating various indoor and outdoor landscaped spaces comprised of hardstand and soft surface landscaping. The outdoor play area does not provide a 1.5m landscape buffer, however, this area is located closest to The Boulevard eastern street frontage including in the southeast corner of the site (adjoining 99 The Boulevard front setback). In this instance, acoustic impacts are considered acceptable given the proximity to an existing classified busy road.

5.12: Fencing and Gates

5.12	Objectives		Satisfactory
A.	To ensure the child care centre provides a safe environment for children		Yes
B.	To minimise access by children to dangerous areas		Yes

5.12	Guidelines		Complies
	1	Outdoor play areas must be fenced on all sides by fencing of at least 1800 mm in height.	Yes

	2	No play equipment shall be located adjacent to a fence if, by doing so, it reduces the effective height of the fence and enables it to be scaled.	Yes
	3	All gates leading to or from play areas shall be equipped with child self-locking mechanisms.	Noted

5.12	Requirement		Complies
	1	Outdoor play areas must be fenced on all sides by fencing of at least 1800 mm in height.	Yes

Comments: The proposal will retain the existing 1.8m masonry and timber fence with 1.8m acoustic wall behind. This ensures all outdoor play areas are suitable and safe for children of the centre. Compliance with the regulations, which is outside the scope of this assessment, will address gate lock requirements.

5.13: Safety And Health

5.13	Objectives		Satisfactory
A.	<i>To ensure that the site and building provide a safe and healthy environment for children</i>		Yes
B.	<i>To minimise access to dangerous areas and substances by children.</i>		Yes

5.13	Guidelines		Complies
	1	Safety balustrades have been provided on all balconies and raised areas.	Yes
	2	Kitchen areas have been separated from play areas in accordance with NSW DOCS requirements.	Yes
	3	Dangerous substances such as detergents and cleaning materials have been securely stored	N/A
	4	Fire safety egress and equipment have been installed in accordance with the Building Code of Australia.	Noted
	5	Outdoor play equipment complies with current Australian Standards, notably AS 1924 Playground Equipment for Parks, Schools and Domestic Use, Part 1 General Requirements and Part 2 Design Construction - Safety Aspects; AS/NZS 4422 - Playground Surfacing - Specifications, Requirements and Test Methods; and AS/NZS 4486 - Playgrounds and Playground Equipment.	Noted

Comments: Conditions regarding BCA and National regulatory requirements are enforced at Construction Certificate and Occupation Certificate stages.

5.14: Stormwater Drainage and Control

5.14	Objectives	Satisfactory
A.	<i>To ensure that the site (including buildings) is adequately drained and to plan, implement and maintain a stormwater drainage system which adequately serves the needs of the subject site without detrimental impact on adjoining properties.</i>	Yes

5.14	Guidelines	Complies
	1 All child care centre developments are in accordance with the requirements of Council's Stormwater Management Code.	Noted
	2 A general concept plan for drainage has been submitted with each development application for a child care centre.	Noted

Comments: The application was referred to Council's Stormwater Engineer for comment. No concerns were raised subject to the imposition of conditions of consent.

5.15: Signage

5.15	Objectives	Satisfactory
A.	<i>To ensure that any signage proposed with the child care centre does not dominate the building or the streetscape.</i>	N/A

5.15	Guidelines	Complies
	1 Applicants shall refer to the Strathfield Planning Scheme Ordinance 1969 and Part J - Erection and Display of Advertisements and Advertising Structures for guidelines for signage.	N/A

Comments: The submitted SEE advises that advertising signage will be lodged under a separate development application.

5.16: Hours of Operation

5.16	Objectives	Satisfactory
A.	<i>To protect the amenity of adjoining residential neighbours.</i>	Yes

5.16	Guidelines	Complies
	1 Where a child care centre is proposed within a residential area or adjoining a residential area, the hours of operation shall be	Yes

		limited to 7 am to 6 pm, Monday to Friday	
	2	Where an application is submitted with operating hours outside the above mentioned times, a noise impact assessment is produced to demonstrate that the hours of operation will not adversely impact upon any adjoining residential neighbours.	Noted

Comments: The proposed operating hours are 7am – 6pm Monday to Friday (not inclusive of public holidays). **5.17: Maximum number of children**

5.17	Objectives	Satisfactory
A.	<i>To ensure that child care centres integrate into existing residential environments and are unobtrusive in terms of size and operation</i>	Yes
B.	<i>To ensure that the amenity of neighbours is maintained.</i>	Yes

5.17	Requirement	Complies
	1 The maximum number of children using a child care centre at any one time shall not exceed thirty (30).	No – SEPP overrules

Part Q – Urban Design Controls

2: Built Form Controls

2.1.1	Objectives	Satisfactory
A.	To ensure that development adjacent to the Public Domain complements the landscape character, public use and enjoyment of that land.	Yes
B.	To enhance the quality of the Public Domain.	Yes
C.	To ensure the Public Domain is attractive, safe, interesting, comfortable, readily understood and easily accessed.	Yes
2.1.2	Design Guidelines	Complies
1.	All development applications involving substantial external changes that are visible from or effect public space, or have significant land use implications, must be designed in accordance with this DCP Part Q to ensure a positive contribution to the public environment.	Yes
2.	Development is to be designed to address elements of the public domain, including the building interface between private and public domains, circulation patterns and access ways, gateways, nodes, edges, landscape features, heritage items, ground floor activity and built form definition to the street.	Yes
3.	Public access to the public domain is to be maximised.	Yes

4.	Development is to be located to provide an outlook to the public domain, without appearing to privatise that space.	Yes
5.	Development is to provide passive surveillance to the public domain. Where appropriate, ground floor areas abutting public space should be occupied by uses that create active building fronts with pedestrian flow and contribute to the life of the streets and other public spaces.	Yes
6.	Continuous lengths of blank walls and fences at the public domain interface are to be avoided.	Yes

2.2: Streetscape

2.2.1	Objectives	Satisfactory
A.	To ensure that all development contributes positively to the street and locality.	Yes
B.	To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment.	Yes
C.	To increase the legibility of streetscapes and urban spaces so that the interrelationship between development and the Public Domain is visually coherent and harmonious.	Yes
D.	To maximise opportunities for buildings to define the Public Domain.	Yes
E.	To encourage attractive street frontages and improve pedestrian amenity	Yes
2.2.2	Development Controls	Complies
1.	Building height at the street frontage and building alignment must maintain a compatible scale with adjacent development, whilst having regard to this Plan's height controls;	Yes
2.	Buildings and fences must be designed to complement and/or visually improve existing streetscapes	Yes
3.	Development must respond and sensitively relate to the broader urban context including topography, block patterns and subdivision, street alignments, landscape, views and vistas and the patterns of development within the area.	Yes
4.	Building design and landscaping must be in harmony with the form, mass and proportions of the streetscape.	Yes
5.	New buildings must recognise and reinforce the elements of facades within the street. Designs must have regard to the horizontal and vertical proportions of building elements which create the visual scene	Yes

6.	New buildings must recognise and reinforce the elements of facades within the street. Designs must have regard to the horizontal and vertical proportions of building elements which create the visual scene	Yes
7.	Buildings on corner sites must be designed and articulated to address each street frontage and must define corners (refer Figure 4).	Yes
8.	Development adjoining land use zone boundaries must provide a transition in form, height, scale, appearance, materials and setbacks with adjoining development and the Public Domain	Yes
9.	Buildings must be constructed of suitably robust and durable materials which contribute to the overall quality of the streetscape	Yes
10.	The use of security devices, such as roller shutters or grilles on shopfronts, shall not compromise natural surveillance of streets and public places. Solid roller shutters will not be permitted as security devices on shop fronts (windows and doors).	Yes
11.	Where side setbacks are an important part of the local streetscape character, these are to be maintained	Yes

Comment: The proposal involves the adaptive reuse of an attractive and well-articulated historic building which will be embellished by high quality landscaping. The development provides a clear and prominent entrance from Woodward Avenue and will present nicely to the streetscape.

2.4: Building Envelope

2.4.1	Objectives	Satisfactory
A.	To ensure the scale and bulk of future development is compatible with site conditions, surrounding development and the existing and desired future character of the streetscape and locality.	Yes
2.4.2	Development Controls	Complies
1.	The bulk and scale of any development must reflect the existing and future character of the existing street and surrounding locality	Yes
2.	The bulk and scale of any development must be compatible with the amenity of the immediately and surrounding locality.	Yes
3.	Buildings must not be designed to be outside the building envelope even if they do not achieve 100% of the permissible Gross Floor Area (GFA) or maximum height permitted.	Yes

Comment: The bulk and scale is significantly less than that of the existing dwelling.

3.3: Visual and Acoustic Privacy

3.3.1	Objectives	Satisfactory
A.	To ensure that development does not cause unreasonable overlooking of habitable rooms and principal private open spaces of dwellings.	Yes
B.	To ensure that visual privacy is provided both within a development and between a development and its neighbours.	Yes
C.	To ensure that the siting and design of development minimises the impacts of noise transmission between properties.	Yes
3.3.2	Development Controls	Complies
1.	New development must ensure adequate visual and acoustic privacy levels for neighbours and residents	Yes
2.	Development must be located, oriented and designed to maximise visual and acoustic privacy between buildings.	Yes
3.	The internal layout of buildings must be designed to minimise overlooking of living areas, private open spaces and adjoining school yards.	Yes
4.	Building elements such as balconies and decks must be designed to minimise overlooking of living areas, private open spaces of adjoining dwellings and adjoining school yards	Yes
5.	The windows of dwellings must be located so they do not provide direct and close views into the windows of other dwellings, particularly those of living areas.	Yes
6.	Building design elements shall be used to increase visual and acoustic privacy such as recessed balconies and/or vertical fins between adjacent balconies, oblique windows, fencing, vegetation and louvres and pergolas which limit overlooking of lower dwellings, private open space and adjoining school yards (refer Figure 10).	Yes
7.	The internal layout of buildings including windows must be designed so as to reduce the effects of noise transmission. For example, dwellings with common party walls should locate noise generating rooms such as living rooms adjacent the noise generating rooms of other dwellings	Yes
8.	Appropriate building materials shall be used to provide acoustic privacy.	Yes

3.5	Solar access and cross ventilation	
3.5.1	a. To provide thermal comfort for occupants. b. To ensure that development does not unreasonably diminish sunlight to neighbouring properties and within the development site.	Yes

	<p>c. To ensure that sunlight access is provided to private open space and habitable rooms to improve amenity and energy efficiency.</p> <p>d. To ensure sufficient volumes of fresh air circulate through buildings to create a comfortable indoor environment and to optimize cross ventilation.</p> <p>e. To ensure that sunlight access is provided to the Public Domain.</p>	
<p>3.5.2</p>	<p>1) Development must be designed and sited to minimise the extent of shadows that it casts on: - private and communal open space within the development; - private and communal open space of adjoining dwellings; - significant areas of the Public Domain, such as main streets, open space and plaza areas, main pedestrian links etc; - solar collectors of adjoining development; and - habitable rooms within the development and in adjoining developments. Note: Building setbacks may need to be increased to maximise solar access and to minimise overshadowing from adjoining buildings. Building heights may also need to be stepped to maximise solar access.</p> <p>2) Generally, dwellings within the development site and adjoining properties are to receive a minimum of 3 hours sunlight in habitable rooms and in at least 50% of the private open space between 9am and 3pm on 21 June. Where existing development currently receives less sunlight than this requirement, this should not be unreasonably reduced. In order to demonstrate that this can be achieved, shadow diagrams may be required with the development application.</p> <p>3) Living areas of dwellings such as kitchens and family rooms shall be located on the northern side of dwellings and service areas such as laundry and bathrooms to the south or west.</p> <p>4) In habitable rooms, head and sill heights of windows must be sufficient to allow sun penetration into rooms.</p> <p>5) Landscaping must provide shade in summer without reducing solar access in winter.</p> <p>6) Buildings must have narrow cross sections, providing dual aspect for dwellings to allow for cross ventilation.</p> <p>7) Buildings must be orientated to benefit from prevailing breezes.</p> <p>8) All rooms must contain an external window to provide direct light and ventilation. Exceptions may be considered for non-habitable rooms where this cannot be achieved practicably and mechanical ventilation can be provided.</p> <p>9) Natural cross ventilation shall be achieved by locating window openings in opposing walls and in line with each other.</p> <p>10) Building elements such as operable louvres and screens, pergolas, blinds etc shall be used to modify environmental conditions where required, such as maximising solar access in winter and sun shading in summer.</p>	<p>Yes</p>

Comments: Refer to previous comments under Childcare Guideline controls.

3.9: Landscaping

3.9.1	Objectives	Satisfactory
A.	To enhance the existing streetscape and promote a scale and density of planting that softens the visual impact of buildings	Yes
B.	To ensure developments make an equitable contribution to the landscape setting of the locality	Yes
C.	To maximise the provision of open space for recreational needs of the occupier and provide privacy and shade	Yes
3.9.2	Development Controls	Complies
1.	The design, quantity and quality of open space must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.	Yes
2.	Existing trees within the front setback shall be retained. Front setback areas must contain at least two (2) canopy trees adjacent the front boundary and comprise at least 50% of the setback is to be for deep soil planting.	Yes
3.	Existing trees on Council's Road Reserve area must be retained and protected. New driveway locations that necessitate removal of a Council street tree will not be supported.	Yes
4.	In higher density areas the provision of adequate private open space and landscaped areas must maximise residential amenity. Site works must be minimised to protect natural features.	N/A
5.	Landscaping must be designed to protect the amenity of existing and future residents and minimise the impact of new development, including alterations and additions, on privacy, views, solar access and general amenity of adjoining and nearby properties including noise and vibration impacts.	Yes
6.	Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained.	Yes
7.	In areas adjacent to native habitat, the design of development must be sympathetic to the natural environment in order to protect and enhance the area as habitat for native fauna	Yes
8.	In relation to conservation and energy efficiency, plant species must be retained, selected and planted to achieve: <ul style="list-style-type: none"> • shaded buildings in summer; • reduced glare from hard surfaces; • sunlight access into living rooms in cooler months; • cooling air currents channelled into the dwelling in summer; and • windbreaks where desirable. 	Yes

9.	Natural features on the site, such as trees, rock outcrops, cliffs, ledges, indigenous species and vegetation communities must be retained and incorporated into the design of development.	Yes
10.	Landscaping must enhance the visual setting and accentuate the design qualities of the built form. Landscaping solutions shall be used to create a screening effect for visually obtrusive land uses or building elements	Yes
11.	Trees must be planted at the front and rear of properties to encourage tree canopy, to soften the built environment and to encourage the continuity of the landscape pattern	Yes
12.	Landscaping is to be designed so as to minimise overlooking between properties.	Yes
13.	The amount of hard surface area shall be minimised to reduce run-off. Run-off from hard surfaces is to be directed to permeable surfaces such as garden beds.	No

Comments: The proposal requires removal of a number of trees through the site to accommodate the new works. The proposal has been referred to Council's Tree Management Officer for comment with no concerns raised subject to replacement tree planting. The submitted Landscaping scheme proposes a number of new trees and low-lying shrubbery across the site which will assist in providing improved visual separation between adjoining developments as well as soften the built form as viewed in the streetscape.

PART H – Waste Management

In accordance with Part H of Strathfield CDCP 2005, a Waste Management Plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately addresses Part H and considered satisfactory.

PART P – Heritage

Part P (4) *Development in Conservation Areas* of SCDP 2005 aims to ensure that new development respects the established patterns in the streetscape of a Heritage Conservation Area, including setbacks, siting, landscaped settings, car parking and fencing. An analysis of the proposed development against the relevant controls of Part P is discussed below.

The subject site is located within the Woodward Avenue Conservation Area (C17) which is significant for its Victorian era Precinct (Features of the Conservation Area include predominantly single storey, asymmetrical facades, projecting bays, slate roofs, rendered brick construction and front verandas).

The subject application was referred to Council's specialist Heritage Planner who provided the following comments:

'The proposal is supported for the following reasons:

The proposal would retain the legibility of the traditional Victorian Period dwelling and landscaped setting within the Woodward Ave HCA. The proposal would not alter the existing building siting and does not involve an addition which would alter the façade of the house. The proposal retains scale, massing form and architectural features externally. The building remains legible as a freestanding Victorian era building.

The proposal has considered a sympathetic design which strategically mitigates the impact of wet areas of intact fabric by introducing CFC sheeting in those areas to create a secondary internal skin upon which waterproofing, tiling and other associated fit out can be installed without being affixed to historic materials. The applicant has done this to make the works reversible in the future should the building ever need to be converted back into residential usage.

The front entrance will would retain the original lead light timber doors and associated frame. New additions have been primarily concentrated toward the rear areas (west wing) which have already undergone modifications. The relatively low child occupancy of circa 40 children would render the wear and tear upon the heritage building adequate and not detrimental from a heritage perspective.'

The proposal generally satisfies all relevant controls relating to the Strathfield DCP 2005.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: The Demolition of Structures is relevant to the determination of a development application for the demolition of a building.

The proposed development involves the demolition of several structures. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Council's Community Participation Plan (CPP), the application was placed on neighbour notification for a period of 14 days where adjoining property owners were notified in writing of the proposal and invited to comment. A total of 24 submissions were received during this period. In accordance with the Council's CPP guidelines four (4) anonymous submissions were not considered, and the remaining submissions were collated into a total 11 countable submissions due to multiple submissions lodged by individuals at the same dwelling address. Key concern themes from these submissions are discussed as follows:

1. **Insufficient parking and impacts of additional traffic**

Concerns were raised over the location near a busy classified road and the subsequent impact of the proposed parking shortfall, additional on-street parking, on-site parking manoeuvrability; and pedestrian safety entering and exiting the site during drop-off and pick-up periods from the street. Requests were made for a swept path analysis and an internal looped driveway.

Comment: The proposal was referred to TfNSW and it was determined that concurrence was unnecessary due to the proposed vehicle entrance from Woodward Avenue. The Applicant has provided swept paths and the proposal is supported by Council's Senior Traffic and Transport Engineer and matters relating to traffic and manoeuvrability have been adequately addressed

2. **Impacts to neighbour amenity**

Concerns were raised over the impacts to neighbour amenity including noise and privacy concerns.

Comment: The subject is supported by Council's Environmental Health team after a full and thorough assessment of the submitted acoustics report, Waste Management Plan and Operation Plan of Management. It is considered impacts to neighbour amenity can be minimised through effective ongoing management of the proposed land use.

3. **Oversupply of childcare services in the area**

The demand for additional childcare facilities in the area was questioned by several submitters.

Comment: The *Environmental Planning and Assessment Act 1979* does not allow discretion to the extent of which the application can be assessed on assumptions of supply and demand for a permissible land use. It is also a specific non-discretionary development standard under the Transport and Infrastructure SEPP. On this basis, any such development consent applies to the subject site only. The assertions of supply and demand offered within any submission are not considered as part of this assessment.

4. **Exceedance of 30 child capacity contained with SCDP 2005**

Concerns were raised over the non-compliance with the maximum 30 child capacity as stated in Part E 5.17 of the SCDP 2005.

Comment: Section 3.27 of the Transport and Infrastructure SEPP overrides this control.

5. **Visual impacts of acoustic fencing**

Concerns were raised over the visual impacts of the 1.8m acoustic barrier.

Comment: The proposed acoustic barrier will be installed within the site boundary and will sit flush or below the existing boundary fence. Visual impacts of the acoustic barrier are considered minimal and will not significantly detract from the existing streetscape.

6. **Inappropriate location in a low density residential area**

Concerns were raised over the appropriateness of a proposed childcare facility within a low density residential area.

Comment: Centre-based child care facilities are permitted with consent with the R2 Low Density Residential zone under the SLEP 2012. The proposed development has been subject to a full and thorough assessment against all relevant planning instruments and guidelines and is considered acceptable.

7. **Insufficient acoustics report credentials**

Concerns were raised over the Acoustic Report's legitimacy and the relevant qualifications and credentials of its author as quoted below:

'The Applicant has not demonstrated that the acoustic report and submitted as part of the DA was prepared by an accredited acoustic consultant with qualification eligible for membership to the Association of Australian Acoustical Consultants...[and] has not provided evidence of his Professional Indemnity Insurance, which is required for claims and damages to third parties...[the] AARR incorrectly relies on the "urban" noise environment...the subject site is located further than 60 metres from an arterial road or railway line, the "suburban" noise environment should be relied on.'

Comment: The subject site is located less than 60 metres from a busy classified road (The Boulevard). The submitted acoustic report has been assessed by Council's Environmental Health Coordinator and is deemed satisfactory. The *Environmental Planning and Assessment Act* 1979 does not require evidence of insurance to be provided at the Development Assessment stage. Appropriate conditions are imposed as part of the draft conditions of consent that require a suitably qualified acoustic consultant to certify that the operation of the premises and plant equipment shall not give rise to a sound pressure level at any affected premises that exceeds the acoustic criteria established by the Acoustic Report required by a condition of this consent. The development shall at all times comply with these noise levels post occupation.

8. **No noise management plan in the Operational Management Plan**

Claims were made that the lack of noise management measures in the submitted OMP.

Comment: An adequate noise management plan is provided on pages 11-12 of the submitted OMP. Council notes that the contents page contains a section numbering error, and an amended OMP is required by condition of consent to rectify what is considered a negligible error.

9. Impacts of air conditioning and mechanical plant noise

Concerns were raised over the noise impacts of any additional air conditioning and mechanical plant for the proposed development.

Comment: Appropriate conditions are imposed as part of the draft conditions of consent to ensure that the proposed development does not give rise to an 'offensive noise' as defined in the Protection of the Environment Operations Act 1997 (as amended) and Regulations.

Prior to the issue of any Occupation Certificate, a suitably qualified acoustic consultant shall certify that the operation of the premises and plant equipment shall not give rise to a sound pressure level at any affected premises that exceeds the acoustic criteria established by the Acoustic Report required by a condition of this consent. The development shall at all times comply with these noise levels post occupation.

10. Heritage impacts of the proposed carpark to Victorian cottages

Existing development at 4 to 18 Woodward Avenue comprises a row of single-storey Victorian dwellings. Predominant features are pitched tiled roofs, bull-nosed verandas, pendant gables, bay windows, iron fringes, and tall chimneys with terracotta flue caps. Concerns were raised over the visual impacts of the proposal including the internal carpark on the abovementioned heritage dwellings.

Comment: The proposal is supported by Council's specialist Heritage Planner who is satisfied that visual impacts of the internal carpark and overall development will not significantly detract from the significance of the HCA.

All submission authors will receive an email with the abovementioned summary of concerns and Officer comments. Additionally, all submitters will receive invitation to attend and speak (if requested) at the SLPP meeting of which the subject application will be determined.

(e) the public interest.

The proposal is of a scale and character that does not conflict with the built form of the area. The proposed development will provide additional facility and services that will contribute to meeting the day to day needs of local residents.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. A consent authority may impose a condition under Section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan. Based on the Cost of Works of \$800,000 and

in accordance with Council's Section 7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows:

Local Amenity Improvement Levy \$8,000.00

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15(1) of the EP&A Act 1979, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2023/33 should be.



Signed:

**G I Choice
Planner**

Date: 25 September 2023

- I confirm that I have assessed the abovementioned development application with the delegations assigned to my position.
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly.

Report and recommendations have been peer reviewed by:

Signed:

**J Gillies
Senior Planner**

Date: 26/09/2023

That Development Application No. 2023.33 for Alterations and additions to existing dwelling for change of use to a childcare centre and associated site works at 95-97 The Boulevard STRATHFIELD be **APPROVED**, subject to the following conditions:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Demolition Plan	A02	7 July 2023	R-01	Archidrome
Lower Ground Floor Plan (Alterations)	A03.1	7 July 2023	R-01	Archidrome
Upper Ground Floor Plan (Alterations)	A04.1	7 July 2023	R-01	Archidrome
Lower Ground Floor (Proposed)	A03.2	7 July 2023	R-01	Archidrome
Upper Ground Floor Plan (Proposed)	A04.2	7 July 2023	R-01	Archidrome
Section Through Proposed Toilet Area	A05	7 July 2023	R-00	Archidrome
Roof Plan	A05A3	15 May 2023	R-00	Archidrome
Section A-A	A06	7 July 2023	R-00	Archidrome
Section B-B	A07	7 July 2023	R-00	Archidrome
Elevations	A08	7 July 2023	R-01	Archidrome
Waste Collection Plan (Proposed)	A09	7 July 2023	R-01	Archidrome
Landscape + Play Item Layout Plan	DA-L101	7 July 2023	B	Canvas Landscape Rchitectes
Landscape Typical Details, proposed Plant	DA-L101	7 July 2023	B	Canvas Landscape Rchitectes

Schedule & Maintenance Program				
Fixed Outdoor Furnitures / Equipments	A13	7 July 2023	R-01	Archidrome
Tree Management Plan	TMP1	21 September 2023	E	Horticultural Resources Consulting Group
General Notes	C000	5 July 2023	B	SDS Engineering
Concept Stormwater Drainage Plan	C001	5 July 2023	B	SDS Engineering
Concept ODR/OSD Calculations / Typical Detail Sheet	C002	5 July 2023	B	SDS Engineering
Concept Underground Tank System Plans	C003	5 July 2023	B	SDS Engineering
Concept Underground Tank System Sections	C004	5 July 2023	B	SDS Engineering
Document	Reference No.	Date	Revision	Prepared by
Access Report	22428	19 February 2023	A	Vista Access Architects
Acoustic Assessment Report 95-97 The Boulevard STRATHFIELD	CA/23/126-3703	20 March 2023	3	NG Childs & Associates
Acoustic Assessment Report	CA/23/126-3703	20 March 2023	3	NG Childs & Associates

Waste Management Plan	REF-23139	July 2023	-	Dickens Solutions
Flood Study 95-97 The Boulevard STRATHFIELD	-	March 2023		KD Stormwater Pty Ltd
Operational Management Plan – Proposed Childcare Facility at 95-97 The Boulevard STRATHFIELD	-	July 2023		Archidrome
Arboricultural Implication Assessment and Tree Protection Specification	-	21 September 2023	E	Horticultural Resources Consulting Group
Preliminary Site Investigation 95-97 The Boulevard STRATHFIELD	-	20 March 2023	3	NG Childs & Associates

2. Building Height

The height of the building measured from Australian Height Datum (AHD) must not exceed Reduced Level 32.68 AHD to the existing roof ridge of the building.

3. Child Care Centre

This approval is given for the use of the land for the purposes of a Child Care Centre with a maximum number of 45 children. A separate approval and/or license will be required from the Department of Community Services for the operation of a childcare centre from the subject premises.

SEPARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

4. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

5. Vehicular Crossing – Major Development

The following vehicular crossing and road frontage works will be required to facilitate access to and from the proposed development site:

- (a) Construct a 1.2 metre wide footpath for the full length of the frontage of the site in Woodward Avenue in accordance with Council's Specifications applying at the time construction approval is sought.
- (b) The thickness and design of the driveway shall be in accordance with Council's Specifications applying at the time construction approval is sought.
- (c) Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant. The work shall be carried out in accordance with Council's specification, applying at the time construction approval is sought.
- (d) Any relocation of existing utilities must be in accordance with the utility owner and Council's specification, applying at the time construction approval is sought.

Constructing a vehicular crossing and/or footpath requires separate approval under Section 138 of the [Roads Act 1993](#), prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for civil works will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

6. General Terms of Approval

The development shall be carried out in accordance with the requirements of the General Terms of Approval (GTA) outlined below.

Approval Body	Date of GTA
<p>Ausgrid</p> <p>The design submission must comply with relevant Ausgrid Network Standards and SafeWork NSW Codes of Practice for construction works near existing electrical assets. The "as constructed" minimum clearances to Ausgrid's infrastructure must not be encroached by the building development. It also remains the responsibility of the developer and relevant contractors to verify and maintain these clearances onsite. Ausgrid's Network Standards can be sourced from Ausgrid's website, www.ausgrid.com.au Should you have any enquiries, please contact Ausgrid at development@ausgrid.com.au</p>	<p>27 April 2023</p>

A copy of the requirements of the approval Authority is attached to this consent.

7. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

8. Notice of Requirements for a Section 73 Certificate

A Notice of Requirements of what will eventually be required when issuing a Section 73 Compliance Certificate under the [Sydney Water Act 1994](#) must be obtained from Sydney Water Corporation. Application must be made through an authorised Water Servicing Co-ordinator. Please refer to the 'Plumbing, building and developing' section of the web site www.sydneywater.com.au then refer to 'Providers' under 'Developing' or telephone 13 20 92 for assistance.

Following application, a 'Notice of Requirements' will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Co-ordinator, as it can take some time to build water/sewer pipes and this may impact on other services and building, driveway or landscape design.

The Notice of requirements must be submitted prior to the commencement of work. A Section 73 Compliance Certificate will be required at the completion of development in accordance with further conditions.

9. Section 73 Compliance Certificate

A Section 73 Compliance Certificate under the [Sydney Water Act 1994](#) must be submitted to the Principal Certifier prior to the issue of the Occupation/Subdivision Certificate.

10. Electricity Supply

An application is required to be made to Ausgrid for a network connection. This may require the network to be extended or its capacity augmented. Evidence of this application being lodged with Ausgrid is required to be provided to the Certifying Authority prior to the issue of a Construction Certificate. For further details, you are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services).

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

11. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$ 2,000.00
Security Damage Deposit	\$ 12,810.00
Administration Fee for Damage Deposit	\$ 137.00
Tree Bond	\$ 67,148.00
Administration Fee for Tree Bond	\$ 137.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$ 8,000.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

12. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Shade structures and shade sails	The proposed shade structure must be a neutral colour that will not detract from the Heritage Conservation Area.
Internal Car Park Design	All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1
Stormwater	The underground stormwater detention, treatment and harvesting system is to be designed so that it is not inundated by the overland stormwaters. Details of the finished surface and weirs levels are to be submitted together with the levels of nearby overland stormwater flow path and the architectural plans at Construction Certificate stage.
Acoustic Barrier and boundary fencing	<p>The existing frontage fencing (The Boulevard and Woodward Avenue) must be retained and the proposed acoustic barrier must be installed behind the frontage fencing.</p> <p>The acoustic barrier must sit flush with the existing frontage fencing to maintain the visual amenity of the property and character of the neighbourhood.</p>

13. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$12,810.00.
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$137.00
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

14. Tree Bond

A tree bond of \$67,148.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate. Breakdown is as follows:

- Lagerstroemia indica*- (Tree 5 in AIA) \$3,203.00
- Cinnamomum camphora*- (Tree 7 in AIA) \$21,315.00
- Cinnamomum camphora*- (Tree 9 in AIA) \$21,315.00
- Cinnamomum camphora*- (Tree 11 in AIA) \$21,315.00

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

15. Site Management Plan

Major Development

A Site Management Plan must be submitted with the application for a Construction Certificate, and include the following:

- (a) location of protective site fencing;
- (b) location of site storage areas/sheds/equipment;
- (c) location of building materials for construction, e.g. stockpiles
- (d) provisions for public safety;
- (e) dust control measures;
- (f) method used to provide site access location and materials used;
- (g) details of methods of disposal of demolition materials, according to Waste Management Plan and which should be used or recycled wherever practicable;
- (h) method used to provide protective measures for tree preservation;
- (i) provisions for temporary sanitary facilities;
- (j) location and size of waste containers/skip bins, according to the Waste Management Plan and including resource recovery methods;
- (k) details of proposed sediment and erosion control measures;
- (l) method used to provide construction noise and vibration management;
- (m) construction and demolition traffic management details.

The site management measures are to be implemented prior to the commencement of any works including demolition and excavation. The site management measures are to be maintained throughout the works, to maintain reasonable levels of public health, safety and amenity. A copy of the Site Management Plan must be kept on site and is to be made available upon request.

1. Photographic Archival Documentation (Major Works)

Prior to a Construction Certificate being issued, an archival photographic recording of the following items is to be prepared to Council's satisfaction:

- i. existing dwelling;
- ii. front fencing to The Boulevard primary frontage; and
- iii. fencing to Woodward Avenue secondary street frontage.

The recording is to be in digital form, prepared in accordance with the NSW Heritage Division of the Department of Environment and Heritage guidelines titled "Photographic Recording of Heritage Items using Film or Digital Capture". One copy of the record is to be submitted to Council to be lodged with Council's Archives (see <http://www.environment.nsw.gov.au/Heritage/publications>).

The photographs must be sufficient to document the external context and appearance of the building and/or structure, and should be confirmed with Council's Heritage Advisor.

Because significant fabric may remain concealed and only be exposed during construction works, the archival recording is to be undertaken in stages, prior to the removal of any significant building fabric or furnishings from the site, during the removal of fabric on site that exposes significant building fabric or furnishings, and after work has been completed on site, as considered appropriate by the conservation architect commissioned for the project, and submitted as two parts as follows.

- a) The first submission of the archival recording of significant building fabric or furnishings is to be prior to the removal of any significant building fabric or furnishings from the site, and must be submitted to and approved by Council prior to the commencement of any work on site and prior to a Construction Certificate being issued.
- b) The second submission of the archival recording is of significant building fabric or furnishings that is exposed during demolition or construction and after work has been completed on site, and must be submitted to Council prior to an Occupation Certificate being issued.
- c) The form of recording is to be a photographic documentation of the site and its context, and the exteriors and interiors of the existing building(s) photographed, where appropriate, using a camera/lens capable of 'perspective correction'.
- d) The report can be submitted on a USB, CD or DVD, in PDF/A format (created directly from the digital original), with a digital catalogue of images with the following data for each: DOS title, image subject/description and data photograph taken.

2. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- a) Compliance with the approved Erosion & Sediment Control Plan
- b) Removal or disturbance of vegetation and topsoil is confined to within 3m of the approved building area (no trees to be removed without approval)
- c) All clean water run-off is diverted around cleared or exposed areas
- d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works

- f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004.](#)

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

3. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

4. On Site Detention

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

- a) peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden,
- b) at Annual Recurrence Intervals of 2 years, 10 years and 100 years.

The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

5. Detailed Stormwater Drainage Design

The submitted stormwater plan has been assessed as a concept plan only. A detailed drainage design supported by a catchment area plan and drainage calculations (including a Hydraulic Grade Line Analysis) in accordance with Council's Stormwater Management Code must be submitted with the Construction Certificate application.

6. Driveway Surface Waters

For driveways on private property sloping to the street and greater than 10 metres in length, drainage control devices such as humps or grated surface inlet pits shall be installed at the front boundary in order to control excess stormwater flowing across Council's footpath.

7. Compliance with Flood Study

The development shall be designed to conform to the recommendations and conclusions of the submitted flood study prepared by KD Stormwater Pty Ltd (dated March 2023). This shall include, but not be limited to, any recommendations for the following:

- a) Minimum floor levels
- b) Fencing
- c) Site regrading
- d) Overland flow path construction
- e) Protection of the basement from inundation of surface waters
- f) Preparation of evacuation plan

Evidence from professional engineer that specialises in hydraulic engineering that all design requirements have been adhered to shall be submitted with the Construction Certificate application.

8. Water Sustainability – Water Sensitive Urban Design

Details of the Water Sensitive Urban Design (WSUD) components (stormwater treatment measures) shall be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate. Details shall demonstrate compliance with the water conservation and stormwater quality targets set out under Sections 3.1 and 3.2 respectively under Part N of the SCDCP 2005 and be prepared by a suitably qualified professional engineer.

9. Support for Easement Pipes

- a) All footings within 2.0 metres of the drainage easement shall be designed in such a manner that they are supported by foundations set at a minimum of 300mm below pipe invert levels or founded on sound rock.
- b) Alternatively, the footings of the building or any structure shall be designed not to affect the zone of influence taken from the invert of any pipe.
- c) The walls of any dwelling, pool or structure adjoining the easement shall be designed to withstand all forces should the easement be excavated to existing pipe invert levels.
- d) No building or other structure must be placed over the drainage easement or stormwater system or within the zone of influence taken from the invert of any pipe.

Evidence from an appropriately qualified person that this design requirement has been met shall accompany the application for the Construction Certificate.

10. Waste Manage Plan (WMP)

Prior to the issue of a Construction Certificate, a Waste Management Plan (WMP) must be submitted and it must comply with the requirements contained within Part H of Strathfield Development Control Plan 2005 (DCP 2005). A WMP will become part of any development consent issued and aims to facilitate better waste management, waste minimization and resource recovery.

The WMP is an important planning document that will not only be utilised as part of the development application process, but during construction and for the ongoing use of the development. The WMP will continue to apply as a working reference for the life of the development.

At least one copy of the WMP is to be available on site at all times during construction. Copies of demolition and construction waste docket that verify the facility that received the material for recycling or disposal and the quantity of waste received, must be retained on site at all times

during construction.

11. Fire Safety Measures

Prior to the issue of a construction certificate a list of the existing and proposed essential fire safety measures that are to be provided in relation to the land and any building on the land as a consequence of the building work must accompany an application for a construction certificate, which is required to be submitted to either Council or a Principal Certifier. Such list must also specify the minimum standard of performance for each essential fire safety measure included in the list. The Council or Principal Certifier will then issue a Fire Safety Schedule for the building.

12. Structural Details

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced **concrete** work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the Principal Certifier.

13. Hazardous Material Survey

The proposal must follow all recommendations provided with the Preliminary Site Investigation prepared by NG Child & Associates (Version 3; dated 20 March 2023).

Prior to the commencement of demolition or works a Destructive Hazardous Material Survey shall be prepared as per Australian Standard AS2601:2001; and in accordance with the NSW Office of Environment and Heritage [Guidelines for Consultants Reporting on Contaminated Sites](#).

The Demolition of Structures and a supporting Demolition Management Plan should be prepared and implemented prior to the commencement of any future demolition and/or building modification and/or site clearance works as per the Australian Standard AS2601:2001 *The Demolition of Structures*.

A site audit statement must be carried out by a site auditor prior to the commencement of remediation works.

14. Access for Persons with a Disability

Access and/or sanitary facilities for persons with disabilities must be provided to the premises/building in accordance with the requirements of the Premises Standards, the Building Code of Australia, and AS 1428.1. Details must be submitted with the Construction Certificate Application for approval.

15. Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

16. Construction Traffic Management Plan [Large Developments only]

A Construction Traffic Management Plan detailing:

- a) construction vehicle routes;
- b) anticipated number of trucks per day;
- c) hours of construction;

- d) Access arrangements; and
- e) Proposed traffic measures to minimise impacts of construction vehicles

must be submitted for the approval of Council's Engineers. Council's Engineers must specify in writing that they are satisfied with the Traffic Management Plan prior to the issue of the Construction Certificate.

17. Acoustic Requirements

Compliance with submitted Acoustic Report

The Construction Certificate plans shall demonstrate compliance with the Acoustic Report submitted and approved by Council, titled Acoustic Assessment Report prepared by NG Child & Associates and dated 20 March 2023.

18. Food Premises

The following information shall be provided and shown on the Construction Certificate Plans

(a) Plans and Specifications

Details of the construction and fit out of food premises must be submitted to Council's Environmental Health Officer.

The bench sink in the kitchen must be a double bowl sink, to allow one side for cleaning and then the other food preparation.

The plans and specifications must demonstrate compliance with the:

- i. [Food Act 2003](#) (as amended)
- ii. [Food Regulation 2015](#) (as amended)
- iii. Food Standards Code as published by Food Standards Australia
- iv. New Zealand and Australian Standard AS4674:2004 Design, Construction and fit out of food premises (as amended)
- v. Sydney Water – trade Waste Section.

Environmental Health Officers' must advise in writing that the plans and specification are considered satisfactory prior to the issue of any Construction Certificate.

19. Waste Management Plan

A Waste Management Plan (WMP) was submitted outlining how demolition, construction and ongoing commercial waste and recycling will be managed.

The WMP indicated the following ongoing bin service arrangements:

- 3 x 240L red lidded, general waste bins (collected 2x per week by a private contractor)
- 3 x 240L yellow lidded, recycling bins (collected 2x per week by a private contractor)

WMP should also indicate how waste education will be provided, in order to minimise waste disposal, contamination and to increase recycling. Educational signage is to be installed in waste rooms and commons areas.

[EPA's Better Practice Guide for Waste Management in Multi-unit Dwellings](#) and [Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities](#) should be used to inform design and waste management outcomes in new and existing development.

20. Waste, Recycling and Bulky Storage Rooms

The waste storage area shall be large enough to accommodate the following number of bins for the developments ongoing commercial waste and recycling:

- Domestic Waste – 3x 240L mobile bins
- Domestic Recycling – 3x 240L mobile bins

At a minimum rate of 1.1m² per 240L bin, 2.03m² per 660L bin, 2.7m² per 1100L bin and located in an area to suitably facilitate servicing on waste collection day. The layout of the waste and recycling storage room must allow easy unobstructed access to all bins (stacked bin arrangements are not acceptable) and allow the bins to be easily removed for servicing purposes.

Bulk collection area must be provided at a rate of 4m² per 10 units and should be located adjacent to waste and recycling storage rooms.

Arrangements must be in place regarding the regular maintenance and cleaning of waste management facilities. A caretaker or individual(s) shall be nominated as being responsible for transferring the bins to the collection point and back into the waste storage room/area. Detailed plans of waste and recycling storage rooms must be submitted along with Waste Management Plan and Waste and Recycling Storage Room/Area Design Checklist.

Details of any specialised waste disposal equipment to be used in the development such as compactors (carousel and linear), bin tugs, chutes, crushers, bunding, oil water separators (coalescing plate separators), etc. to be provided to Council for approval.

21. Onsite Waste Collection

Development for the purposes of multi-unit housing, residential flat buildings, serviced apartments, boarding houses, mixed use and commercial developments must provide onsite underground or at-grade collection of waste, which must comply with the requirements contained within Part H of Strathfield Development Control Plan 2005 (DCP 2005).

Waste servicing and collection arrangements should be clearly depicted and annotated on architectural drawings, which should indicate adequate turning circles to allow collection vehicles to enter and exit the site in a forward direction.

An updated WMP must be provided to Council including written evidence of the following:

- i. valid contracts for the regular collection and disposal of waste and recyclables generated on the site by a Small Rigid (SRV) waste collection truck capable of entering and exiting the site in a forward direction as per the recommendations of Traffic and Parking Impacts Report prepared by TEF Consulting (Ref: 22087 TEF Rep 01b 230727) dated 27 July 2023).

The private waste contractor must confirm the frequency of the waste collections (general waste, recycling and bulky goods), and that the size and location of the storage room is suitable for the frequency of the waste collections.

22. Commercial and Industrial Waste

The collection of commercial and industrial waste and recycling must only occur between 6.00am and 8.00pm weekdays and 9.00am and 5.00pm on weekends and public holidays, to avoid noise disruption to the surrounding area. All garbage and recyclable matter must be enclosed in the waste bins with lids completely closed at all times.

Waste education must be provided through signs in common areas indicating how to avoid, reduce, reuse and recycle waste.

Note: Refer to the EPA's [Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities](#)

23. Child Care Centre Waste Management

All waste and recycling containers shall be stored in an approved waste storage area, located in an area of the site that is satisfactory for these purposes. Facilities are to be provided in accordance with any requirements of the NSW Family and Community Services and the Education and Care Services National Regulations.

Details of the Waste Storage Area must be illustrated on the plans submitted with the application for the Construction Certificate for approval.

Waste education must be provided through signs in common areas indicating how to avoid, reduce, reuse and recycle waste.

24. Landscape Plan

A detailed landscape plan, drawn to scale, by a qualified landscape architect or landscape designer, must be submitted prior to the issue of the Construction Certificate. The plan must include:

- a) Location of existing and proposed structures, services and existing trees;
- b) Details of earthworks including mounding and retaining walls and planter boxes;
- c) Location of proposed plants and a plant schedule showing the plant symbol, botanical name/ common name; quantity; pot size/; and mature height x width.
- d) Details of planting procedure and maintenance;
- e) Landscape specification;
- f) Details of drainage and watering systems;
- g) Details of garden edging and turf; and
- h) Any required fencing, retaining walls and other structures not shown on other approved architectural and engineering plans.

25. Landscape Plans

The Landscape Plan Issue B, prepared by Canvas Landscape Architects dated 7 July 2023.

shall be amended to Council's satisfaction to show:

- Plant schedule to reflect species indicated on plan.
- Provide proposed quantities for each plant species.

Tree planting

Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s. A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

All landscape works shall be carried out in accordance with the approved landscape plans. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

Details satisfying this condition shall be shown on the Construction Certificate plans.

Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

26. Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, public reserves or on neighbouring properties.

27. Compliance with Submitted Arborist Report

The recommendations outlined in the Arborist's Report titled Arboricultural Implication Assessment and Tree Protection Specification Issue E, by Horticultural Resources Consulting Group and dated 21 September 2023 must be implemented throughout the relevant stages of construction. Details of tree protection measures to be implemented must be detailed and lodged with the Construction Certificate application for approval and shall be in accordance with Section 4 - *Australian Standard AS 4970-2009: Protection of trees on development sites*.

28. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No	Tree Species	Location of Tree	Tree Protection Zone (TPZ)
T2	<i>Phoenix canariensis</i>	Front of property (Woodward Ave)	4m
T4	<i>Lophostemon confertus</i>	Front of property (Woodward Ave)	11m
T6	<i>Lagerstroemia indica</i>	Front of property	4.7m
T7	<i>Cinnamomum camphora</i>	Street Tree (The Boulevard)	9.8m
T8	<i>Lophostemon confertus</i>	Street Tree (The Boulevard)	4.4m
T8B	<i>Jacaranda mimosifolia</i>	Front of property	3.4m
T9	<i>Cinnamomum camphora</i>	Street Tree (The Boulevard)	8.3m
T10	<i>Lophostemon confertus</i>	Street Tree (The Boulevard)	4m
T11	<i>Cinnamomum camphora</i>	Street Tree (The Boulevard)	8.3m

T12	<i>Lophostemon confertus</i>	Street Tree (The Boulevard)	4.4m
T13	<i>Brachychiton acerifolius</i>	Front of property	4m
T14	<i>Brachychiton acerifolius</i>	99 The Boulevard	4.9m
T15	<i>Archontophoenix cunninghamiana</i>	99 The Boulevard	2.9m
T16	<i>Phoenix canariensis</i>	99 The Boulevard	9.7m
T17	<i>Archontophoenix cunninghamiana</i>	99 The Boulevard	2.9m
T18	<i>Magnolia grandiflora</i>	99 The Boulevard	4.6m

Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) Unless otherwise specified in AS 4970-2009, a protective fence consisting of a fully supported chainmesh fence 1.8 metres height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath. No soil, fill, building materials or waste should be placed or disposed of within the protection area.
- (h) Should replacement or repair of the public footpath within the TPZ area of a street tree be required, Council's Tree Management Officer is to be notified (with minimum 24hrs notice) of the intent to undertake the works and is to attend a site inspection after the existing footpath has been lifted but prior to any preparation works for laying of the new path. No street tree roots are to be cut without the approval of Council. Failure to comply with this

condition may result in the forfeiting of the Tree Bond should the street tree's health or structure be compromised.

Excavation works near tree to be retained

- (i) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (j) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (k) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATON)

29. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the Principal Certifier prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

30. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.

- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words “DANGER ASBESTOS REMOVAL IN PROGRESS” measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

31. Demolition Work Involving Asbestos Removal

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

32. Dial Before You Dig

The applicant shall contact “Dial Before You Dig on 1100” to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from “Dial Before You Dig” shall be forwarded to Council’s Engineers for their records.

33. Existing Drainage Easement, Drainage Reserve or Stormwater Drainage System Benefiting Council

Council drainage easement(s) drainage reserve(s) or stormwater system either pass through or are adjacent to the site. No building or other structure must be placed over the drainage easement or stormwater system or within the zone of influence taken from the invert of any pipe.

The applicant must determine the exact location, size and level details of the potentially affected stormwater drainage systems and without causing any damage to the public system ensure its protection. The owner, principal contractor or owner builder must not obstruct or otherwise remove, disconnect or render inoperable the Stormwater Drainage System.

Works such as fences must not obstruct the natural stormwater flow path or alter the flow path in such a way as to direct or concentrate stormwater on to neighbouring properties.

Where the relocation or reconstruction of Council’s drainage system is approved then all work carried out on Council’s assets will revert to the ownership, care, control or management of Council. Therefore, upon handover to Council, the asset must comply with Council’s Construction of drainage and associated works specification.

The applicant must meet all costs associated with such works.

Note: This condition does not set aside the need to obtain relevant approvals under the [Roads Act 1993](#) or [Local Government Act 1993](#) for works within Roads and other public places.

34. Utility Arrangements

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicant’s expense.

35. **Dust Control**

Where a dust nuisance is likely to occur, suitable screens and/or barricades shall be erected during the demolition, excavation and building works. If necessary, water sprays shall be used on the site to reduce the emission of dust. Screening shall consist of a minimum 2 metres height of shade cloth or similar material secured to a chain wire fence of the like and shall be modified as required should it fail to adequately control any dust nuisance.

Major Works

The following measures must be implemented (in part or in total) to control the emission of dust:

- a) Dust screens must be erected around the perimeter of the site and be kept in good repair for the duration of the work.
- b) All dusty surfaces must be wet down and any dust created must be suppressed by means of a fine water spray. Water used for dust suppression must not be contaminated or allowed to enter the stormwater system.
- c) All stockpiles of materials that are likely to generate dust must be kept damp or covered.
- d) All stockpiles of soil or other materials shall be placed away from drainage lines, gutters or stormwater pits or inlets.
- e) All stockpiles of soil or other materials likely to generate dust or odours shall be covered.
- f) All stockpiles of contaminated soil shall be stored in a secure area and be covered if remaining more than 24 hours.

DURING CONSTRUCTION

36. **Hours of Construction for Demolition and Building Work**

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

37. **Ground Levels and Retaining Walls**

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

38. **Cost of Work to be Borne by the Applicant**

The applicant shall bear the cost of all works associated with the construction of the development that occurs on Council property. Care must be taken to protect Council's roads, including the made footway, kerbs, etc., and, where plant and vehicles enter the site, the footway shall be protected against damage by deep-sectioned timber members laid crosswise, held together by hoop iron straps and chamfered at their ends. This construction shall be maintained in a state of good repair and condition throughout the course of construction.

39. **Obstruction of Road or Footpath**

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

40. **Construction Management Plan**

The owner/applicant is to ensure that the approved Construction Traffic management Plan is to be strictly complied with and kept on site at all times during construction works.

41. **Excavation Works Near Tree to be Retained**

Excavation around the tree/s to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not be adversely affected.

Where the Tree Protection Zone of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

42. **Completion of Landscape Works**

The approved landscape works have identified that the side setback area between the dwelling and boundary be nominated as landscaped area to ensure compliance with the minimum landscape area requirements. In this regard, this area shall be maintained as landscaped area and can only be used for growing plants, grasses and trees and cannot include any building, structure or hard paving (including rainwater tanks, air-conditioning units of ground mounted hot water systems).

At the completion of all works, a certificate is to be submitted to the Principal Certifying Authority from a qualified Landscape and/or Arboricultural Consultant certifying that the work has been completed in accordance with the approved Landscape Plan and that a maintenance program has been established.

43. **Allocation of Parking Spaces**

Parking associated with the development is to be allocated as follows:

- Staff Parking - 5 spaces
- Visitor Spaces 6 including one (1) accessible space.

Total 11 Spaces

44. **Major Development**

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface. All car parking spaces are to be line marked in accordance with AS1742, 'Australian Standard Manual of Uniform Traffic Control Devices' and the relevant guidelines published by the RMS.

45. **Restriction to User and Positive Covenant for On-Site Detention Facility**

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, water sensitive urban design, surface flow path, finished pavement and ground levels etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and or 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

46. **Stormwater Certification of the Constructed Drainage Works (Minor)**

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

47. **Works as Executed and Certification of Stormwater Works**

Prior to the issue of an Occupation Certificate, the Principal Certifier must ensure that the stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards. A works-as-executed drainage plan and certification must be forwarded to the Principal Certifier and Council, from a professional engineer specialising in hydraulic engineering.

This Plan and Certification shall confirm that the design and construction of the stormwater drainage system satisfies the conditions of development consent and the Construction Certificate stormwater design details approved by the Principal Certifier.

The works-as-executed drainage plan must be prepared by a professional engineer specialising in hydraulic engineering in conjunction with a Registered Surveyor and must include the following details (as applicable):

- a) The location of any detention basin/s with finished surface levels;
- b) Finished site contours at 0.2 metre intervals (if applicable)
- c) Volume of storage available in any detention areas;
- d) The location, diameter, gradient and material (i.e. PVC, RC etc.) of all stormwater pipes;
- e) The orifice size/s (if applicable);
- f) Details of any infiltration/absorption systems; and (if applicable);
- g) Details of any pumping systems installed (including wet well volumes) (if applicable).

48. **Requirements Prior to the Issue of the Occupation Certificate**

The following shall be completed and or submitted to the Principal Certifier prior to the issue of the Occupation Certificate:

- a) All the stormwater/drainage works shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.
- b) The internal driveway construction works, together with the provision for all services (conduits and pipes laid) shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.

- c) Construct any new vehicle crossings required.
- d) Replace all redundant vehicle crossing laybacks with kerb and guttering and replace redundant concrete with turf.
- e) A Section 73 (Sydney Water) Compliance Certificate for the Subdivision shall be issued and submitted to the Principal Certifier prior to the issue of the Occupation Certificate.
- f) Work as Executed Plans prepared by a Chartered Professional Engineer or a Registered Surveyor when all the site engineering works are complete shall be submitted to the Principal Certifier prior to the issue of the Occupation Certificate.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

49. **Completion of Major Works**

Prior to the issue of a Final Occupation Certificate, the following works must be completed at the applicant's expense to the satisfaction of Council's Engineering Services section:

- a) Stormwater pipes, pits and connections to public stormwater systems within the road related area;
- b) Driveways and vehicular crossings within the road related area;
- c) Removal of redundant driveways and vehicular crossings;
- d) New footpaths within the road related area;
- e) Relocation/provision of street signs
- f) New footway verges, where a grass verge exists, the balance of the area between the footpath and the kerb or site boundary over the full frontage of the proposed development must be turfed. The grass verge must be constructed to contain a uniform minimum 75mm of friable growing medium and have a total cover of turf predominant within the street.
- g) New or reinstated kerb and guttering within the road related area; and
- h) New or reinstated road surface pavement within the road.

Council's Engineering Services Section must advise in writing that the works have been completed to their satisfaction prior to the issue of the Occupation Certificate. [Note: The damage deposit paid to Council will not be released until the works have been completed to Council's satisfaction.

50. **Stormwater Drainage Works – Works As Executed**

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- a) Compliance with conditions of development consent relating to stormwater;
- b) The structural adequacy of the On-Site Detention system (OSD);
- c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- d) Pipe invert levels and surface levels to Australian Height Datum;
- e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

51. Acoustic Certification

Prior to the issue of any Occupation Certificate, a suitably qualified acoustic consultant shall certify that the operation of the premises and plant equipment shall not give rise to a sound pressure level at any affected premises that exceeds the acoustic criteria established by the Acoustic Report prepared by NG Childs & Associates (CA/23/126-3703; dated 20 March 2023) required by a condition of this consent. The development shall at all times comply with these noise levels post occupation.

52. Acoustic Compliance

Prior to the issue of any Occupation Certificate, a report prepared by a suitably qualified acoustic consultant must be submitted to the Principal Certifier certifying that the construction has incorporated the recommendations in the DA Acoustic Report titled Acoustic Report submitted and approved by Council, titled Acoustic Assessment Report prepared by NG Child & Associates and dated 20 March 2023.

53. Acoustic Compliance – General Operation of Premises

The proposed use of the premises and the operation of all plant and equipment shall not give rise to an 'offensive noise' as defined in the [Protection of the Environment Operations Act 1997](#) (as amended) and [Regulations](#).

A suitably qualified person shall certify that the operation of the plant equipment shall not give rise to sound pressure level at any affected premises that exceeds the background LA90, 15 min noise level, measured in the absence of the noise sources under consideration by more than 5dB. The source noise level shall be assessed as an LAeq, 15 min in accordance with the [NSW Environment Protection Authority's "NSW industrial Noise Policy"](#).

Certification must be submitted to the Principal Certifier prior to the issue of any Occupation Certificate.

54. Food Premises – Inspection & Registration

Prior to the issue of any Occupation Certificate or occupation or use of any food premises:

- (a) An inspection of the fit out of the Food Premises must be arranged with Council's Environmental Health Officer;
- (b) A satisfactory final inspection must have been undertaken by Council's Environmental Health Officer; and
- (c) The Food Premises must notify and register its business details with Strathfield Council as required under section 100 of the [Food Act 2003](#).

55. Electricity Supply

Evidence shall be provided demonstrating that the development has been connected to the Ausgrid, if required.

OPERATIONAL CONDITIONS (ON-GOING)

56. Hours of Operation

The approved hours of operation shall be restricted to the following:

Monday to Friday: 7.00am to 6.00pm (excluding public holidays).

57. Maintenance of Landscaping

All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

58. Noise Control

The use of the premises must not give rise to the transmission of offensive noise to any place of different occupancy. Offensive noise is defined in the [Protection of the Environment Operations Act 1997](#) (as amended).

- Double doors, the Western window, and the most Western window along the wall panel to the North, of the indoor play area must remain closed whilst in use. This area is located adjacent to a residential property.
- Indoor play area on the Southern side of the premise; the windows on the Southern side of the indoor play area must remain closed whilst in use. This area is located adjacent to a residential property.

59. Maintenance of Sound Attenuation

Sound attenuation must be maintained in accordance with the Acoustic Report submitted by Acoustic Assessment Report prepared by NG Child & Associates and dated 20 March 2023.

60. Outdoor Lighting

To avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads, outdoor lighting must comply with *AS 4282-1997: Control of the obtrusive effects of outdoor lighting*.

61. Lighting – General Nuisance

Any lighting on the site shall be designed so as not to cause a nuisance to other residences in the area or to motorists on nearby roads and to ensure no adverse impact on the amenity of the surrounding area by light overspill or glare.

Flashing, moving or intermittent lights or signs are prohibited.

62. Amenity of the Neighbourhood

The implementation of this development shall not adversely affect the amenity of the neighbourhood or interfere unreasonably with the comfort or repose of a person who is outside the premises by reason of the emission or discharge of noise, fumes, vapour, odour, steam, soot, dust, wastewater, waste products, grit, oil or other harmful products.

63. Food Premises – Garbage Odour

A waste contractor shall be engaged to remove all waste from the garbage storage area on a

regular basis so that no overflow of rubbish will occur. Practical measures are also to be taken to ensure that odour emission from the garbage storage area does not cause offensive odour as defined under the provision of the [Protection of the Environment Operations Act, 1997](#) (as amended).

64. **Entering & Exiting of Vehicles**

All vehicles shall enter and exit the premises in a forward direction.

65. **Annual Fire Safety Statement**

The owner of the building premises must ensure the Council is given an annual fire safety statement in relation to each essential fire safety measure implemented in the building. The annual fire safety statement must be given:

- a) Within 12 months after the date on which the fire safety certificate was received.
- b) Subsequent annual fire safety statements are to be given within 12 months after the last such statement was given.
- c) An annual fire safety statement is to be given in or to the effect of Clause 92 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).
- d) A copy of the statement is to be given to the Commissioner of Fire & Rescue NSW, and a further copy is to be prominently displayed in the building.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

66. **Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

67. **Appointment of a Principal Certifier**

Building and/or demolition works must not commence until the applicant has:

- a) appointed a Principal Certifier for the building work; and
- b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.
- c) If the work is not going to be undertaken by an Owner - Builder, the applicant must:
- d) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- e) notify the Principal Certifier of the details of any such appointment; and
- f) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

68. **Notification of Critical Stage Inspections**

No later than two days before the building work commences, the Principal Certifier must notify:

- a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

69. Notice of Commencement

The applicant must give at least two days' notice to the Council and the Principal Certifier of their intention to commence the erection or demolition of a building.

70. Critical Stage Inspections

The last critical stage inspection must be undertaken by the Principal Certifier. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 61 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).

71. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the Principal Certifier at least 48 hours before each required inspection needs to be carried out.

72. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

73. Clause 70 – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the Principal Certifier and the Principal Contractor.

ADVISORY NOTES

i. Review of Determination

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

ii. Appeal Rights

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. Lapsing of Consent

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. **Access to NSW Legislations (Acts, Regulations and Planning Instruments)**

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

v. **Long Service Levy**

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

vi. **Disability Discrimination Act**

This application has been assessed in accordance with the [Environmental Planning and Assessment Act 1979](#). No guarantee is given that the proposal complies with the [Disability Discrimination Act 1992](#). The applicant is responsible to ensure compliance with this and other anti-discrimination legislation. The [Disability Discrimination Act 1992](#) covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which refers to AS1428.1-Design for Access and Mobility.

vii. **Child Care Centre – Staff to Child Ratios**

The operator of a centre based or mobile children's service must ensure that appropriate approvals are obtained from [NSW Family & Community Services](#). This will include maintaining the regulated ratio of carers to children.

viii. **Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993**

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (DA 2023/33) and reference this condition number (Advisory Note viii)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

ix. **Site Safety Fencing**

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

x. **Food Premises**

Information on Australian Standards can be obtained from www.standards.com.au

Guidelines and Food Safety Standards may be obtained by contacting the Food Standards Australia New Zealand Authority at foodstandards.gov.au or the NSW Food Authority on 1300 552 406, email: contact@foodauthority.nsw.gov.au or by visiting the website www.foodauthority.nsw.gov.au

Notification of Food Business under Section 100 of the [Food Act 2003](#) requires the proprietor of a food business to give written notice, in the approved form, before conducting a food business. Penalties apply for failure to comply.

xi. **Noise**

Council will generally enforce noise related conditions in accordance with the *Noise Guide for Local Government* (<http://www.environment.nsw.gov.au/noise/nglg.htm>) and the *Industrial Noise Guidelines* (<http://www.environment.nsw.gov.au/noise/industrial.htm>) publish by the Department of Environment and Conservation. Other state government authorities also regulate the [Protection of the Environment Operations Act 1997](#).

Useful links relating to Noise:

- a) Community Justice Centres—free mediation service provided by the NSW Government (www.cjc.nsw.gov.au).
- b) Department of Environment and Conservation NSW, Noise Policy Section web page (www.environment.nsw.gov.au/noise).
- c) New South Wales Government Legislation home page for access to all NSW legislation, including the *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Noise Control Regulation 2000* (www.legislation.nsw.gov.au).
- d) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au/index.php).
- e) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au).
- f) Department of Gaming and Racing - (www.dgr.nsw.gov.au).

xii. **Acoustical Engineer Contacts & Reference Material**

Further information including lists of Acoustic Engineers can be obtained from:

- a) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au)
- b) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au)
- c) NSW Industrial Noise Policy – Office of Environment & Heritage (www.environment.nsw.gov.au)

xiii. **SYDNEY WATER SECTION 73 CERTIFICATES**

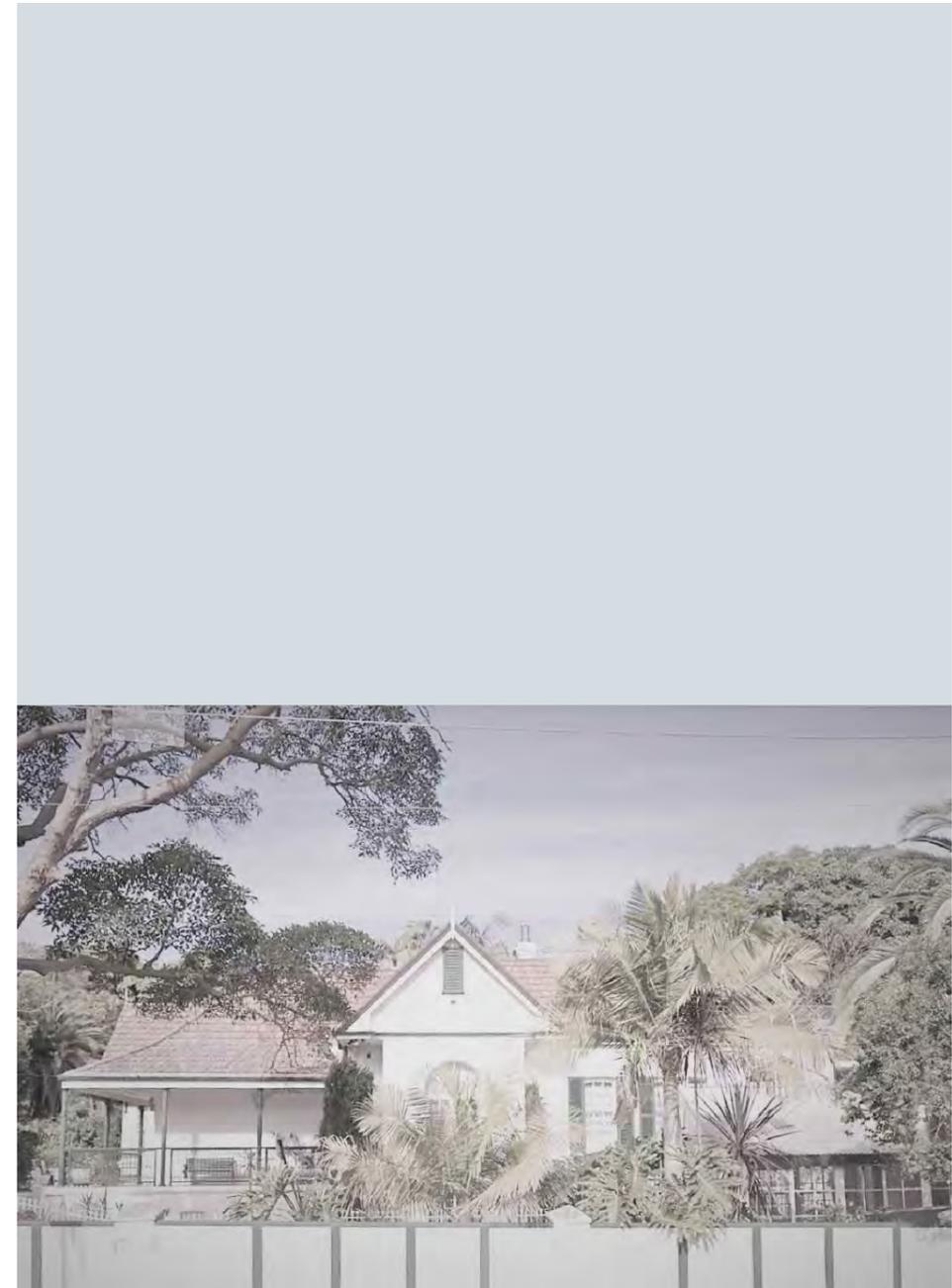
The Section 73 Certificate must be a separate certificate that relates specifically to this development consent. For example, if the development consent relates to the subdivision of the land, a Section 73 Certificate for the construction of the building that is subject to a different development consent will not suffice.

xiv. **Electricity Supply**

This development may need a connection to the Ausgrid network which may require the network to be extended or its capacity augmented. You are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services) for further details and information on lodging your application to connect to the network.

ATTACHMENTS

1. [↓](#) Architectural Plans
2. [↓](#) Landscape Plan Issue B
3. [↓](#) Tree Management Plan
4. [↓](#) Stormwater Plans



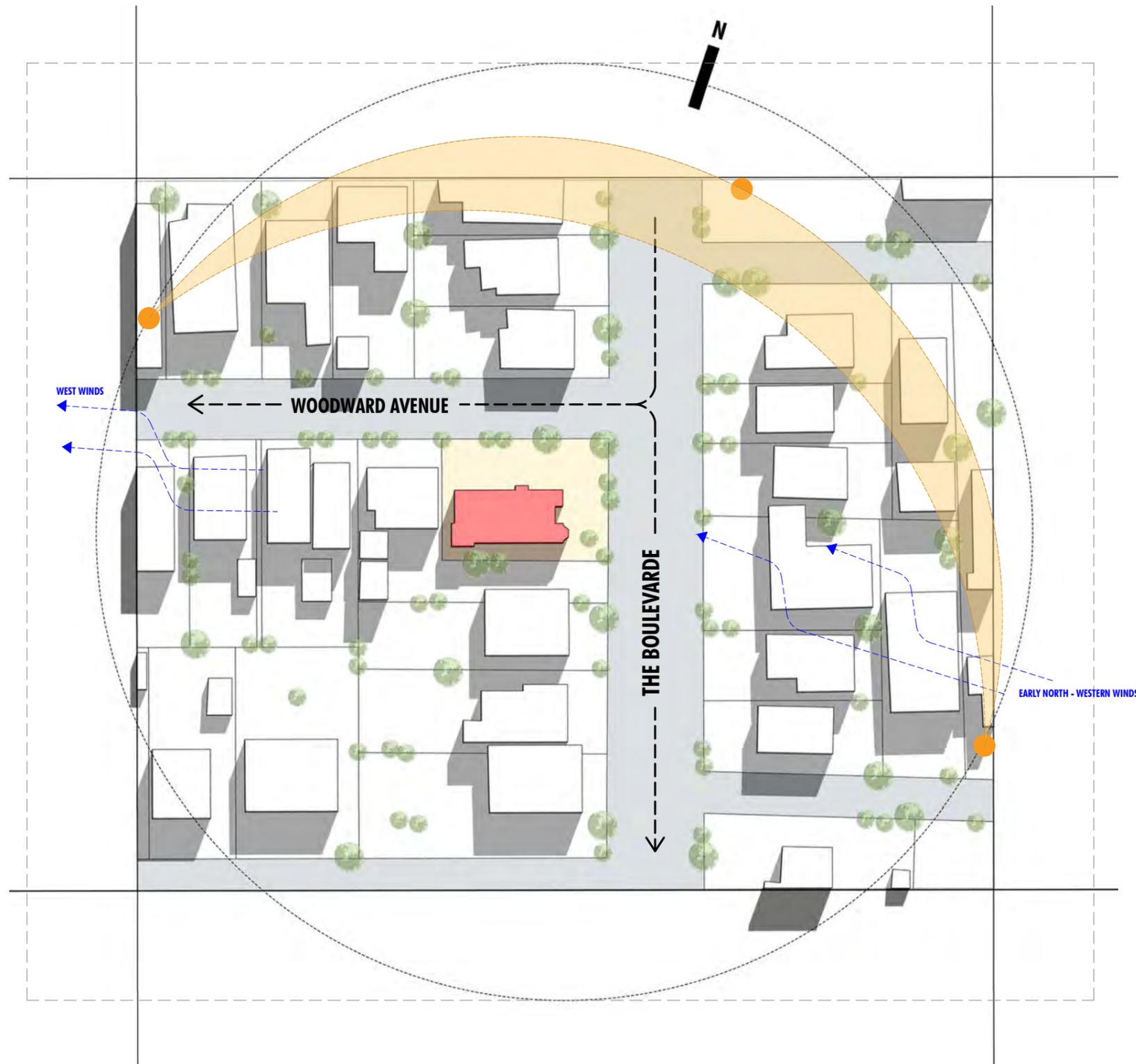
PROPOSED CHILDCARE CENTRE
95-97 THE BOULEVARDE, STRATHFIELD

PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD

ARCHIDROME
206, LEVEL 2, 8 HELP ST, CHATSWOOD, N.S.W 2067 TARUNCHADHA@ARCHIDROME.NET ARCHITECT'S REG. NO. 8777 NSW ARCHIDROME.COM.AU

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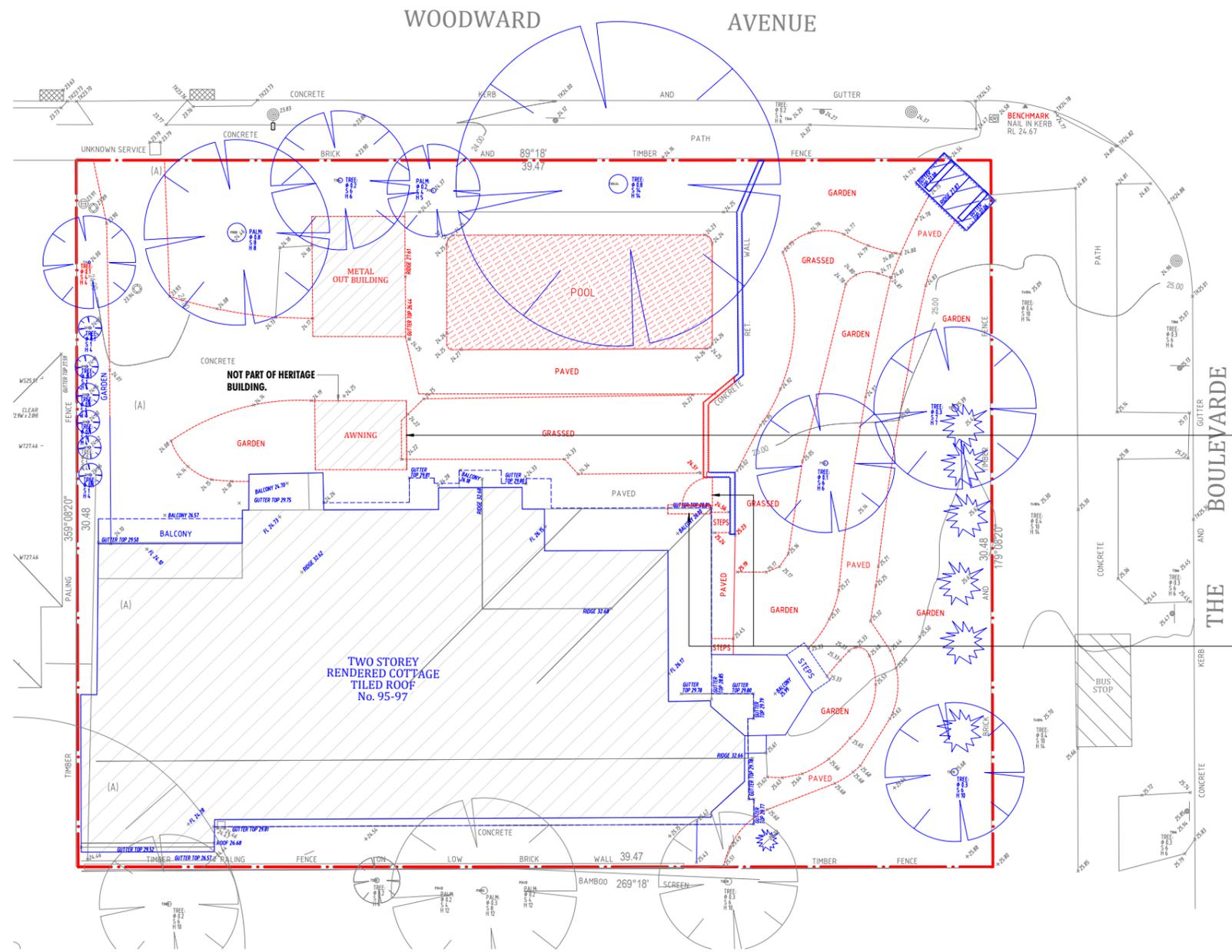
SITE ANALYSIS
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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A01

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R-00



EXISTING BALUSTRADE TO BE REMOVED FOR PROPOSED ACCESSIBLE LIFT OPENING.
SPANDEL ARCH ABOVE TO BE RETAINED.
GATE TO BE REMOVED.

KEY	
	STRUCTURES TO BE DEMOLISHED AND TREES AND LANDSCAPE TO BE REMOVED
	STRUCTURE, TREES AND LANDSCAPING RETAINED

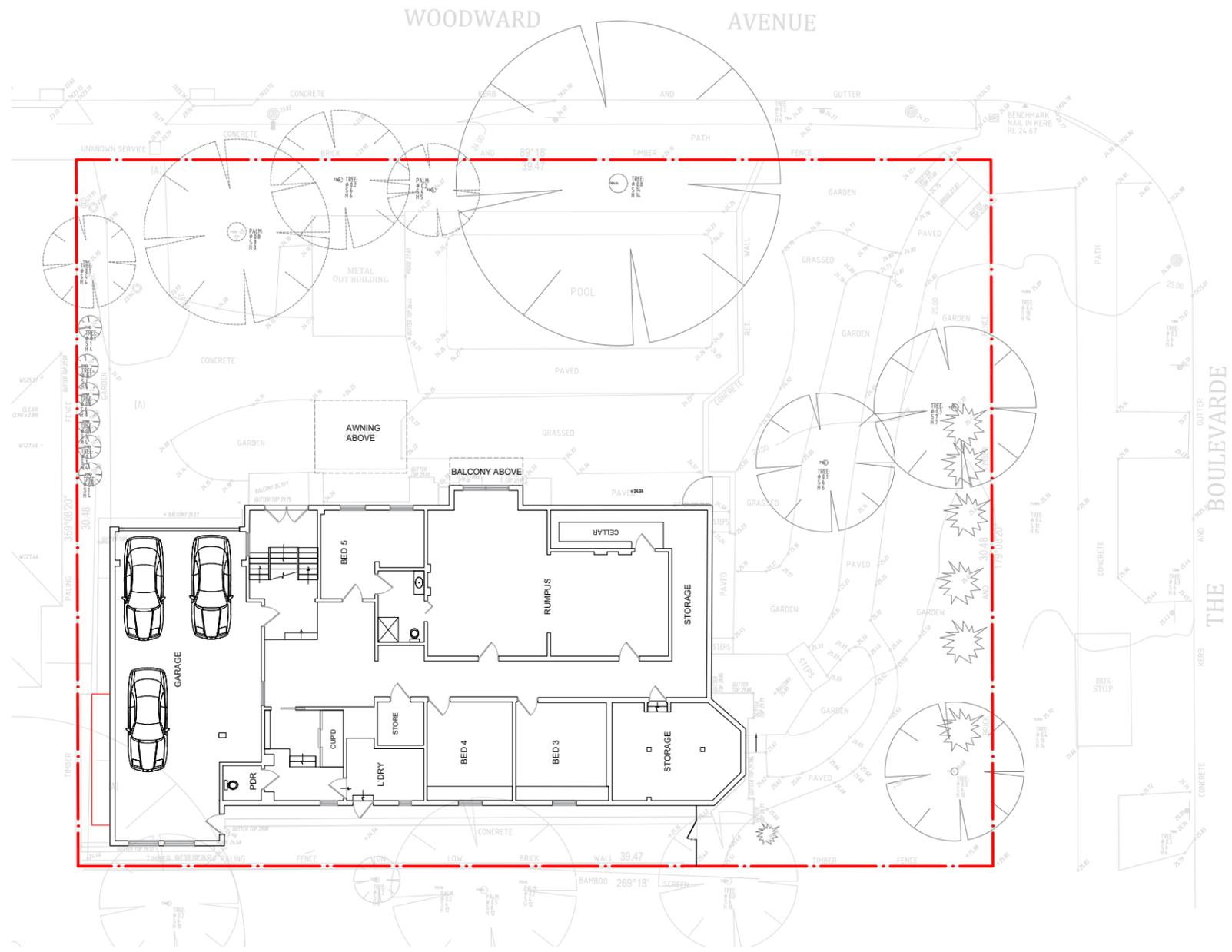
DEMOLITION PLAN
 PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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A02

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 R-01



NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

- 00.00 EXISTING LEVELS
- 00.00 PROPOSED LEVELS
- - - - - EXISTING WALLS AND DOORS REMOVED
- PROPOSED ALTERATION / ADDITION
- SITE BOUNDARY
- ➡ VEHICULAR MOVEMENT
- ➡ PEDESTRIAN MOVEMENT
- INDOOR PLAY AREA
- OUTDOOR PLAY AREA

PARKING REQUIREMENTS

CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @ 1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

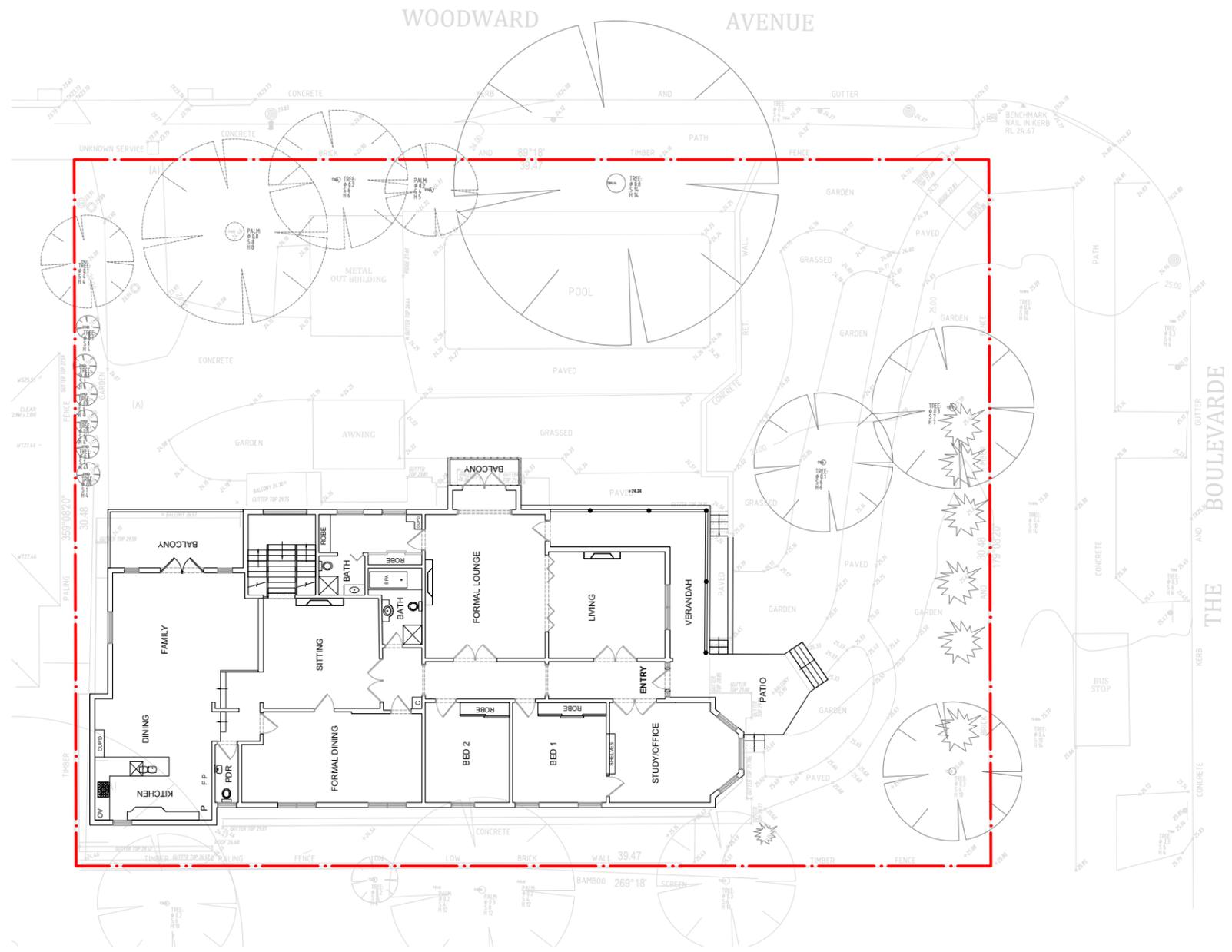
LOWER GROUND FLOOR PLAN (EXISTING)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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DRWG. NO.
A03

07 / 07 / 23
1:100 @ A1
R-00



NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

- 00.00 EXISTING LEVELS
- 00.00 PROPOSED LEVELS
- - - - EXISTING WALLS AND DOORS REMOVED
- PROPOSED ALTERATION / ADDITION
- SITE BOUNDARY
- ➡ VEHICULAR MOVEMENT
- ➡ PEDESTRIAN MOVEMENT
- INDOOR PLAY AREA
- OUTDOOR PLAY AREA

PARKING REQUIREMENTS

CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @ 1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

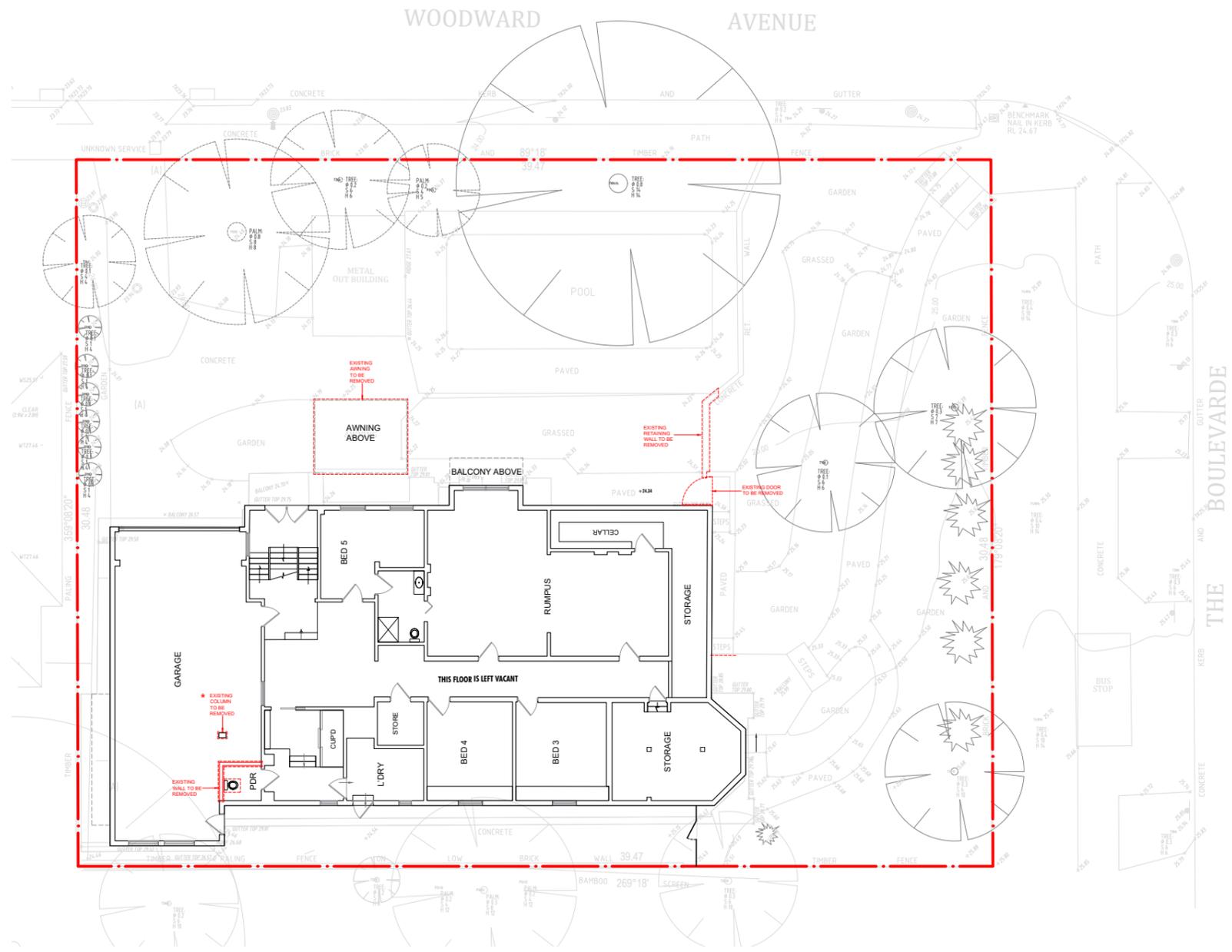
UPPER GROUND FLOOR PLAN (EXISTING)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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R-00



* STRUCTURAL ENGINEER TO PROVIDE PLANS FOR C.C STAGE.

NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

THE ENTIRE BUILDING IS RETAINED EXCEPT THE PARTS MENTIONED IN RED

DEMOLITIONS HIGHLIGHTED IN RED LINE AND RED TEXT

— SITE BOUNDARY

PARKING REQUIREMENTS				
CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

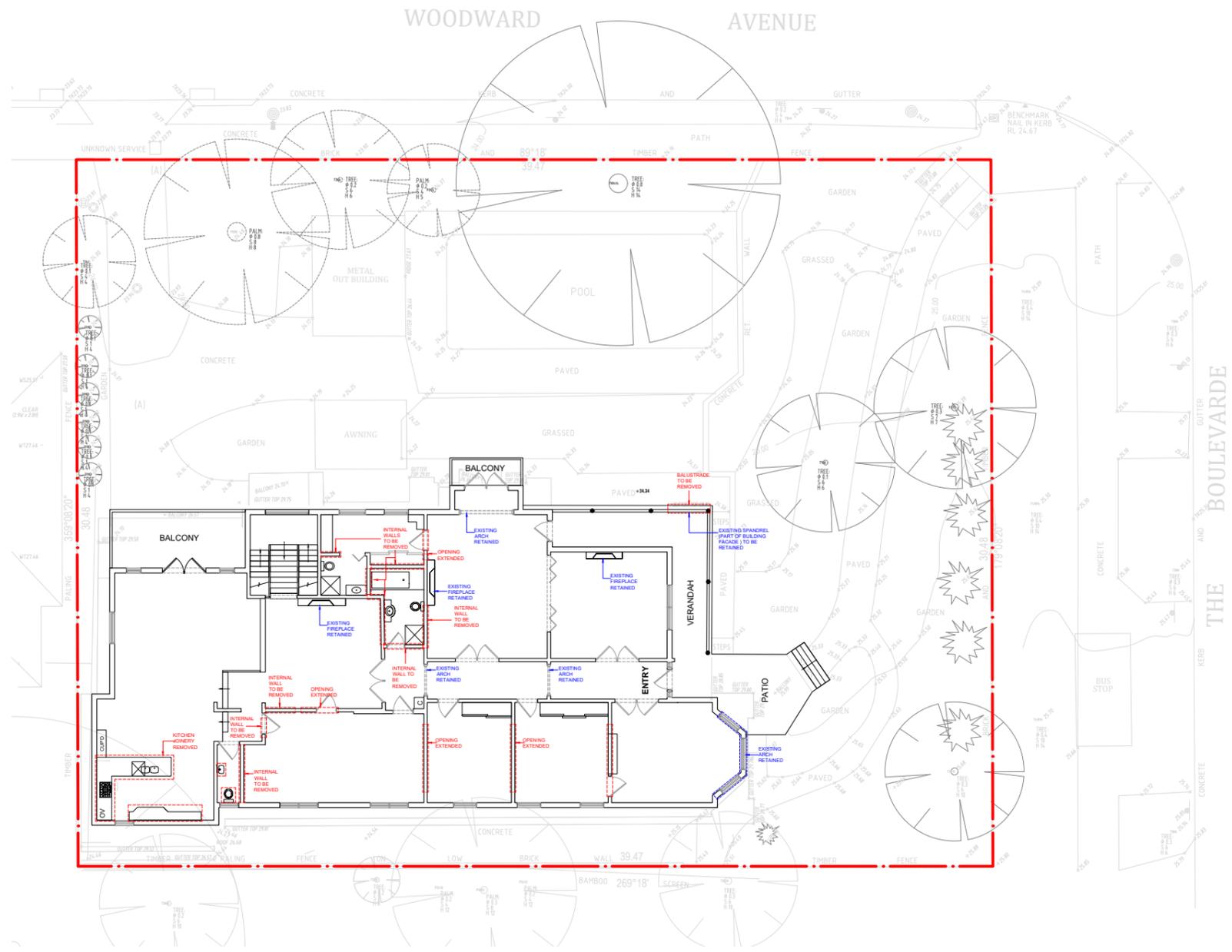
LOWER GROUND FLOOR PLAN (ALTERATIONS)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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206, LEVEL 2, 8 HELP ST, CHATSWOOD, N.S.W 2067 TARUNCHADHA@ARCHIDROME.NET ARCHITECT'S REG. NO. 8777 NSW ARCHIDROME.COM.AU

DRWG. NO. **A03.1**

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R-01



* INTERNAL NIBS AND SPANDRELS RETAINED UPTO 450MM FROM CEILING FOR ALL THE PROPOSED OPENINGS.

NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

THE ENTIRE BUILDING IS RETAINED EXCEPT THE PARTS MENTIONED IN RED

THE KEY PERIOD ELEMENTS IDENTIFIED BY HERITAGE CONSULTANTS ARE RETAINED AND HIGHLIGHTED IN BLUE TEXT

DEMOLITIONS HIGHLIGHTED IN RED LINE AND RED TEXT

— SITE BOUNDARY

PARKING REQUIREMENTS				
CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

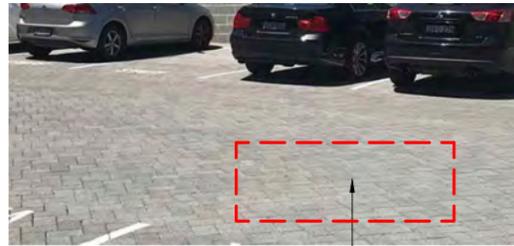
UPPER GROUND FLOOR PLAN (ALTERATIONS)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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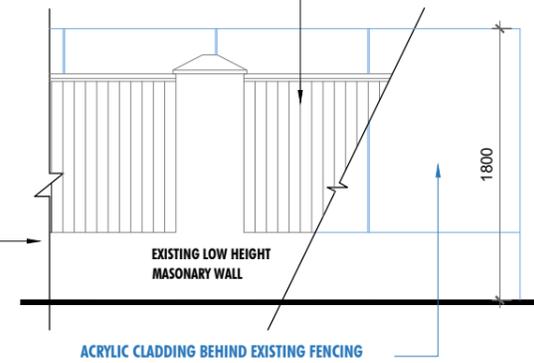
DRWG. NO. **A04.1**

07 / 07 / 23
1:100 @ A1
R-01



DRIVEWAY POSITION AND PARKING UPDATED TO RETAIN ALL EXISTING TREES ON SITE.
REFER ARBORIST REPORT FOR DETAILS

EXISTING TIMBER PICKET FENCE OVER EXISTING RENDERED MASONRY WALL



EXISTING FENCING

FILLING TO CREATE SEAMLESS OUTDOOR PLAY AREA

NOTES

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- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

- 00.00 EXISTING LEVELS
- 00.00 PROPOSED LEVELS
- - - EXISTING WALLS AND DOORS REMOVED
- PROPOSED ALTERATION / ADDITION
- SITE BOUNDARY
- ➔ VEHICULAR MOVEMENT
- ➔ PEDESTRIAN MOVEMENT
- INDOOR PLAY AREA
- OUTDOOR PLAY AREA

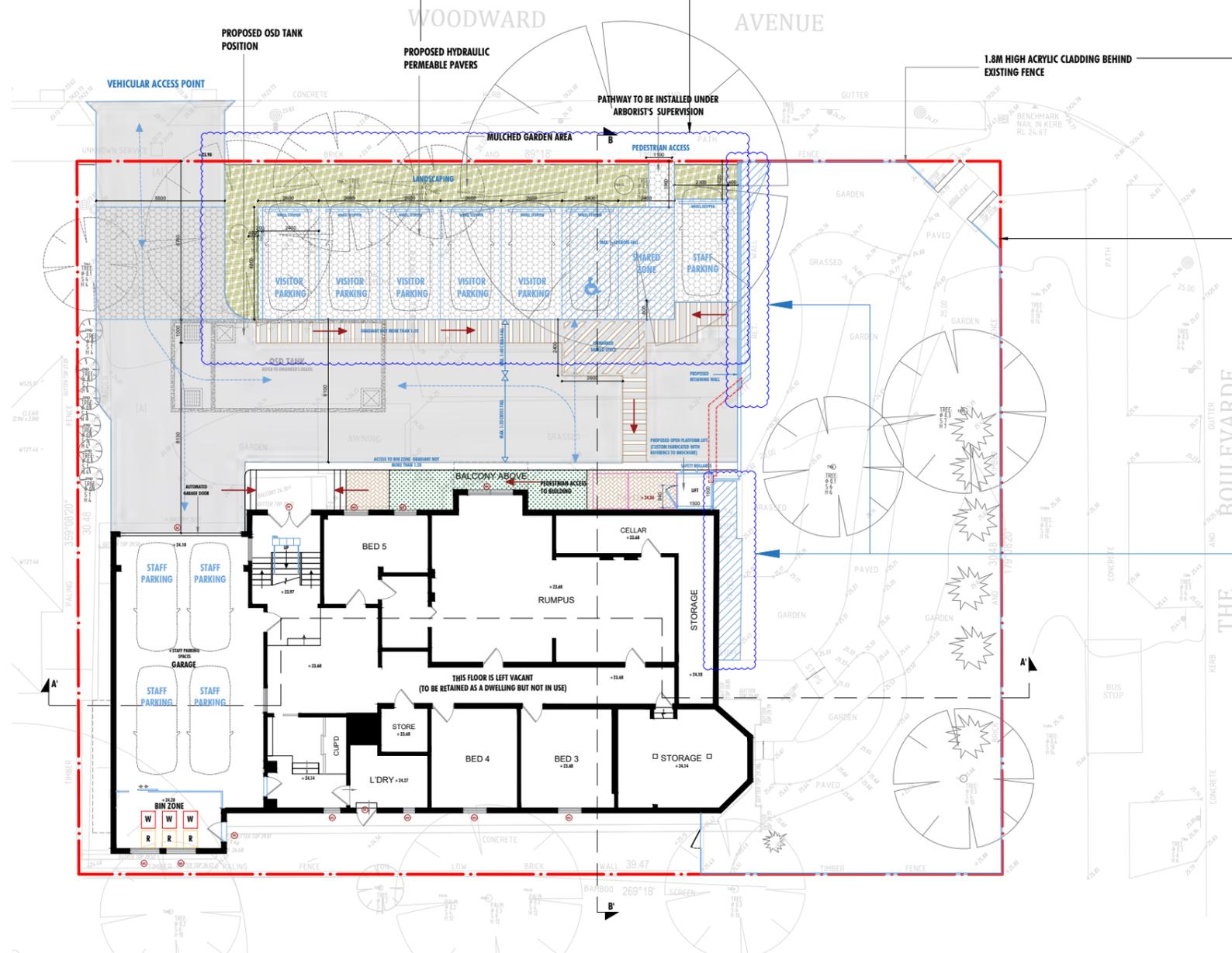
PARKING REQUIREMENTS

CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

UPDATED REVISIONS ARE HIGHLIGHTED IN BLUE

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A03.2

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R-01



DOOR SCHEDULE

TAG	HEIGHT	WIDTH	SILL LEVEL	LINTEL LEVEL	TYPE
DX	N.A	N.A	-	N.A	EXISTING DOOR RETAINED

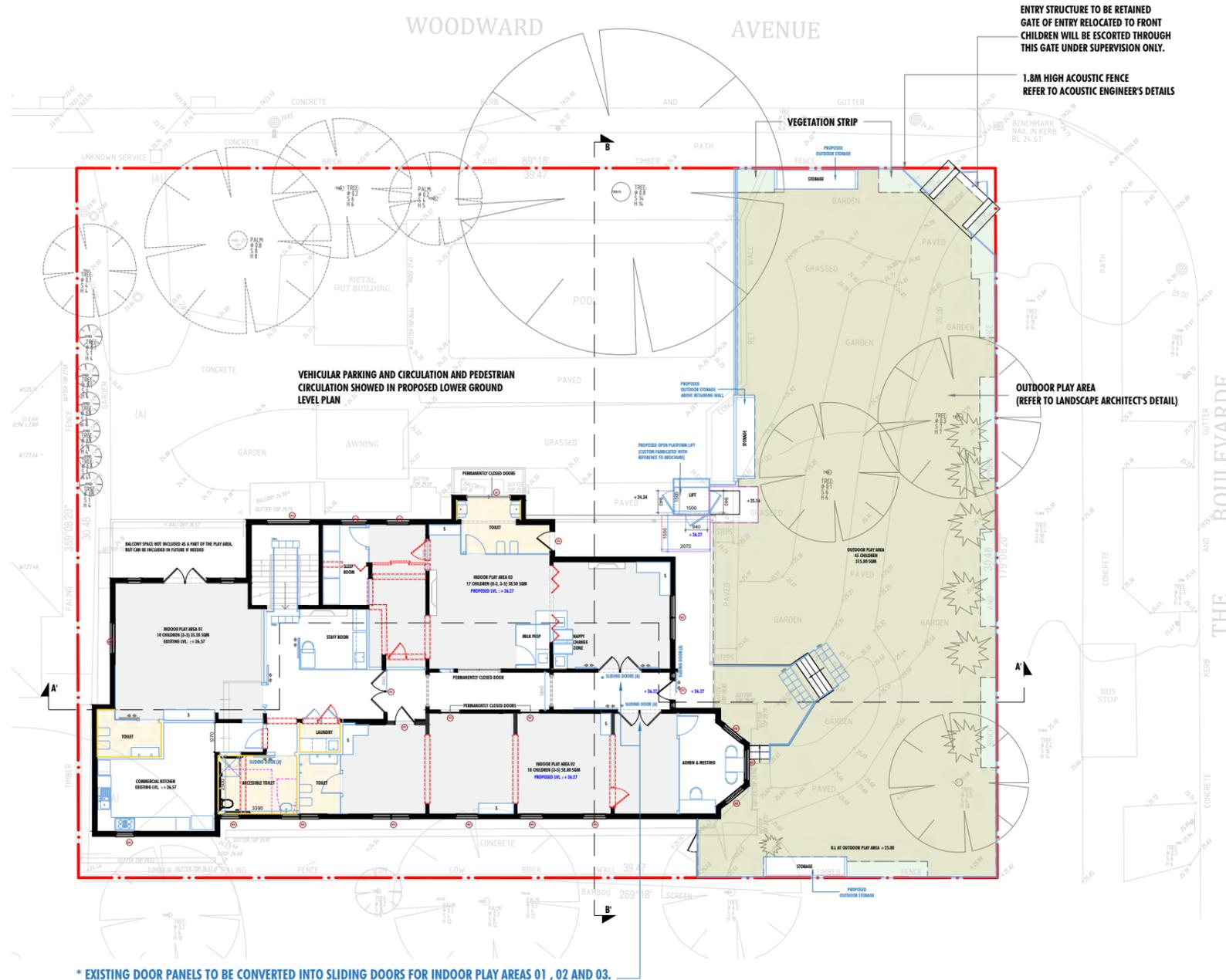
WINDOW SCHEDULE

TAG	HEIGHT	WIDTH	SILL LEVEL	LINTEL LEVEL	TYPE
WX	N.A	N.A	-	N.A	EXISTING WINDOWS RETAINED
W1	2250	2030	150	2400	FIXED GLAZING
W2	2250	5460	150	2400	FIXED GLAZING
W4	2250	1580	150	2400	FIXED GLAZING
W5	2250	590	150	2400	FIXED GLAZING

LOWER GROUND FLOOR PLAN (PROPOSED)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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STORAGE CALCULATION

INDOOR STORAGE - 0.2CU.M / PER CHILD
OUTDOOR STORAGE - 0.3CU.M / PER CHILD

INDOOR STORAGE :

PLAY AREA - 01
NO. OF CHILDREN - 10
STORAGE REQUIRED - 2 CU.M

PLAY AREA - 02
NO. OF CHILDREN - 18
STORAGE REQUIRED - 3.6 CU.M

PLAY AREA - 03
NO. OF CHILDREN - 17
STORAGE REQUIRED - 3.4 CU.M

OUTDOOR STORAGE:
NO. OF CHILDREN - 45
STORAGE REQUIRED - 13.8 CU.M

DOOR SCHEDULE					
TAG	HEIGHT	WIDTH	SILL LEVEL	LINTEL LEVEL	TYPE
DX	N.A	N.A	-	N.A	EXISTING DOOR RETAINED

WINDOW SCHEDULE					
TAG	HEIGHT	WIDTH	SILL LEVEL	LINTEL LEVEL	TYPE
WX	N.A	N.A	-	N.A	EXISTING WINDOWS RETAINED
W1	2250	2030	150	2400	FIXED GLAZING
W2	2250	5460	150	2400	FIXED GLAZING
W4	2250	1580	150	2400	FIXED GLAZING
W5	2250	590	150	2400	FIXED GLAZING

NOTES

TOTAL CAPACITY - 45 CHILDREN
TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

- 00.00 EXISTING LEVELS
- 00.00 PROPOSED LEVELS
- EXISTING WALLS AND DOORS REMOVED
- PROPOSED WALL ADDITION
- PROPOSED TOUGHENED GLASS PARTITION WALL ADDITION
- SITE BOUNDARY
- VEHICULAR MOVEMENT
- PEDESTRIAN MOVEMENT
- INDOOR WET AREAS
- INDOOR PLAY AREA
- OUTDOOR PLAY AREA
- CFC SHEETING IN WET AREAS

PARKING REQUIREMENTS

CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @ 1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

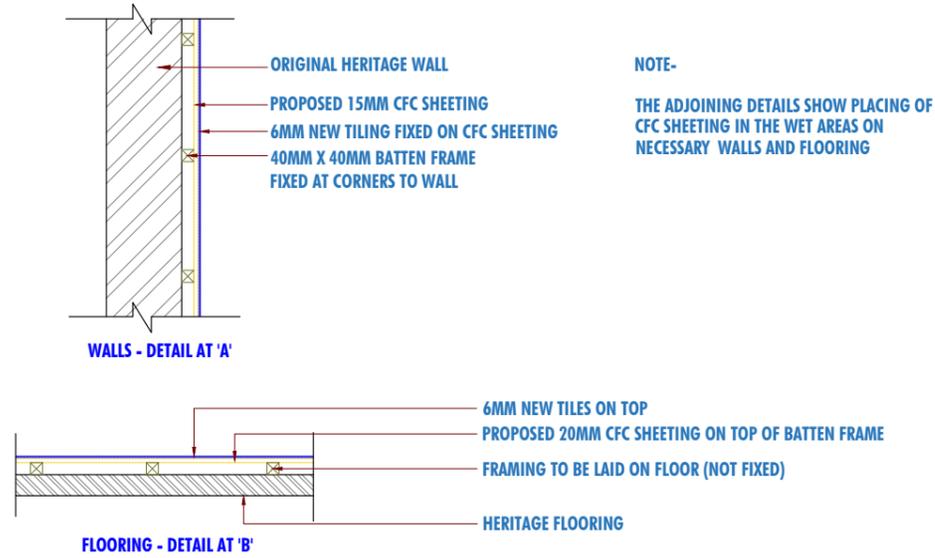
UPPER GROUND FLOOR PLAN (PROPOSED)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



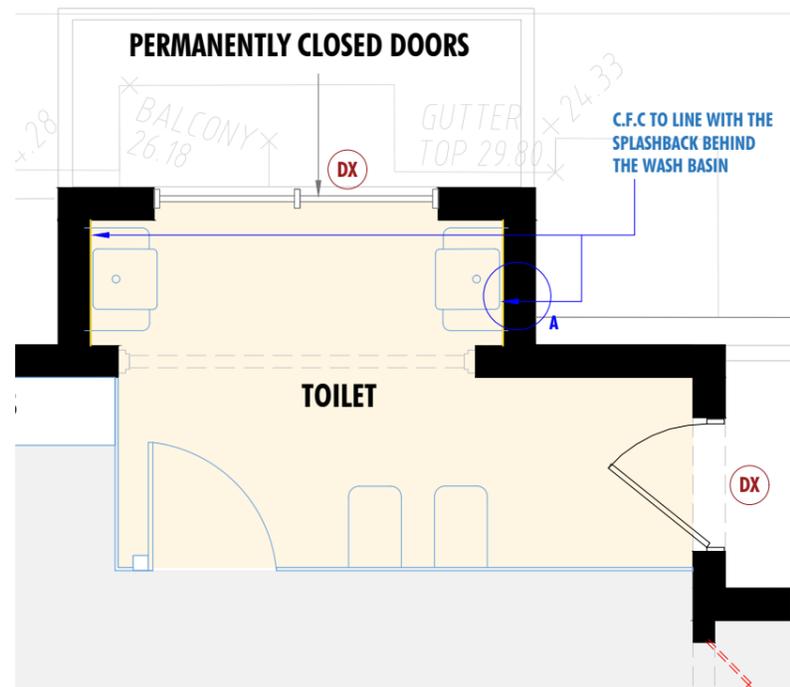
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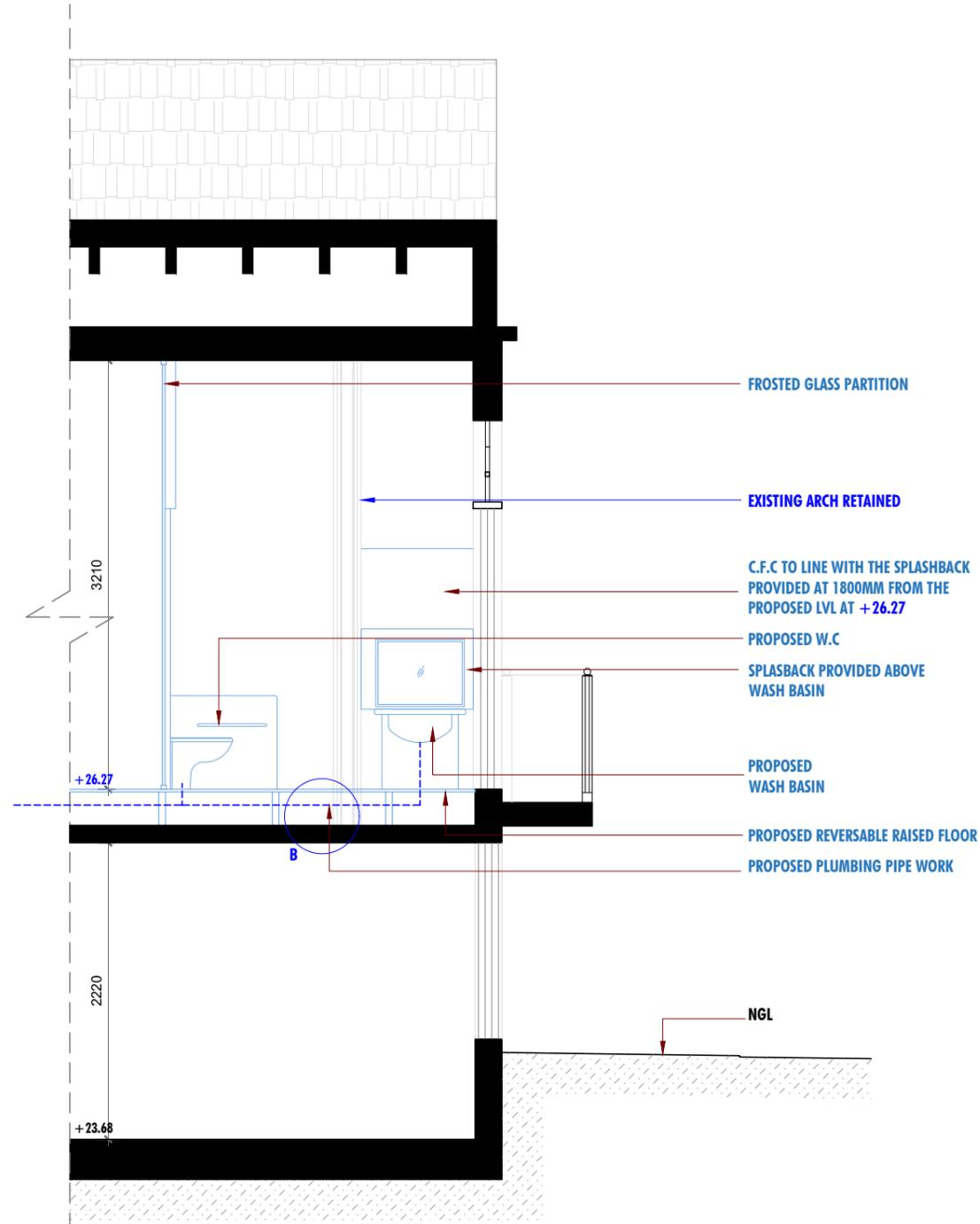
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1:100 @ A1
R-01



NOTE-
THE ADJOINING DETAILS SHOW PLACING OF CFC SHEETING IN THE WET AREAS ON NECESSARY WALLS AND FLOORING



KEY PLAN (TOILET - UPPER GROUND FLOOR) 1:20



SECTION C - C' 1:20

NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
- TOTAL INDOOR PLAY AREA PRO. - 152.58 SQ.M
- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

THE FLOORING WILL BE RAISED TO THE PROPOSED LVL OF +26.27.
C.F.C ONLY ALLIGNS WITH THE SPLASHBACK PROVIDED BEHIND THE PROPOSED MIRRORS ABOVE WAS BASINS. IT MAY NOT BE NECESSARY ELSE WHERE AS THERE IS NO SHOWER AREA PROVIDED.

PARKING REQUIREMENTS				
CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @1 PER 8	TOTAL PARKING REQ.
0-2 (@1 / 4)	04	01		
3-5 (@1 / 10)	41	05		
TOTAL	45	06	06	12

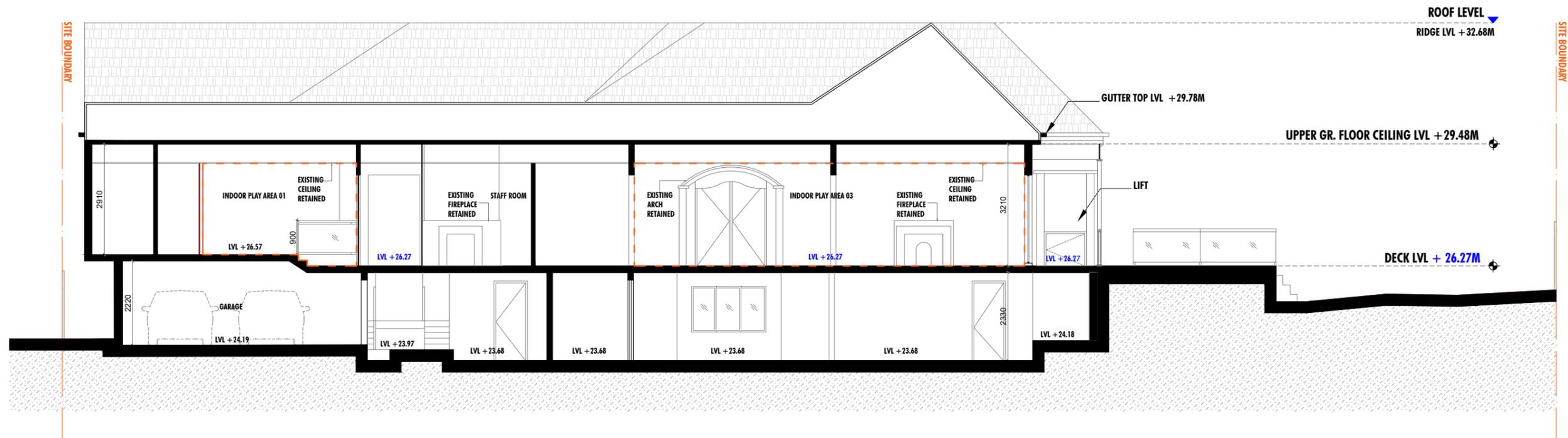
SECTION THROUGH PROPOSED TOILET AREA
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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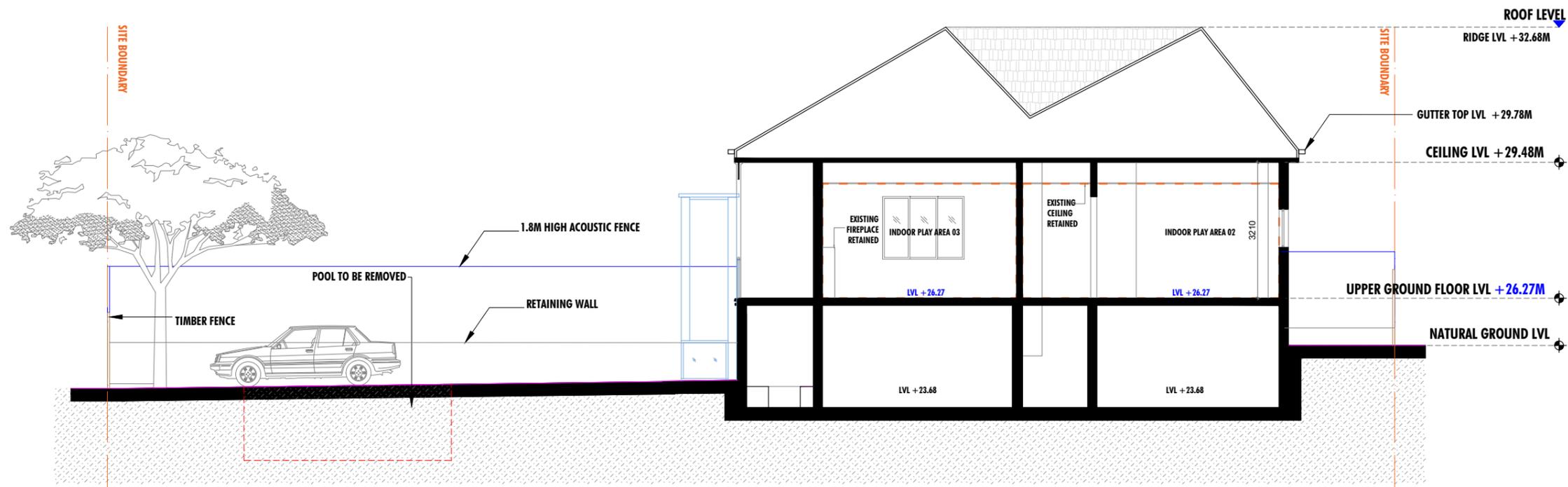
KEY	
00.00	EXISTING LEVELS
00.00	PROPOSED LEVELS
- - - - -	INDOOR PLAY AREA
—	NATURAL GROUND LEVEL

SECTION A - A'
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD

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A06

07 / 07 / 23
1:50 @ A1
R-00



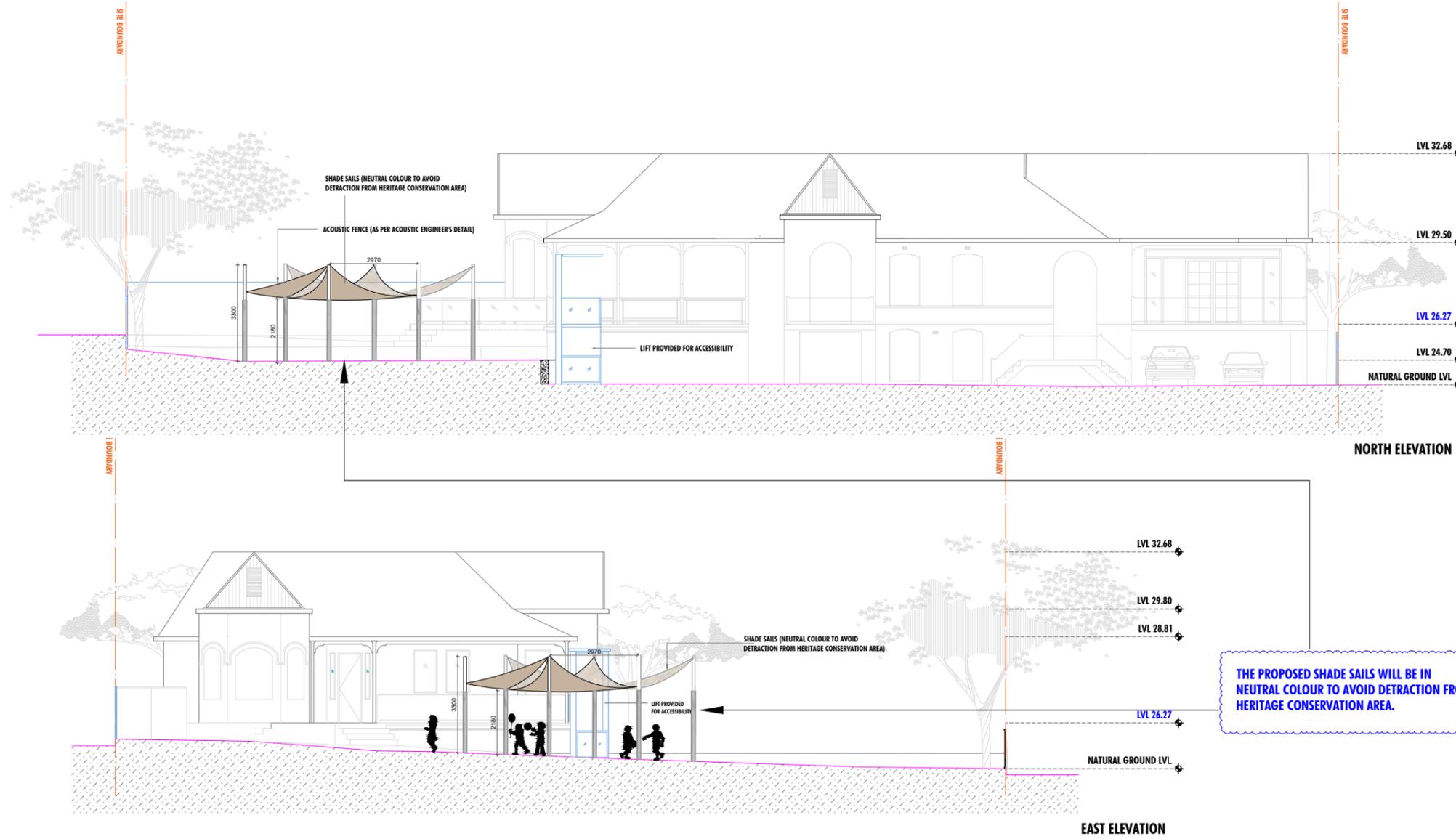
KEY	
00.00	EXISTING LEVELS
00.00	PROPOSED LEVELS
- - - - -	INDOOR PLAY AREA
—	NATURAL GROUND LEVEL

SECTION B - B'
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD

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A07

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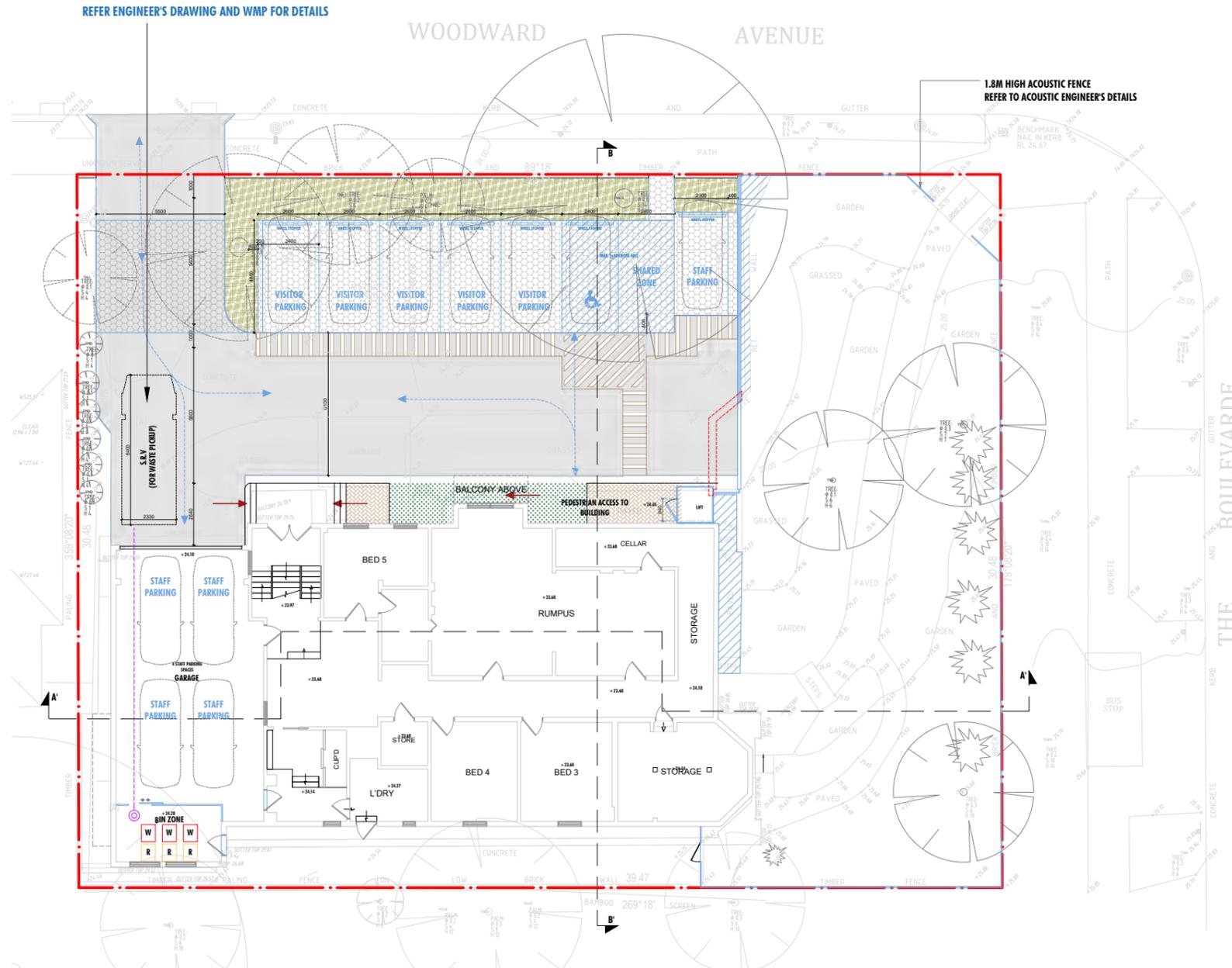
NOTE
THE PROPOSED LIFT FOR ACCESSIBILITY WILL BE CUSTOM FABRICATED.

KEY
00.00 EXISTING LEVELS
00.00 PROPOSED LEVELS
--- INDOOR PLAY AREA
--- NATURAL GROUND LEVEL

ELEVATIONS
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD

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R-01



NOTES

- TOTAL CAPACITY - 45 CHILDREN
- TOTAL INDOOR PLAY AREA REQ. - 146.25 SQ.M
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- TOTAL OUTDOOR PLAY AREA REQ. - 315 SQ.M
- TOTAL OUTDOOR PLAY AREA PRO. - 320.11 SQ.M
- TOTAL NO. OF PARKING SPACE PRO. - 11

KEY

- 00.00 EXISTING LEVELS
- 00.00 PROPOSED LEVELS
- - - - - EXISTING WALLS AND DOORS REMOVED
- — — — — PROPOSED ALTERATION / ADDITION
- — — — — SITE BOUNDARY
- — — — — VEHICULAR MOVEMENT
- — — — — PEDESTRIAN MOVEMENT
- INDOOR PLAY AREA
- OUTDOOR PLAY AREA

KEY

- — — — — BIN CARTING PATH

PARKING REQUIREMENTS				
CHILD CARE CENTRE	TOTAL CAPACITY	STAFF PARKING	VISITOR PARKING @ 1 PER 8	TOTAL PARKING REQ.
0-2 (@ 1 / 4)	04	01		
3-5 (@ 1 / 10)	41	05		
TOTAL	45	06	06	12

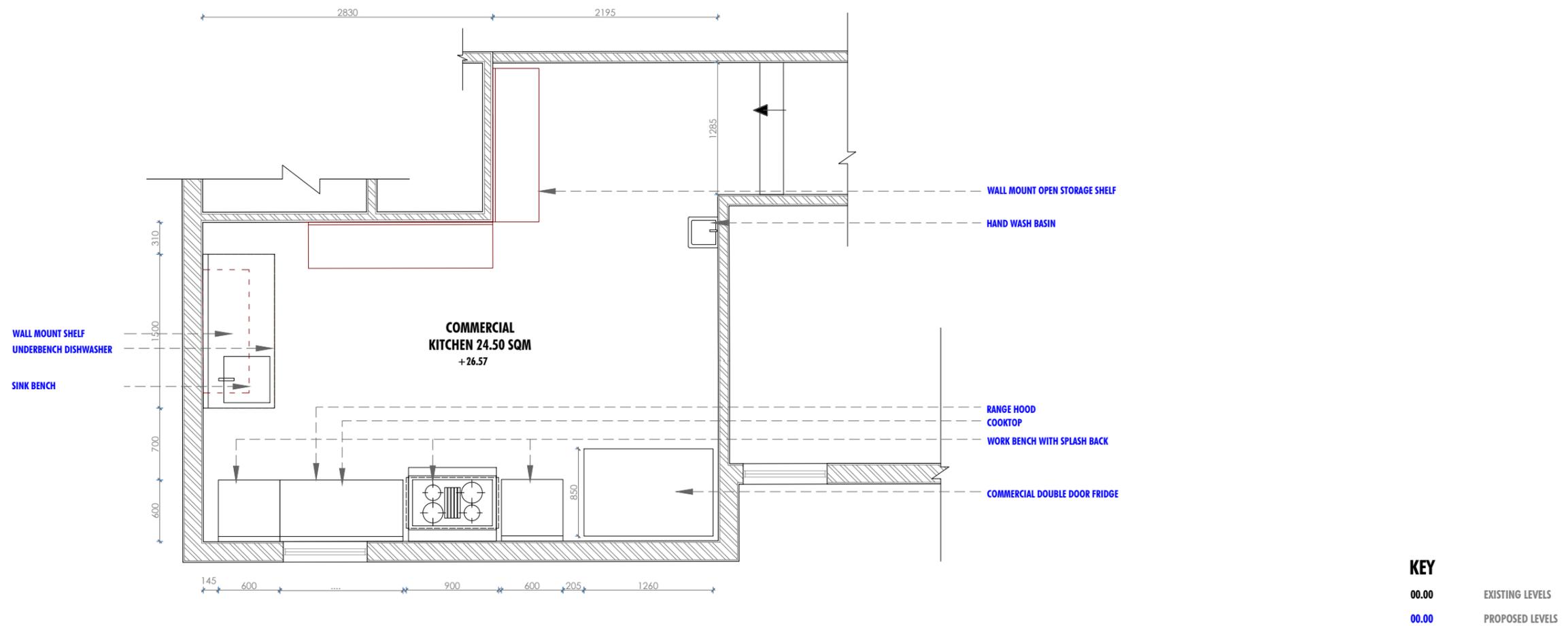
WASTE COLLECTION PLAN (PROPOSED)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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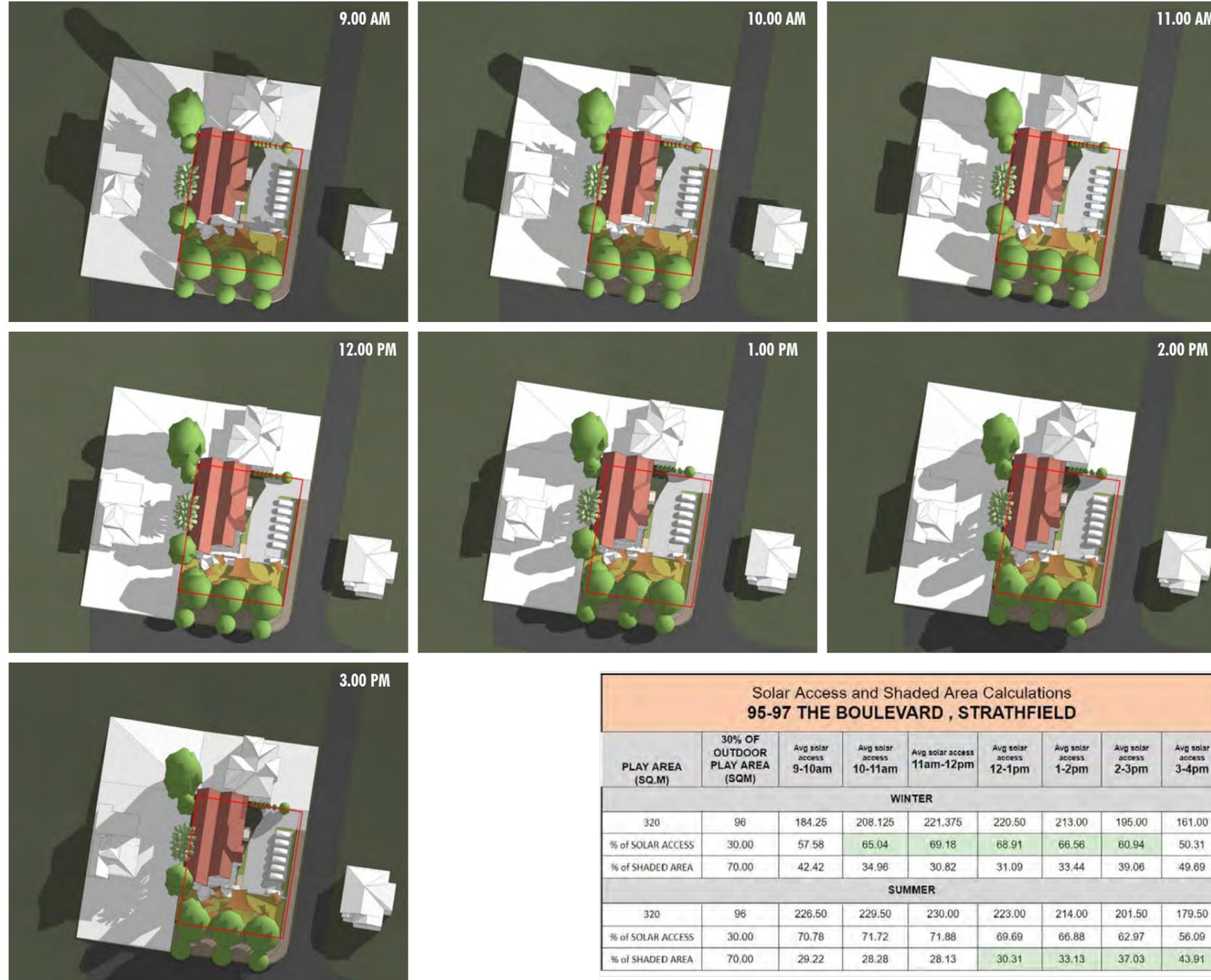
KITCHEN DETAIL (PROPOSED)
 PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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A10

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NOTES

- 01. IT CAN BE OBSERVED FROM THE SHADOW ANALYSIS THAT MORE THAN 65% OF THE EXTERNAL PLAY AREA RECEIVES SOLAR ACCESS FOR A CONTINUOUS PERIOD OF 4 HOURS (11AM - 3PM) IN WINTERS (21 JUNE). HENCE COMPLIANCE ACHIEVED. (REQUIRED 30%)
- 02. AND ACHIEVE MINIMUM 30% OF SHADE IN SUMMERS (21 DEC) FOR A CONTINUOUS PERIOD OF 4 HOURS (12PM-4PM). HENCE COMPLIANCE ACHIEVED. (REQUIRED 30%)
- 03. THE FOLLOWING SHADOW ANALYSIS GUIDELINES HAVE BEEN TAKEN FROM THE DOCUMENT CHILD CARE PLANNING GUIDELINE PRODUCED BY NSW GOVERNMENT.

Solar Access and Shaded Area Calculations 95-97 THE BOULEVARD , STRATHFIELD								
PLAY AREA (SQ.M)	30% OF OUTDOOR PLAY AREA (SQM)	Avg solar access 9-10am	Avg solar access 10-11am	Avg solar access 11am-12pm	Avg solar access 12-1pm	Avg solar access 1-2pm	Avg solar access 2-3pm	Avg solar access 3-4pm
WINTER								
320	96	184.25	208.125	221.375	220.50	213.00	195.00	161.00
% of SOLAR ACCESS	30.00	57.58	65.04	69.18	68.91	66.56	60.94	50.31
% of SHADED AREA	70.00	42.42	34.96	30.82	31.09	33.44	39.06	49.69
SUMMER								
320	96	226.50	229.50	230.00	223.00	214.00	201.50	179.50
% of SOLAR ACCESS	30.00	70.78	71.72	71.88	69.69	66.88	62.97	56.09
% of SHADED AREA	70.00	29.22	28.28	28.13	30.31	33.13	37.03	43.91

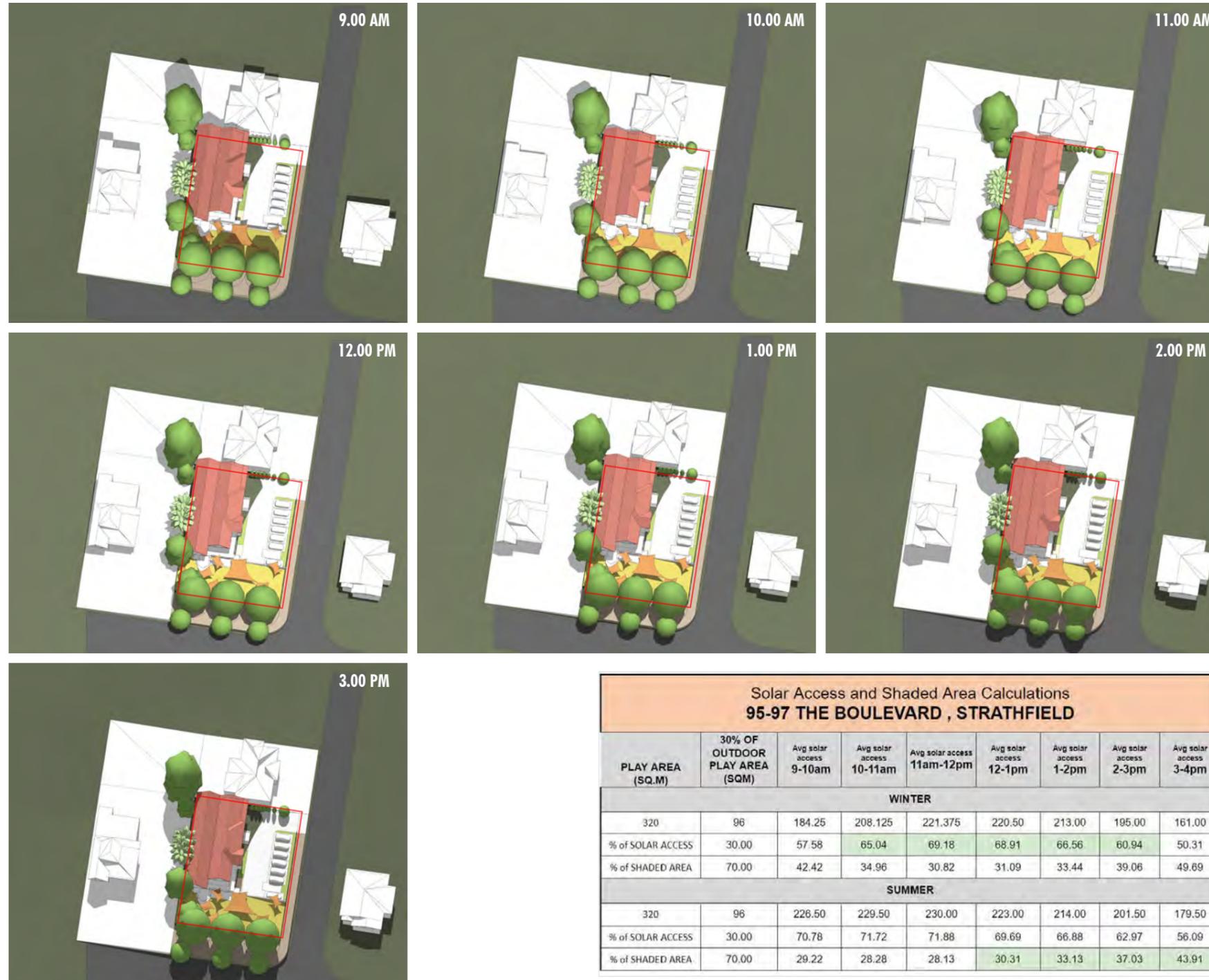
SHADOW ANALYSIS - SITE (21 JUNE)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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A11

07 / 07 / 23
1:20 @ A1
R-00



NOTES

- 01. IT CAN BE OBSERVED FROM THE SHADOW ANALYSIS THAT MORE THAN 65% OF THE EXTERNAL PLAY AREA RECEIVES SOLAR ACCESS FOR A CONTINUOUS PERIOD OF 4 HOURS (11AM - 3PM) IN WINTERS (21 JUNE). HENCE COMPLIANCE ACHIEVED . (REQUIRED 30%)
- 02. AND ACHIEVE MINIMUM 30% OF SHADE IN SUMMERS (21 DEC) FOR A CONTINUOUS PERIOD OF 4 HOURS (12PM-4PM). HENCE COMPLIANCE ACHIEVED. (REQUIRED 30%)
- 03. THE FOLLOWING SHADOW ANALYSIS GUIDELINES HAVE BEEN TAKEN FROM THE DOCUMENT CHILD CARE PLANNING GUIDELINE PRODUCED BY NSW GOVERNMENT.

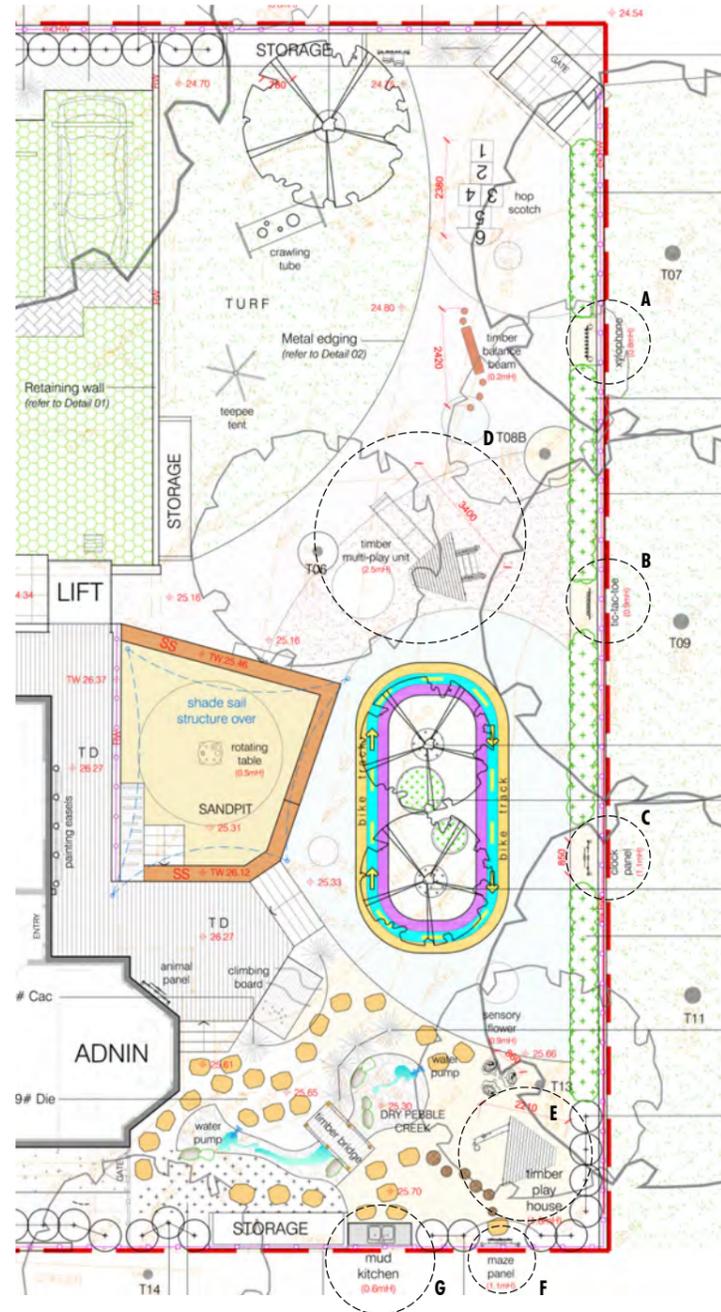
SHADOW ANALYSIS - SITE (21 DECEMBER)
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



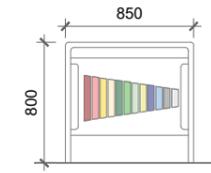
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A12

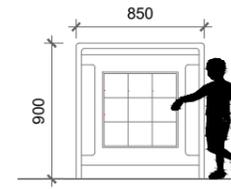
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1:20 @ A1
R-00



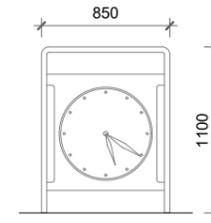
LANDSCAPE PLAN @ 1:75



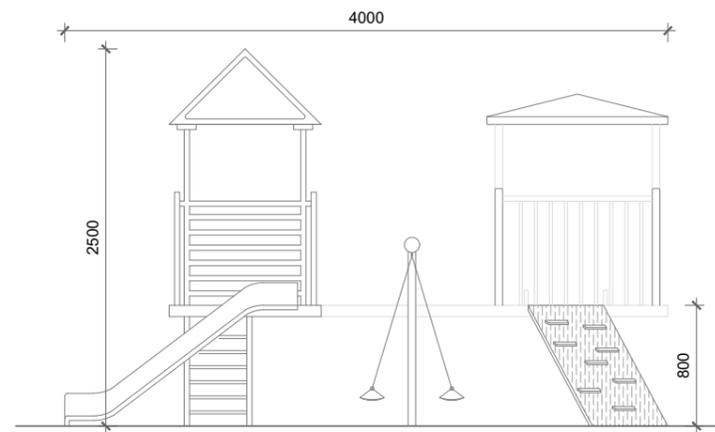
DETAIL @A - XYLOPHONE BOARD
SCALE - 1:10



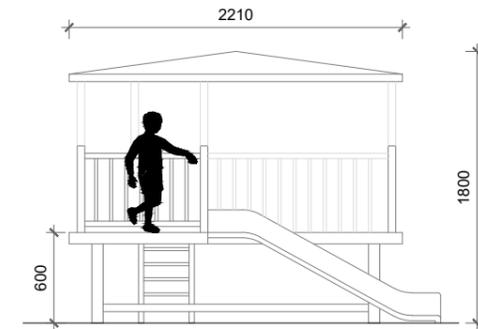
DETAIL @B - TIC TAC TOE
SCALE - 1:10



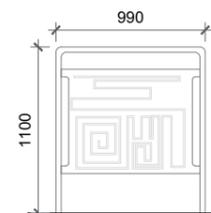
DETAIL @C - CLOCK PANEL
SCALE - 1:10



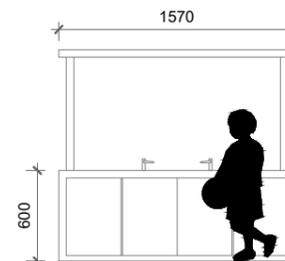
DETAIL @D - TIMBER MULTI-PLAY UNIT
SCALE - 1:20



DETAIL @E - TIMBER PLAY HOUSE
SCALE - 1:20



DETAIL @F - MAZE PANEL
SCALE - 1:20



DETAIL @G - MUD KITCHEN
SCALE - 1:20

NOTES

THE ADJOINING PLAN SHOWS FIXED OUTDOOR PLAY AREAS ONLY.

PLEASE REFER LANDSCAPE PLAN FOR FURTHER DETAILS.

THE NOISE IMPACT TOWARDS THE ADJOINING RESIDENTS WILL BE LOW AS MAJORITY OF THE PLAY EQUIPMENTS ARE PLACED NEAR ROAD SIDE ALONG THE WEST SIDE OF THE OUTDOOR PLAY AREA.

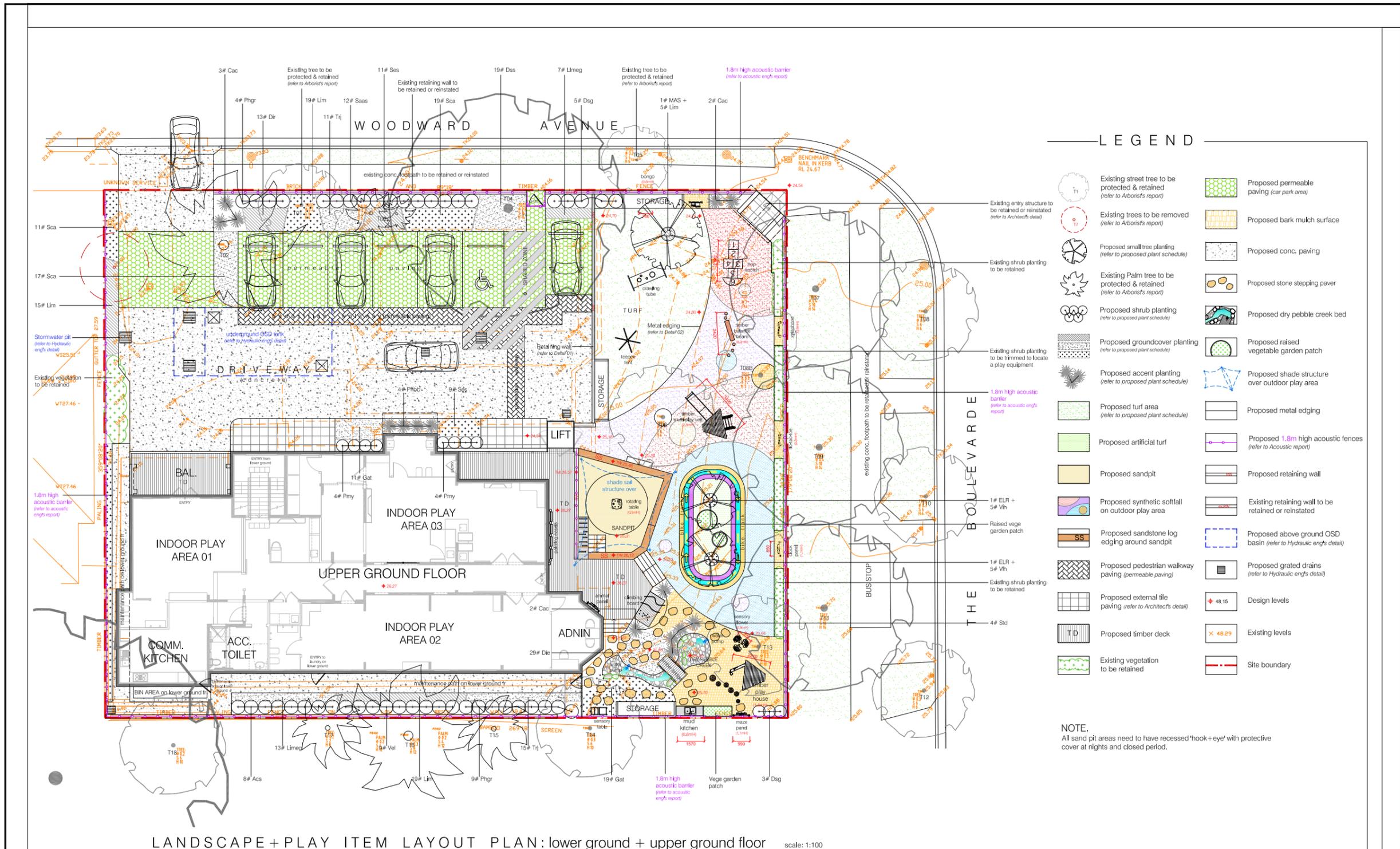
FIXED OUTDOOR FURNITURES / EQUIPMENTS
PROJECT LOCATION : 95 - 97 THE BOULEVARDE, STRATHFIELD



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A13

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@ A1
R-00



LANDSCAPE + PLAY ITEM LAYOUT PLAN: lower ground + upper ground floor scale: 1:100

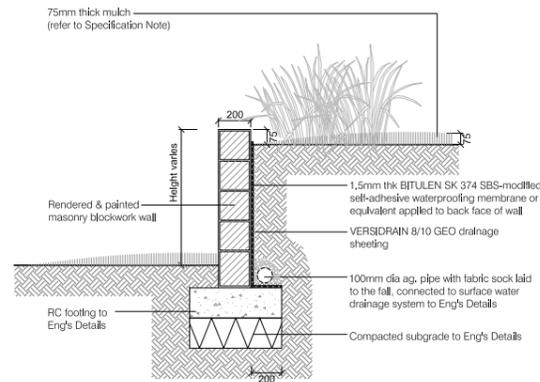


95-97 The Boulevard, STRATHFIELD NSW

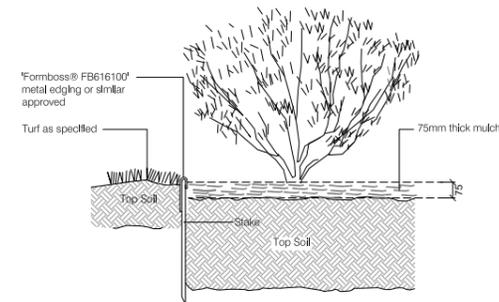


dwg title	scale: 1:100 @a1	revision	date
landscape + play item layout plan: lower & upper ground floor	dwg no.: DA-L101	P co-ordination	07/02/23
	Client: SANDOR JAKUCS	A da submission	14/02/23
		B da amendments	07/07/23

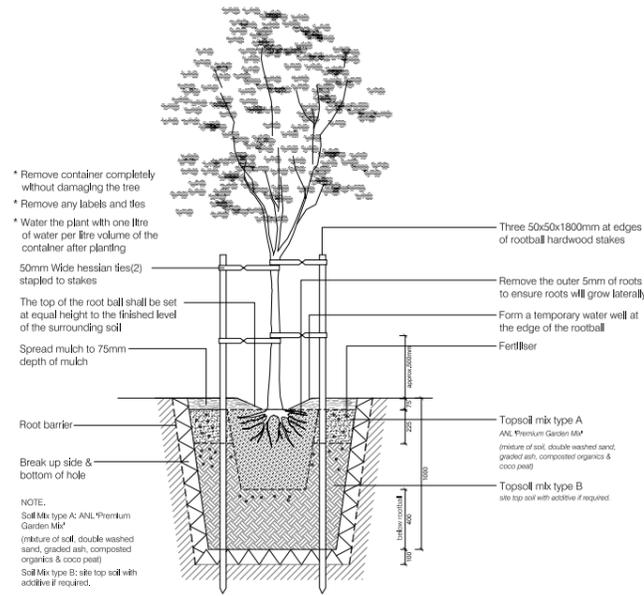
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TYPICAL DETAIL 01: retaining wall scale: 1:20



TYPICAL DETAIL 02: metal edging scale: 1:10



TYPICAL DETAIL 03: tree planting scale: 1:20

PROPOSED PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
TREES				
ELR	<i>Elaeagnus reticulatus</i>	Blue-berry Ash	45L	7m
LOC	<i>Lophostemon confertus</i>	Queensland Brush Box	100L	15m
MAS	<i>Magnolia x soulangeana</i>	Saucer Magnolia	45L	7m
SHRUBS				
Acs	<i>Acmena smithii var minor</i>	Dwarf Lillypil	300mm	3m
Dsg	<i>Duranta 'Sheena's Gold'</i>	Golden Dew Drop (Hedge)	300mm	2m
Phgr	<i>Photinia glabra Rubens</i>	Photinia	25L	2m
Pmy	<i>Phytolacca myoporoides</i>	Wax Flower	200mm	1.5m
Saas	<i>Syzygium australe 'Aussie Southern'</i>	Syzygium 'Aussie Southern'	5L	2m
Vel	<i>Viburnum 'Emerald Luster'</i>	Viburnum	25L	2m
Wef	<i>Westringia fruticosa</i>	Coastal Rosemary	150mm	2m
ACCENT PLANTS				
Cac	<i>Cordyline australis 'Cabernet'</i>	Cordyline Cabernet	200mm	1.5m
Cpj	<i>Cordyline 'Pink Joy'</i>	Pink Joy Cordyline	150mm	1.2m
Std	<i>Strelitzia reginae dwarf</i>	Dwarf Bird-of-Paradise	200mm	0.6m
GROUND COVERS				
Die	<i>Dichondra repens</i>	Kidney Weed	150mm	0.1m
Dir	<i>Dianella revoluta</i>	Black Anther Flax Lily	150mm	0.4m
Dss	<i>Dianella Silver Streak</i>	Silver Streak Flax Lily	150mm	0.4m
Gat	<i>Gazania tomentosa</i>	Gazania	140mm	0.15m
Lim	<i>Liriope muscari 'Variegata'</i>	Variegata Lily Turf	150mm	0.3m
Limeg	<i>Liriope muscari 'Evergreen Giant'</i>	Slant Lily Turf	150mm	0.6m
Sca	<i>Scasicola Purple Fanfare</i>	Purple Fan Flower	150mm	0.3m
Ses	<i>Senecio ssp.</i>	Dwarf Blue Chalk Sticks	100mm	0.2m
Tri	<i>Trachypogonum jasminoides</i>	Star Jasmine	150mm	0.2m
Vih	<i>Viola hederifolia</i>	Native Violet	150mm	0.1m
TURF GRASS				
As noted	<i>Stenotaphrum secundatum</i>	Sr Water Buffalo	roll	

MAINTENANCE PROGRAM

The typical range of maintenance tasks required over a 12 month period is summarised in the table. Any information provided in the table must be assessed in the light of the weather and general site conditions. For example, watering frequency depends on the soil drainage and rainfall, fertiliser type and frequency needs to be adjusted to suit the plant requirements and the soil fertility and pH.

MULCH
Mulch will need to be topped up periodically to maintain a min. depth of 75mm. Mulch should be kept at least 50mm away from plant stems to reduce the risk of collar rot.

WEEDS
Weeds in mulched beds will need to be controlled by hand pulling or by the use of non residual herbicides. When using herbicides be very careful to avoid spray drifting onto valuable plants, the smallest contact with the chemicals can cause damage.

PLANT MAINTENANCE
Deep watering once or twice a week is more beneficial to plants than frequent light watering. Frequent watering will produce shallow roots and make the plant less stable and susceptible to drought. Maintain moisture to the bottom of the rootball for the first 3 months. To help safeguard plants remove labels immediately after planting. Where plants are susceptible to damage by vehicles to pedestrians, maintain protective fences until plants are well established. Replace dead plants fortnightly until such time as alternative maintenance procedures are in place.

LAWN MAINTENANCE
Once lawn has been established, carry out watering and fertilising as suggested in the typical maintenance program. In summer, through watering, two or three times each week will encourage roots to go deeper in search of water. Mow grass as required to maintain an even tidy appearance.

Maintenance Task	Frequency											
	January	February	March	April	May	June	July	August	September	October	November	December
Grass												
Mowing lawn		WEEKLY				AS REQUIRED					WEEKLY	
Watering lawn								AS REQUIRED				TWICE WEEKLY
Fertilising lawn												
Weed control												
Top dressing												
Aerating												
Reseeding												
Trees & Shrubs												
Watering			WEEKLY					AS REQUIRED				WEEKLY
Fertilising												
Pruning												
Mulching												
Weed control												
Thinning												
Insect & disease control												

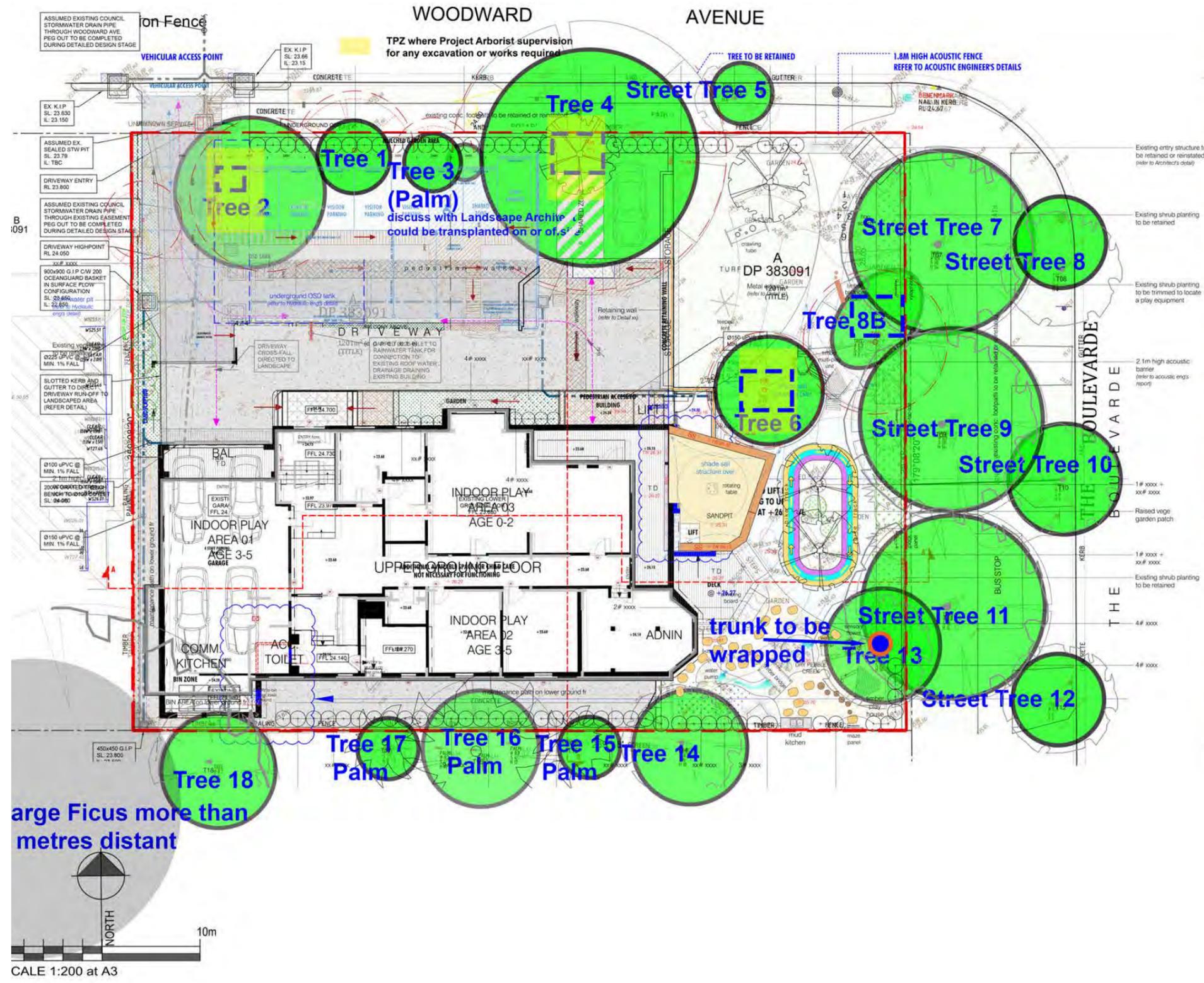
PROPOSED PLANTING & SAMPLE PLAY ITEMS IMAGE PALETTE



95-97 The Boulevard, STRATHFIELD NSW

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dwg title	scale: 1:20 & 10 @a1	revision	date
landscape typical details, proposed plant schedule & maintenance program	dwg no.: DA-L102	P co-ordination	07/02/23
	Client: SANDOR JAKUCS	A da submission	14/02/23
		B da amendments	07/07/23



SCALE 1:200 at A3

E	21.09.2023	Respond to Council requests
D	12.07.2023	Retain all trees and Palms
C	03.07.2023	Respond to RFI
B	12.02.2023	DA Issue
A	05.02.2023	Preliminary
ISS	DATE	AMENDMENT

Architects + Designers
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 OWNER
 Client: Sandor Jakucs

Horticultural Resources Consulting Group
 PO Box 1020 Eastwood NSW 2122
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 Contact: Victor@hrcarou.com.au Mobil 0410 755 338

DWG TITLE **TREE MANAGEMENT PLAN**
 PROJECT TITLE **PROPOSED CHILDCARE CENTRE AT 95-97 The Boulevard STRATHFIELD, NSW**

APPENDIX 1
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 Drawn by Victor John Molyneux
 JOB No DWG No No IN SET ISSUE

TABLE 2 TREES CATEGORY RATINGS and recommended outcomes

#	Botanical Name/ Common Name	CATEGORY	SRIV	RECOMMENDATION and brief comment
1	<i>Syzygium australe</i> Syzygium 'Big Red'	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN
2	<i>Phoenix canariensis</i> , Canary Island Date Palm	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN Council preference
3	2x <i>Hyophorbe lagenicaulis</i> Bottle Palm	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN
4	<i>Lophostemon confertus</i> , Brush Box	CATEGORY A HIGH	RETENTION HIGH	RETAIN Council preference could be dangerous for childcare facility
5	<i>Lagerstroemia indica</i> , Crepe Myrtle Woodward Street Tree	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN Or could be replaced with more suitable street planting Discuss with Council/Landscape Architect
6	<i>Lagerstroemia indica</i> , Crepe Myrtle front yard	CATEGORY A HIGH	RETENTION HIGH	RETAIN Council preference Discussed with Landscape Architect maybe too close to some proposed minor works and access
7	<i>Cinnamomum camphora</i> , Camphor Laurel Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
8	<i>Lophostemon confertus</i> , Brush Box Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
8B	<i>Jacaranda mimosifolia</i> , Jacaranda	CATEGORY C LOW	RETENTION MEDIUM	RETAIN Council preference poor specimen
9	<i>Cinnamomum camphora</i> , Camphor Laurel Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
10	<i>Lophostemon confertus</i> , Brush Box Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
11	<i>Cinnamomum camphora</i> , Camphor Laurel Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
12	<i>Lophostemon confertus</i> , Brush Box Street tree	CATEGORY A HIGH	RETENTION HIGH	RETAIN and PROTECT Street Tree
13	<i>Brachychiton acerifolius</i> , Illawarra Flame Tree front yard	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Native site tree
14	<i>Brachychiton acerifolius</i> , Illawarra Flame Tree southern neighbour's	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Neighbour's Native tree
15	<i>Archontophoenix cunninghamiana</i> , Bangalow Palm southern neighbour's	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Neighbour's Native palm
16	<i>Phoenix canariensis</i> , Canary Island Date Palm Southern neighbour's	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Neighbour's palm
17	<i>Archontophoenix cunninghamiana</i> , Bangalow Palm Southern neighbour's	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Neighbour's Native palm
18	<i>Magnolia grandiflora</i> , Bull Bay Magnolia Southern neighbour's	CATEGORY B MEDIUM	RETENTION MEDIUM	RETAIN and PROTECT Neighbour's feature tree

LEGEND - meaning of symbols

- Trees to be removed in Red
- Trees to be retained in Green
- Structural Root Zone
- Tree Protection fence
- TPZ where Project Arborist supervision for any excavation or works required

PROPOSED CHILDCARE CENTRE AT 95-97 THE BOULEVARDE, STRATHFIELD NSW 2135

GENERAL NOTES

- G1 ALL WORKS SHALL BE IN ACCORDANCE WITH B.C.A AND AS3500.3.
- G2 ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- G3 THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERS DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL, AND LANDSCAPING DRAWINGS. IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS, THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
- G4 PRIOR TO COMMENCING ANY WORKS, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTS INTO THE COUNCILS KERB/DRAINAGE SYSTEM MATCHED THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER.
- G5 THE DRAINAGE CONTRACTOR IS TO LOCATE AND RELOCATE AS NECESSARY ALL SERVICES ON SITE.
- G6 ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK. THIS IS TYPICALLY METRES TO AUSTRALIAN HEIGHT DATUM (AHD).
- G7 ALL DOWNPIPES TO BE 100MM DIAMETER UNLESS NOTED OTHERWISE.
- G8 ALL DOWN PIPES TO HAVE LEAF GUARDS.
- G9 ALL LINES ARE TO BE 100MM DIAMETER uPVC AT A MINIMUM 1.0% SLOPE UNLESS NOTED OTHERWISE. LINES ARE TO BE SEWER-GRADE AND SEALED.
- G10 ALL PIPES TO HAVE MINIMUM 150MM COVER IF LOCATED WITHIN PROPERTY.
- G11 ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- G12 ALL SUB-SOIL DRAINAGE SHALL BE OF A MINIMUM 100MM DIAMETER AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT OR STORMWATER ENGINEER.
- G13 ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON-SITE DETENTION SYSTEM SHALL BE OF MASONARY/BRICK/CONCRETE CONSTRUCTION AND WATER TIGHT.
- G14 ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON-SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE PARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- G15 ALL DRAINAGE WORKS ARE TO AVOID TREE ROOTS. ROOT BARRIER TO BE INSTALLED ADJACENT TO TREE ZONES WHERE DRAINAGE MAY BE AT RISK.
- G16 ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
- G17 COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

RAINWATER TANKS

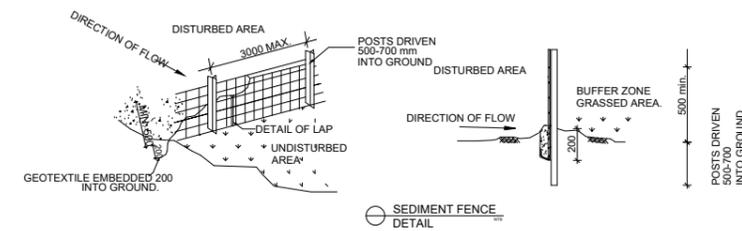
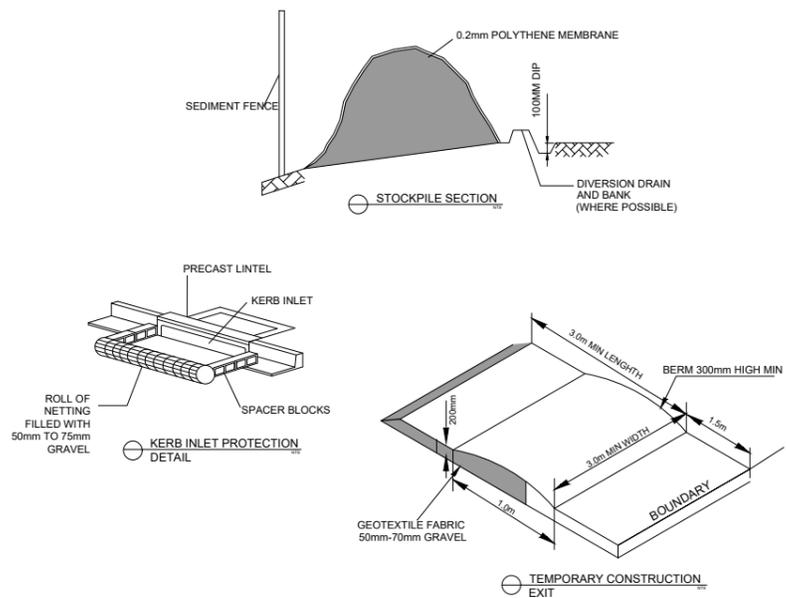
- R1 RAINWATER TANK, DRAINED ROOF AREAS AND REUSE PLUMBING TO COMPLY WITH BASIX REQUIREMENTS AND CERTIFICATE.
- R2 ADEQUATE SCREENING TO PREVENT MOSQUITO BREEDING AND ENTRY OF ANIMAL OR FLOATING MATTER.
- R3 A 'FIRST FLUSH' DIVERSION TO REMOVE ROOF CONTAMINANTS MUST BE PROVIDED.
- R4 TANKS TO BE PUMPED TO TOP-UP FROM THE POTABLE WATER SUPPLY DURING DRY PERIOD WHEN THE TANK IS 80% EMPTY.
- R5 PUMP TO BE SUITABLY SOUNDPROOFED.
- R6 A SIGN IS TO BE INSTALLED NEAR THE RAINWATER TANK HIGHLIGHTING "NOT FOR HUMAN CONSUMPTION".

LEGEND

- PRESSURE PIPE (CHARGED LINE)
- GRAVITY PIPE AT MIN. 1% SLOPE U.N.O.
- AG. LINE AT MIN. 1% SLOPE
- DOWNPIPE MIN. Ø100 U.N.O.
- GRADED PIT
- SL: SURFACE LEVEL
- IL: INVERT LEVEL
- CLEANING EYE (INSPECTION EYE)
- OVERLAND FLOW PATH
- GRADED TRENCH
- EXISTING RL
- DESIGN RL

SEDIMENT & EROSION CONTROL

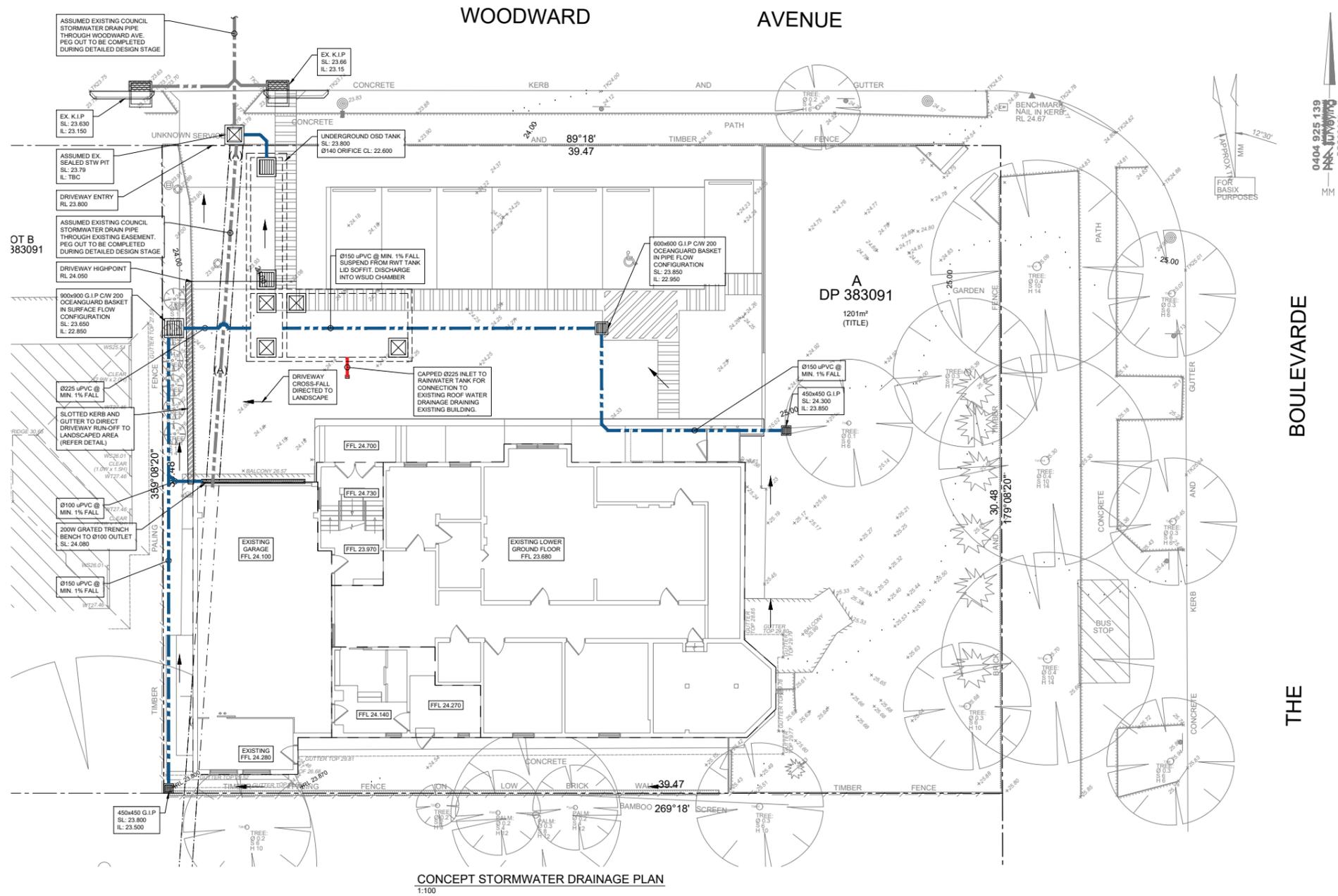
- S1 PLANS ARE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. EXACT MEASURES USED SHALL BE DETERMINED ON SITE IN CONJUNCTION WITH PROGRAM OF CONTRACTORS WORKS.
- S2 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO NOMINATE THE LOCATIONS AND TYPES OF SEDIMENT AND EROSION CONTROL MEASURE TO BE ADOPTED. THESE MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CLEARING OR EARTHWORKS AND MAINTAINED UNTIL THE WORKS ARE COMPLETED AND NO LONGER POSE AN EROSION HAZARD, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
- S3 IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO IDENTIFY AND MARK TREES WHICH ARE TO BE PRESERVED. NOTWITHSTANDING THE ABOVE, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MINIMISE DISTURBANCE TO EXISTING VEGETATION AND GROUND COVER OUTSIDE THE MINIMUM AREAS REQUIRED TO COMPLETE THE WORKS AND SHALL BE RESPONSIBLE FOR RECTIFICATION, AT ITS OWN COST, OF ANY DISTURBANCE BEYOND THOSE AREAS.
- S4 PROVIDE GULLY GRATE INLET SEDIMENT TRAPS AT ALL GULLY PITS.
- S5 PROVIDE SILT FENCING ALONG PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
- S6 ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY THE PRINCIPLE.
- S7 ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- S8 WASH DOWN/RUMBLE AREA TO BE CONSTRUCTED WITH PROVISIONS RESTRICTING ALL SILT AND TRAFFICKED DEBRIS FROM ENTERING THE STORMWATER SYSTEM.
- S9 NO WORK OR STOCKPILING OF MATERIALS TO BE PLACED OUTSIDE OF SITE WORK BOUNDARY.
- S10 APPROPRIATE EROSION AND SEDIMENT CONTROLS TO BE USED TO PROTECT STOCKPILES AND MAINTAINED THROUGHOUT CONSTRUCTION.
- S11 IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
- S12 TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON SITE BY THE SUPERINTENDENT.



SEDIMENT FENCE

- F1 FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
- F2 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150MM AND FOLDED.
- F3 POSTS SHALL NOT BE SPACED MORE THAN 3.0 METRES APART.
- F4 FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14MM GAUGE, 150MM MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
- F5 INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, SPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40M ON FLAT TERRAIN DECREASING TO 20M SPACINGS ON STEEP TERRAIN

<p>NOTE DO NOT SCALE OFF DRAWINGS. REFER TO ARCHITECTURAL PLANS FOR LEVELS, STEPS, DIMENSIONS AND SETOUT. VERIFY DIMENSIONS ON SITE. THE ENGINEER SHALL BE NOTIFIED OF ANY VARIATIONS TO THAT SHOWN ON STRUCTURAL PLANS BEFORE COMMENCEMENT OF WORKS</p>	<p>COPYRIGHT All rights reserved. These drawings, plans and specifications and the copyright are the property of SDS ENGINEERING and must not be used, reproduced or copied wholly or in part without the written permission of SDS ENGINEERING.</p>	<p>SDSEngineering Unit 50 Level 1 / 11-21 Underwood Road, Homebush NSW 2140 www.sdsengineering.com.au</p>	<p>PROPOSED CHILDCARE CENTRE AT: 95-97 THE BOULEVARDE, STRATHFIELD NSW 2135</p>	<p>JOB NUMBER: 220769</p> <p>DESIGNED BY: B.P</p> <p>DRAWN BY: B.P</p>	<p>DWG NUMBER: C000</p> <p>DATE: 15/11/2022</p> <p>SCALE: AS SHOWN</p>	<p>ORIGINAL SIZE: A1</p>
			<p>GENERAL NOTES</p>			



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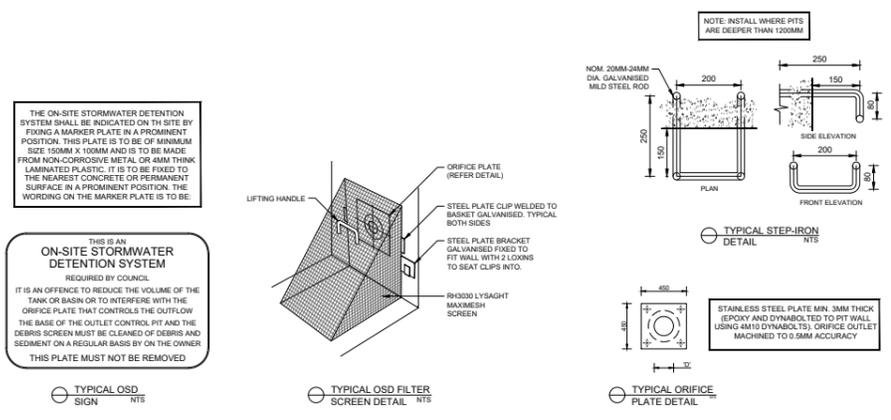
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**PROPOSED
CHILDCARE CENTRE**
AT: 95-97 THE BOULEVARDE, STRATHFIELD NSW 2135

CONCEPT STORMWATER DRAINAGE PLAN

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220769	C001	A1
DESIGNED BY: B.P	DATE: 15/11/2022	
DRAWN BY: B.P	SCALE: AS SHOWN	

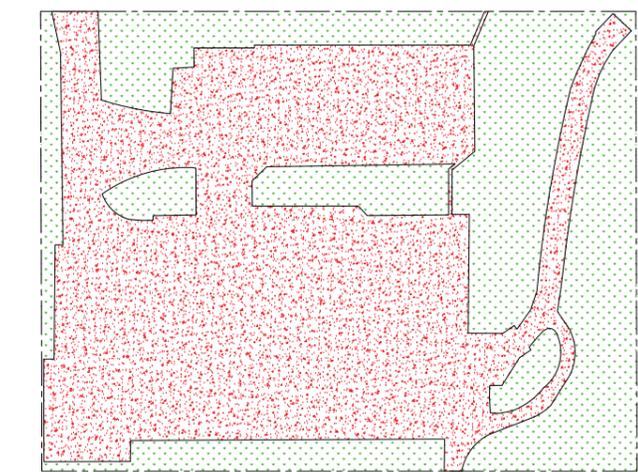
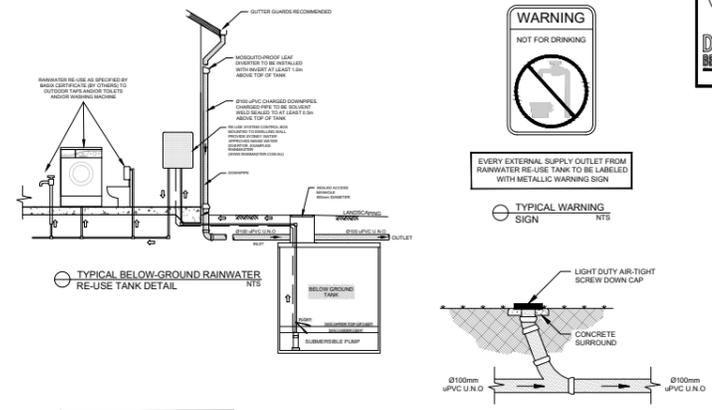


ON-SITE DETENTION CALCULATION:

PROPOSED CHILDCARE CENTRE
REFER CATCHMENT PLAN FOR PRE- AND POST-DEVELOPMENT CONDITIONS.

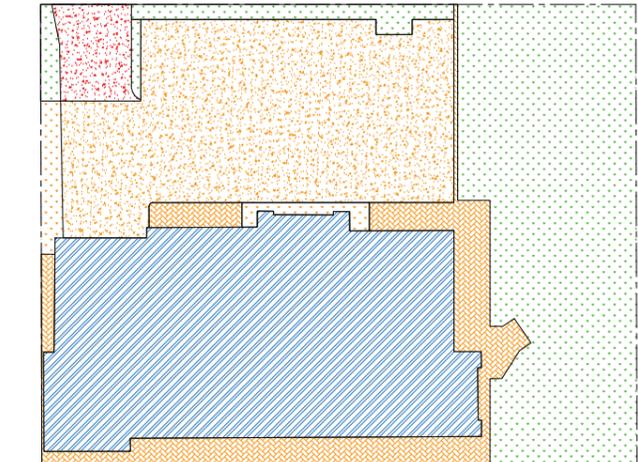
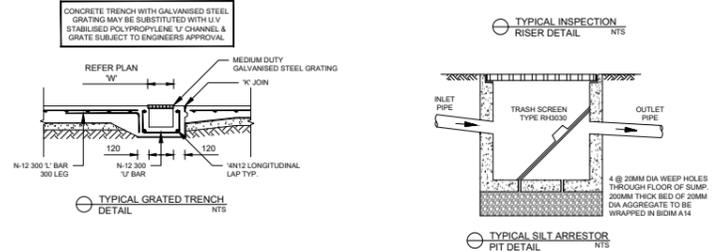
VOLUME CALCULATED USING DRAINS SOFTWARE:
LIMIT POST-DEVELOPMENT DISCHARGE RATE TO UNDEVELOPED CONDITIONS FOR ALL STORM EVENTS BETWEEN 50% & 1% AEP.

OUTPUTS
ORIFICE DIAMETER = 140mm
OSD VOLUME REQUIRED = 6.22m³
OSD VOLUME PROVIDED = 9.41m³

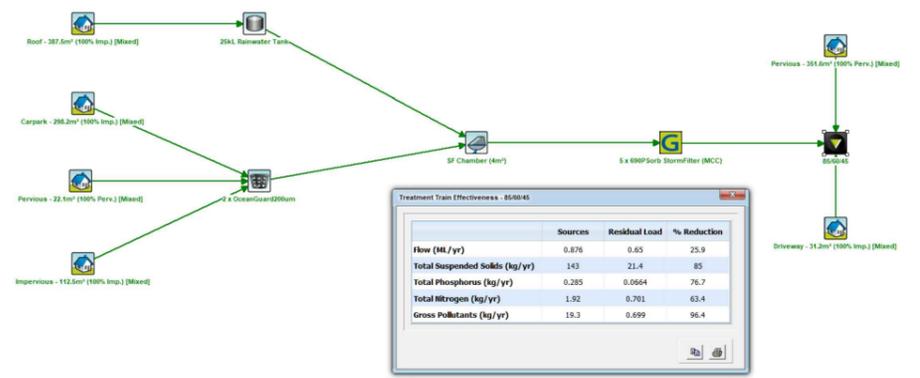


CONCEPT PRE-DEV STORMWATER CATCHMENT PLAN
1:200

DURATION	PRE DEVELOPMENT	POST DEVELOPMENT
	TOTAL FLOW L/S	TOTAL FLOW L/S
50% AEP	21	20
20% AEP	28	26
10% AEP	34	31
5% AEP	40	35
2% AEP	46	41
1% AEP	51	46

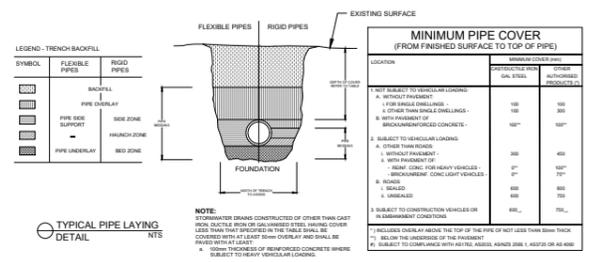


CONCEPT POST-DEV STORMWATER CATCHMENT PLAN
1:200

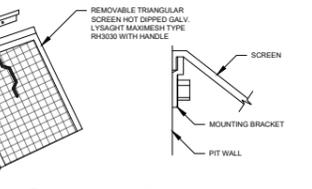


CONCEPT MUSIC MODEL

CONCEPT RWT BALANCE MODEL



TYPICAL PIPE LAYING DETAIL



TYPICAL SUBSOIL FLUSHING POINT DETAIL

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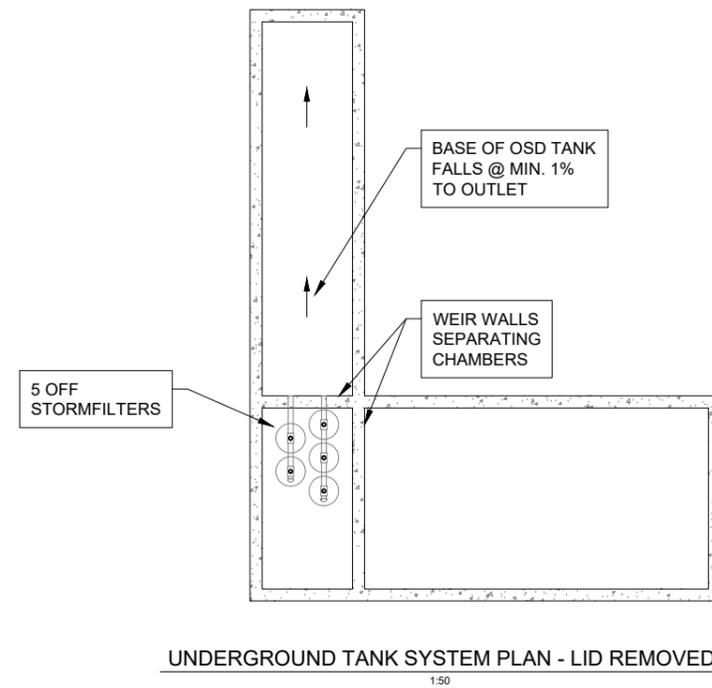
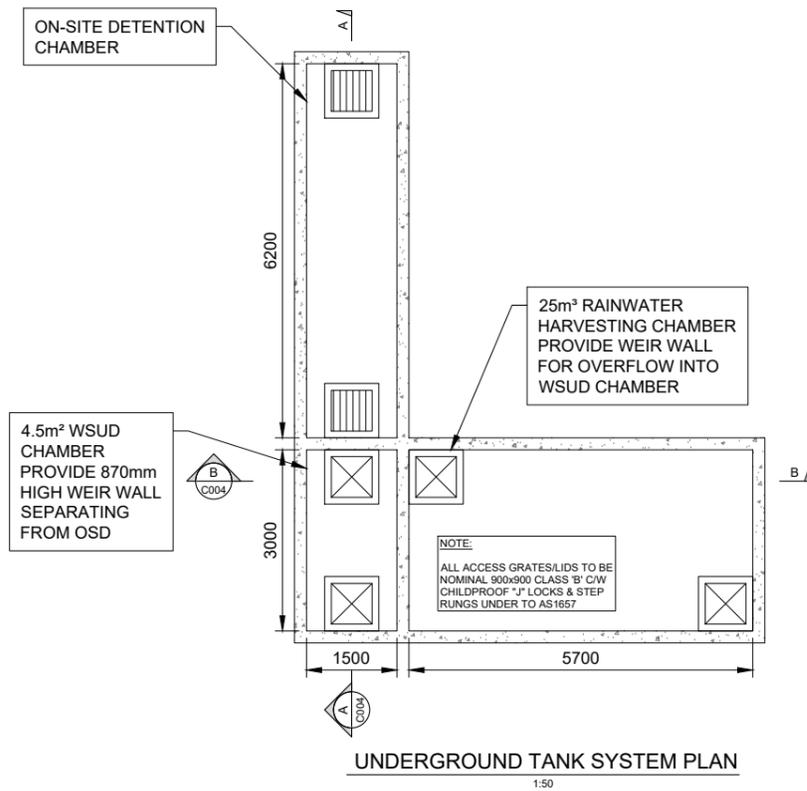
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PROPOSED CHILDCARE CENTRE
AT: 95-97 THE BOULEVARD, STRATHFIELD NSW 2135

CONCEPT OSR/OSD CALCULATIONS / TYPICAL DETAIL SHEET

JOB NUMBER:	DWG NUMBER:	ORIGINAL SIZE:
220769	C002	A1
DESIGNED BY:	DATE:	
B.P	15/11/2022	
DRAWN BY:	SCALE:	
B.P	AS SHOWN	



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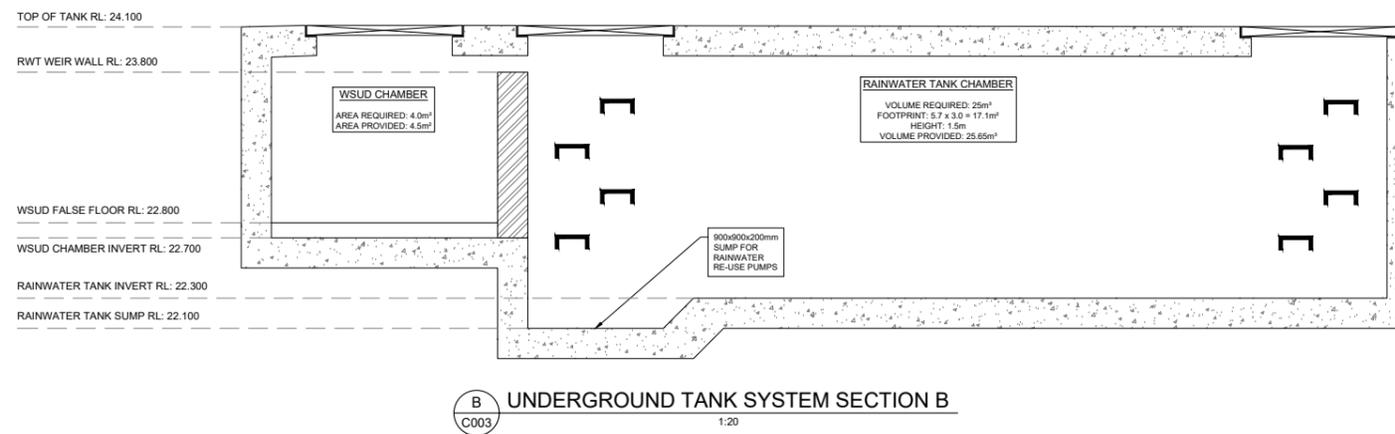
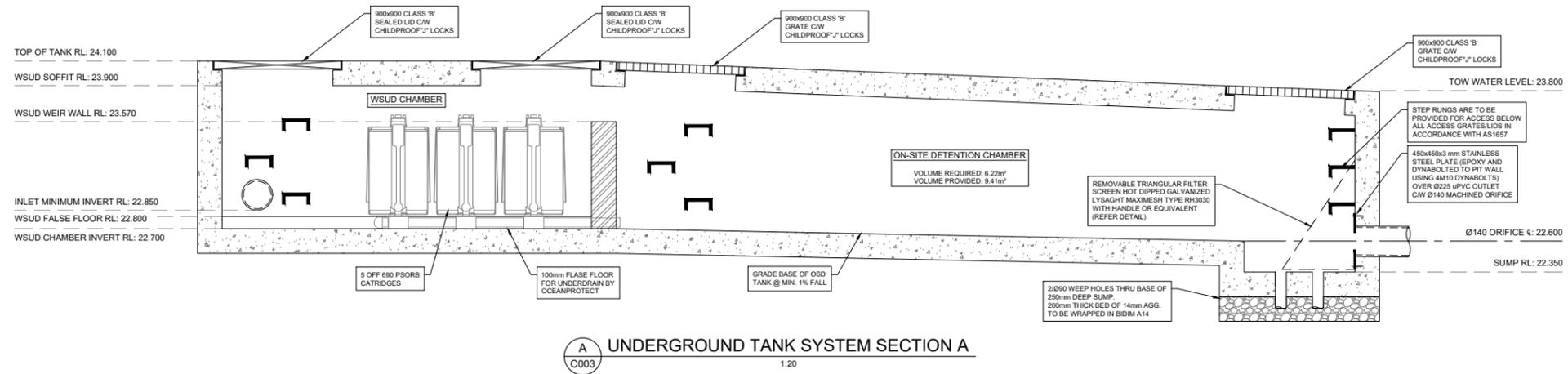
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**PROPOSED
CHILDCARE CENTRE**
AT: 95-97 THE BOULEVARDE, STRATHFIELD NSW 2135

**CONCEPT UNDERGROUND TANK
SYSTEM PLANS**

JOB NUMBER: 220769	DWG NUMBER: C003	ORIGINAL SIZE: A1
DESIGNED BY: B.P	DATE: 15/11/2022	
DRAWN BY: B.P	SCALE: AS SHOWN	



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**PROPOSED
CHILDRE CARE CENTRE**
AT: 95-97 THE BOULEVARDE, STRATHFIELD NSW 2135

**CONCEPT UNDERGROUND
TANK SYSTEM SECTIONS**

JOB NUMBER: 220769	DWG NUMBER: C004	ORIGINAL SIZE: A1
DESIGNED BY: B.P	DATE: 15/11/2022	
DRAWN BY: B.P	SCALE: AS SHOWN	

TO: Strathfield Local Planning Panel Meeting - 12 October 2023
REPORT: SLPP – Report No. 6
SUBJECT: DA2022.232 - 5 FLORENCE STREET, STRATHFIELD
DA NO. 2022.232

SUMMARY

Proposal:	Section 8.2 Application to review previous determination to refuse the development for a two storey house with basement, pool, and front boundary fence
Applicant:	ES Engineering & Design Pty Ltd
Owner:	X Chen
Date of lodgement:	15 July 2023
Notification period:	20 July 2023 - 3 August 2023
Submissions received:	Nil
Assessment officer:	WvW
Estimated cost of works:	\$992,188.00
Zoning:	R 2 Low Density Residential - SLEP 2012
Heritage:	No - however, adjoins Redmyre Road Conservation Area and located in proximity to various heritage listed items
Flood affected:	No
Is a Clause 4.6 variation proposed?	No
Local Planning Panel criteria:	Internal Delegations
RECOMMENDATION OF OFFICER:	APPROVAL

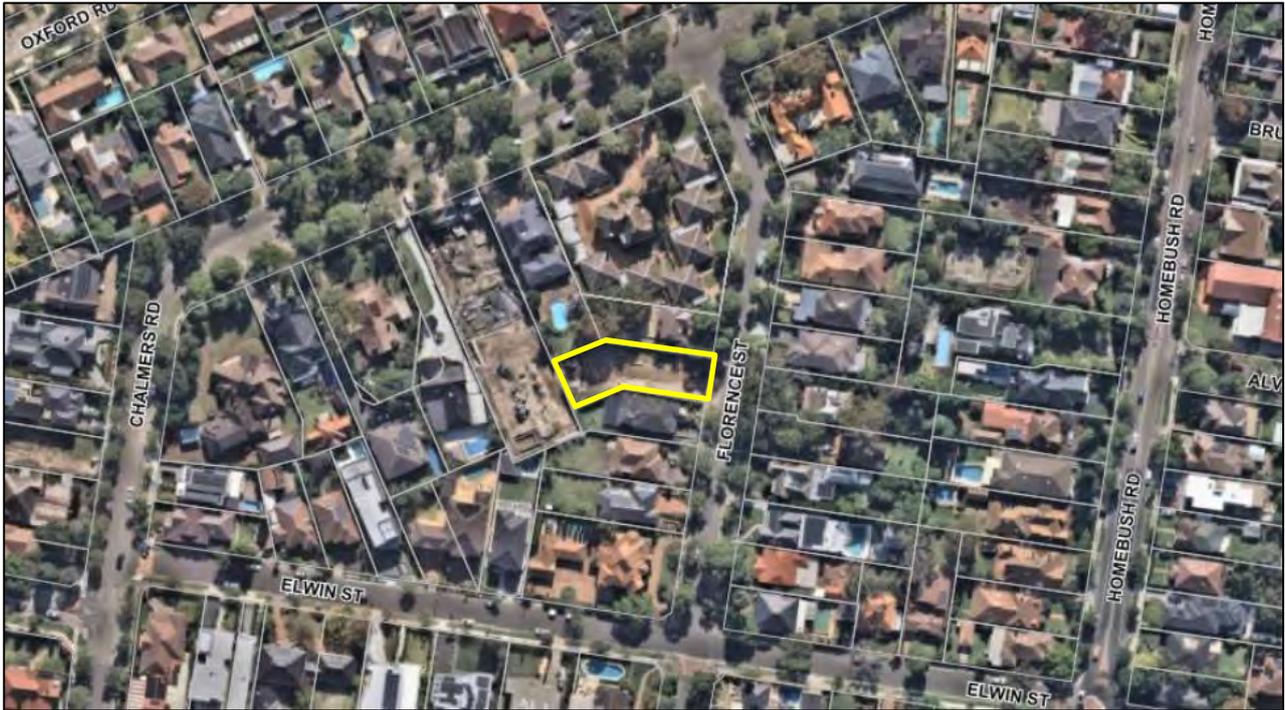


Figure 1: Aerial view of the subject site (outlined in yellow)

EXECUTIVE SUMMARY

Background

The subject application is a Section 8.2 Review of Development Application (DA) 2022/232 which was refused by Strathfield Council on 5 May 2023. The refused application sought approval for a two storey dwelling house with basement, pool and front boundary fence. The reasons for refusal pertained to bulk and scale, excavation and amenity impacts.

Proposal

The design has been revised and development consent is being sought for a two storey house with basement, pool, and front boundary fence.

Site and Locality

The site is identified as 5 Florence Street, Strathfield and has a legal description of Lot: 2 in DP: 503179. The site is an irregular-shaped parcel of land and located on the eastern side of Florence Street. The site has a width of 15.24m, a depth of approximately 55.95m and an overall site area of 822m².

The locality surrounding the subject site contains a mixture of single and two storey dwelling development including some heritage listed dwellings throughout the street.

Strathfield Local Environmental Plan (SLEP) 2012

The site is zoned R2-Low Density Residential under the provisions of SLEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant the objectives and development standards contained within the SLEP 2012.

Strathfield Consolidated Development Control Plan (SCDCP) 2005

The proposed development generally satisfies the provisions of SCDCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan (CPP) from 20 July 2023 to 3 August 2023, where no submissions were received.

Issues

- Bulk and scale; and
- Overshadowing

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment (EP&A) Act 1979, DA 2022/232 is recommended for approval subject to suitable conditions of consent.

REPORT IN FULL

Proposal

Council has received an application for the Section 8.2 review of the previous determination to refuse the development of a two storey house with basement, pool, and front boundary fence. The revised proposal includes:

Basement:

- 2 car parking spaces;
- Storage room; and
- Internal lift and stairs.

Ground floor level:

- Guest bedroom;
- Lounge room;
- Office;
- Laundry;
- Powder room;
- Open plan living, kitchen, bar and dining room;
- Courtyard adjoining stairwell; and
- Butler's pantry.

First floor level:

- 3 bedrooms each with ensuites;
- Master suite with WIR and bathroom; and
- Family retreat.

External works:

- Alfresco;
- In-ground swimming pool;
- Sauna;

- Front fence; and
- Associated landscaping and stormwater works.

The key changes between the refused and proposed designs are:

- Reduced basement size through removal of storage area
- Relocation of ensuite and WIR into the first floor rear void area. While the GFA remains the same, the voids are reduced resulting in less building bulk at the rear.

Figures 2-16 below are excerpts from the amended architectural package (Rev D, dated 08.06.23) and the refused drawings (Rev C, dated 08.03.23).

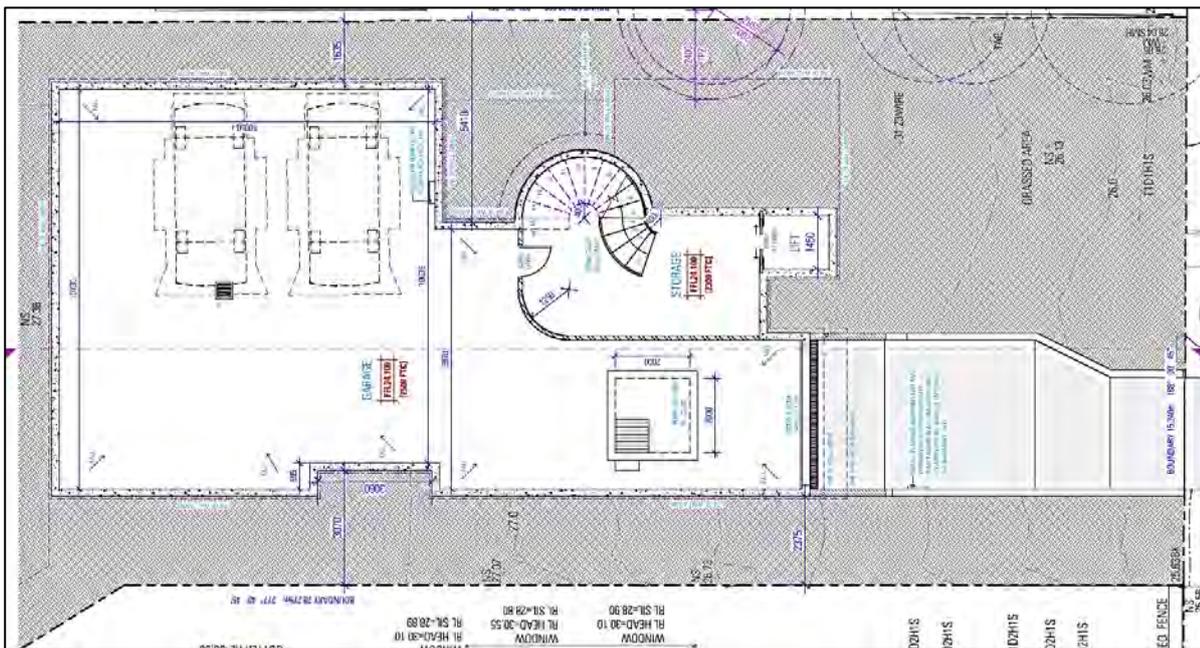


Figure 2: Proposed Basement Level

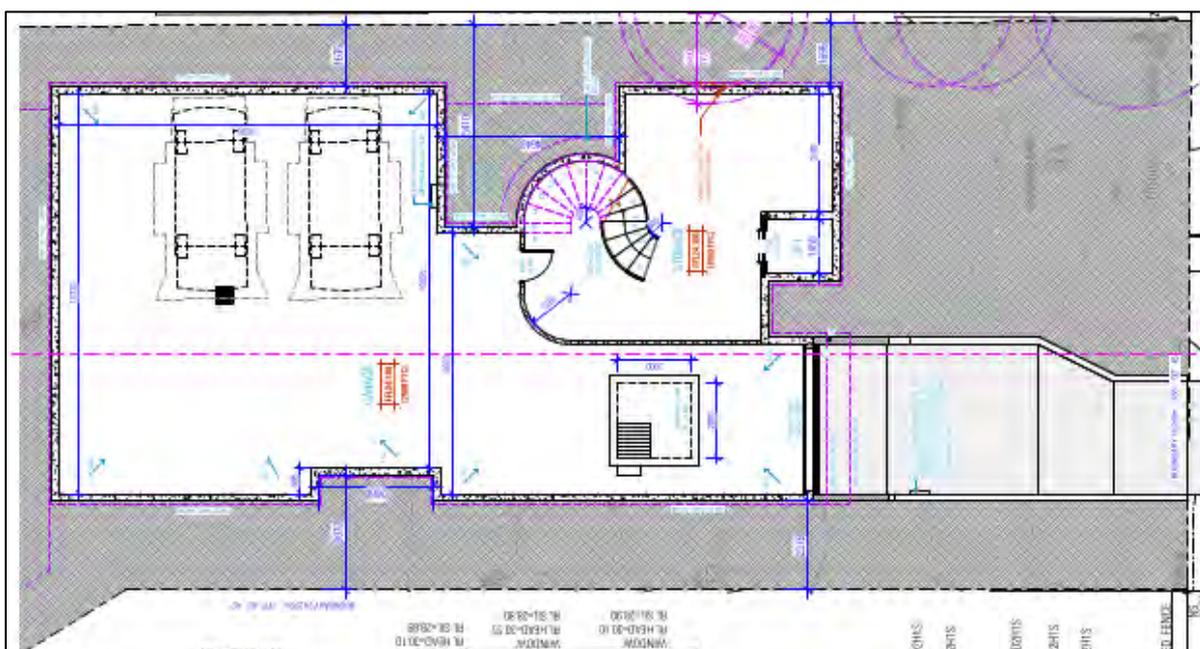


Figure 3: Refused Basement Level

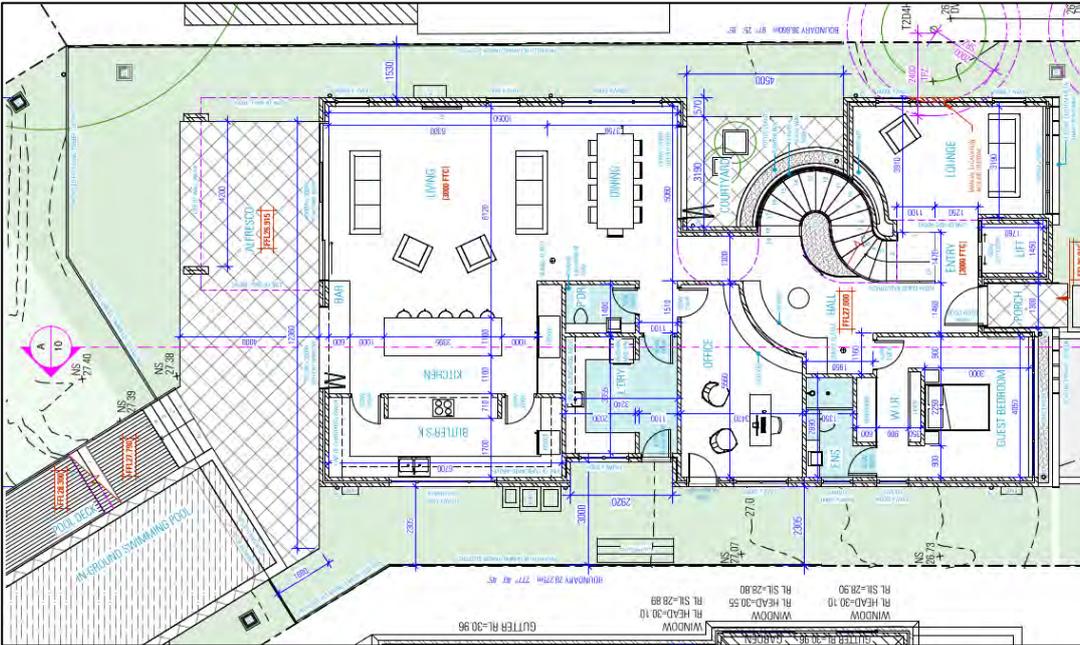


Figure 4: Proposed Ground Floor Level (unchanged from refusal)

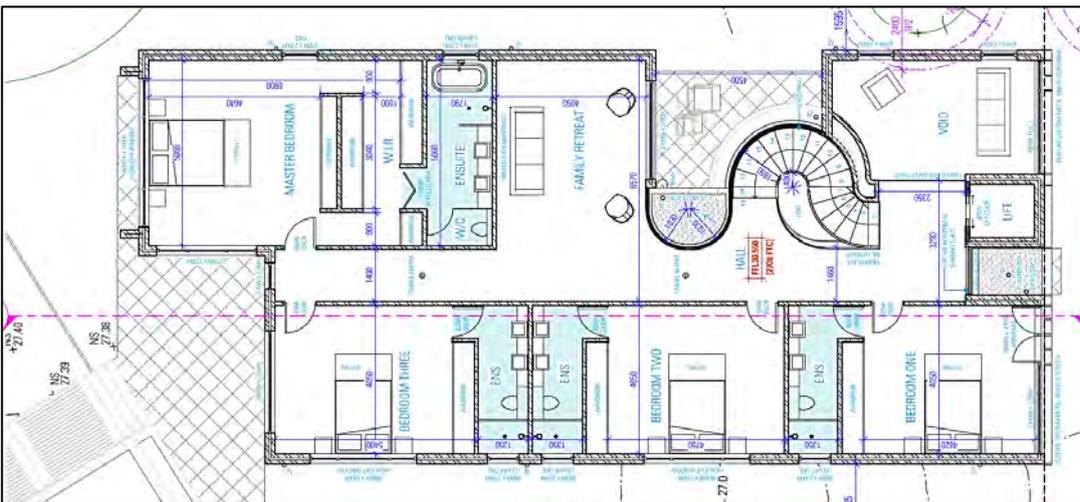


Figure 5: Proposed First Floor Level

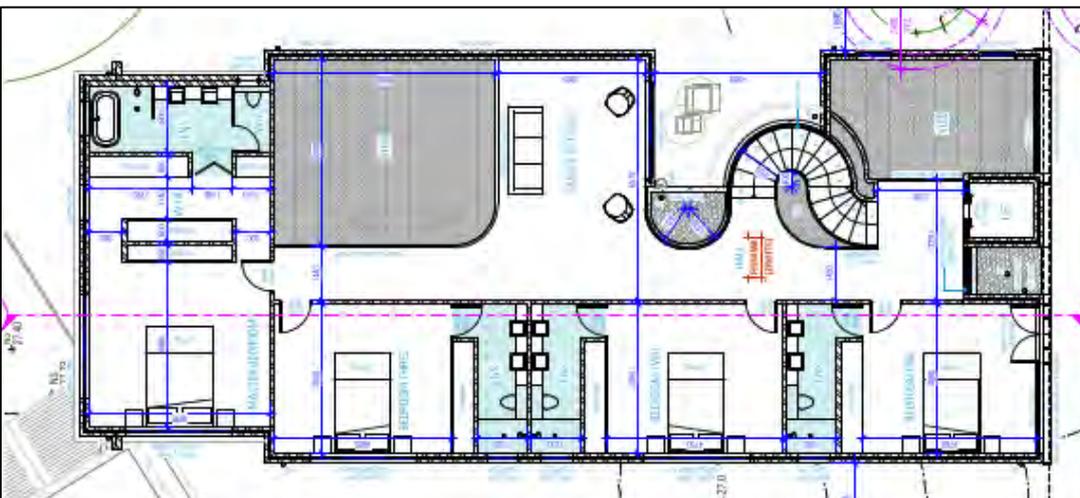


Figure 6: Refused First Floor Level

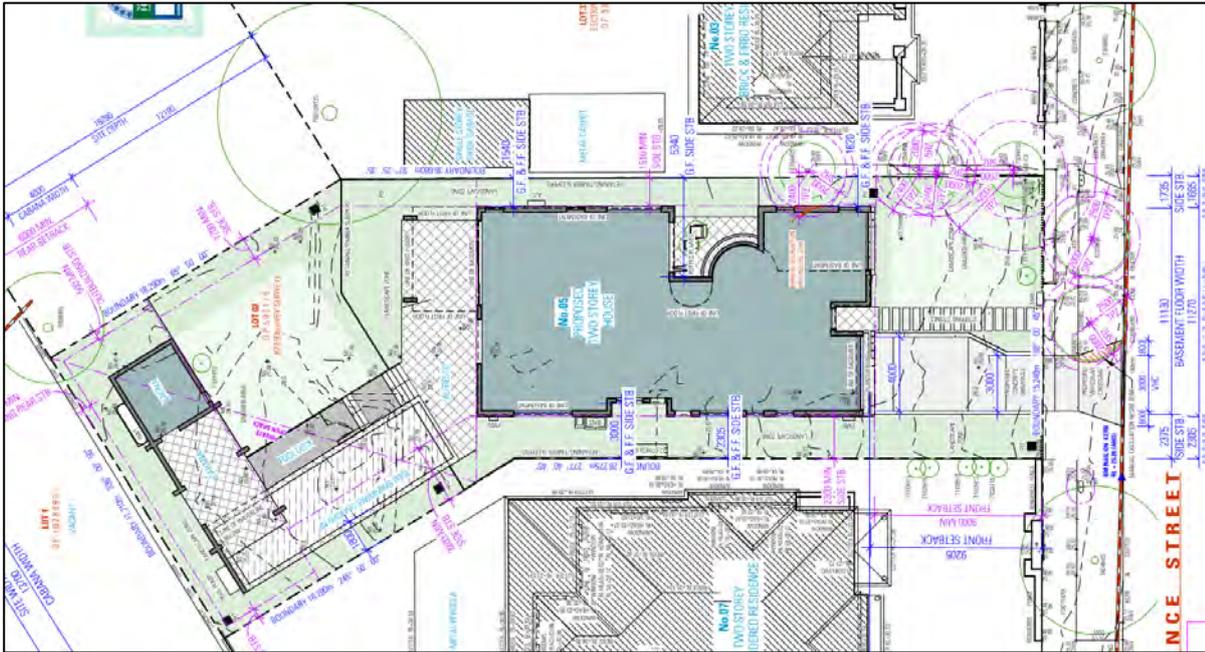


Figure 7: Proposed Site Plan

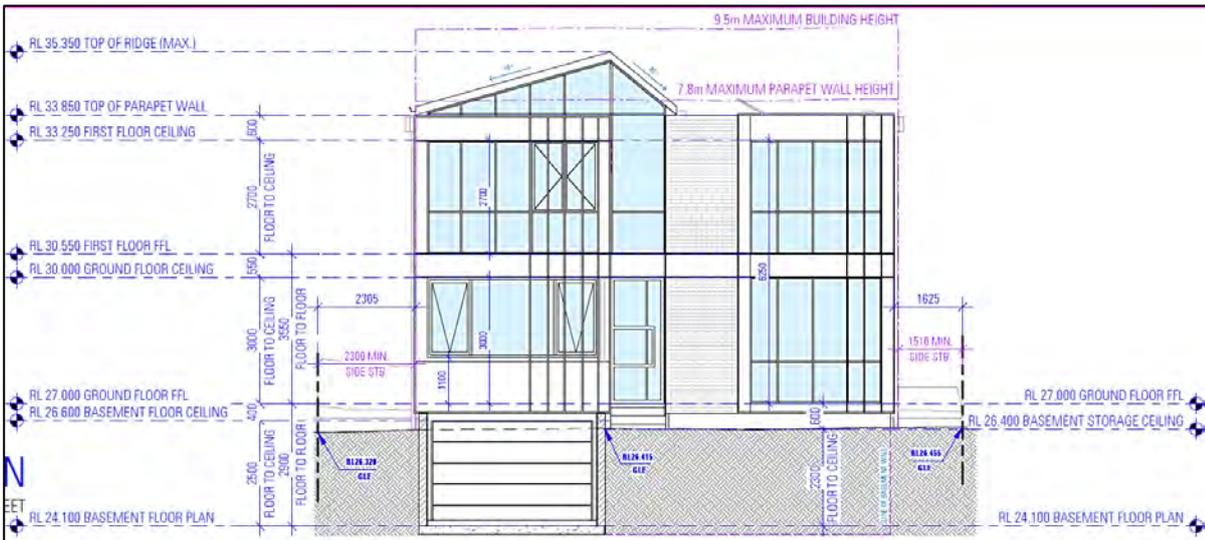


Figure 8: Proposed Street Elevation (unchanged from refusal)

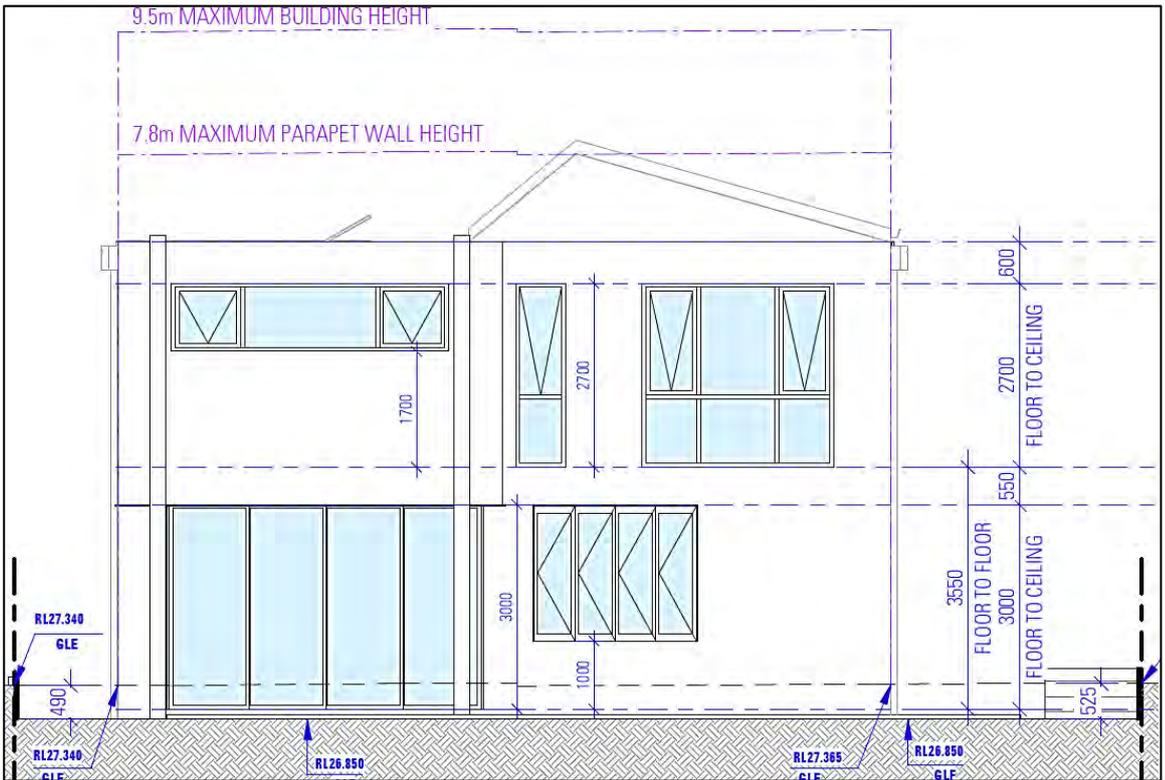


Figure 9: Proposed Rear (West) Elevation



Figure 10: Refused Rear (West) Elevation

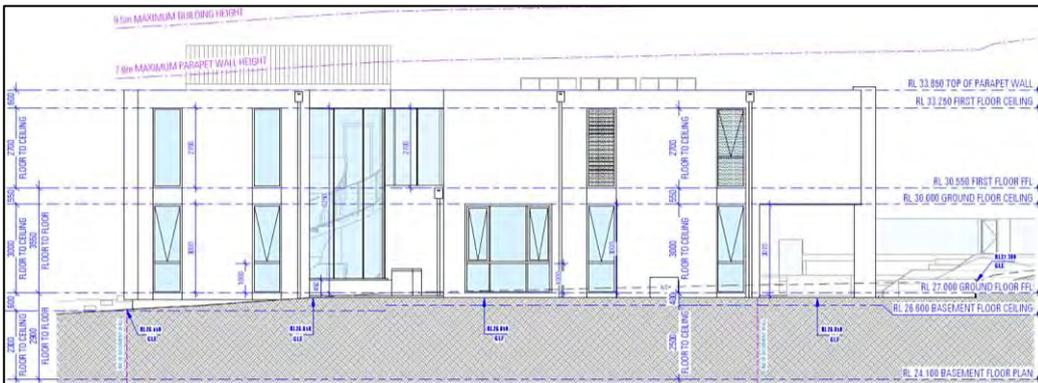


Figure 11: Proposed North Elevation

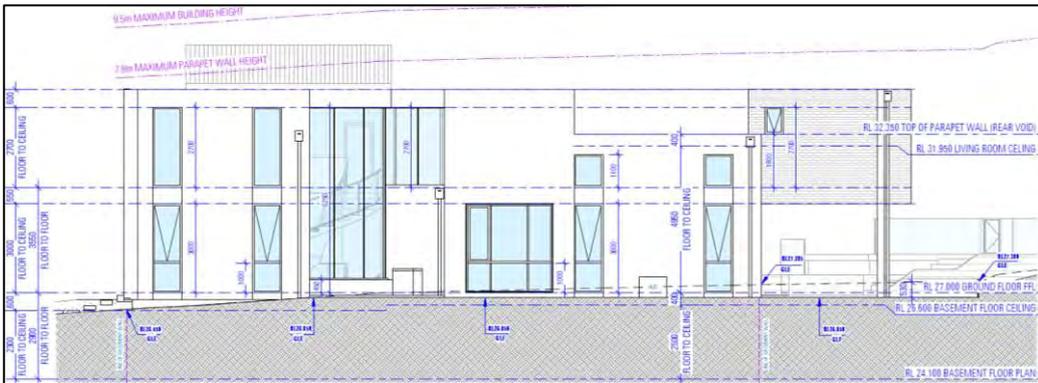


Figure 12: Refused North Elevation



Figure 13: Proposed South Elevation



Figure 14: Refused South Elevation



Figure 15: Proposed Section



Figure 16: Refused Section

The Site and Locality

The site is identified as 5 Florence Street Strathfield and has a legal description of Lot: 2 in DP: 503179. The site is an irregular-shaped parcel of land with its rear portion angled toward the south. The site is located on the eastern side of Florence Street. The site has a width of 15.24m, a depth of approximately 55.95m and an overall site area of 822m².

The site slopes from west to east containing a gradual cross fall of 2.98m from the rear north-west corner to the front south-eastern boundary.

The site is currently vacant following recent demolition of the dwelling via Complying Development Certificate (CDC2022/7141) (see **Figure 17**).



Figure 17: The subject site, as viewed from the east

Adjoining the subject site to the south is 7 Florence Street comprising of a two storey detached dwelling (see **Figure 18**). Adjoining the rear (west) is 98 Redmyre Road which is currently under construction (DA2019/148). To the north is 3 Florence Street comprising of a single dwelling with limited fenestration facing the subject site (see **Figure 19**). The rear yard contains a metal carport and brick garage adjoining the side boundary.



Figure 18: 7 Florence Street, as viewed from the front of the subject site



Figure 19: 3 Florence Street, as viewed from the subject site

The locality surrounding the subject site contains a mixture of single and two storey dwellings including some heritage listed properties throughout the street (see **Figure 20**). Dwellings are typically traditional in form with pitched tiled roof forms and rendered and brick face exterior finishes (see **Figures 21 and 22**).



Figure 20: Heritage items – Victorian-style dwellings in Florence Street



Figure 21: Streetscape view of dwellings at 7, 9 and 11 Florence Street (right to left)



Figure 22: Recently constructed housing stock immediately opposite the site on Florence Street

Background

24 October 2022

CDC2022/7141 was approved for demolition of dwelling and ancillary developments. The site has subsequently been left vacant.

5 May 2023

DA 2022.232 was refused by Strathfield Council for the following reasons:

1. Environmental Planning Instrument

- Pursuant to Section 4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979, the proposed development does not comply with the relevant environmental planning instruments in terms of the following:
 - a) Clause 1.2(a) of the Strathfield Local Environmental Plan 2012 which seeks to achieve high quality urban form by ensuring that new development exhibits design excellence and reflect the existing and desired future character of particular localities and neighbourhoods in Strathfield. The proposal results in a considerable loss of visual and solar amenity to adjoining properties.
 - b) Clause 6.2 of the Strathfield Local Environmental Plan 2012 due to excessive excavation of the site.

2. Refusal Reason - Development Control Plan

- Pursuant to Section 4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979, the proposed development does not comply with the following sections of the Strathfield Consolidated Development Control Plan 2005 in terms of the following:
 - a) The proposal fails to satisfy the Building Envelope objectives provided by Section 4.1 of Part A of the Strathfield Consolidated Development Control Plan 2005, which requires that dwellings are compatible with the built form of the local area and the overall bulk and scale, size and height are appropriate. This is a result of:
 - The excessive use of voids on the first floor which adds unnecessary visual bulk to the proposed development resulting in both additional visual and amenity impacts to the adjoining property to the south and when viewed from the street.
 - The cantilevered rear section of the first floor which adds additional bulk and scale to an already significant large development and building footprint which negatively impacts on the amenity of the adjoining properties.
 - b) The proposal fails to satisfy the maximum internal floor to ceiling height requirement provided by Section 4.2.2.5 of Part A of the Strathfield Consolidated Development Control Plan 2005, which requires a maximum floor to ceiling height of 3m.
 - c) The proposal fails to satisfy the objectives of Section 7 of Part A which requires the siting and design of the buildings to minimise amenity impacts.
 - d) The proposal fails to satisfy the objectives of Section 9 of Part A which requires existing ground levels to be maintained and cut and fill minimised as much as possible to reduce site disturbance.

3. Refusal Reason–Impacts on the Environment

- Pursuant to Section 4.15(1)(b) of the Environmental Planning and Assessment Act 1979, the proposed development is likely to have an adverse impact on the following aspects of the environment:
 - a) Natural environment–the proposal seeks a large, elongated basement footprint resulting in excessive and unnecessary excavation of the site.
 - b) Built environment–the proposal results in an overly bulky development which imposes on the visual and solar access amenity for adjoining residents.

4. Refusal Reason–Suitability of the site

- Pursuant to Section 4.15(1)(c) of the Environmental Planning and Assessment Act 1979, it is considered that the proposed development is of a design that is not suitable for the site and has little regard for its relationship with adjoining developments.

5. Refusal Reason–Public Interest

- Pursuant to Section 4.15(1)(e) of the Environmental Planning and Assessment Act 1979, the proposed development is not considered to be in the public interest and is likely to set an undesirable precedent.

- 15 July 2023** The subject Section 8.2 review application was lodged with Council.
- 20 July 2023** The application was placed on public exhibition until **3 August 2023** during which time no submissions were received.
- 24 July 2023** Council's Assessing Officer undertook a site inspection.
- 15 August 2023** A more detailed material schedule was submitted on the NSW Planning Portal as the request of Council.

Referrals – Internal and External

Stormwater

The original application was referred to Council's Development Engineer for comment where it was found feasible. The amended application will not substantially change the stormwater design so this assessment remains valid.

Trees

The original application was referred to Council's Tree Management Officer for comment. No concerns were raised subject to imposition of conditions of consent including some changes to the submitted Landscape Plan to include a new street tree in lieu of removal of the two street trees fronting the site. As the existing street trees are unlikely to be impacted by the proposed driveway, their replacement will not be enforced. The remainder of the assessment remains valid as the landscape design has not significantly changed.

Heritage

The original application was referred to Council's Heritage Planner for comment. The following comments were made:

The proposed works will have a minimal and acceptable impact on the adjacent heritage items because neither their fabric nor significant view corridors will be impacted on. The proposed works will, overall, have no impact on the ability of the public to understand and appreciate the historic and aesthetic significance of the heritage items in the vicinity. The proposed works will have a minimal and acceptable impact on the Redmyre Road HCA as the proposed dwelling is unlikely to have any visibility from the Conservation Area as adjacent dwellings and dense vegetation block view from the Redmyre Road HCA streetscape. The proposed dwelling will, overall, have no impact on the ability of the public to understand and appreciate the historic and aesthetic significance of the Heritage Conservation Area and other individually listed items in its vicinity.

As the only above ground changes reduce the built form at the rear, this assessment remains valid. The application is therefore acceptable in terms of heritage.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15(1) of the EP&A Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant State Environmental Planning Policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> Chapter 2 – Vegetation in non-rural areas Chapter 10 – Sydney Harbour Catchment 	Yes Yes
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> Chapter 4 – Remediation of land 	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021 Chapter 2 – Vegetation in Non-Rural Areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site. Tree protection and retention conditions have been imposed to ensure protection of trees in and around the site. Accordingly, the aims and objectives outlined within the SEPP are considered to be satisfied.

Chapter 10 – Sydney Harbour Catchment

All stormwater from the proposed development as modified can be treated in accordance with Council's Stormwater Management Code and would satisfy the relevant planning principles of Chapter 10 - Sydney Harbour Catchment.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A revised BASIX Certificate has been issued for the proposed development with accompanying NatHERS Certificate. The commitments required by these certificates have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of Land applies to the land and, pursuant to Section 4.15 of the EP&A Act 1979, is a relevant consideration. A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations. Rather, historical uses appear residential. Accordingly, the objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

STRATHFIELD LOCAL ENVIRONMENTAL PLAN (SLEP) 2012

The development site is subject to the SLEP 2012.

Part 2 – Permitted or Prohibited Development

The subject site is zoned R2-Low Density Residential and the proposed dwelling is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	• Development Standards	• Development Proposal	• Compliance/ • Comment
4.3 Height of Buildings	• 9.5m	• 8.5m	• YES
4.4C Floor Space Ratio	• 0.55:1 (452.1m ²)	• 0.49:1 (405.13m ²)	• YES

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is not listed as a heritage item nor located within a heritage conservation area (HCA). However, there are a number of heritage listed items within the visual catchment of the site, including:

- 10 Florence Street (“Glendenning”—Victorian house)
- 14 & 16 Florence Street (“Norwood” and “Wrexham”—Victorian villas, garden and front fence)
- 15 Florence Street (“Winkurra”—Federation house)
- 88-94 Redmyre Road (“Woodstock”—Victorian house)
- The site also backs onto the Redmyre Road HCA.

The original application was referred to Council’s Heritage Officer who has advised that the proposed works are satisfactory and will not impact on the ability of the public to understand and appreciate the historic and aesthetic significance of the Redmyre Road HCA and other individually listed items in the vicinity. As the proposal has not changed above ground except for a reduction of building bulk at the rear, this assessment remains valid.

It is considered that the proposed works, as amended and conditioned, satisfactorily address the provisions of Clause 5.10.

Flood Planning

The proposed site has not been identified within the flood planning levels and as such, the provisions of this Clause are not applicable to the subject development.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils however is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and, as such, an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works including an in-ground swimming pool. The extent of excavation (excluding the pool) has been limited to the footprint of the ground floor above and access to and from the basement. The basement has been reduced from the refusal plans through the removal of a storage space near the front. The storage area, parking and access thereto are now considered acceptable. The basement protrudes no more than 400mm above ground level (existing) with an internal floor to ceiling height of 2.5m, which is reasonable.

The proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability in the locality or affect the future use or development of the land. It is unlikely to affect the amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well-serviced area and features existing water and electricity connection and access to Council’s stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development. The previous use was also a dwelling.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to the proposed development on the subject site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan (SCDCP) 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the SCDCP 2005.

Applicable SCDCP 2005 Controls	SCDCP 2005 Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Heights (max): Floor to ceiling heights: Parapet height: Height for flat roof dwelling: Number of storeys:	3.0m 0.8m 7.8m 2	3.0m – 6.3m 0.8m 7.7m 2	No – refer to discussion below Yes Yes Yes
Setbacks (min): Front: Side: Combined side setback: Rear:	9m 1.2m 3.05m (20%) 6m	9.2m 1.5m (north) 2.3m (south) 3.85m 17.7m	Yes Yes Yes Yes Yes
Landscaping			
Overall area (min):	45% (369.9m ²)	47.54% (390.8m ²)	Yes
Front yard area (min):	50% (73.9m ²)	69.42% (102.6m ²)	Yes
Rear area (min):	50% (182.6m ²) of overall	77.91% (288.2m ²)	Yes
Fencing			
Height (overall/piers) (max): Solid component (max):	1.5m 0.7m	1.2m 0.7m	Yes Yes
Solar Access			
POS or habitable windows on subject site (min):	3hrs to habitable windows & to 50% of POS	3hrs	Yes
Adjoining POS (min):	3hrs	3hrs	Yes
• Vehicle Access and Parking			
• Boundary driveway width (min): Vehicular crossing (max): Driveway setback – side (min): No. of parking spaces:	3m 1 0.5m 2	3.0m 1 2.4m 2	Yes Yes Yes Yes
Basement: Basement protrusion (max): Basement ramp width (max): Internal height (min):	1.0m 3.5m 2.2m	0.4m 4.0m 2.3m	Yes No (conditioned) Yes
Ancillary Development			
Outbuildings:			

Area (max): Height (max): Side/rear setback (min):	40m ² 3.5m 0.5m	25.4m ² 2.9m 0.5m to west & 2.5m to north	Yes Yes Yes
Retaining walls: Height (max):	1.2m	0.5m	Yes
Swimming Pool: Side/rear setback (min):	1.0m	1.8m to south side boundary & 2.17m to rear boundary	Yes

Building Envelope and Streetscape

The proposed objectives and controls within the SCDCP 2005 pertain to:

- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge.

The reasons for refusal include bulk and scale as viewed from the street, although seems predominately concerned with the overall impact to bulk and scale from the voids. While the front façade is not proposed to change, the Section 8.2 design addresses the reason for refusal by removing one of the upper level voids and bulk in the south western corner relocated to its place.

In terms of the street façade, the proposal presents a contemporary built form with cream venetian concrete, bronze powder coated aluminium bronze with reclaimed limewash brick external finishes (see **Figure 23**).

The presentation to the street is considered acceptable for a number of reasons. The front setback aligns with adjoining dwellings on the eastern side of Florence Street. The design incorporates a skillion roof form sympathetic with existing styles within the streetscape. The Applicant has submitted a comparison sketch demonstrating that the proposed dwelling will be commensurate with the prevailing bulk, height and scale of the adjoining dwelling at 7 Florence Street.



Figure 23: Montage of the proposed development from the street (unchanged from refusal)

The proposal still incorporates a void at the street frontage over the lounge room which exceeds the maximum 3m floor to ceiling heights as per the SCDP 2005 (see **Figure 24**). Given this is located on the northern side, additional overshadowing is minimal. Even if this area had been counted to GFA, the proposal would continue to comply with the FSR development standard. The void contributes to a consistent façade appearance. The northern side setback is well articulated with a recessed area behind the void. Accordingly, the proposed void space is considered acceptable in this instance.

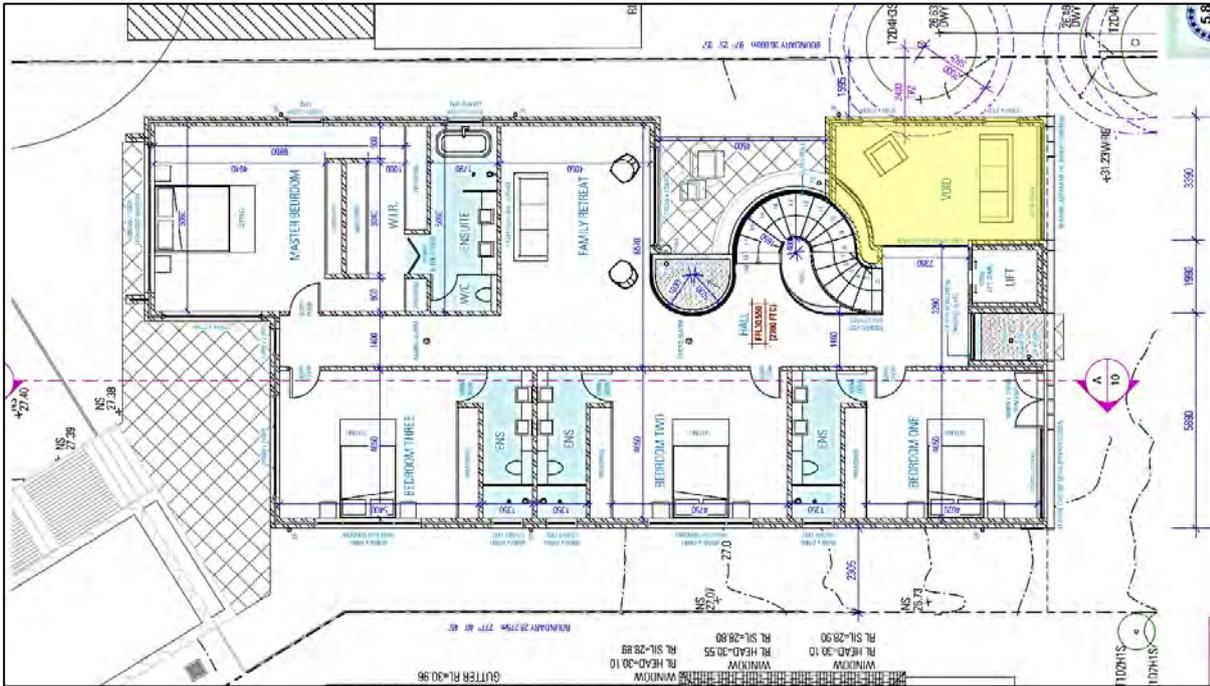


Figure 24: First Floor plan showing location of void (highlighted in yellow)
As discussed, bulk at the rear will be reduced through the removal of bulk on in the south western corner. While the master bedroom will continue to overhang above the ground level at the rear (north western corner), this adjoins the carport and garage of 3 Florence Street which is not considered a particularly sensitive interface (see **Figure 25**).



Figure 25: Covered areas in rear of 3 Florence Street

Accordingly, the proposed streetscape and overall building bulk outcome is considered acceptable in this instance.

Overshadowing

The site provides an east-west orientation resulting in an unavoidable degree of overshadowing to the southern adjoining neighbour. The Applicant submitted aerial and elevational shadow diagrams of Florence Street.

These demonstrate that solar access is maintained throughout the day to the upper level windows of 7 Florence Street. The ground floor windows in shadow pertain to a laundry and stairwell which are low active use rooms. The rear private open space area of 7 Florence Street will receive direct solar access throughout the day from 10am onwards. Solar access has been improved through the revised drawings submitted as part of the Section 8.2 review application. The south western corner was the key leading edge in terms of solar access and this has been stepped in.

Accordingly, the proposal provides an acceptable solar access outcome within an established residential area.

Landscaping and Open Space

The development is considered to enhance the existing landscaped character of the streetscape. Small planters are incorporated into the front façade. Large trees and turf areas are also proposed in the front setback. The proposal complies with the numerical landscaped area controls and includes landscaping within each setback. The reduction in the driveway width to be conditioned will provide further opportunities for landscaping. Accordingly, the proposed development satisfies the relevant landscaping objectives and controls of the SCDCP 2005.

Fencing

The proposed front and side fencing satisfies the relevant objectives and controls within SCDCP 2005 (see **Figure 26**). It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

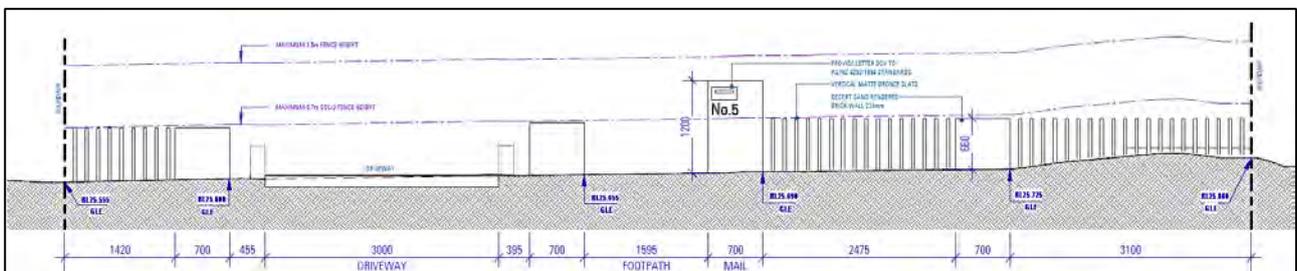


Figure 26: Front fence elevation

Privacy

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005, in that adequate privacy is maintained between adjoining properties and overlooking is minimised. The building is orientated towards the front and rear boundaries. Windows are offset from adjoining dwellings and, where required, they are screened, obscured or off low active use rooms so as not to negatively impact upon adjoining properties. Balconies are either screened, setback or of limited size so as to not impact on the amenity or privacy of the adjoining dwellings whilst providing good amenity to the occupant of the dwelling.

Vehicular Access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the required number of parking spaces and adequate vehicular access provisions. The basement is proposed to a maximum height of 400mm above existing ground level and sits within the ground floor building footprint. A swept path analysis was submitted demonstrating that vehicles can manoeuvre within the basement so as to achieve forward ingress and egress. The 4m driveway ramp width will be conditioned to comply with the 3.5m control.

Cut and Fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduce site disturbance. Ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A Soil Erosion Plan has been submitted with the application to minimise soil disturbances during construction. This will be included in the list of approved plans.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

Ancillary Structures

Outbuildings

The proposed cabana and sauna satisfy the relevant objectives and controls the SCDCP 2005 complying with the height, setbacks and floor space controls. The cabana and sauna will be at grade ensuring no sightlines across site boundaries.

Retaining Walls

The proposed development satisfies the relevant objectives and controls within SCDCP 2005 and have been kept to a maximum height of 1.2m. All retaining walls greater than 600mm are required to be designed by a suitably qualified engineer.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately set back from all adjoining boundaries. The pool pump equipment has been located in a soundproof enclosure and the pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the Swimming Pools Act 1992 and relevant standards.

PART H – Waste Management

In accordance with Part H of Strathfield CDCP 2005, a Waste Management Plan was submitted with the application. It is considered that this plan adequately addresses Part H and is satisfactory.

PART P – Heritage

As previously discussed, the site is located within the visual catchment of several heritage listed items. The original application was referred to Council's Heritage Planner for comment who raised no concerns given the proposal will not impact on the ability of the public to understand and appreciate the historic and aesthetic significance of the HCA and other individually listed items in the vicinity. The application is therefore acceptable in this regard.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: The Demolition of Structures is relevant to the determination of a DA for the demolition of a building. The proposed development does not involve the demolition of a building.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

As discussed above, the proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. In addition, the proposal is not considered to have a significant impact on the natural and built environment nor any negative social or economic impacts on the locality.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments. The previous residential use demonstrates the site is suitable for this type of development.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Council's Community Participation Plan (CPP), the application was placed on neighbour notification for a period of 14 days where adjoining property owners were notified in writing of the proposal and invited to comment. No submissions were received.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest. The public interest is served through the consistent application of planning controls.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. A consent authority may impose a condition under Section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

Strathfield Indirect Section 7.12 Contributions Plan

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Based on the Cost of Works of \$992,188 and in accordance with Council's Section 7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows:

Local Amenity Improvement Levy	\$9,921.88
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Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15(1) of the EP&A Act 1979, the provisions of the SLEP 2012 and SCDP 2005. Following detailed assessment, it is considered that DA 2022.232 should be approved.

That the Section 8.2 Review of Development Application No. 2022.232 for a two storey dwelling house with basement, pool and front boundary fence at 5 Florence Street, Strathfield be **APPROVED**, subject to the following conditions:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1. **Approved Plans & Documentation**

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Plan	22189-02	08.06.2023	D	ES Design
Basement Floor Plan	22189-03	08.06.2023	D	ES Design
Basement Floor Plan with Swept Paths	22189-04	08.06.2023	D	ES Design
Ground Floor Plan	22189-05	08.06.2023	D	ES Design
First Floor Plan	22189-06	08.06.2023	D	ES Design
Roof Plan	22189-02	08.06.2023	D	ES Design
East & North Elevation Plan	22189-08	08.06.2023	D	ES Design
West & South Elevation Plan	22189-09	08.06.2023	D	ES Design
Section Plan	22189-10	08.06.2023	D	ES Design

Front Fence Details	22189-11	08.06.2023	D	ES Design
Proposed Cabana Plan	22189-12	08.06.2023	D	ES Design
Proposed Cabana Elevations	22189-13	08.06.2023	D	ES Design
Proposed Driveway Grade Details	22189-14	08.06.2023	D	ES Design
Schedule of External Materials, Colours and Finishes	22189-15	08.06.2023	D	ES Design
In-ground Swimming Pool Details	22189-19	08.06.2023	D	ES Design
Schedule of External Materials, Colours and Finishes	22189-27	08.06.2023	D	ES Design
Landscape Plan	LDA-01	30/05/2023	C	Ground Ink
Landscape Details	LDA-02	30/05/2023	C	Ground Ink
Stormwater Layout Plan Ground Floor Plan, Notes & Details	SW22247 SW010	01/06/2023	D	Capital Engineering Consultants
Stormwater Layout Plan Ground Floor Plan, Notes & Details	SW22247 SW020	01/06/2023	D	Capital Engineering Consultants
Stormwater Layout Plan First Floor & Roof Plan, Notes & Details	SW22247 SW030	01/06/2023	D	Capital Engineering Consultants
Stormwater Layout Plan Erosion & Sediment	SW22247 ER001	01/06/2023	D	Capital Engineering Consultants

Control Plan, Notes & Details				
Waste Management Plan	-	08.10.2022	-	ES Engineering

2. Building Height

The height of the building measured from Australian Height Datum (AHD) must not exceed Relative Level (RL) 35.350 AHD to the roof ridge of the building.

SEPARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

3. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- c) Establishing a "works zone";
- d) Placing or storing materials or equipment;
- e) Placing or storing waste containers or skip bins;
- f) Stormwater & ancillary to public infrastructure on private land
- g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- h) Pumping water from the site into the public road;
- i) Constructing a vehicular crossing or footpath;
- j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- k) Stormwater & ancillary works in the road reserve; and
- l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

4. Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

5. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

6. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$ 2,480.00

Security Damage Deposit	\$ 12,810.00
Administration Fee for Damage Deposit	\$ 137.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$ 9,921.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

7. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Driveway width	The driveway ramp into the basement must be a maximum width of 3.5m.
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**8. Site Management Plan
Minor Development**

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

9. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1324701S_03 must be implemented on the plans lodged with the application for the Construction Certificate.

10. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- a) Compliance with the approved Erosion & Sediment Control Plan
- b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- c) All clean water run-off is diverted around cleared or exposed areas
- d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

11. Pre-Construction Dilapidation Report – Private Land

A professional engineer specialising in structural or geotechnical engineering shall prepare a Pre-Construction Dilapidation Report detailing the current structural condition of adjoining premises including but not limited to:

- a) 3 Florence Street, Strathfield
- b) 7 Florence Street, Strathfield
- c) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.

The report shall be prepared at the expense of the applicant and submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

A copy of the pre-construction dilapidation report is to be provided to the adjoining properties (subject of the dilapidation report), a minimum of 5 working days prior to the commencement of work. Evidence confirming that a copy of the pre-construction dilapidation report was delivered to the adjoining properties must be provided to the Principal Certifier.

Should the owners of properties (or their agents) refuse access to carry out inspections, after being given reasonable written notice, this shall be reported to Council to obtain Council's agreement to complete the report without access. Reasonable notice is a request for access in no sooner than 14 days between 8.00am-6.00pm.

12. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

13. Pump-Out System Design for Stormwater Disposal

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

- a) The pump system shall consist of two pumps, connected in parallel, with each pump being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;
- b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

14. Stormwater Drainage Plan Details

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (2019) and Council's Stormwater Management Code.

15. Structural Details

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the Principal Certifier.

16. Engineer's Certificate

A certificate from a professional Engineer specialising in structural engineering certifying the structural adequacy of the existing structure, to support all proposed additional superimposed loads shall be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

17. Geotechnical Report

Geotechnical Reports: The applicant must submit a Geotechnical Report, prepared by a professional engineer specialising in geotechnical engineering who holds the relevant Certificate of accreditation as required under the *Building Professionals Act 2005* in relation to dilapidation reports, all site works and construction. This is to be submitted before the issue of the Construction Certificate and is to include:

- (a) Investigations certifying the stability of the site and specifying the design constraints to be placed on the foundation, any earthworks/stabilization works and any excavations.
- (b) Dilapidation Reports on the adjoining properties including, but not limited to (7 and 9 Florence Street) prior to any excavation of site works. The Dilapidation Report is to include assessments on, but not limited to, the dwellings at those addresses and any external paths, grounds etc. This must be submitted to the Principal Certifier and the adjoining residents as part of the application for the Construction Certificate. Adjoining residents are to be provided with the report five (5) working days prior to any works on the site.
- (c) On-site guidance by a vibration specialist during the early part of excavation.
- (d) Measures to minimise vibration damage and loss of support to other buildings. Where possible any excavation into rock is to be carried out with tools such as rock saws which reduce vibration to adjoining buildings and associated structures. Where a

hydraulic hammer is to be used within 30 metres of any building (other than a path or a fence) the report shall detail the maximum size of hammer to be used and provide all reasonable recommendations to manage impacts.

- (e) Sides of the excavation are to be pierced prior to any excavation occurring to reinforce the walls of the excavation to prevent any subsidence to the required setbacks and neighbouring sites.

18. Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- a) no ground level may be raised or filled except where shown specifically on the approved plans;
- b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- c) the swimming pool must not be used for commercial or professional purposes;
- d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

19. Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council’s public footway, public reserves or on neighbouring properties.

20. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No	Tree Species	Location of Tree	Tree Protection Zone (TPZ)
1	<i>Syzygium australe</i>	Front of 3 Florence St on boundary to 5 Florence	4.2m
2,3,4	<i>Camellia sasanqua</i>	Front of 3 Florence St on boundary to 5 Florence	2m

Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected

area and no soil or fill should be placed within the protection area.

- (f) No services shall be installed within the TPZ of the trees unless approved by Council. This fence shall be kept in place during demolition and construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.
- (g) No soil, fill, building materials or waste should be placed or disposed of within the tree protection areas

Excavation works near tree to be retained

- (h) Excavations around the trees to be retained on site or the adjoining properties shall be by **non-destructive methods** and shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (i) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (j) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in the TPZ of the trees are to utilise pier and beam or cantilevered slab construction. Any proposed stormwater works are to be excavated by non-destructive methods or use tunnelling under tree root zones and are to be undertaken under supervision of the project arborist.

Details satisfying this condition shall be shown on the Construction Certificate plans.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

21. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

22. Registered Surveyors Report - During Development Work

A report must be submitted to the Principal Certifier at each of the following applicable stages of construction:

- (a) Set out before commencing excavation.
- (b) Floor slabs or foundation wall, before formwork or commencing brickwork.
- (c) Completion of Foundation Walls - Before any construction of flooring, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans.
- (d) Completion of Floor Slab Formwork - Before pouring of concrete/walls construction, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans. In multi-storey buildings a further survey must be provided at each subsequent storey.
- (e) Completion of any Pool Formwork - Before concreting of pool shell, detailing the location of the pool relative to the adjacent boundaries and its height relative to the datum shown on the approved plans.
- (f) Completion of any Roof Framing - Before roof covered detailing eaves/gutter setback

from boundaries.

- (g) Completion of all Work - Detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A final Check Survey must indicate the reduced level of the main ridge.

Work must not proceed beyond each stage until the Principal Certifier is satisfied that the height and location of the building is proceeding in accordance with the approved plans.

23. Utility Arrangements

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicants expense.

24. Dust Control

Where a dust nuisance is likely to occur, suitable screens and/or barricades shall be erected during the demolition, excavation and building works. If necessary, water sprays shall be used on the site to reduce the emission of dust. Screening shall consist of a minimum 2 metres height of shade cloth or similar material secured to a chain wire fence of the like and shall be modified as required should it fail to adequately control any dust nuisance.

DURING CONSTRUCTION

25. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

26. Ground Levels and Retaining Walls

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

27. Obstruction of Road or Footpath

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

28. Swimming Pools – Filling with Water

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the Principal Certifier.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

29. BASIX Certificate

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation

Certificate.

30. BASIX Compliance Certificate

A Compliance Certificate must be provided to the Principal Certifier regarding the implementation of all energy efficiency measures as detailed in the approved BASIX Certificate before any Occupation Certificate is issued.

31. Completion of Landscape Works

The approved landscape works have identified that the side setback area between the dwelling and boundary be nominated as landscaped area to ensure compliance with the minimum landscape area requirements. In this regard, this area shall be maintained as landscaped area and can only be used for growing plants, grasses and trees and cannot include any building, structure or hard paving (including rainwater tanks, air-conditioning units of ground mounted hot water systems).

32. Post Construction Dilapidation Report – Private Land

At the completion of the construction works, a suitably qualified person is to be engaged to prepare a post-construction dilapidation report. This report is to ascertain whether the construction works associated with the subject development created any structural damage to the following adjoining premises:

- a) 3 Florence Street, Strathfield
- b) 7 Florence Street, Strathfield

The report is to be prepared at the expense of the applicant and submitted to the Principal Certifier prior to the issue of the Occupation Certificate. In ascertaining whether adverse structural damage has occurred to the adjoining premises, the Principal Certifier, must compare the post-construction dilapidation report with the pre-construction dilapidation report required by conditions in this consent.

Evidence confirming that a copy of the post-construction dilapidation report was delivered to the adjoining properties subject of the dilapidation report must be provided to the Principal Certifier prior to the issue of any Occupation Certificate.

33. Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

34. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

35. Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications.

The work must be completed before the issue of an Occupation Certificate.

36. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;

- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

37. Swimming Pools – Resuscitation Notice

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

38. Greywater System

In order to conserve and re-use water, Council encourages all developments new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

39. Requirement for a Construction Certificate

The erection of a building must not commence until a Construction Certificate has been issued.

40. Appointment of a Principal Certifier

Building and/or demolition works must not commence until the applicant has:

- a) appointed a Principal Certifier for the building work; and
- b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.
- c) If the work is not going to be undertaken by an Owner - Builder, the applicant must:
- d) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- e) notify the Principal Certifier of the details of any such appointment; and
- f) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

41. Notification of Critical Stage Inspections

No later than two days before the building work commences, the Principal Certifier must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work

42. Notice of Commencement

The applicant must give at least two days notice to the Council and the Principal Certifier of their intention to commence the erection or demolition of a building.

43. Critical Stage Inspections

The last critical stage inspection must be undertaken by the Principal Certifier. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 61 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).

44. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the Principal Certifier at least 48 hours before each required inspection needs to be carried out.

45. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

46. Clause 75 – BASIX Commitments

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

47. Clause 69 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

48. Clause 70 – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the Principal Certifier and the Principal Contractor.

49. Clause 71 – Home Building Act 1989

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

ADVISORY NOTES

i. Review of Determination

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

ii. **Appeal Rights**

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. **Lapsing of Consent**

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. **Access to NSW Legislations (Acts, Regulations and Planning Instruments)**

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

v. **Long Service Levy**

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

vi. **Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993**

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (eg. Year/DA 2022/232) and reference this condition number (e.g. Condition 23)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

vii. **Site Safety Fencing**

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

viii. **Register your Swimming Pool**

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

ix. **Australia Post – Letter Box Size and Location**

The size and location of letterboxes servicing the development are to comply with the requirements and standard of Australia Post (see attached link: https://auspost.com.au/content/dam/auspost_corp/media/documents/Appendix-02.pdf)

x. **Residential Waste**

Council's residential waste collection service comprises one (1) x 120 litre (L) general waste bin, one (1) x 240L recycling bin and one (1) x 240L garden vegetation bin per dwelling for single dwellings, semi-detached and dual occupancy developments. Waste containers should be stored in a suitable place to avoid vandalism, nuisance (odour, vermin) and adverse visual impacts on residents and the streetscape. Waste storage areas should be located to minimise the distance of travel to the collection point, be easily accessible and be of sufficient size to accommodate the necessary waste storage bins in accordance with Appendix C, Section H Waste Minimisation and Management, Strathfield Consolidated Development Control Plan 2005.

ATTACHMENTS

1. [↓](#) S8.2 Architectural Drawings

DEVELOPMENT APPLICATION

DRAWING SCHEDULE

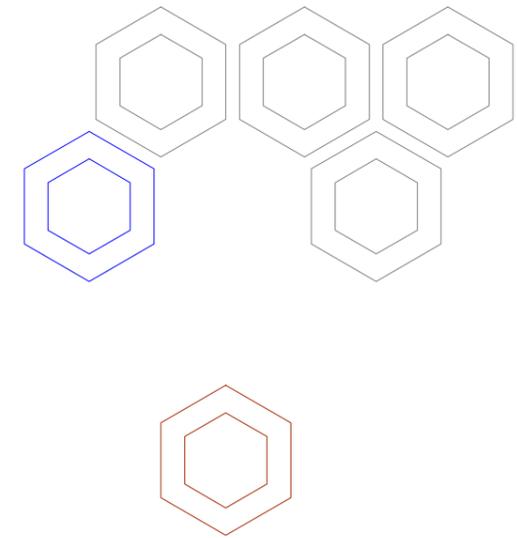
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ISSUE DETAILS

A	22.09.22	ISSUED FOR DEVELOPMENT APPLICATION
B	04.10.22	RESPONSE TO LETTER OF ASSESSMENT
C	28.03.23	RESPONSE TO LETTER OF ASSESSMENT
D	08.06.23	ISSUED FOR DIVISION 8.2 REVIEW

ADDITIONAL INFORMATION

A01	OWNER'S CONSENT FORM
A02	SURVEY PLAN
A03	BASIX & NATHERS CERTIFICATION
A04	STORMWATER PLAN
A05	LANDSCAPE PLAN
A06	STATEMENT OF ENVIRONMENTAL EFFECTS
A07	WASTE MANAGEMENT PLAN
A08	COST SUMMARY REPORT
A09	QUANTITY SURVEYORS REPORT

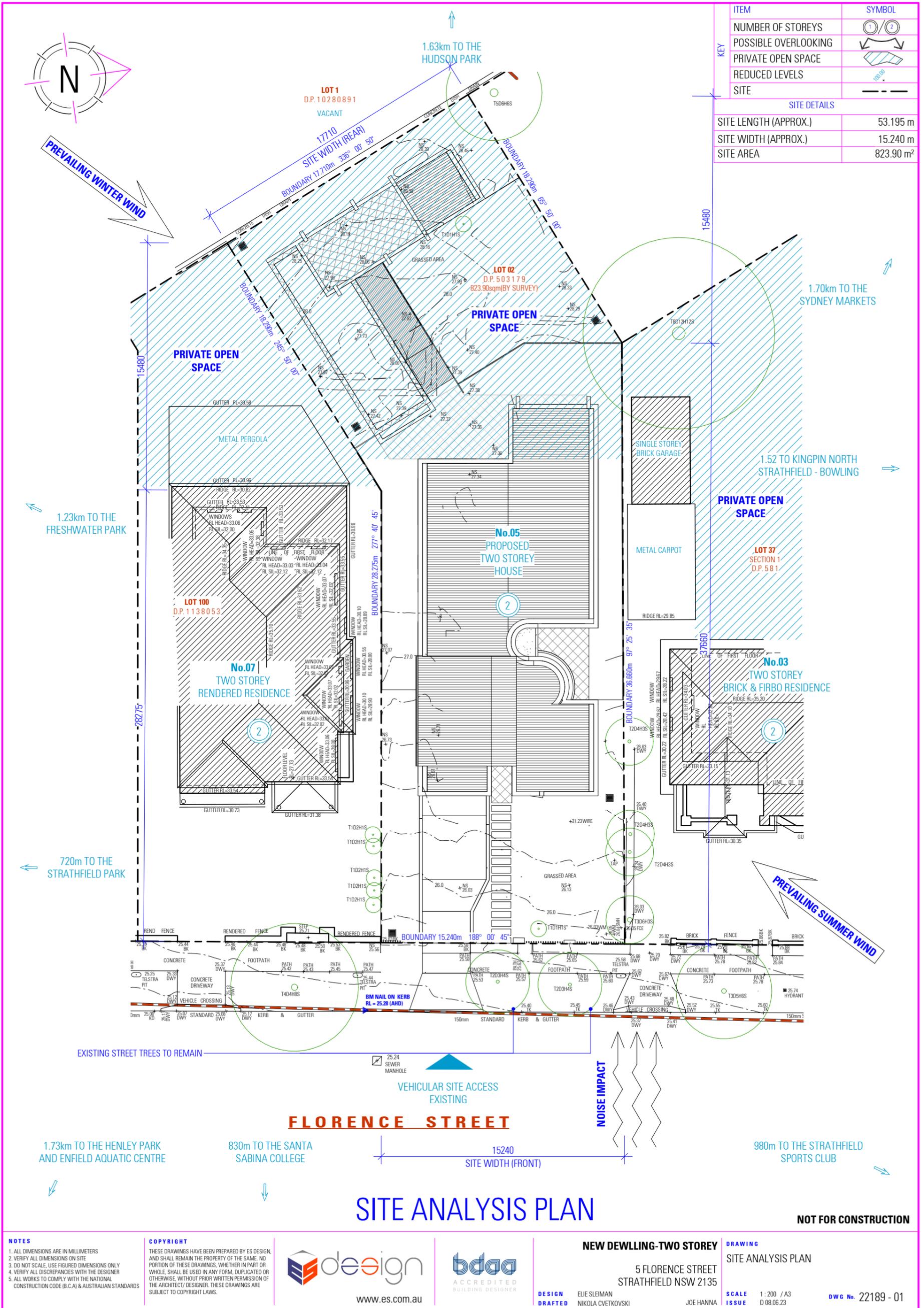


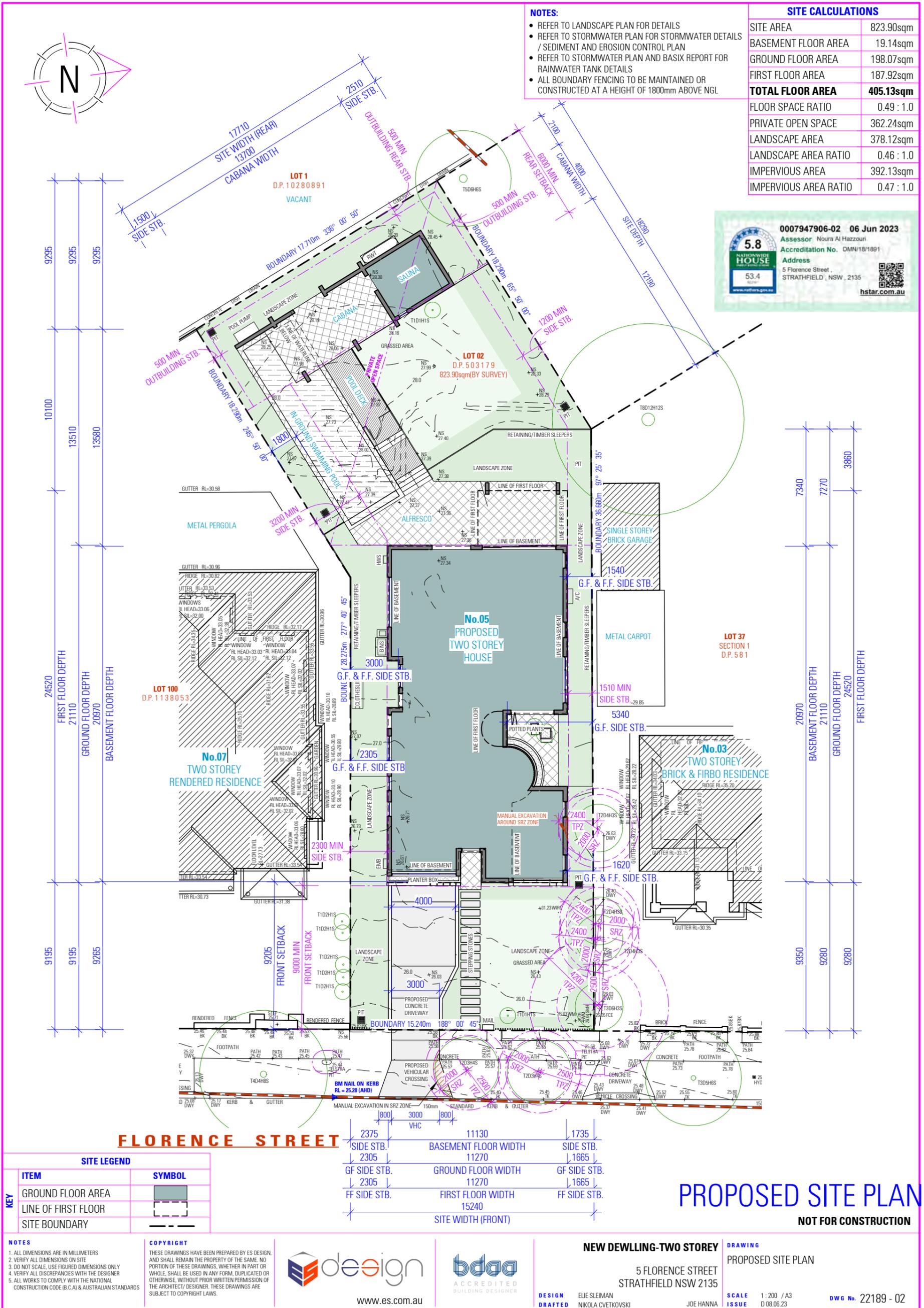
NEW DWELLING-TWO STOREY

5 FLORENCE STREET,
STRATHFIELD NSW 2135

JOE HANNA







SITE LEGEND

ITEM	SYMBOL
GROUND FLOOR AREA	[Solid Grey Box]
LINE OF FIRST FLOOR	[Dashed Line]
SITE BOUNDARY	[Dotted Line]

2375	11130	1735
SIDE STB.	BASEMENT FLOOR WIDTH	SIDE STB.
2305	11270	1665
GF SIDE STB.	GROUND FLOOR WIDTH	GF SIDE STB.
2305	11270	1665
FF SIDE STB.	FIRST FLOOR WIDTH	FF SIDE STB.
	15240	
	SITE WIDTH (FRONT)	

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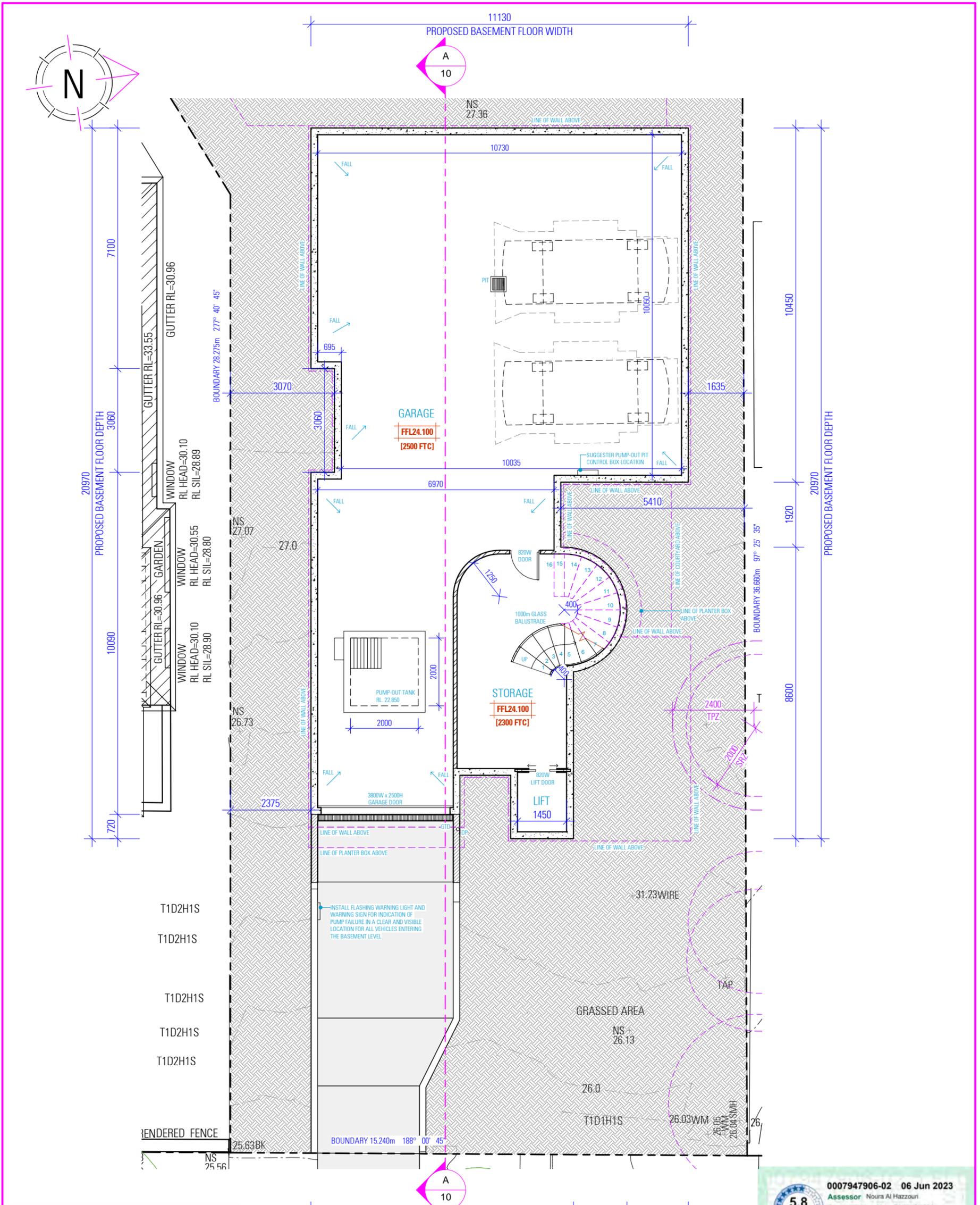
DESIGN ELIE SLEIMAN
DRAFTED NIKOLA CVETKOVSKI

DRAWING

PROPOSED SITE PLAN

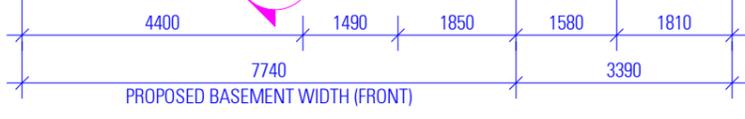
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PROPOSED BASEMENT FLOOR PLAN

NOT FOR CONSTRUCTION

0007947906-02 06 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 5 Florence Street,
 STRATHFIELD, NSW, 2135
 5.8
 53.4
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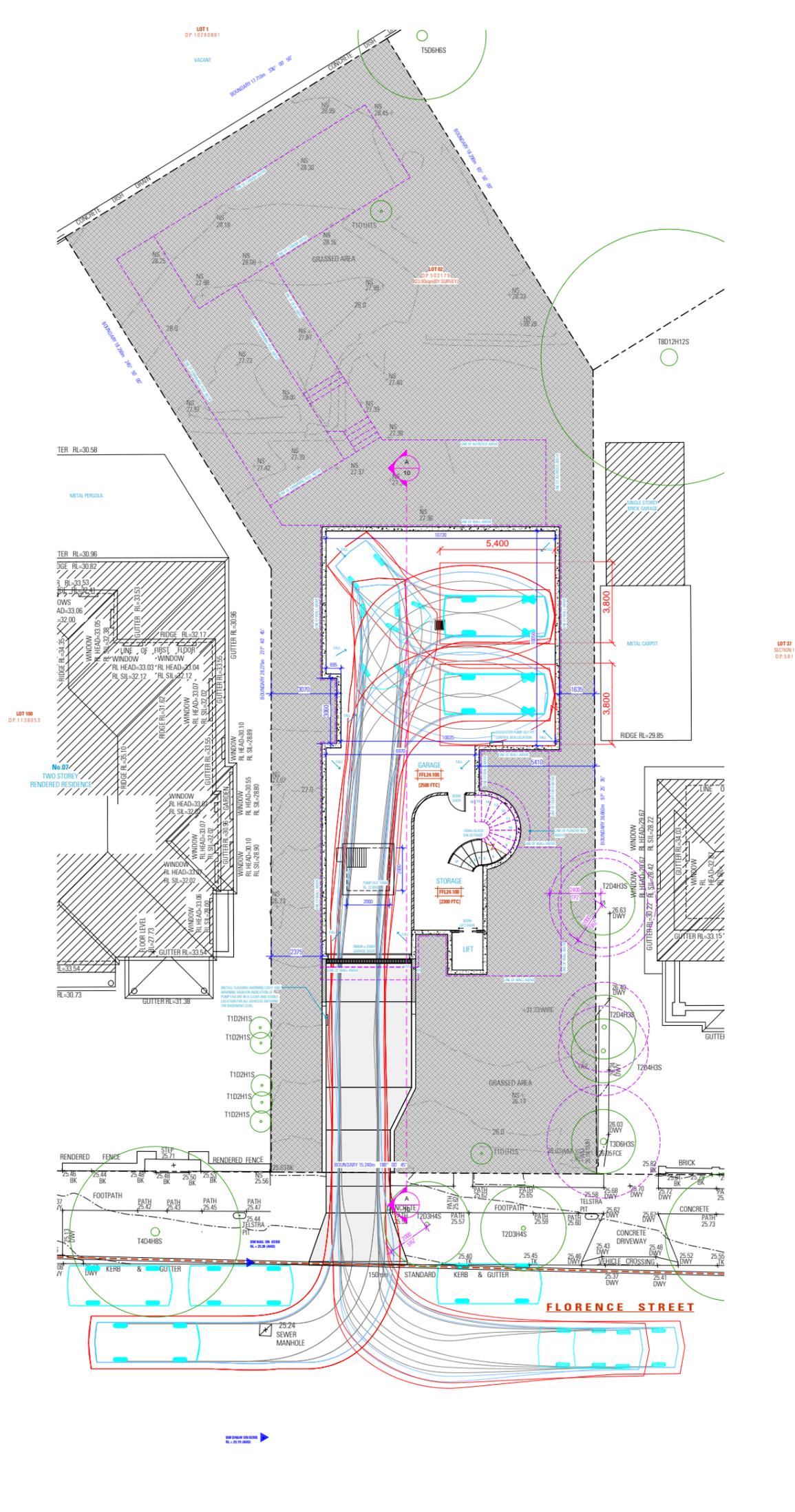
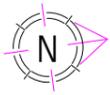
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 DESIGN ELIE SLEIMAN
 DRAFTED NIKOLA CVETKOVSKI
 JOE HANNA

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PROPOSED BASEMENT FLOOR PLAN WITH SWEEP PATHS

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NEW DWELLING-TWO STOREY **PROPOSED BASEMENT FLOOR PLAN WITH SWEEP PATHS**

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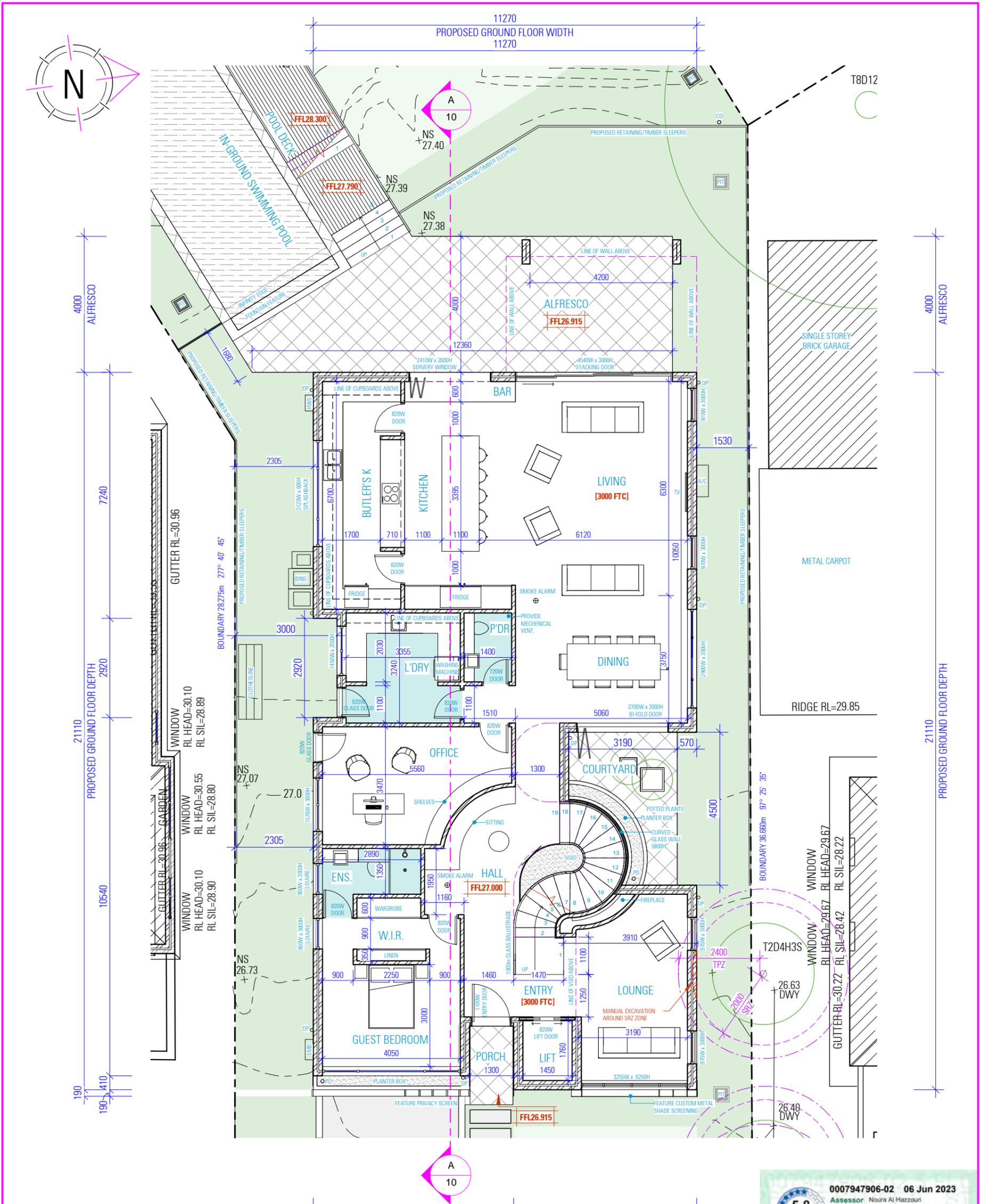
DESIGNER IUR SUZMAN
DRAWN NICOLA CORTIQUERO

SCALE 1:100/AS
1:500/D

DATE 08/08/23

PROJECT NO. 22189-04

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5890 5380 11270
 PROPOSED GROUND FLOOR WIDTH

PROPOSED GROUND FLOOR PLAN

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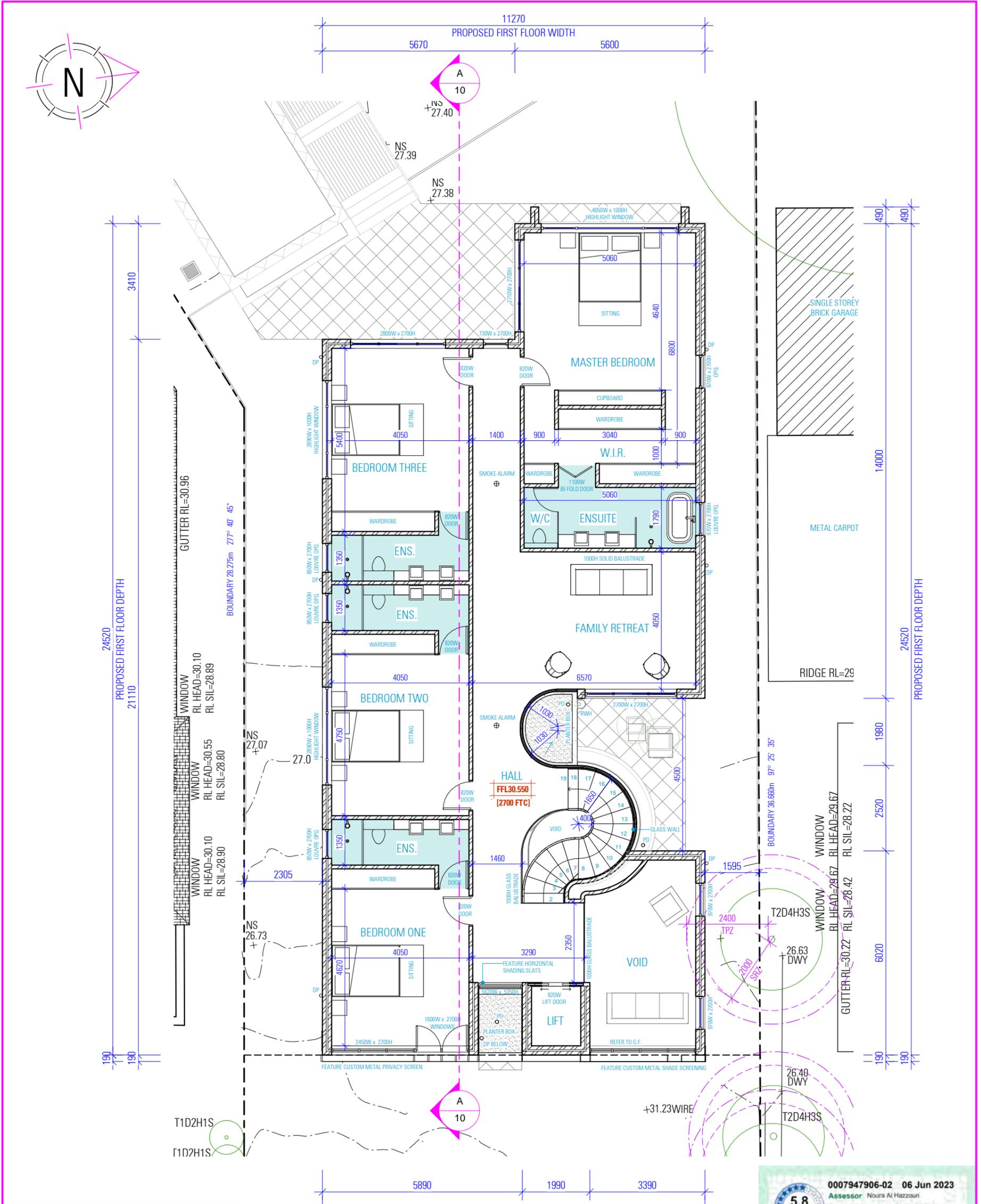
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 DESIGN: ELIE SLEIMAN
 DRAFTED: NIKOLA CVETKOVSKI
 JOE HANNA

DRAWING
 PROPOSED GROUND FLOOR PLAN
 SCALE: 1:100 / A3
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PROPOSED FIRST FLOOR PLAN

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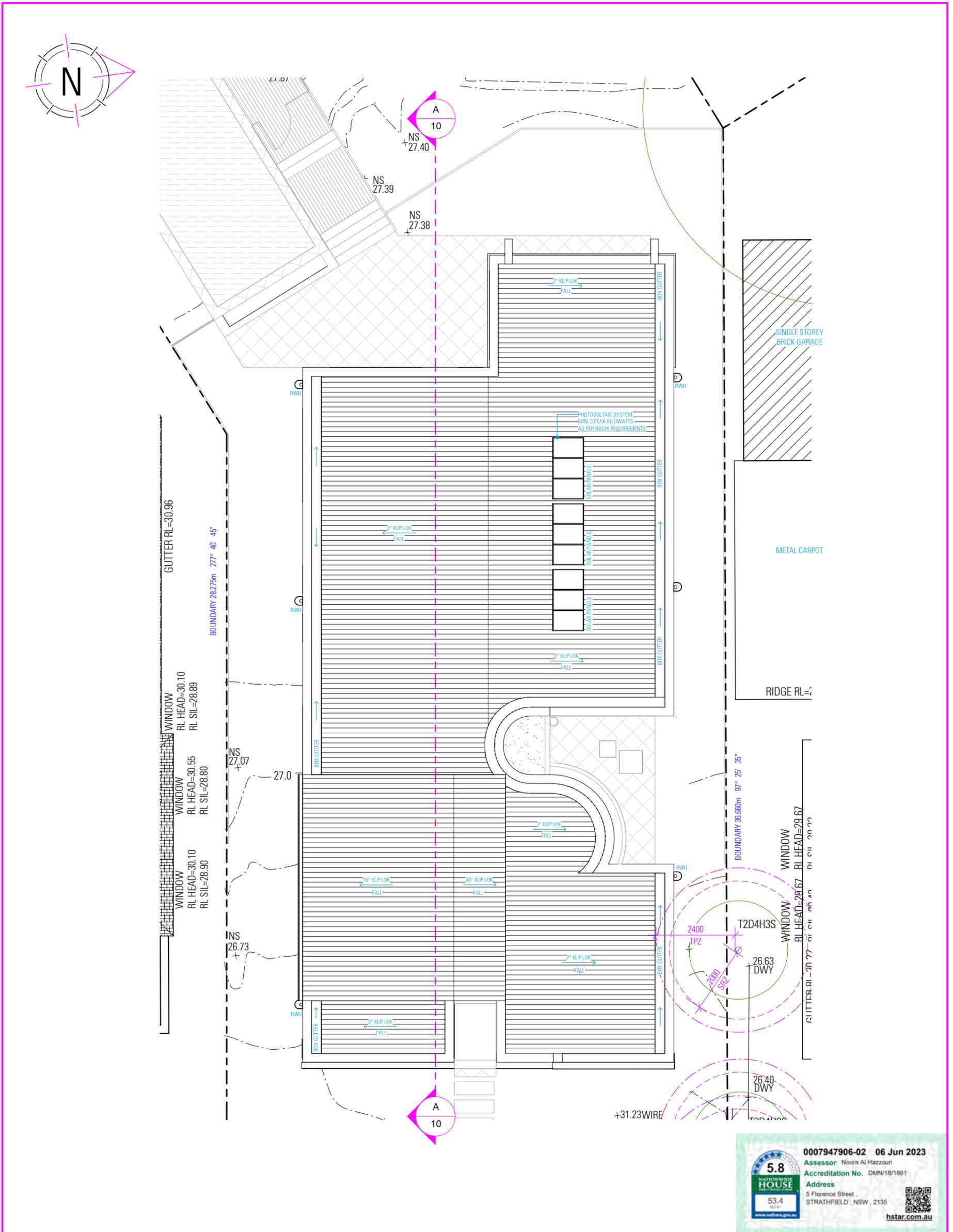
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 5 FLORENCE STREET
 STRATHFIELD NSW 2135

DESIGN: ELIE SLEIMAN
 DRAFTED: NIKOLA CVETKOVSKI
 JOE HANNA

DRAWING
 PROPOSED FIRST FLOOR PLAN

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PROPOSED ROOF PLAN

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 DESIGN: ELIE SLEIMAN
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 PROPOSED ROOF PLAN

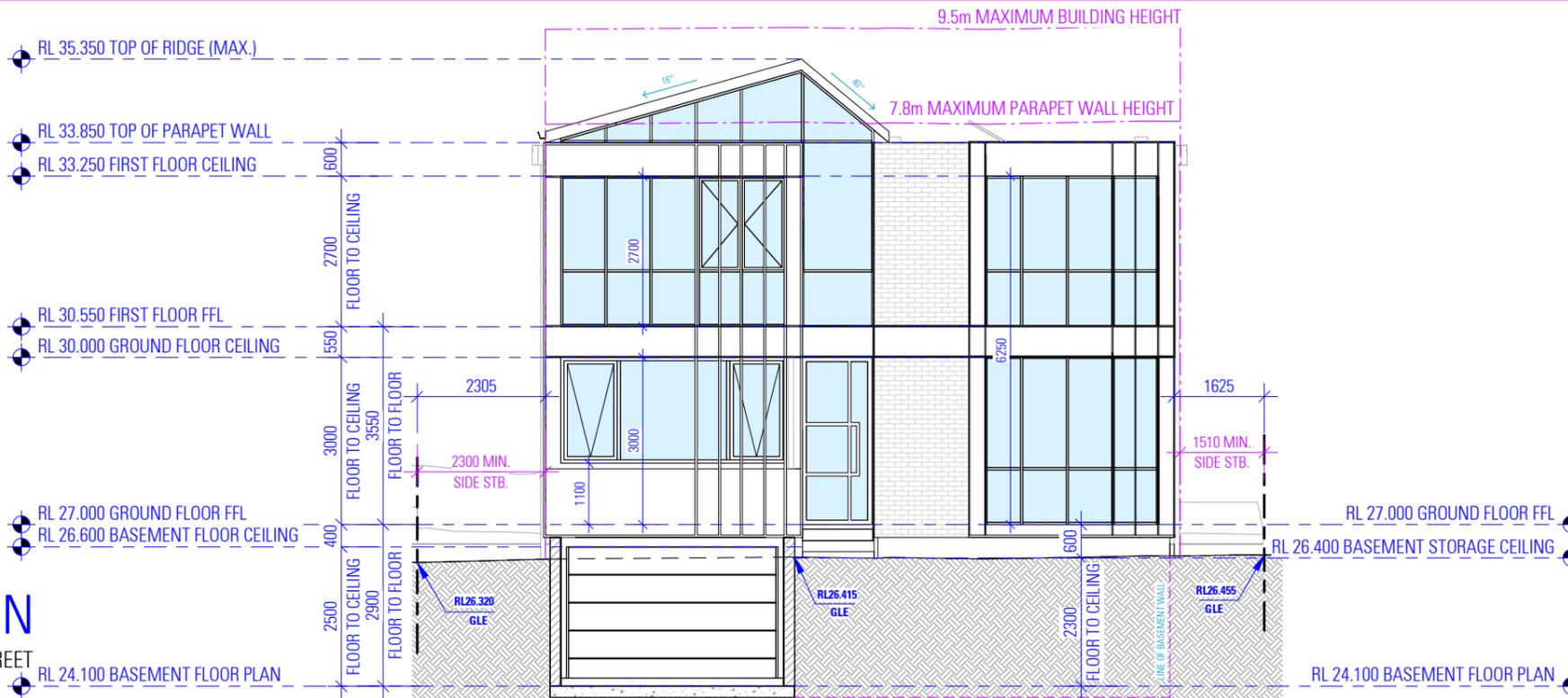
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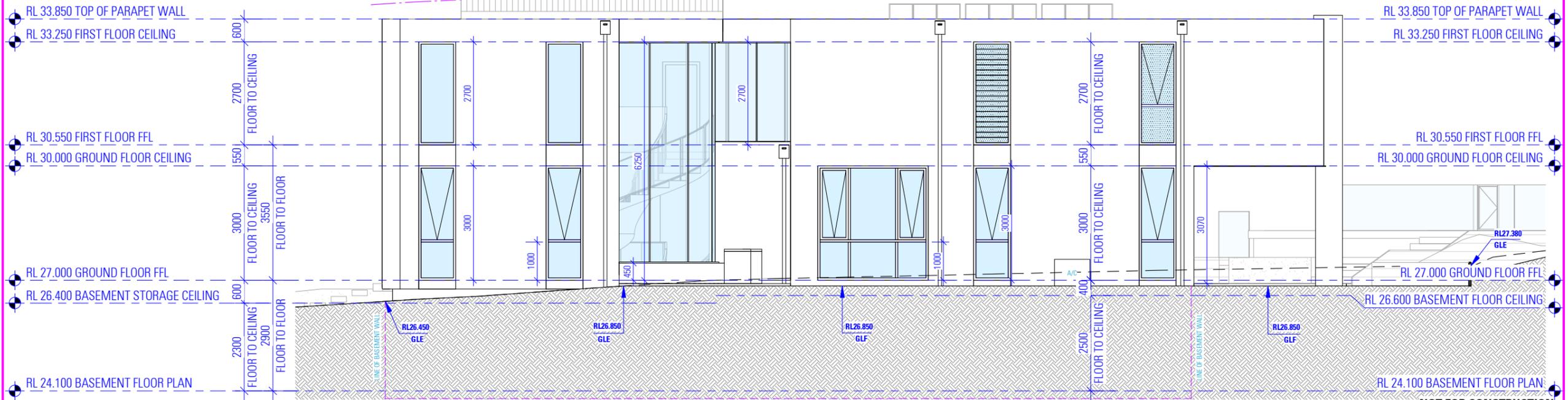
EAST ELEVATION

AS SEEN FROM FLORENCE STREET



9.5m MAXIMUM BUILDING HEIGHT

7.8m MAXIMUM PARAPET WALL HEIGHT



NORTH ELEVATION

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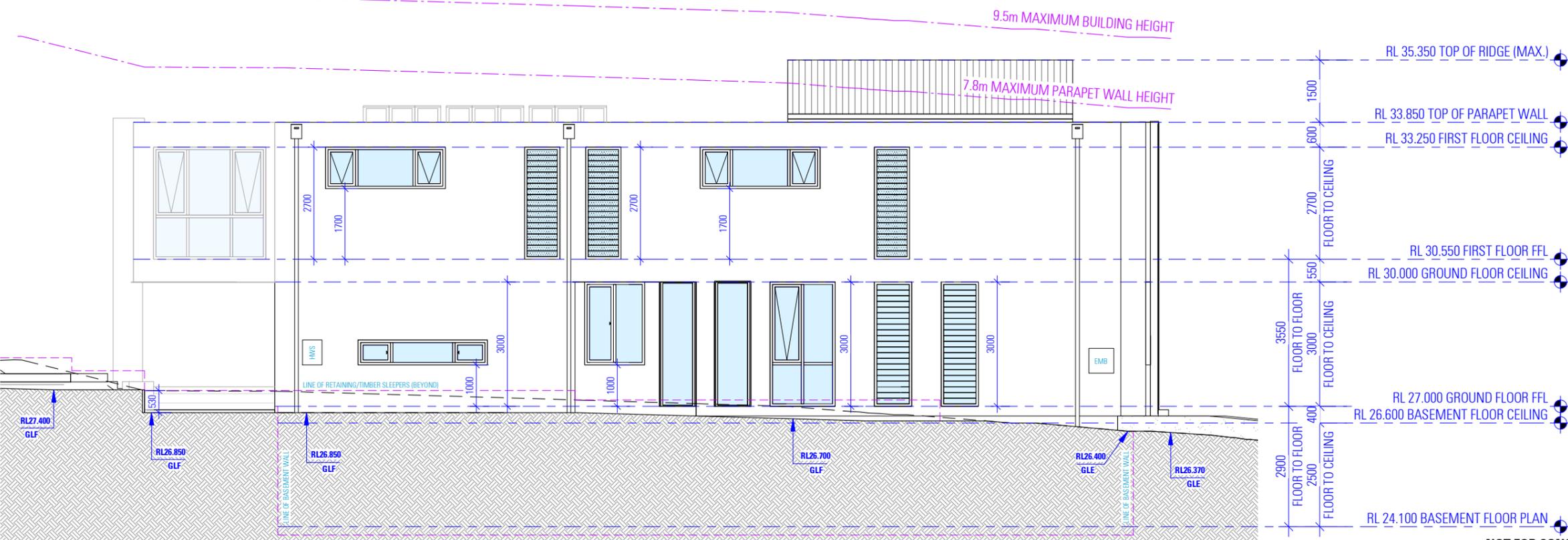
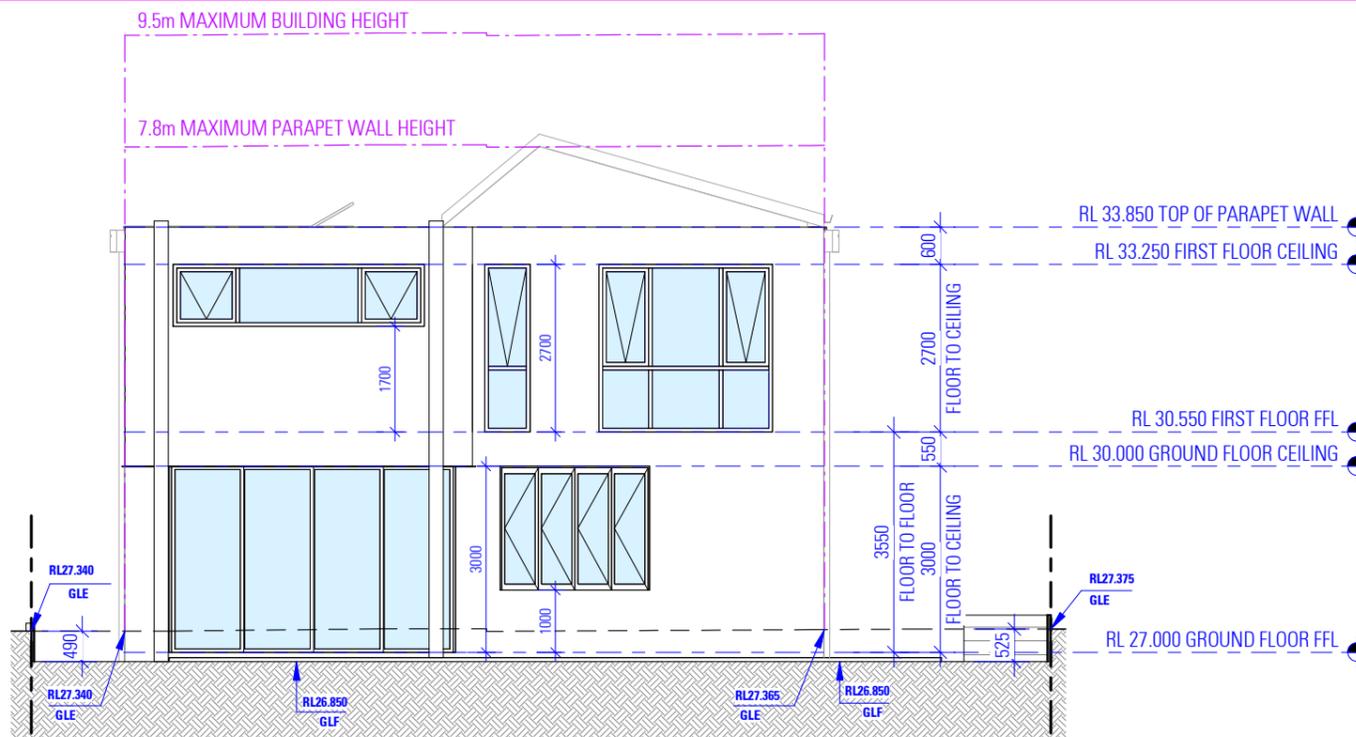
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WEST ELEVATION



SOUTH ELEVATION

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NEW DWELLING-TWO STOREY
 5 FLORENCE STREET
 STRATHFIELD NSW 2135

DESIGN: ELIE SLEIMAN
 DRAFTED: NIKOLA CVETKOVSKI

SCALE: 1:100/A3
 ISSUE: 08.06.23

DWG No. 22189 - 09

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WALL SCHEDULE

270mm CAVITY BRICK 110mm BRICK SKIN 50mm CAVITY 110mm BRICK SKIN	230mm DOUBLE BRICK 110mm BRICK SKIN 10mm MORTAR 110mm BRICK SKIN	110mm SINGLE BRICK 110mm BRICK SKIN	190mm RETAINING WALL 190mm CONCRETE BLOCK	200mm DINCEL WALL 200mm CONCRETE BLOCK	50mm TIMBER SLEEPERS 50mm WEATHER BOARD
--	--	---	---	--	---

NOTES

- THIS SCHEDULE DETAILS MAIN WALL COMPONENTS ONLY AND THE MEASUREMENTS GIVEN DO NOT INCLUDE RENDER, PLASTER OR THE LIKE. THEY ARE PROVIDED FOR 'CONSTRUCTION' PURPOSES AND SUCH DO NOT REPRESENT THE FINAL WALL THICKNESS.
- EXISTING WALLS SHOWN SOLID HATCHED.
- THE ITEMS PROVIDED ABOVE ARE A GENERAL LIST OF WALL TYPES. VERIFY ALL DISCREPANCIES WITH THE DESIGNER BEFORE COMMENCING CONSTRUCTION.

0007947906-02 06 Jun 2023
 Assessor Noura Al Hazzouri
 Accreditation No. DMN/18/1891
 Address
 5 Florence Street,
 STRATHFIELD, NSW, 2135
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SECTION

A

03-07

GENERAL REQUIREMENTS/SPECIFICATIONS
 BUILDING TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING/WHERE RELEVANT

EARTHWORKS
NATIONAL CONSTRUCTION CODE (NCC)
 • EARTHWORKS AND EXCAVATIONS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.1.1

STORM WATER
 • POWDER COATED ALUMINIUM GUTTERS & DOWNPIPES.
 • REFER TO STORMWATER PLAN FOR ALL SITE DRAINAGE DETAILS AND CALCULATIONS.

NATIONAL CONSTRUCTION CODE (NCC)
 • DRAINAGE IS TO BE IN ACCORDANCE WITH PART 3.1.3
 • ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

AUSTRALIAN STANDARD (AS)
 • PLUMBING & DRAINAGE - AS 3500

TERMITE PROTECTION
NATIONAL CONSTRUCTION CODE (NCC)
 • PROTECTION MUST BE IN ACCORDANCE WITH PART 3.1.4

AUSTRALIAN STANDARD (AS)
 • TERMITE PROTECTION - AS 3660.1

FOOTINGS
 • PROPOSED FOOTINGS TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER

NATIONAL CONSTRUCTION CODE (NCC)
 • FOOTINGS AND SLABS ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH PART 3.2

AUSTRALIAN STANDARD (AS)
 • RESIDENTIAL SLABS & FOOTINGS - AS 2870

FLOORING
 • PROPOSED FLOOR CONSTRUCTION TO THE SPECIFICATIONS OF A QUALIFIED PRACTISING ENGINEER.
 • ALL PORCHES, VERANDAH'S & THE LIKE TO HAVE A 85mm STEPDOWN FROM INTERNAL AREAS UNLESS NOTED OTHERWISE.

• FOR ALL REDUCED LEVELS REFER TO FLOOR PLANS (ENGINEERS DETAILS TO SUPERSEED-CONFIRM WITH DESIGNER)

AUSTRALIAN STANDARD (AS)
 • RESIDENTIAL SLABS & FOOTINGS - AS 2870
 • CONCRETE STRUCTURES - AS 3600

WALLS
NATIONAL CONSTRUCTION CODE (NCC)
 • ALL FRAMING IS TO BE IN ACCORDANCE WITH PART 3.4
 • ALL MASONRY IS TO COMPLY WITH PART 3.3
 • SOUND INSULATION IS TO BE IN ACCORDANCE WITH PART 3.8.6

AUSTRALIAN STANDARD (AS)
 • MASONRY CONSTRUCTION - AS3700
 • RESIDENTIAL TIMBER FRAMED CONSTRUCTION - AS 1684
 • TIMBER STRUCTURES - AS 1720
 • DOMESTIC METAL FRAMING - AS 3623

STRUCTURE
NATIONAL CONSTRUCTION CODE (NCC)
 • STAIR CONSTRUCTION IS TO COMPLY WITH PART 3.9.1
 • STRUCTURAL DESIGN TO BE IN ACCORDANCE WITH ACCEPTABLE CONSTRUCTION MANUALS AS LISTED IN PART 3.11

AUSTRALIAN STANDARD (AS)
 • SAA LOADING CODE - AS 1170
 • DAMP PROOF COURSES AND FLASHINGS - AS/NZS 2904
 • STEEL STRUCTURES - AS 410
 • ALUMINIUM STRUCTURES - AS 1664
 • SAA MASONRY CODE - AS 3700

GLAZING
 • POWDER COATED ALUMINIUM FRAMED GLASS WINDOWS & DOORS UNLESS NOTED OTHERWISE.

NATIONAL CONSTRUCTION CODE (NCC)
 • ALL GLAZING IS TO BE IN ACCORDANCE WITH PART 3.6

AUSTRALIAN STANDARD (AS)
 • WINDOWS IN BUILDINGS - AS 2047
 • GLASS IN BUILDINGS - AS 1288

ROOFING
NATIONAL CONSTRUCTION CODE (NCC)
 • ROOF CLADDING SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.5.1

AUSTRALIAN STANDARD (AS)
 • INSTALLATION OF ROOF TILES - AS 2050
 • DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING - AS 1562.1

FIRE
NATIONAL CONSTRUCTION CODE (NCC)
 • FIRE SAFETY IN ACCORDANCE WITH PART 3.7
 • FIRE SEPARATION IS TO BE IN ACCORDANCE WITH PART 3.7.2
 • HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5

AUSTRALIAN STANDARD (AS)
 • SMOKE ALARMS - AS 3786

HEALTH & AMENITY
 • ALL BATHROOM, ENSUITES AND LAUNDRIES TO HAVE FLOOR WASTES AND BE SETDOWN AND WATERPROOFED.

NATIONAL CONSTRUCTION CODE (NCC)
 • WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1
 • AREAS REQUIRING VENTILATION, WHICH ARE NOT NATURALLY VENTILATED, ARE TO BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH PART 3.8.5
 • EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY (OR VIA A SHAFT OR DUCT) TO OUTDOOR AIR OR A VENTILATED ROOF SPACE IN ACCORDANCE WITH PART 3.8.7
 • WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS 4654 PARTS 1 AND 2.

AUSTRALIAN STANDARD (AS)
 • WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS - AS 3740
 • ELECTRICAL & LIGHTING - AS/NZS 3000-2007 AND AS1680.0-2009
 • THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS - AS 1668

SAFE MOVEMENT & ACCESS
NATIONAL CONSTRUCTION CODE (NCC)
 • STAIRS SHALL BE CONSTRUCTED SO AS TO COMPLY WITH PART 3.9.1
 • ALL BALUSTRADES TO BE A MINIMUM 1000mm ABOVE FINISHED FLOOR LEVEL AND RAILS TO BE SPACED SO AS TO PREVENT A 125mm SPHERE PENETRATING THROUGH AND TO COMPLY WITH PART 3.9.2

WINDOW BARRIERS ARE REQUIRED FOR OPENABLE WINDOWS IN EARLY CHILDHOOD CENTRES AND IN BEDROOMS OF RESIDENTIAL BUILDINGS, WHERE THE FLOOR BELOW THE WINDOW IS MORE THAN 2m ABOVE THE SURFACE BENEATH TO MEET BCA 3.9.2.6.
 • THE WINDOW IS TO BE FITTED WITH EITHER A DEVICE TO RESTRICT THE WINDOW OPENING, OR A SUITABLE SCREEN, SO A 125mm SPHERE CANNOT PASS THROUGH.
 • THE DEVICE OR SCREEN CAN HAVE A CHILD RESISTANT RELEASE MECHANISM (E.G. A KEY LOCK) WHICH CAN ENABLE THE DEVICE OR SCREEN TO BE REMOVED, UNLOCKED OR OVERRIDDEN. (SO FOR EXAMPLE, THE WINDOW CAN BE CLEANED)
 • A BARRIER IS NOT REQUIRED FOR WINDOWS 1.7m OR MORE ABOVE THE FLOOR LEVEL.

AUSTRALIAN STANDARD (AS)
 • BALUSTRADES - AS 1170.1
 • SLIP RESISTANCE OF PEDESTRIAN SURFACES - AS/NZS 3661.2
 • FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDERS - AS 1657

EXTERNAL FINISHES
 • REFER TO SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES FOR MORE DETAILS.

NATIONAL CONSTRUCTION CODE (NCC)
 • ROOF, WALL CLADDING, GUTTERS & DOWNPIPES ARE TO COMPLY WITH PART 3.5

AUSTRALIAN STANDARD (AS)
 • GUIDE TO THE PAINTING OF BUILDINGS - AS 2311

INTERNAL FINISHES
NATIONAL CONSTRUCTION CODE (NCC)
 • HEATING APPLIANCES ARE TO BE INSTALLED IN ACCORDANCE WITH PART 3.10.7

AUSTRALIAN STANDARD (AS)
 • CERAMIC TILES - AS 3958
 • INTERIOR LIGHTING - AS 1680

LANDSCAPE
 • REFER TO LANDSCAPE PLAN FOR ALL PLANTING AND OUTDOOR SURFACE TREATMENTS

BUSHFIRE
 • THE RECOMMENDATIONS PROVIDED WITHIN THE BUSHFIRE ASSESSMENT REPORT ARE TO BE ADHERED TO. IN THE EVENT THAT THERE ARE INCONSISTENCIES, THE BUSHFIRE REPORT RECOMMENDATIONS ARE TO TAKE PRECEDENCE

NATIONAL CONSTRUCTION CODE (NCC)
 • BUSHFIRE AREAS ARE TO BE IN ACCORDANCE WITH PART 3.10.5

AUSTRALIAN STANDARD (AS)
 • CONSTRUCTION OF BUILDINGS IN BUSH-FIRE PRONE AREAS - AS 3959

GENERAL
 TERMITE PROTECTION IS TO BE IN ACCORDANCE WITH PART 3.1.4

AUSTRALIAN STANDARD (AS)
 • ELECTRICAL SERVICES - AS/NZS 3000
 • GAS INSTALLATIONS - AS 5601
 • OFF STREET CAR PARKING - AS 2890.1
 • PLIABLE BUILDING MEMBRANES & UNDERLAYS - AS/NZS 4200.1

THE DEVELOPMENT HAS BEEN DESIGNED TO BEST MEET THE GUIDELINES OF COUNCIL & THE NATIONAL CONSTRUCTION CODE (ALL WORK ON SITE SHALL BE CARRIED OUT IN A SIMILAR MANNER TO ADHERE TO THE REQUIREMENTS OF COUNCIL AND THE NCC)

MINOR CHANGES TO BUILDING FORM AND CONFIGURATION MAY BE REQUIRED WHEN DRAWINGS ARE SUBSEQUENTLY PREPARED FOR CONSTRUCTION PURPOSES AFTER THE GRANT OF DEVELOPMENT CONSENT

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NEW DWELLING-TWO STOREY

DRAWING
 SECTION VIEW

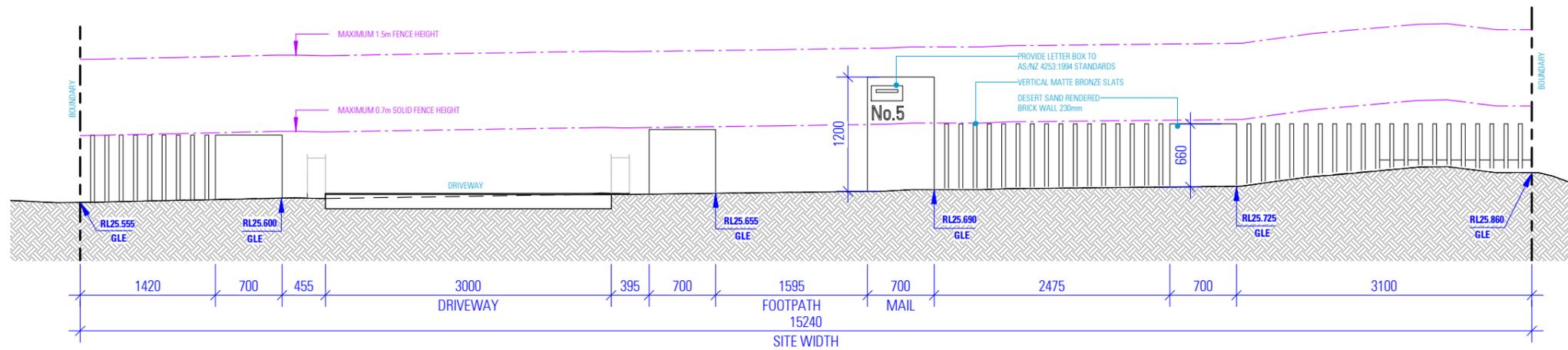
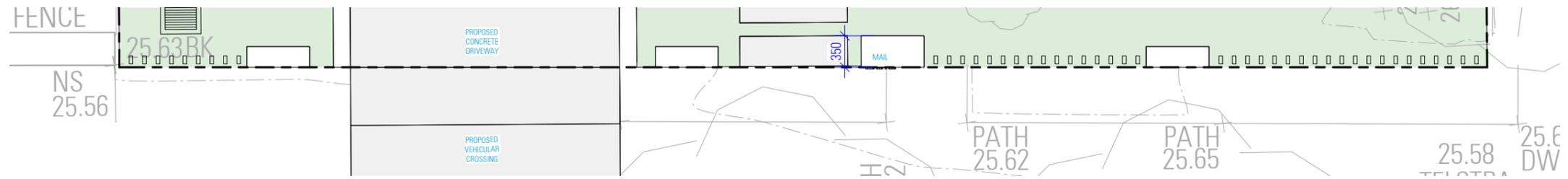
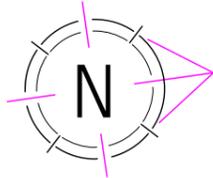
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FRONT FENCE DETAILS



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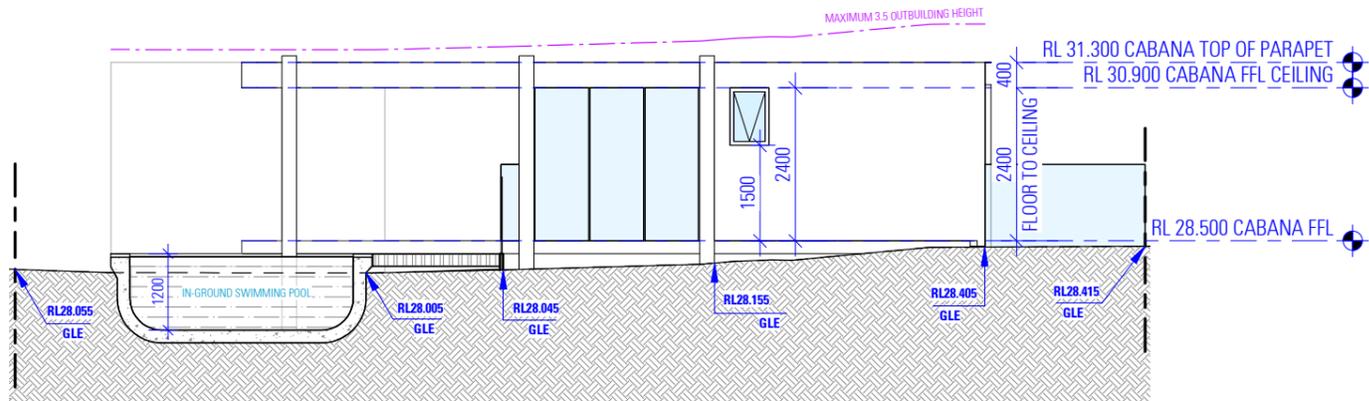
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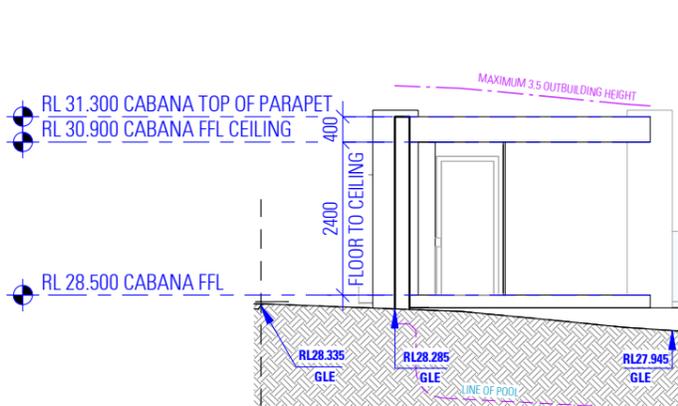
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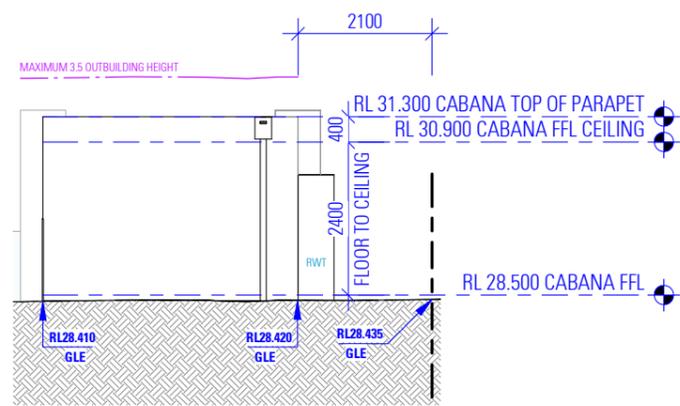
PROPOSED CABANA ELEVATIONS



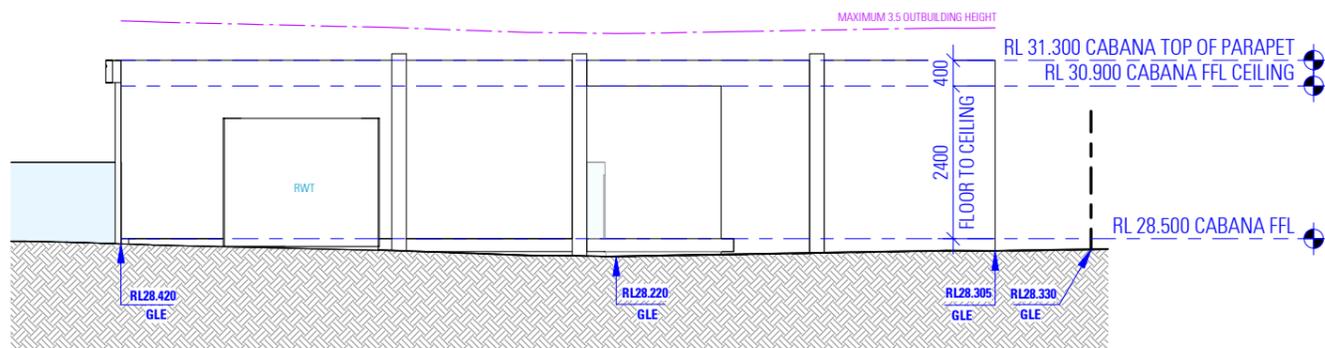
CABANA EAST ELEVATION



CABANA SOUTH ELEVATION



CABANA NORTH ELEVATION



CABANA WEST ELEVATION



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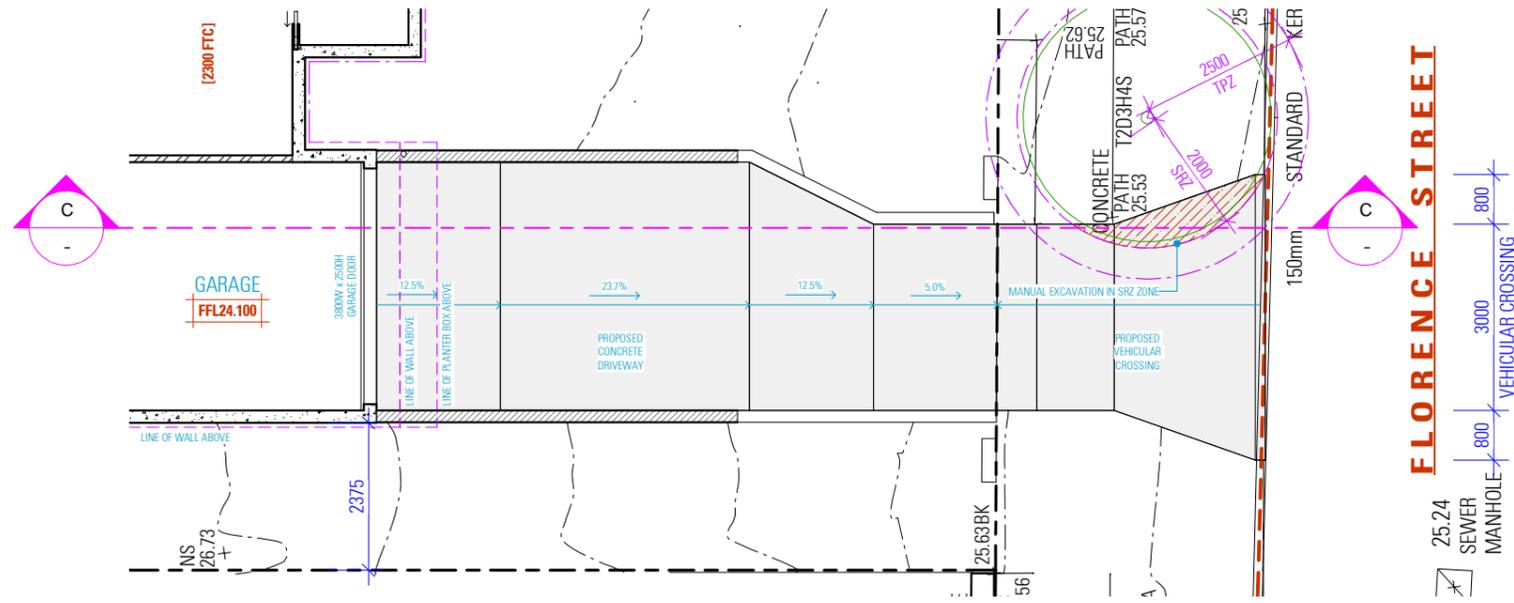
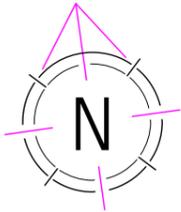
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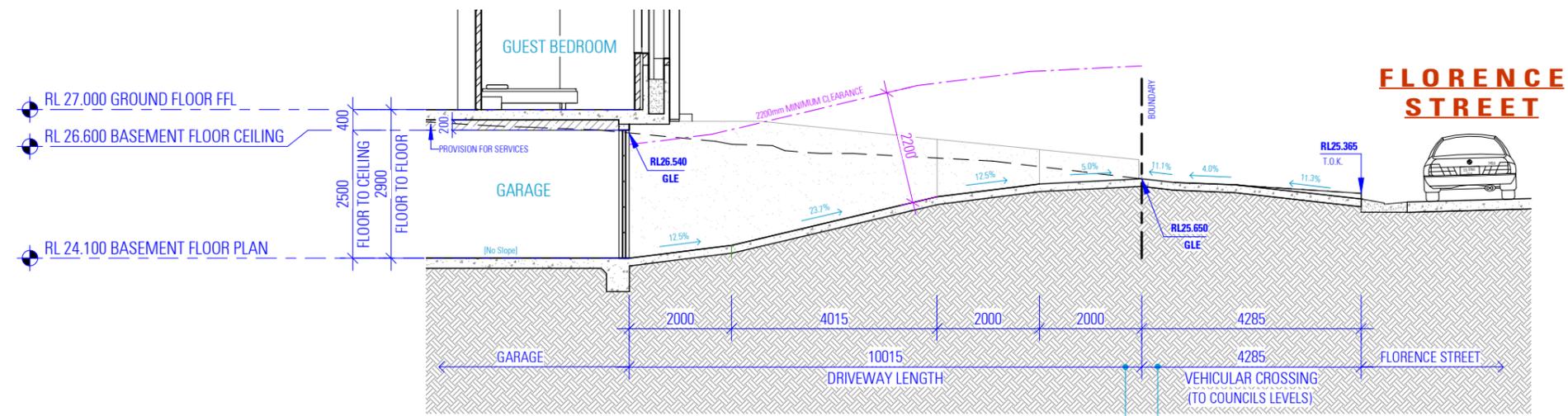
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DRIVEWAY GRADE DETAILS



PLAN VIEW



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SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

- 1 FACE CREAM VENETIAN CONCRETE ON EXTERNAL WALLS OR ACCEPTABLE EQUIVALENT
- 2 POWDER-COATED ALUMINIUM WINDOWS AND GLASS DOORS COLOUR: BRONZE ANODISED OR ACCEPTABLE EQUIVALENT
- 3 HORIZONTAL TIMBER SHADING SLATS COLOUR: BLACK OAK OR ACCEPTABLE EQUIVALENT
- 4 SAN SELMO RECLAIMED COLOUR: LIMEWASH OR ACCEPTABLE EQUIVALENT
- 5 CUSTOM FEATURE PRIVACY AND SHADING SCREENS COLOUR: MATTE BRONZE ANODISED OR ACCEPTABLE EQUIVALENT
- 6 BLOCK RETAINING WALLS COLOUR: DESERT SAND OR ACCEPTABLE EQUIVALENT
- 7 ALUMINIUM ROLLER GARAGE DOOR COLOUR: MONUMENT OR ACCEPTABLE EQUIVALENT



AS SEEN FROM FLORENCE STREET

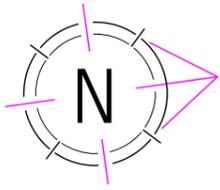
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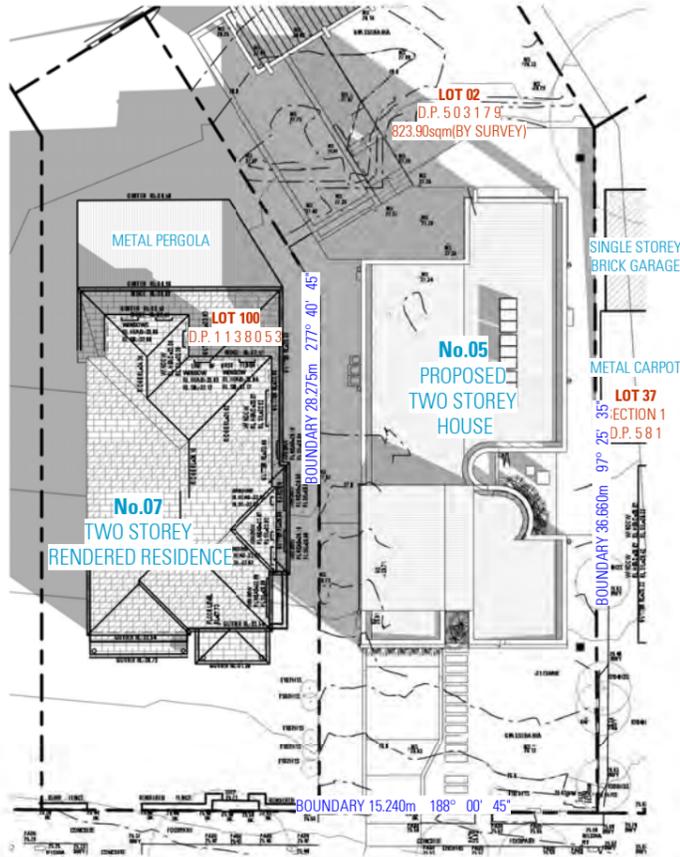
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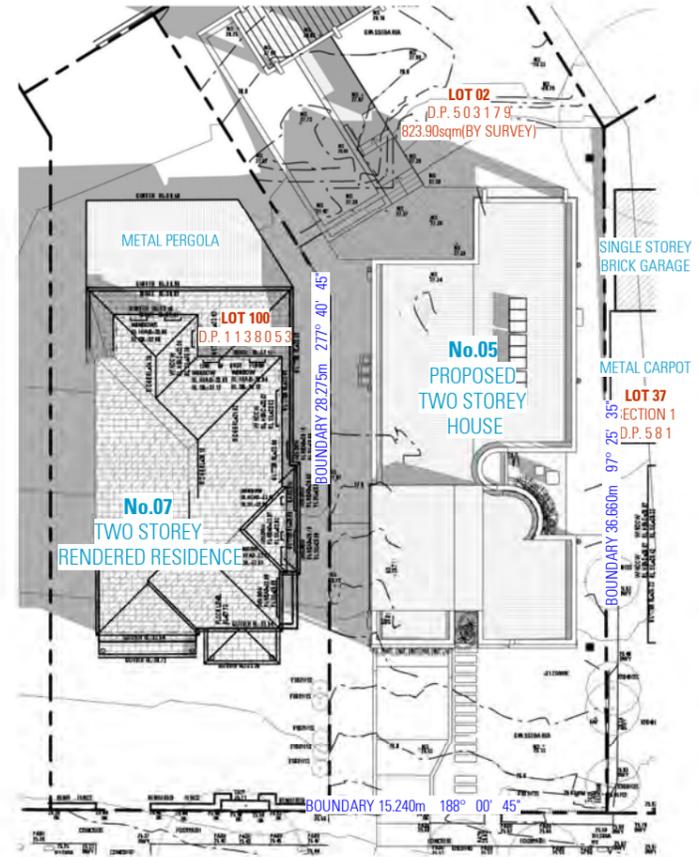
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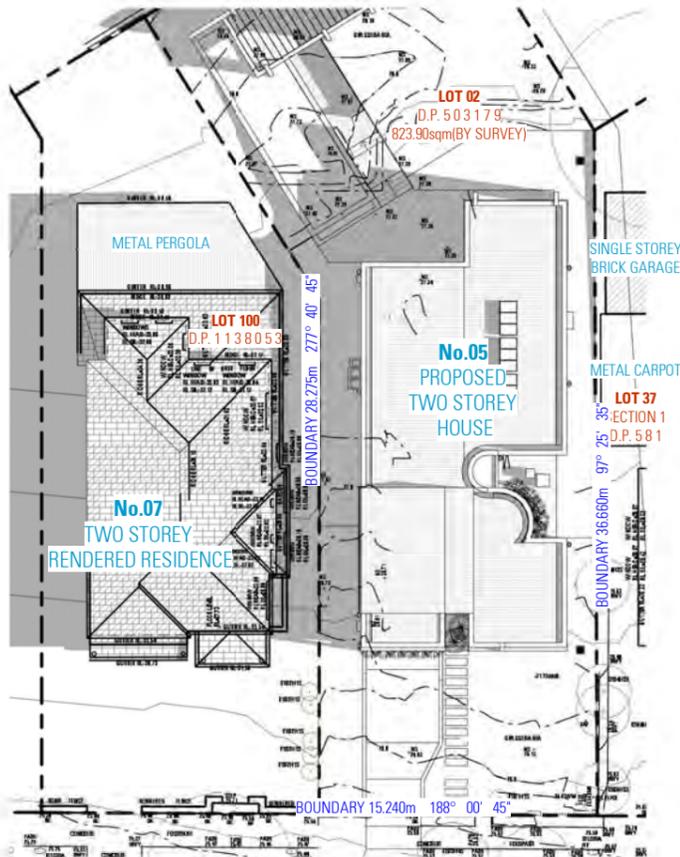
SHADOW DIAGRAMS - 21st JUNE



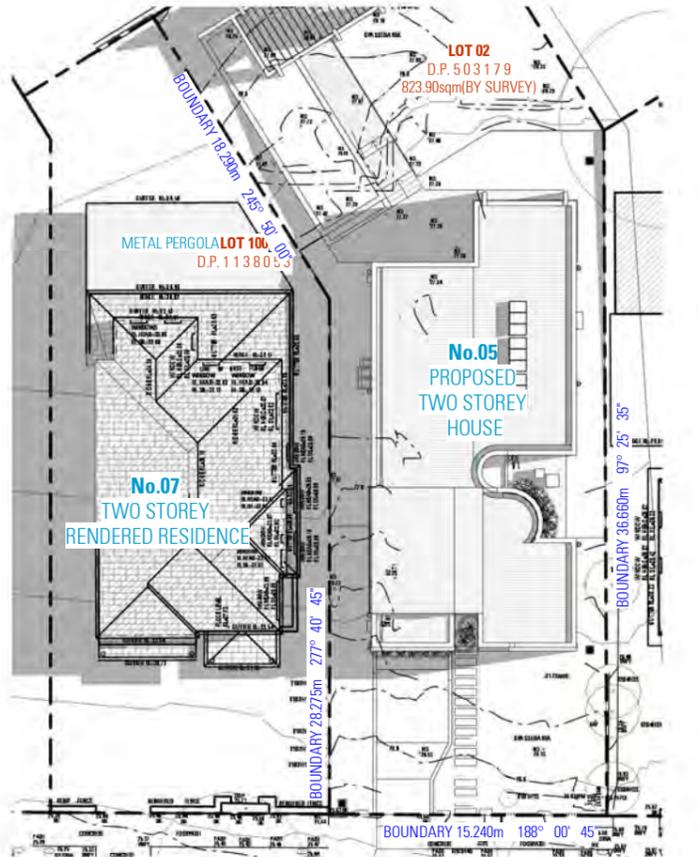
SHADOW DIAGRAM 9AM



SHADOW DIAGRAM 10AM



SHADOW DIAGRAM 11AM



SHADOW DIAGRAM 12PM

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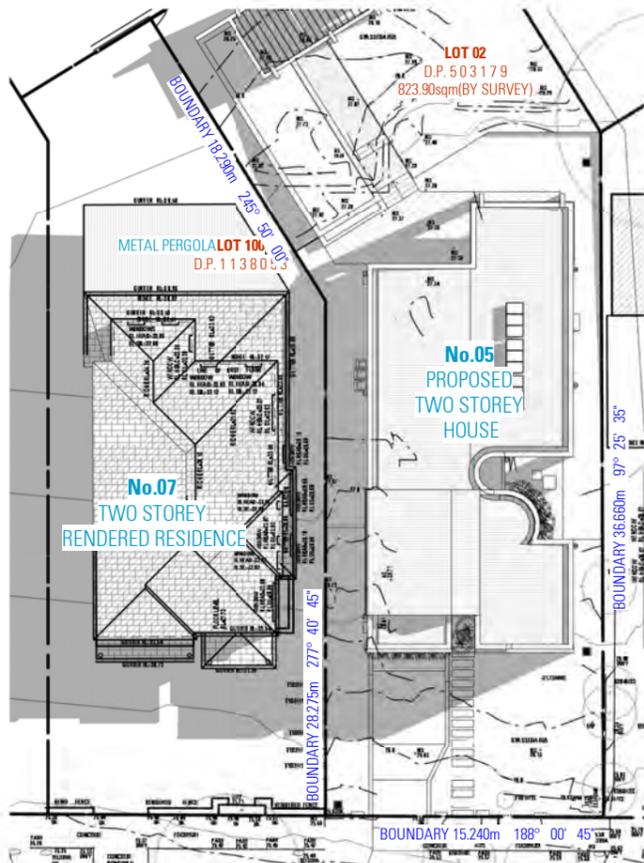
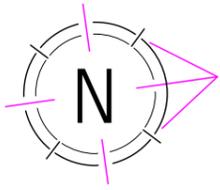


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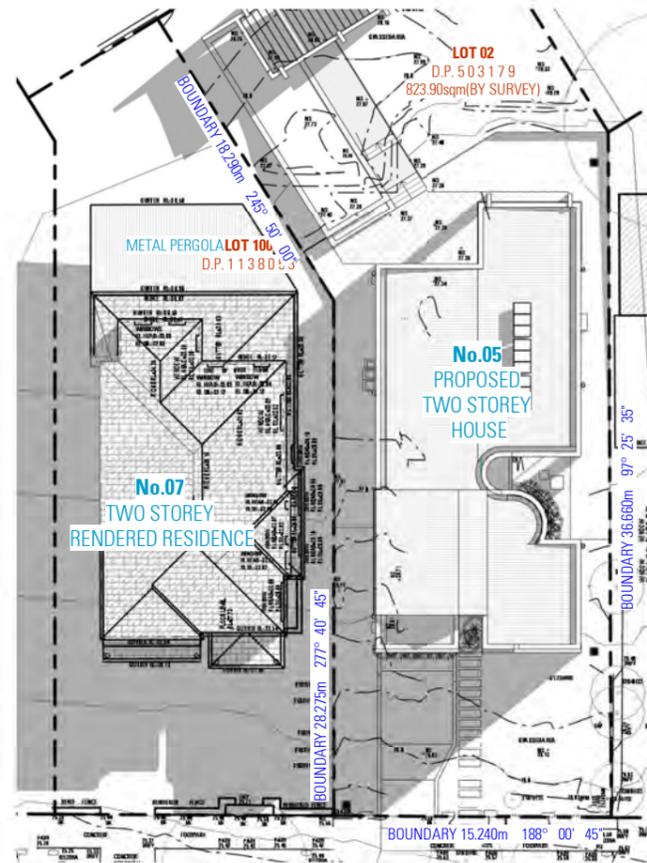
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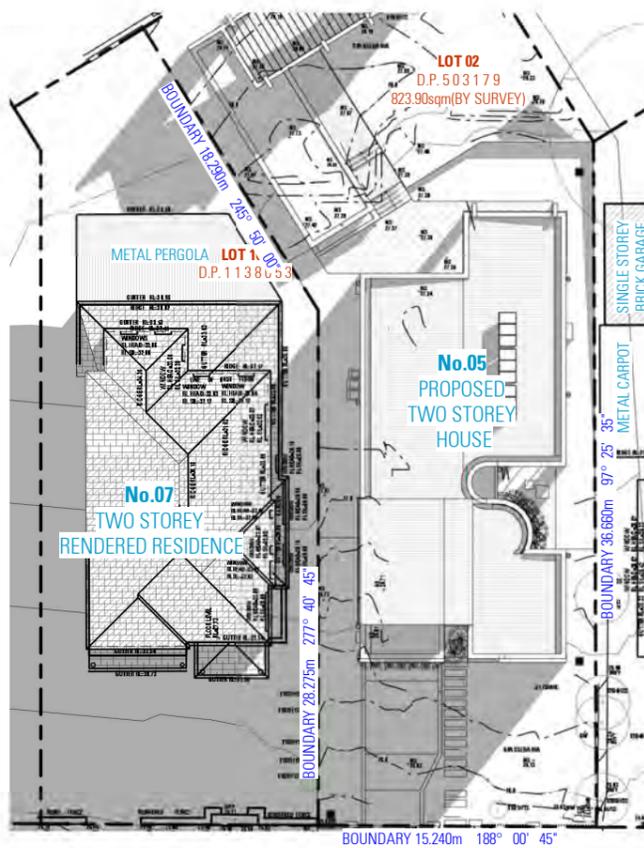
SHADOW DIAGRAMS - 21st JUNE



SHADOW DIAGRAM 1PM



SHADOW DIAGRAM 2PM



SHADOW DIAGRAM 3PM

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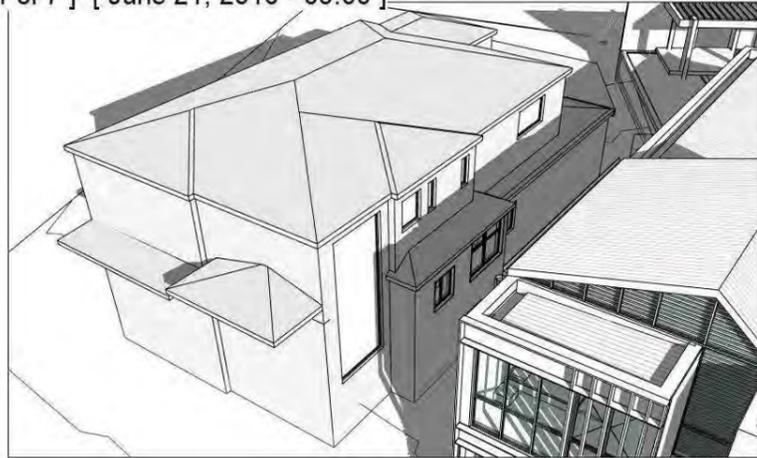


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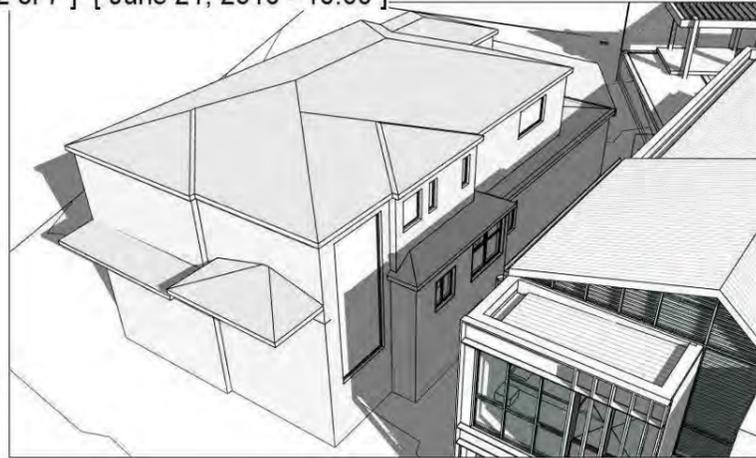
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SHADOW DIAGRAMS - ADJOINING PROPERTY

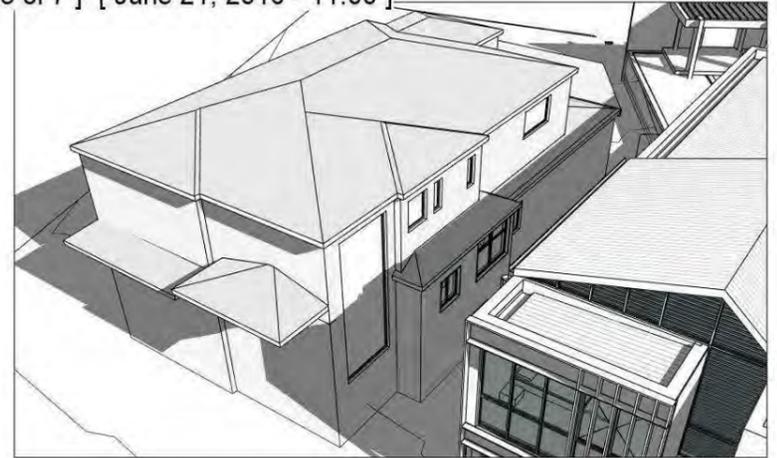
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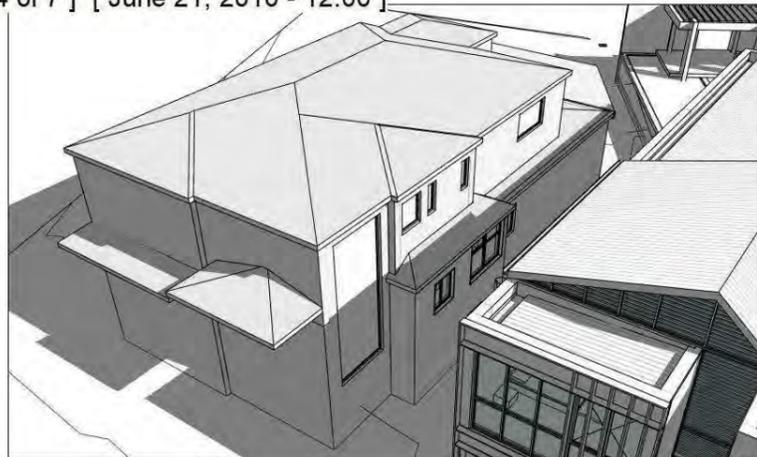
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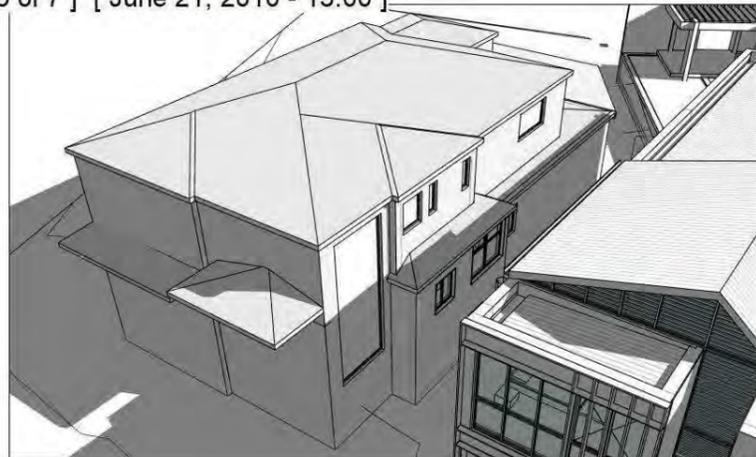
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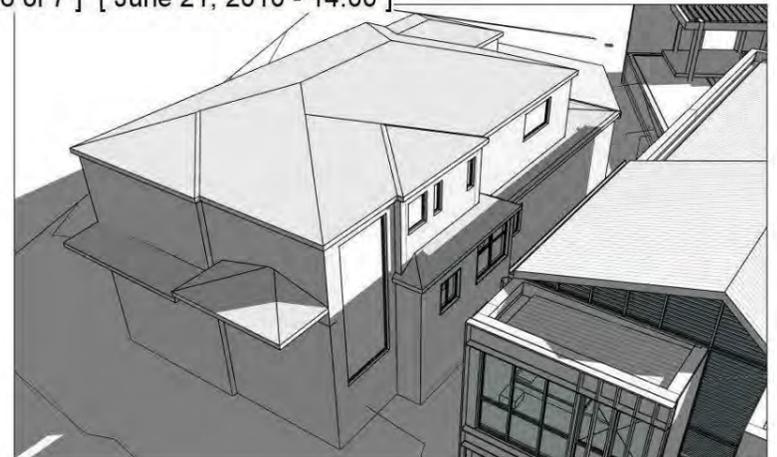
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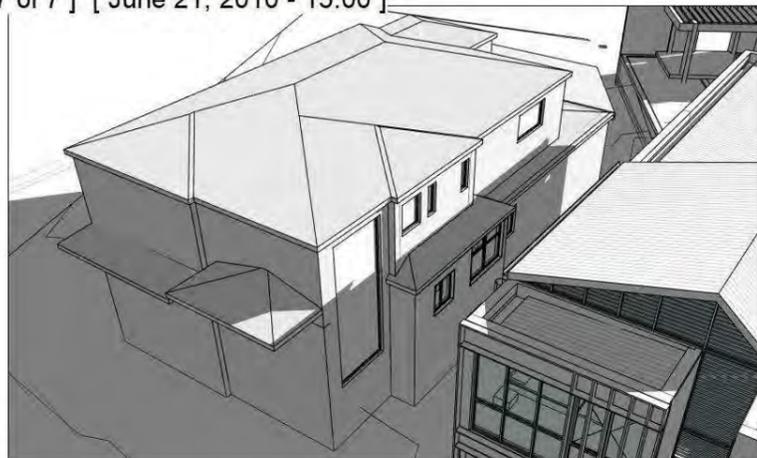
[5 of 7] [June 21, 2010 - 13:00]



[6 of 7] [June 21, 2010 - 14:00]



[7 of 7] [June 21, 2010 - 15:00]



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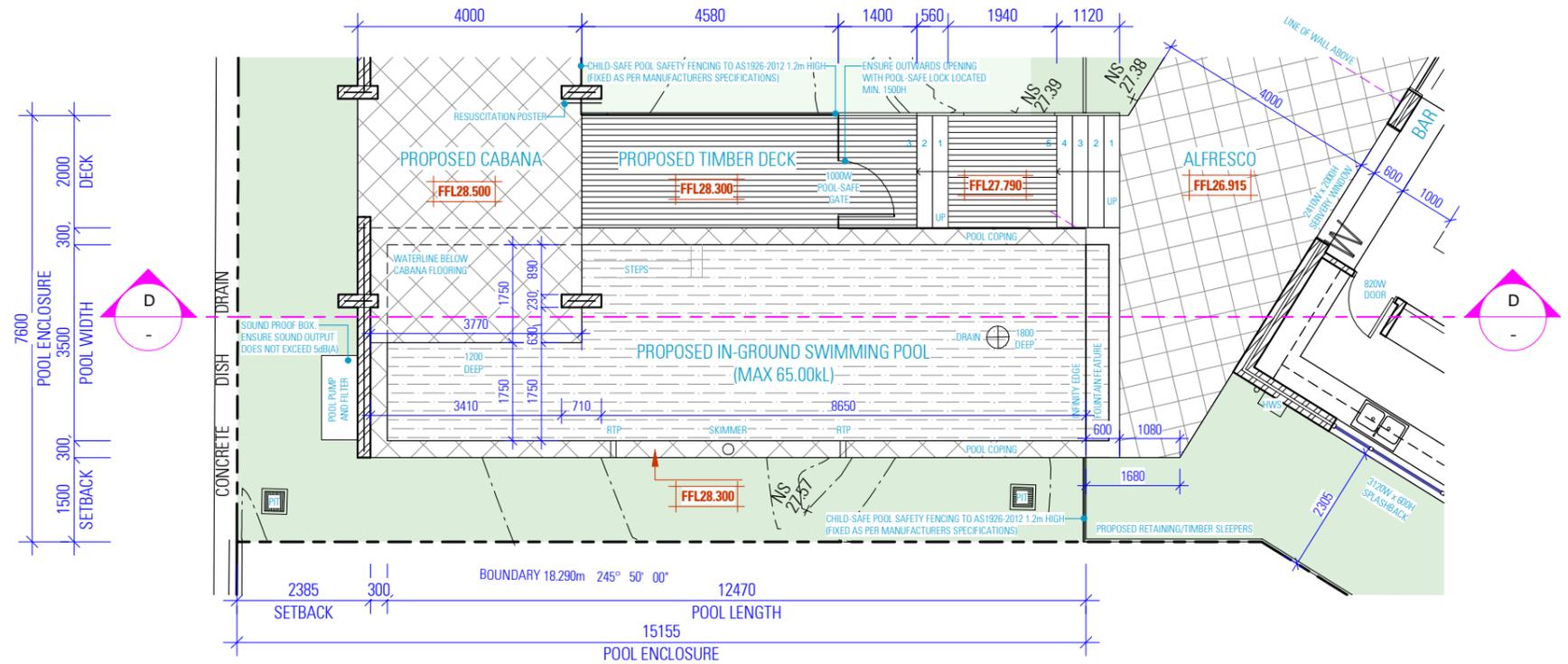
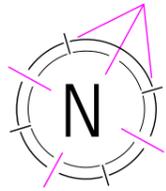
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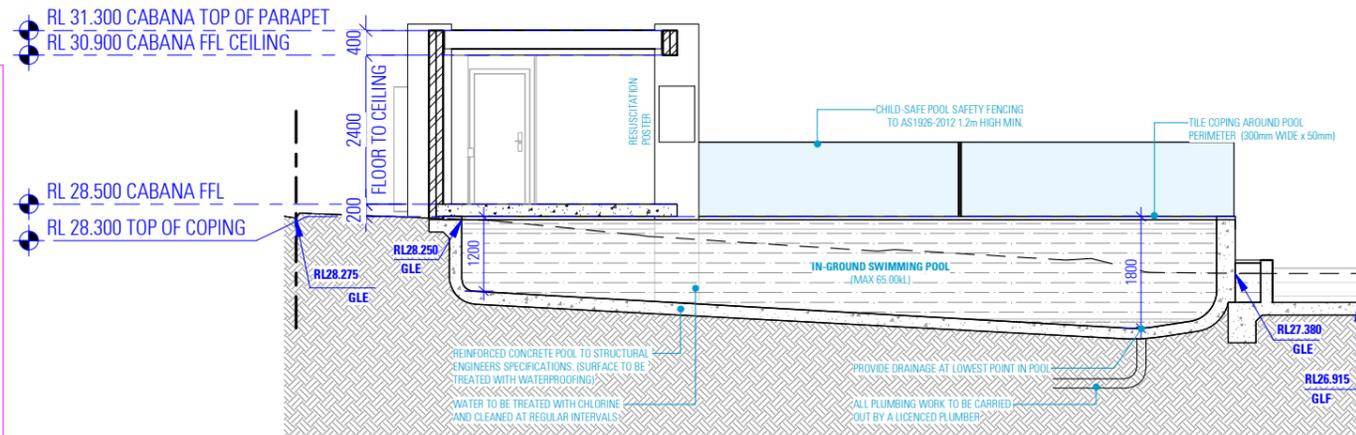
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IN-GROUND SWIMMING POOL DETAILS



SWIMMING POOL PLAN



SECTION

SWIMMING POOL REQUIREMENTS:

GENERAL REQUIREMENTS

- ALL POOLS MUST BE SEPARATED FROM RESIDENTIAL BUILDINGS AND ADJOINING PUBLIC OR PRIVATE PROPERTIES BY A COMPLYING CHILD-RESISTANT BARRIER (MUST BE IN ACCORDANCE WITH THE REGULATIONS AND AS1926:1-2007 SWIMMING POOL SAFETY). NO DOOR ACCESS FROM A RESIDENTIAL BUILDING INTO AN OUTDOOR POOL IS PERMITTED.
- ONLY STRUCTURES ASSOCIATED WITH THE POOL (FILTER HOUSING, ETC.) ARE PERMITTED WITHIN THE ENCLOSED POOL AREA. STRUCTURES SUCH AS CLOTHES LINES, BARBECUE, SHEDS, ENTERTAINMENT STRUCTURE, OUTSIDE TOILETS, ETC. MUST ALL BE LOCATED OUTSIDE THE CHILD RESISTANT BARRIER.

POOL FENCING

- SWIMMING POOL FENCING AND OTHER BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992.
- BOUNDARY FENCE TO BE 1.8m IN HEIGHT, MEASURED FROM INSIDE OF THE FENCING.
- SWIMMING POOL FENCING TO BE AT LEAST 1.2m HIGH, MEASURED ON THE OUTSIDE OF THE FENCING.
- MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON-CRIMBABLE ZONE.
- HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART.
- THE SPACING OF VERTICAL MEMBERS OF THE FENCE SHALL NOT EXCEED 100mm.
- THE HEIGHT OF ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL SHALL NOT EXCEED 100mm.
- ALL SWIMMING POOL FENCING TO BE MAINTAINED IN A GOOD CONDITION (ie. WITH NO HOLES, BROKEN OR LOOSE PALINGS).
- NON-CRIMBABLE ZONE EXTENDS FROM THE POOL FENCE 300mm INTO THE POOL AREA AND 900mm OUTSIDE THE POOL AREA. TO PREVENT A CHILD TO CLIMB OVER THE FENCE, CLIMBABLE OBJECTS SUCH AS BARBECUES, FURNITURE, PLANTER BOXES, TREES OR SHRUB ARE NOT PERMITTED WITHIN THIS NON-CRIMBABLE ZONE.
- IF THE WALL OF THE HOUSE FORMS PART OF THE APPROVED CHILD-RESISTANT BARRIER TO THE POOL AREA (ie. IN RELATION TO POOLS INSTALLED BEFORE 1 AUGUST 1990), ALL DOOR AND WINDOW OPENINGS IN THE WALL/S MUST BE CHILD-RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA.

POOL GATES

- GATES TO THE SWIMMING POOL AREA ARE TO OPEN OUTWARDS AND ARE TO BE FULLY SELF-CLOSING AND SELF-LATCHING FROM ANY OPEN POSITION.
- NO DOUBLE GATES ARE PERMITTED.
- GATES ARE NOT TO BE PROPPED OPEN AT ANY TIME.
- THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED A MINIMUM 1.5m ABOVE GROUND LEVEL AND 1.4m FROM THE HIGHEST LOWER HORIZONTAL BARRIER MEMBER OR, ALTERNATIVELY, THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS 1926:1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY REACHING OVER THE GATE.
- GATE WIDTH IS TO BE KEPT TO A MINIMUM (NO MORE THAN 1 METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF-LATCHING MECHANISM FAILING.

SPA POOLS

- SPA POOLS ARE ALSO COVERED BY THE LEGISLATION AND SHOULD BE SEPARATED BY A CHILD-RESISTANT POOL SAFETY BARRIER IN ACCORDANCE WITH AUSTRALIAN STANDARD AS1926:1-2007.
- ALTERNATIVELY, THE SPA POOL MUST BE COVERED AND SECURED BY A LOCKABLE CHILD-SAFE STRUCTURE (SUCH AS A DOOR, LID, GRILLE OR MESH) SUCH LOCKABLE STRUCTURE MUST BE ABLE TO BE REMOVED/INSTALLED AND LOCKED BY A SINGLE PERSON.

RESUSCITATION WARNING SIGN

- AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINENT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA.
 - THE FOLLOWING WARNING STATEMENTS MUST BE CONTAINED WITHIN THE RESUSCITATION SIGN:
 - YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL.
 - POOL GATES MUST BE KEPT CLOSED AT ALL TIMES.
 - KEEP ARTICLES, OBJECTS AND STRUCTURES AT LEAST 900 MM CLEAR OF THE POOL FENCE AT ALL TIMES.
 - THE RESUSCITATION SIGN MUST BE:
 - LEGIBLE FROM A DISTANCE OF AT LEAST THREE METRES.
 - MAINTAINED IN A CLEARLY LEGIBLE CONDITION.
- REFER TO THE SWIMMING POOLS ACT 1992, THE SWIMMING POOLS REGULATION 2018 AND AUSTRALIAN STANDARD AS 1926:1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS.

NOTES

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ACCREDITED BUILDING DESIGNER

NEW DWELLING-TWO STOREY

5 FLORENCE STREET
STRATHFIELD NSW 2135

DESIGN ELIE SLEIMAN
DRAFTED NIKOLA CVETKOVSKI

JOE HANNA

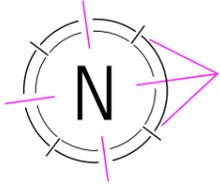
DRAWING

IN-GROUND SWIMMING POOL DETAILS

SCALE 1:100/A3
ISSUE D 08.06.23

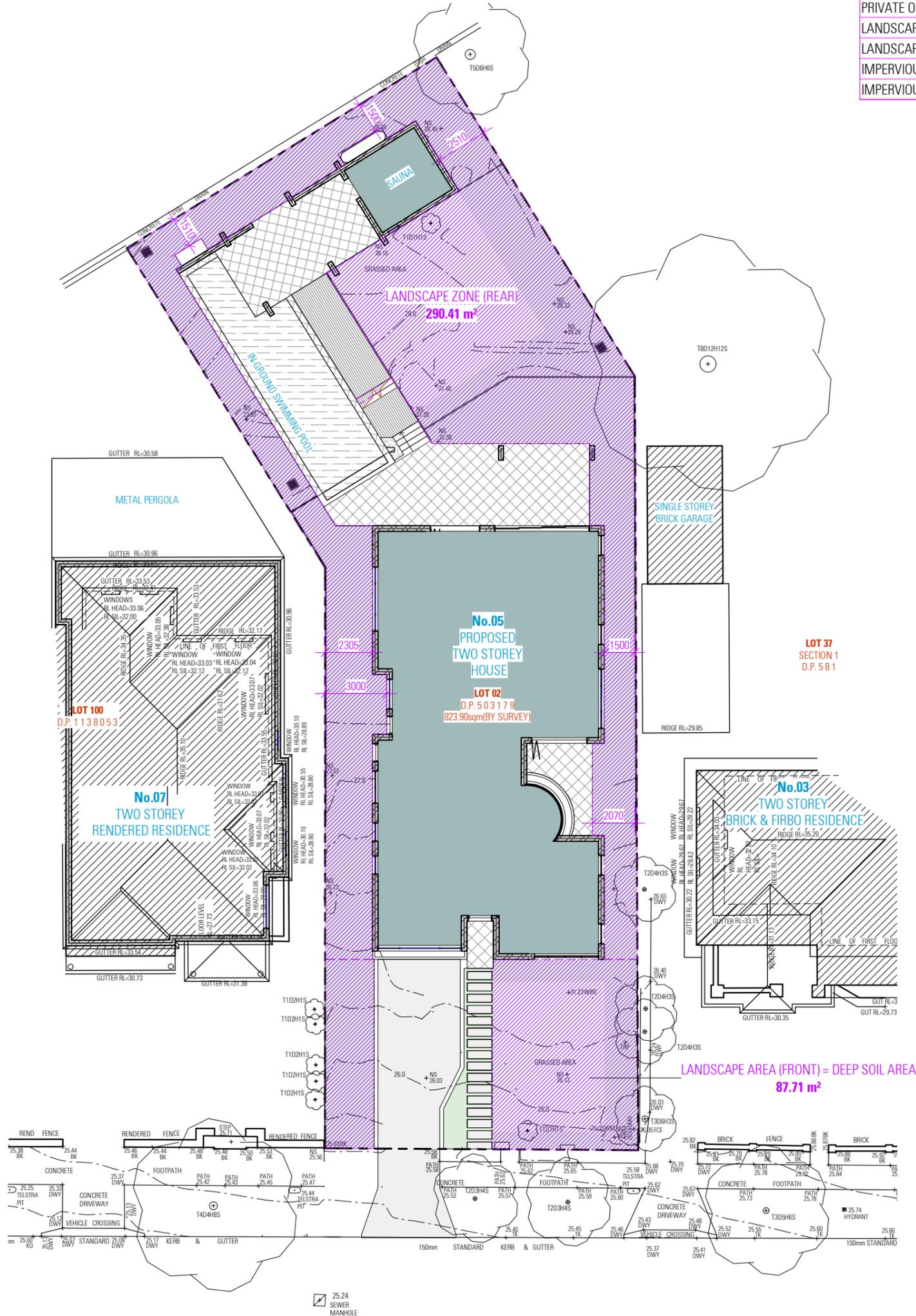
NOT FOR CONSTRUCTION

DWG No. 22189 - 19



- NOTES:**
- REFER TO LANDSCAPE PLAN FOR DETAILS
 - REFER TO STORMWATER PLAN FOR STORMWATER DETAILS / SEDIMENT AND EROSION CONTROL PLAN
 - REFER TO STORMWATER PLAN AND BASIX REPORT FOR RAINWATER TANK DETAILS
 - ALL BOUNDARY FENCING TO BE MAINTAINED OR CONSTRUCTED AT A HEIGHT OF 1800mm ABOVE NGL

SITE CALCULATIONS	
SITE AREA	823.90sqm
BASEMENT FLOOR AREA	19.14sqm
GROUND FLOOR AREA	198.07sqm
FIRST FLOOR AREA	187.92sqm
TOTAL FLOOR AREA	405.13sqm
FLOOR SPACE RATIO	0.49 : 1.0
PRIVATE OPEN SPACE	362.24sqm
LANDSCAPE AREA	378.12sqm
LANDSCAPE AREA RATIO	0.46 : 1.0
IMPERVIOUS AREA	392.13sqm
IMPERVIOUS AREA RATIO	0.47 : 1.0



LANDSCAPE AREA CALCULATION PLAN

NOT FOR CONSTRUCTION

- NOTES**
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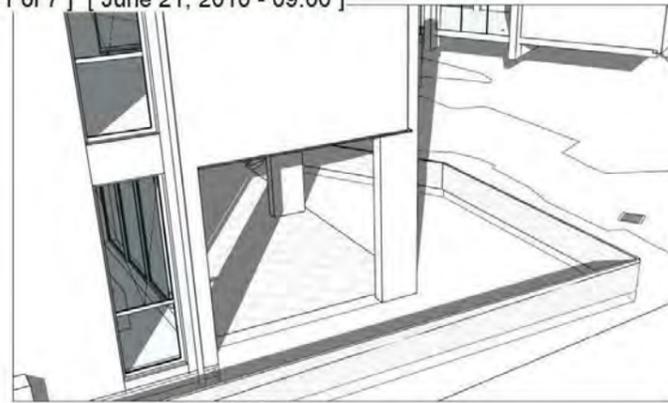


NEW DWELLING-TWO STOREY
 5 FLORENCE STREET
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 DESIGN ELIE SLEIMAN
 DRAFTED NIKOLA CVETKOVSKI
 JOE HANNA

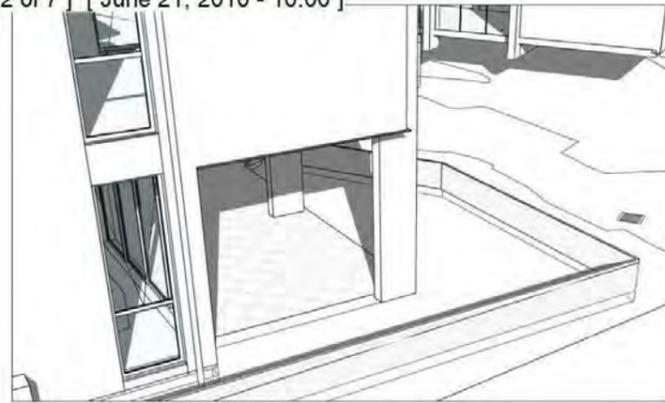
DRAWING
 LANDSCAPE AREA CALCULATION SHEET
 SCALE 1:200 / A3
 ISSUE D 08.06.23
 DWG No. 22189 - 20

SOLAR ACCESS - READ DEEP SOIL ZONE

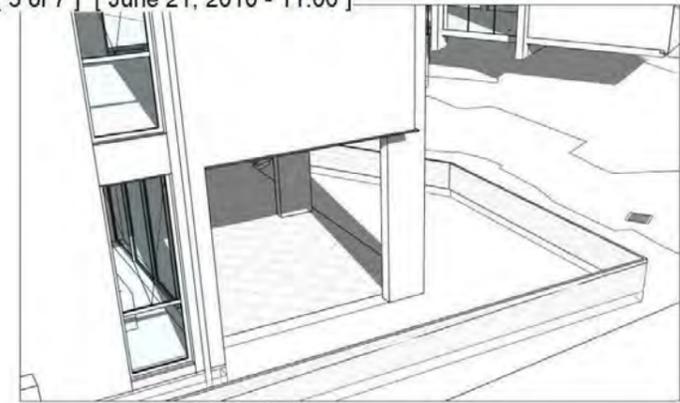
[1 of 7] [June 21, 2010 - 09:00]



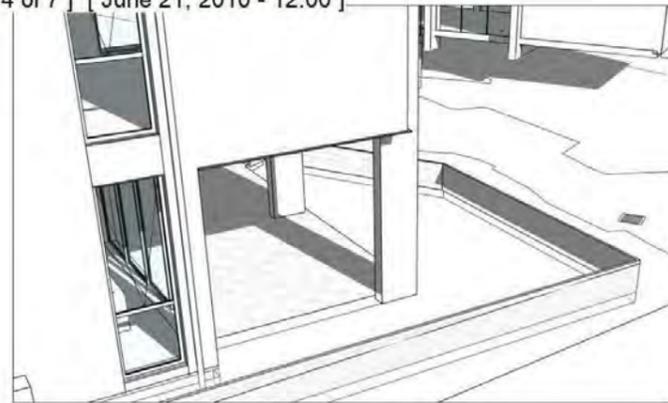
[2 of 7] [June 21, 2010 - 10:00]



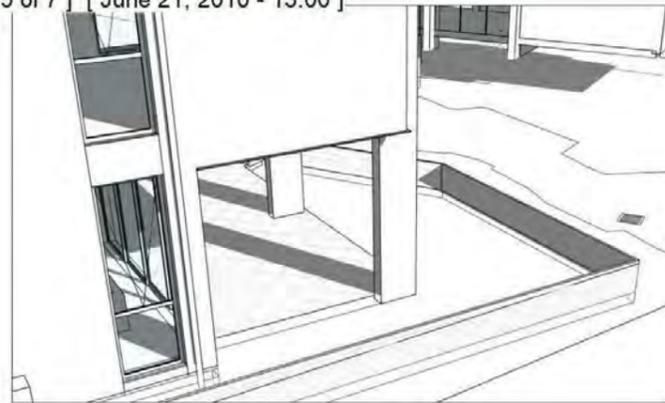
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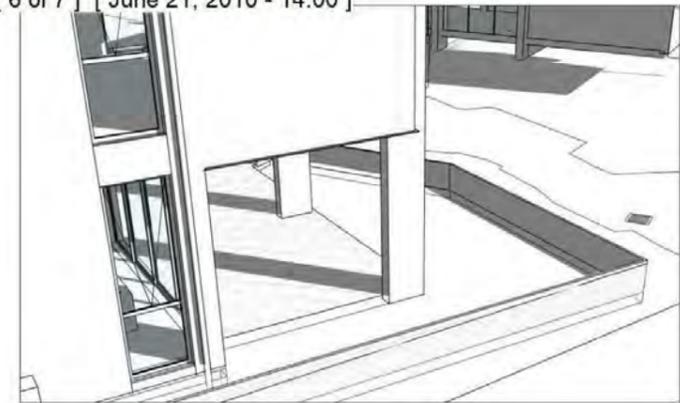
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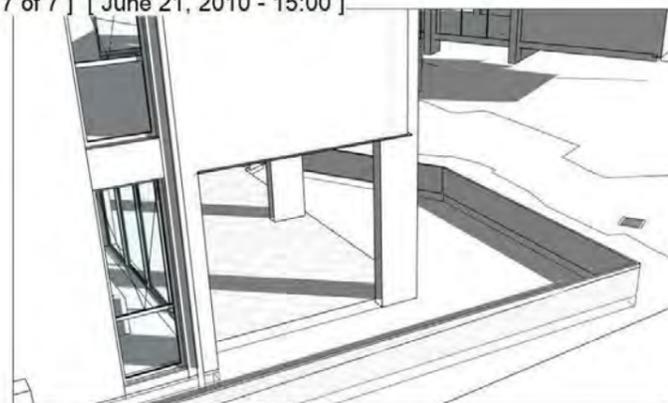
[5 of 7] [June 21, 2010 - 13:00]



[6 of 7] [June 21, 2010 - 14:00]



[7 of 7] [June 21, 2010 - 15:00]



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DESIGN ELIE SLEIMAN
DRAFTED NIKOLA CVETKOVSKI

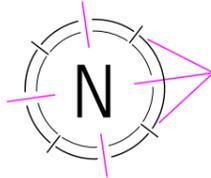
ISSUE JOE HANNA

DRAWING

SOLAR ACCESS - REAR DEEP SOIL ZONE

SCALE /A3
ISSUE D 08.06.23

DWG No. 22189 - 21

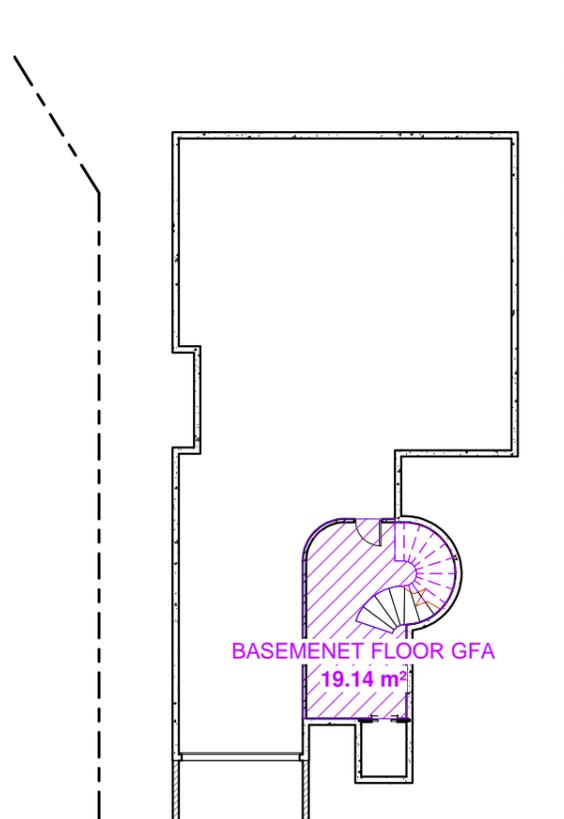


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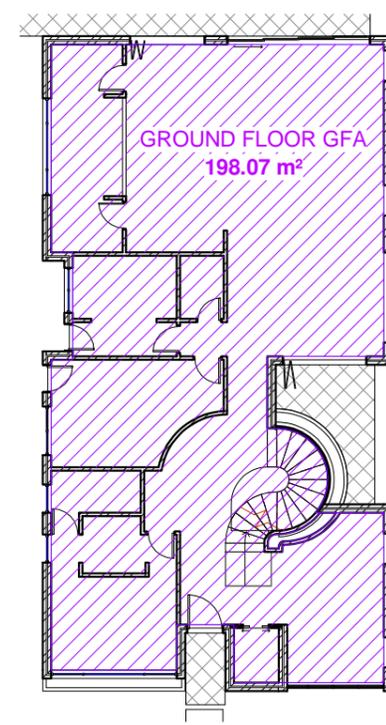
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SITE CALCULATIONS

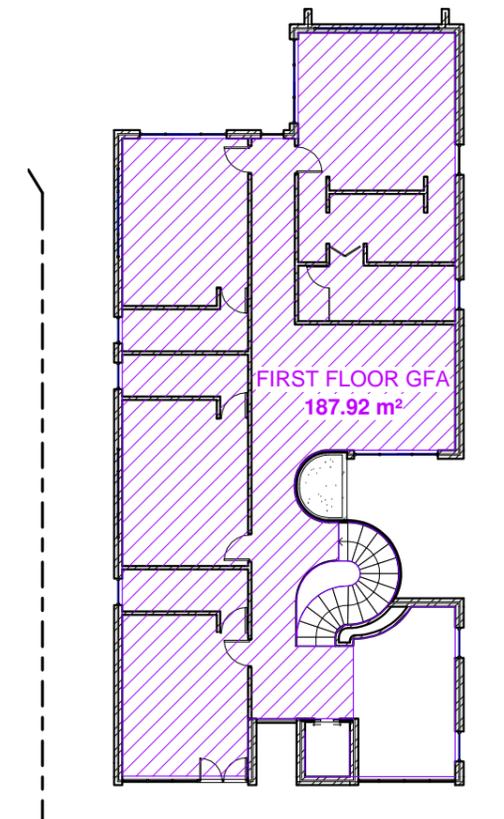
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BASEMENT GFA



GROUND FLOOR GFA



FIRST FLOOR GFA

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STRATHFIELD NSW 2135

DESIGN ELIE SLEIMAN
DRAFTED NIKOLA CVETKOVSKI

JOE HANNA

DRAWING

GROSS FLOOR AREA CALCULATION SHEET

SCALE 1:200/A3
ISSUE 08.06.23

DWG No. 22189 - 22

BASIX COMMITMENTS

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au
Single Dwelling
Certificate number: 15247915_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 15/04/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Supervisory
Date of issue: Tuesday, 16 June 2023
To be valid, this certificate must be signed until 3 months of the date of issue

Planning, Industry & Environment

Project summary

Project name	S. Str. 03
Street address	5 Florence Street STRATHFIELD NSW 2135
Local Government Area	Strathfield Municipal Council
Plan type and plan number	Deposited Plan 503179
Lot no.	2
Section no.	1
Project type	Residential Dwelling House
No. of bedrooms	5

Project score

Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	73	Target 50

Certificate Prepared by
Name: / Competent Name: Neane Al Hassan
ABN (if applicable): 9087330711

Description of project

Project address

Project name	S. Str. 03
Street address	5 Florence Street STRATHFIELD NSW 2135
Local Government Area	Strathfield Municipal Council
Plan type and plan number	Deposited Plan 503179
Lot no.	2
Section no.	1

Project type

Project type: Residential Dwelling House
No. of bedrooms: 5

Site details

Site area (m ²)	824
Roof area (m ²)	290
Conditioned floor area (m ²)	286.1
Unconditioned floor area (m ²)	11.09
Total area of garden and lawn (m ²)	380

Assessor details and thermal loads

Assessor number	DA09161881
Certificate number	001947306-03
Climate zone	5B
Area adjusted cooling load (MJ/m ² /year)	26
Area adjusted heating load (MJ/m ² /year)	27
Cooling fan in at least one bedroom	No
Cooling fan in at least one living room or other conditioned area	No

Project score

Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	73	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Features			
The applicant must install showerheads with a maximum rating of 2 litre (1.4-5 but <= 6 Litres) in all showers in the development.			✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.			✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.			✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.			✓
Alternative water			
Retention tanks			
The applicant must install a rainwater tank of at least 3000 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or ground drain).	✓	✓	✓
The applicant must construct the rainwater tank to:			
• all sides in the development	✓	✓	✓
• the cold water tap that supplies each clothes washer in the development	✓	✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that outdoor be used for human consumption in areas with potable water supply)	✓	✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 80 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓

Water Commitments

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
The swimming pool must be outdoors.	✓	✓	✓

Thermal Comfort Commitments

Thermal Comfort Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.	✓	✓	✓
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.	✓	✓	✓
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.	✓	✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must also state a stamp of endorsement from the Accredited Assessor to verify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the floor and walls of the dwelling in accordance with the specifications listed in this table below.	✓	✓	✓
Floor and wall construction			
Floor - suspended floor/insulated substrate	As is	As is	As is
Wall - suspended floor/insulated substrate	All or part of floor area square metres	All or part of floor area square metres	All or part of floor area square metres

Energy Commitments

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air-conditioning. Energy rating: 2 star (average zone).	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air-conditioning. Energy rating: 2 star (average zone).	✓	✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air-conditioning. Energy rating: 2 star (average zone).	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air-conditioning. Energy rating: 2 star (average zone).	✓	✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" in fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study / dedicated	✓	✓	✓

Energy Commitments

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
• at least 4 of the living / dining rooms / bedrooms	✓	✓	✓
• the kitchen / dedicated	✓	✓	✓
• all bathrooms/bathrooms / dedicated	✓	✓	✓
• the laundry / dedicated	✓	✓	✓
• all hallways / dedicated	✓	✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 5 bathrooms/bathrooms in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.	✓	✓	✓
The applicant must install a cover for the swimming pool pump in the development.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	✓	✓	✓
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.	✓	✓	✓
The applicant must install a fixed radiator clothes drying line as part of the development.	✓	✓	✓

Legend

In these commitments, "approved" means the permit carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CCDC plans & specs" column must be shown on the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate/other relevant title for the development may be issued.

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ACCREDITED BUILDING DESIGNER

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5 FLORENCE STREET
STRATHFIELD NSW 2135

DESIGN: ELIE SLEIMAN
DRAFTED: NIKOLA CVETKOVSKI

SCALE: /A3
ISSUE: D 08.06.23

DRAWING
BASIX COMMITMENTS

DWG No. 22189 - 23

NATHERS COMMITMENTS

Nationwide House Energy Rating Scheme
NATHERS Certificate No. 0007947906-02
 Generated on 06 Jun 2023 using BERS Pro v4.4.1.64 (3.21)

Property
 Address: 5 Florence Street, STRATHFIELD, NSW, 2158
 LALDP: 2503179
 NCC Class: 1A
 Type: New Dwelling

Plans
 Main plan: 17922
 Prepared by: ES Design

Construction and environment
 Assessed floor area (m²): 384.0
 Exposure type: Suburban
 Conditioned*: 153.0
 Total: 547.0
 Garage: 132.0

Thermal performance
 Heating: 27.1 MJ/m²
 Cooling: 26.3 MJ/m²

Accredited assessor
 Name: Nikola Al Hajouti
 Business name: none
 Email: nikola.a@esdesign.com.au
 Phone: 0450500160
 Accreditation No: 02676181001
 Assessor Accrediting Organisation: Design Matters National
 Declaration of interest: Declaration completed: no conflicts

Verification
 To verify this certificate, scan the QR code or visit <https://www.nathers.gov.au>

National Construction Code (NCC) requirements
 The NCC requirements for NATHERS-rated houses are outlined in 3.10.2 (a)(4) and 3.11.5 of the NCC (Volume Two). For apartments the requirements are outlined in 3.12 and 3.13 of the NCC (Volume One).

5.8 Star Rating as of 06 Jun 2023

Certificate check
 Ensure the dwelling is designed and then built as per the NATHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling's rating.

Default windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges SHGC lower limit	SHGC upper limit
ALM-002-03 A	ALM-002-03 A Aluminium & SG High Solar Gain Low-E	5.4	0.58	0.50	0.61
ALM-001-03 A	ALM-001-03 A Aluminium & SG High Solar Gain Low-E	5.4	0.49	0.47	0.61
ALM-002-01 A	ALM-002-01 A Aluminium & SG Clear	6.7	0.70	0.66	0.73
ALM-001-01 A	ALM-001-01 A Aluminium & SG Clear	6.7	0.57	0.54	0.60

Custom* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges SHGC lower limit	SHGC upper limit
No Data Available					

Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Guest Bedroom	ALM-002-03 A	n/a	2000	800	n/a	90	S	No
Guest Bedroom	ALM-001-03 A	n/a	1800	4000	n/a	45	E	No
lms	ALM-002-01 A	n/a	3000	850	n/a	90	S	No
office	ALM-001-03 A	n/a	3000	820	n/a	90	S	No
office	ALM-001-03 A	n/a	300	1570	n/a	45	S	No
lly	ALM-002-01 A	n/a	2000	1400	n/a	45	S	No
lvy	ALM-001-01 A	n/a	3000	820	n/a	90	S	No
lulers kl	ALM-002-03 A	n/a	600	2100	n/a	45	S	No
lchersLiving	ALM-002-03 A	n/a	3000	4500	n/a	45	N	No
lchersLiving	ALM-001-03 A	n/a	3000	2410	n/a	90	W	No
lchersLiving	ALM-002-03 A	n/a	3000	2900	n/a	45	N	No
lchersLiving	ALM-001-03 A	n/a	3000	970	n/a	45	N	No
lchersLiving	ALM-001-03 A	n/a	3000	970	n/a	45	N	No
lchersLiving	ALM-001-03 A	n/a	3000	2700	n/a	90	S	No
ltry	ALM-002-03 A	n/a	3000	501	n/a	90	W	No
ltry	ALM-002-03 A	n/a	3000	471	n/a	90	NW	No
ltry	ALM-002-03 A	n/a	3000	800	n/a	90	NW	No
ltry	ALM-002-03 A	n/a	3000	438	n/a	90	N	No
ltry	ALM-002-03 A	n/a	3000	509	n/a	90	N	No
ltry	ALM-002-03 A	n/a	3000	509	n/a	90	N	No
ltry	ALM-001-03 A	n/a	3000	660	n/a	90	SE	No
ltry	ALM-001-03 A	n/a	3000	1100	n/a	90	S	No
lounge	ALM-001-03 A	n/a	6700	970	n/a	45	N	No
lounge	ALM-001-03 A	n/a	6700	970	n/a	45	N	No
lounge	ALM-002-03 A	n/a	6200	3200	n/a	90	E	No
lathroom 1	ALM-002-03 A	n/a	2700	2400	n/a	90	E	No
lms1	ALM-001-03 A	n/a	2700	1600	n/a	90	E	No
lms2	ALM-002-01 A	n/a	2300	850	n/a	90	S	No
lathroom 2	ALM-001-03 A	n/a	1500	2500	n/a	45	S	No

5.8 Star Rating as of 06 Jun 2023

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
lms2	ALM-002-01 A	n/a	2700	850	n/a	90	S	No
lms 3	ALM-002-01 A	n/a	2700	850	n/a	90	S	No
lathroom 3	ALM-001-03 A	n/a	1300	2600	n/a	45	S	No
lathroom 3	ALM-002-03 A	n/a	2700	2600	n/a	45	W	No
laster Bedroom	ALM-001-03 A	n/a	1000	4000	n/a	45	W	No
laster Bedroom	ALM-002-03 A	n/a	2700	670	n/a	45	N	No
laster lms	ALM-002-01 A	n/a	2400	970	n/a	90	S	No
laster lms2	ALM-002-03 A	n/a	2700	750	n/a	45	W	No
laster lms3	ALM-002-03 A	n/a	2700	2700	n/a	45	E	No
l hallway	ALM-002-03 A	n/a	2700	620	n/a	90	E	No
l hallway	ALM-002-03 A	n/a	2700	930	n/a	90	NE	No
l hallway	ALM-002-03 A	n/a	2700	807	n/a	90	N	No
l hallway	ALM-002-03 A	n/a	2700	930	n/a	90	NW	No
l hallway	ALM-002-03 A	n/a	2700	540	n/a	90	W	No
l hallway	ALM-002-03 A	n/a	2700	601	n/a	90	W	No
l hallway	ALM-002-03 A	n/a	2700	471	n/a	90	NW	No
l hallway	ALM-002-03 A	n/a	2700	565	n/a	90	NW	No
l hallway	ALM-002-03 A	n/a	2700	440	n/a	90	N	No
l hallway	ALM-002-03 A	n/a	2700	558	n/a	90	N	No
l hallway	ALM-002-03 A	n/a	2700	300	n/a	90	N	No
l hallway	ALM-002-03 A	n/a	2700	800	n/a	90	NE	No
l hallway	ALM-002-03 A	n/a	2700	1300	n/a	90	E	No

Roof window type and performance

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges SHGC lower limit	SHGC upper limit
No Data Available					

5.8 Star Rating as of 06 Jun 2023

Custom* roof windows

No Data Available

Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
No Data Available								

Skylight type and performance

Skylight ID	Skylight description
No Data Available	

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft height (mm)	Area (m ²)	Orientation	Outdoor shade	Diffuser	Skylight shaft reflectance
No Data Available								

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
Garage	2000	1800	98	E

External wall type

Wall ID	Wall type	Solar absorptance (colour)	Wall shade (R-value)	Bulk insulation (R-value)	Reflective wall wrap*
EW-1	Cavity Brick	0.50	Medium	No insulation	No
EW-2	Cavity Brick	0.50	Medium	Full Stated Bubble Wrap, Anti-glare vent strip	No

External wall schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation		
Guest Bedroom	EW-2	3000	4345	S	0	NO
Guest Bedroom	EW-2	3000	1190	N	0	YES
Guest Bedroom	EW-2	3000	4000	E	0	NO
lms	EW-2	3000	1940	S	0	NO
office	EW-2	3000	3445	S	0	NO
office	EW-2	3000	1700	W	3450	YES

5.8 Star Rating as of 06 Jun 2023

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
lms2	EW-1	2500	250	W	2300	YES
lms3	EW-1	2500	602	W	2300	NO
lms4	EW-1	2500	515	NW	2887	NO
lms5	EW-1	2500	586	NW	0	NO
lms6	EW-1	2500	490	N	0	NO
lms7	EW-1	2500	510	N	0	NO
lms8	EW-1	2500	508	N	0	NO
lms9	EW-1	2500	626	NE	0	NO
lms10	EW-1	2500	1230	E	0	YES
lms11	EW-1	2500	5100	N	0	YES
lms12	EW-1	2500	1500	E	0	NO
lms13	EW-1	2500	1730	S	0	YES
lms14	EW-1	2500	1786	E	0	YES
lms15	EW-1	2500	9700	S	0	NO
lms16	EW-1	2500	730	W	3480	YES
lms17	EW-1	2500	3400	S	0	YES
lms18	EW-1	2500	770	E	3490	YES
lms19	EW-1	2500	6700	S	0	NO
lms20	EW-1	2500	10700	W	0	NO
lms21	EW-1	2500	10800	N	0	NO
lms22	EW-1	2500	3800	E	2000	YES
lms23	EW-1	2500	2095	N	0	YES
lms24	EW-1	2500	850	N	1850	YES
lms25	EW-1	2500	4000	E	0	NO
lms26	EW-2	3000	1190	N	0	YES
lms27	EW-2	3000	4000	E	0	NO
lms28	EW-2	3000	1940	S	0	NO
lms29	EW-2	3000	3445	S	0	NO
lms30	EW-2	3000	1700	W	3450	YES

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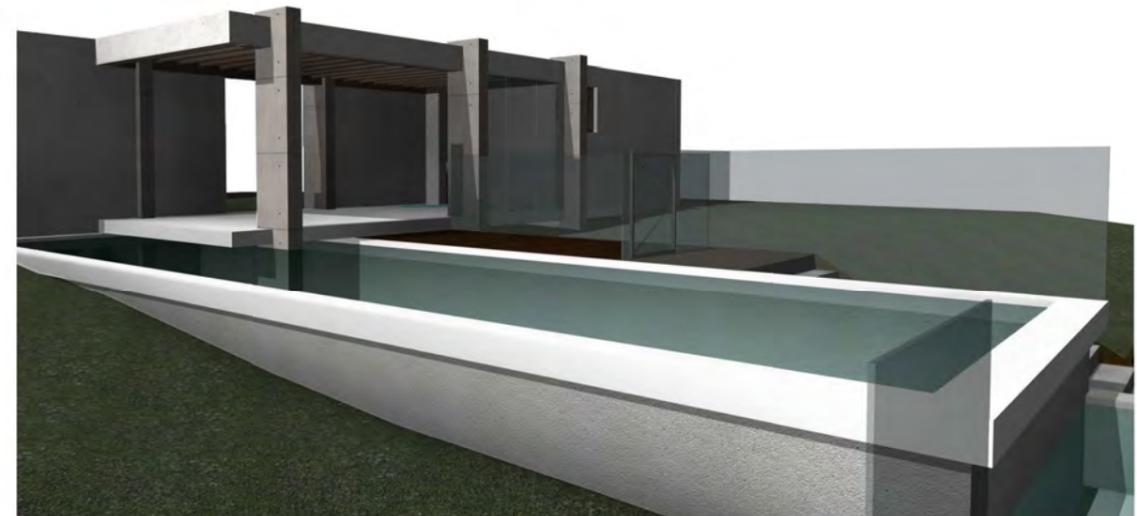
NEW DWELLING-TWO STOREY

DRAWING
NATHERS COMMITMENTS

5 FLORENCE STREET
 STRATHFIELD NSW 2155

DESIGN / DRAFTED: ELIE SLEIMAN, NIKOLA CVETKOVSKI
 SCALE / ISSUE: / A3, D 08.06.23
 JOE HANNA
 DWG No. 22189 - 24

3D PERSPECTIVES



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NEW DEWLLING-TWO STOREY
 5 FLORENCE STREET
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DESIGN
DRAFTED

ELIE SLEIMAN
 NIKOLA CVETKOVSKI

JOE HANNA

DRAWING
 3D PERSPECTIVES
SCALE /A3
ISSUE D 08.06.23

DWG No. 22189 - 26

SCHEDULE OF EXTERNAL MATERIALS, COLOURS AND FINISHES

- 1 FACE CREAM VENETIAN CONCRETE RENDER ON EXTERNAL WALLS OR ACCEPTABLE EQUIVALENT
- 2 POWDER-COATED ALUMINIUM WINDOWS AND GLASS DOORS COLOUR: BRONZE ANODISED OR ACCEPTABLE EQUIVALENT
- 3 CUSTOM FEATURE PRIVACY AND SHADING SCREENS COLOUR: MATTE BRONZE ANODISED OR ACCEPTABLE EQUIVALENT
- 4 BLOCK RETAINING WALLS COLOUR: DESERT SAND OR ACCEPTABLE EQUIVALENT
- 5 CUSTOM FEATURE WINDOW FRAME COLOUR: MATTE BRONZE ANODISED OR ACCEPTABLE EQUIVALENT
- 6 FACE CONCRETE ON FEATURE ELEMENT OR ACCEPTABLE EQUIVALENT



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NEW DEWLLING-TWO STOREY
 5 FLORENCE STREET
 STRATHFIELD NSW 2135

DESIGN ELIE SLEIMAN
DRAFTED NIKOLA CVETKOVSKI

JOE HANNA

DRAWING
 SCHEDULE OF EXTERNAL MATERIALS,
 COLOURS AND FINISHES

SCALE / A3
ISSUE D 08.06.23

DWG No. 22189 - 27

TO: Strathfield Local Planning Panel Meeting - 12 October 2023
REPORT: SLPP – Report No. 7
SUBJECT: PLANNING PROPOSAL - 330-332 PARRAMATTA ROAD, HOMEBUSH WEST
PP NO. PP2022.001

EXECUTIVE SUMMARY

Proposal

On 4 February 2022, Council received a Planning Proposal from GMARCHITECT PTY LTD in respect of land at 330-332 Parramatta Road, Homebush West. The current zoning is E3 Productivity Support (recently translated by the state government from a B6 Enterprise Corridor Zone). The current Height of Building (HOB) control is N2 (14m) and the Floor Space Ratio (FSR) is S1 (1.5.:1).

The Planning Proposal seeks to amend *Strathfield Local Environmental Plan 2012* (SLEP), as follows:

- Amend the Land Zoning applying to the site under the SLEP 2012. The Land Zoning Map – Sheet LZN_001 to permit MU1 Mixed Use (previously B4 Mixed Use Zone) to the majority of the site except for a small portion on the corner of Malborough and Parramatta Rd, which is to remain as E3 Productivity Support (previously B6 Enterprise Corridor). – Residential development is proposed which is prohibited in the E3 zone.
- Amend the maximum permissible Height of Buildings applying to the site under the SLEP 2012 to permit a maximum building height of 60m. (Surrounding heights are 14m to 11m which are not proposed to change under PRCUTS.)
- Amend the maximum permissible Floor Space Ratio applying to the site under the SLEP 2012 to permit a maximum FSR of 4.05:1. (Surrounding FSR's are 1.2:1 to 1.45:1)
- Introduce a new Key Sites Sheet Map applying to the site under the SLEP 2012. The agglomeration of the site's lots would be shown as a new Key Site. Note: the site is not currently within the existing LEP Key site provisions for Parramatta Rd.

Applicant / Owner

GMARCHITECT PTY LTD

Site and Locality

The site is identified as 330-332 Parramatta Road, Homebush West and is legally described as Lot 11/DP 789393, Lot 9/DP217002, Lot B/DP397130, and Lot1/DP660055. The site is approximately 4,160m² with frontages to Parramatta Road to the north and Marlborough Road and Centenary Drive to the East (**Figure 1**).



Figure 1. Locality Plan

The site is located in the Parramatta Road Corridor on the corner of Parramatta Road and Marlborough Road. The land is located in a transitional area with medium and low density residential development to the south and southwest. To the north is the M4 motorway, with Sydney Olympic Park beyond that and to the east is Sydney Markets.

Purpose of the Planning Proposal

To facilitate the delivery of a 16-storey mixed-use building containing ground floor retail and commercial uses and 150 residential apartments above.

- **Integrated Infrastructure Delivery Plan (IIDP):** To Satisfy the PRCUTS ‘Out of Sequence’ guidelines an IIDP was provided and proposes infrastructure contributions and a Planning Agreement that offers 5% of new floor area as affordable housing.

Reasons for not supporting the Planning Proposal to proceed to Gateway Determination

- **Inconsistent with zoning of PRCUTS:** The proposal intends to partially change the zoning of the site to MU1 Mixed Use (previously B4 Mixed Use), whereby under PRCUTS the site is to remain E3 Productivity Support (previously B6 Enterprise Corridor) and is contrary to the objectives of the E3 zone.
- **Parramatta Road Corridor Urban Transformation Strategy (PRCUTS):** The proposal is inconsistent with the PRCUTS design guidelines and relies heavily on the ‘Out of Sequence’ Checklist. The site is outside of the Homebush Precinct and is within the Frame Area which is not envisioned to accommodate the densities proposed and there is lack of any evidence which would support the variation to PRCUTS. Further, the following features of the site limit the opportunity for development at the extent proposed in the PP:
 - **Detailed Traffic Modelling Necessary:** A basic traffic study has been provided; a more detailed traffic study is necessary. As there will be a net increase in vehicle trips in the area and especially given that it is outside PRCUTS and thus was not

- considered under the Precinct Wide Traffic Study.
- **Lack of Public Transport in the area:** Nearest bus stop is more than 700m away from the site, thus does not comply with the Integrated Public Transport Service Planning Guidelines. Flemington Station is within 700m as the crows fly but is 1.3km walking distance which is too great and lacks a clear path for access.
 - **Minimal Access to Public Parks:** Closest Park is the Austin Park, which is quite small and already serves a large amount of people in the area.
 - **Parramatta Road Urban Amenity Improvement Program (PRUAIP):** No key improvement program projects happening in close proximity to the proposal.
 - **Inconsistent with Height and FSR of PRCUTS:** The proposed maximum building height of 60m and maximum FSR of 4.05:1 does not align with the recommended height (14m) and FSR (1.5:1) for the site under the PRCUTS Implementation Tool Kit – which is what is currently permissible under SLEP 2012.
 - **Inconsistent with the Existing Key Sites of SLEP 2012:** All current key sites are within the Homebush Precinct. The site to be proposed as a key site would be an outlier.

Recommendation

That the Panel:

1. **Not support** the Planning Proposal to proceed to a Gateway determination because the proposal has not demonstrated that it has strategic or site-specific merit as:
 - a) it is inconsistent with the current zoning and that proposed in the Parramatta Road Corridor Urban Transformation Strategy (PRCUTS).
 - b) It is inconsistent with the provisions of Ministerial Direction 9.1 (1.5 Parramatta Road Corridor Urban Transformation Strategy) as:
 - i. it does not give effect to the objectives of the Direction;
 - ii. it is inconsistent with the Parramatta Road Corridor Planning and Design Guidelines (November, 2016) and particularly the requirements set out in Section 3 Corridor-wide Guidelines and the relevant Precinct Guidelines,
 - iii. it is inconsistent with the staging and other identified thresholds for land use change identified in the Parramatta Road Corridor Implementation Plan 2016 – 2023 (November, 2016), and the Parramatta Road Corridor Urban Transformation Implementation Update 2021, as applicable,
 - iv. the development is not permitted until land is adequately serviced (or arrangements satisfactory to the relevant planning authority, or other appropriate authority, have been made to service it) consistent with the Parramatta Road Corridor Implementation Plan 2016 – 2023 (November, 2016),
 - v. it is inconsistent with the relevant District Plan.
 - c) Inconsistencies with Ministerial Direction 9.1 (1.5) have not been justified.

REPORT IN FULL

The site

The subject site at 330-332 Parramatta Road, Homebush West is approximately 4,160m² in size with frontages to Parramatta Road to the north and Marlborough Road to the west. The site is currently zoned E3 Productivity Support (previously B6 Enterprise Corridor). Existing development on the site comprises of industrial retail.

The site is located more than 700m from Flemington Train Station and the closest bus stop is in the same location making the site very isolated from public transport. There is no local shops or services in close proximity to the site except for the scattering of shops near Flemington Station, Strathfield Town Centre is located 2.9km south east of the proposal and Burwood regional centre a further 1km to the south east. The site is on the fringe of Strathfield LGA.

The site is located in the Parramatta Road Corridor in an undeveloped section of land and has an isolated position adjacent to the main thoroughfare of Centenary Drive. The site is at the intersection of both Parramatta Road and Centenary Drive. To the south of the site is residential development of medium density, which includes a range of development types from single dwelling houses to 3-4 storey residential flat buildings.



Figure 2. Proposed site with Marlborough Road in the foreground



Figure 3. Proposed site at the intersection of Parramatta Road and Marlborough Road

Relevant Background

The Planning Proposal was lodged on the NSW Planning Portal on the 4 February 2022 and lodged into Council's systems on the 14 February 2022. A letter requesting withdrawal of the Planning Proposal was uploaded to the NSW Planning Portal on the 10 November 2022 for the following reasons:

- Lack of evidence to support variation to PRCUTS
- Inconsistent with Height and FSR controls of PRCUTS
- Inconsistent with zoning provisions of PRCUTS
- Inconsistent with the existing key sites identified in SLEP 2012
- Out of sequence proposal
- Detailed Traffic Modelling needed as site was not considered to this extent in Precinct Wide Traffic Study
- Lack of public transport in the area
- Minimal access to public parks and open space
- Proposal not within Parramatta Road Urban Amenity Improvement Program (PRUAIP)
- Contrary to both the Strathfield LSPS and Employment Land Strategy which recommends it remain zoned E3 Productivity Support (previously B6 Enterprise Corridor)

The applicant provided no response to this letter. A follow-up request for withdrawal was sent to the applicant via the portal 2 March 2023, no response was received. A meeting was held between the Proponent and Strathfield Councils' General Manager and Director Planning and Environment on 8 June 2023 at which it was confirmed that the Planning Proposal was not supported and that withdrawal of the PP was suggested. A final request for withdrawal was sent to the applicant via the portal on the 27 June 2023 with also no response.

The Proposal

The subject Planning Proposal seeks the following amendments:

SLEP 2012 Clause	Development Standard	Control	Proposed
Part 2 (Land Use Table)	Land Use Zoning	E3 Productivity Support (Previous B6 Enterprise Corridor)	MU1 Mixed Use (Previous B4 Mixed Use Zone)
Clause 4.3	Height of Building	N2 (14m)	60m
Clause 4.4	Floor Space Ratio	S1 (1.5:1)	4.05:1

Table 1: Proposed amendments

The proposed amendments to Clause 4.3 (Height of Building) and Clause 4.4 (Floor Space Ratio) do not align with the recommended planning controls under the PRCUTS Design and Planning Guidelines. The maximum height recommended is 17m and the maximum floor space ratio and zoning remain the same as the SLEP 2012.

The proposed amendment to Clause 4.4A and Clause 4.3A (Key Sites) by adding the proposal as key site is out of sequence with the recommended planning controls under PRCUTS.

An outline of the development outcome resulting from proposal is provided below:

Feature	Details				
Residential and Commercial Floor Area	Number of storeys	Commercial GFA	Residential GFA	Communal Gross Floor Area	Indicative Residential Unit Mix
	16 storeys	2,595m ²	12,664m ²	1,563m ²	1 bed – 30 (20%) 2 bed – 90 (60%) 3 bed – 30 (20%) Total - 150

Table 2: Planning Proposal details (yields and unit mixes are indicative only)

The submitted Urban Design Report also provides for the following:

- Separation to the neighbouring boundaries where another RFB is located is 6m to the podium, with additional setbacks to the tower component.
- Passive ESD principles were incorporated early in the design stage.
- The ground level open space is 300m² with the podium providing an extra area of 1,490m².
- The Pedestrian and vehicle entry points are clearly apparent.
- The building has been designed with form and materiality being important factors to the proposal.

Assessment of strategic and site-specific merit

An assessment of the merits of the Planning Proposal is carried out having regard to the assessment criteria contained in *A Guide to Preparing Planning Proposals* (2023), prepared by DPE.

Strategic merit

Strategic planning alignment: The Planning Proposal is not consistent with strategic visioning and key directions for the site in line with *A Metropolis of Three Cities – The Greater Sydney Region Plan* (2018), the *Eastern City District Plan* (2018), and Council's *Local Strategic Planning Statement* (2020). Whilst the Planning Proposal could result in additional housing it would reduce employment and productivity outcomes.

The weak strategic alignment falls further short with more detailed plans e.g. Parramatta Road Corridor Urban Transformation Strategy (PRCUTS), Parramatta Road Corridor Implementation Tool Kit (Nov 2016), the Parramatta Road Corridor Urban Transformation Implementation Update (2021).

The draft Planning Proposal has provided an Integrated Infrastructure Delivery Plan (IIDP) in line with the Out of Sequence Checklist within the Parramatta Road Corridor Implementation Tool Kit. The IIDP sets out potential financial benefits of the proposal and possibility of a VPA but further detailed analysis on public transport, active transport road upgrades, open space and public domain and community infrastructure is would be needed.

Inconsistency with s9.1 Ministerial Direction: The Planning Proposal is inconsistent with Ministerial Direction 1.5 Parramatta Road Corridor Urban Transformation Strategy in the following manner:

- Not in-line with the objectives of the Ministerial Direction as it is not consistent with PRCUTs plans, unlikely to provide a diversity of jobs and is an isolated proposal that does not follow the incremental transformation of the Parramatta Road Corridor.
- The proposed maximum building height of 60m and maximum FSR of 4.05:1 does not align with the recommended height (14m) and FSR (1.5:1) for the site under the PRCUTS Implementation Tool Kit
- The proposal intends to partially change the zoning of the site to MU1 Mixed Use (previously B4 Mixed Use Zone), whereby under PRCUTS the site is to remain E3 Productivity Support (previously B6 Enterprise Corridor) and is contrary to the objectives of the E3 zone.
- The proposal is inconsistent with the PRCUTS design guidelines and relies heavily on the 'Out of Sequence' Checklist. Given the significant variation to PRCUTS the proposal should not only address the non-compliance with the release of the areas, but further information should be provided of why the proposal should be out of step with PRCUTS. It is not in accordance with the zoning, heights and FSR's yet no evidence-based studies have been provided to justify why additional population is required in this location.
- The Proposal is inconsistent with the Eastern City District Plan in that it would reduce the amount of employment and productivity land.
- Proposal is contrary to both the Strathfield LSPS and Employment Land Strategy which recommends it remains E3 to expand ancillary uses to support Sydney Market Growth.
- The applicant has failed to provide a study or other report that demonstrates that the inconsistency contained within the planning proposal clearly demonstrates a better outcome than otherwise identified in related PRCUTs documentation.

Site-specific merit

The planning proposal has not demonstrated site specific merit in that:

- All current key sites are within the Homebush Precinct under the Strathfield Local Environmental Plan 2012. The site to be proposed as a key site would be an outlier as it is over 800m away from the closest key site. Key Sites encourage the amalgamation of sites to allow and encourage the integration of development that requires larger floor area and the mix of commercial and residential development. Key sites are located in areas where there is a focus on increasing density such as in the 2016 - 2023 release area under PRCUTs. The current density controls are acceptable in the area and unnecessary to increase substantially as proposed in this planning proposal.
- There is a lack of public transport in the area in that the nearest bus stop is more than 700m away from the site, thus does not comply with the Integrated Public Transport Service Planning Guidelines. The closest train station is Flemington which is over 700m away but there is no clear direct route to the station and would be over a 1km walk. The proposal is

next to a significant intersection of two major roads being Parramatta Road and Centenary Drive. This isolates the site and reduces the mobility of people. The Traffic Study provided is basic and specifies that traffic modelling has not been undertaken. A more in-depth traffic study is necessary to understand the impact of the proposal within this major confluence of roads.

- The planning proposal has failed to demonstrate that the proposed FSR and height controls would result in an acceptable built form and development outcome. The submitted architectural plans show a built form and scale that is wholly unacceptable and alien to the context and setting of the site.
- Access to public amenities is limited in the area. The closest park is over 300m away being Austin Park. This is a small open space area that already serves a large number of residents that live in close proximity to the park. Access to other open space areas is beyond walking distance due to the isolated location and limited mobility links. The proposal has provided some open space on site but is limited and will be mostly for residents.
- No key improvement program projects are in the area under Parramatta Road Urban Amenity Improvement Program (PRUAIP).

RECOMMENDATION

The Planning Proposal is not consistent with strategic visioning for the site under local and state strategic planning documents and does not align with the recommended maximum height of 17m, maximum FSR of 1.5:1 and zoning E3 Productivity Support for the site under PRCUTS.

The Proposal does not satisfy the requirements of Ministerial Direction 1.5 under section 9.1 of the EP&A Act 1979.

The Planning Proposal does not demonstrate site-specific and strategic merit when assessed against the criteria contained in the Department's LEP Making Guidelines 2023 document and is therefore considered not suitable to proceed to Gateway Determination.

ATTACHMENTS

1. [↓](#) Planning Proposal Report (prepared by gmarchitects, dated 2 Feb 2022)
2. [↓](#) Integrated Infrastructure Delivery Report (prepared by gmarchitects, dated 2 Feb 2022)
3. [↓](#) Urban Design Statement (prepared by gmarchitects, dated 25 Aug 2021)
4. [↓](#) Traffic Impact Statement (prepared by pdconsultants, dated 6 Sept 2021)
5. [↓](#) Economic Impact Assessment (prepared by Judith Stubbs & Associates, dated 21 Dec 2021)
6. [↓](#) Architectural Plans (prepared by gmarchitects and sitedesign+studios, dated Sept 2021 and Dec 2021)

planning proposal report

330-332 parramatta rd, homebush west

client wezdah

project address 330-332 parramatta rd, homebush west

lot & dp lot b dp397130 + lot 11 dp789393
+ lot 9 dp217002 + lot 1 dp660055

project number 12694

consent authority strathfield council

project description planning proposal

gmarchitects   330a parramatta rd, homebush west NSW 2140 nom.architect
  info@gmarchitects.com.au 9797 1599 n.nasser 9457

330-332 parramatta rd, homebush west

planning proposal report

02 02 2022

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1. introduction

gmarchitects (the proponent) has prepared this Planning Proposal Report for the site located at 330-332 Parramatta Road Homebush West (the site). The Planning Proposal seeks consent to amend the Strathfield Local Environmental Plan 2012 (SLEP 2012) as follows:

- Amend the Land Use Zone Development Standard, to retain the B6 Enterprise Corridor zone along the Parramatta Road Frontage and introduce B4 Mixed Use zone to the rear portion of the site.
- Amend the Floor Space Ratio Development Standard, from 1.5:1 to 4.05:1.
- Amend the Height of Building Development Standard, from 14 metres to 60 metres.

The following consultants have been involved in the preparation of this Planning Proposal:

- Planning Proposal report prepared by **gm**.
- Concept Architectural Plans and Shadow Diagrams prepared by **gm**.
- Urban Design Statement prepared by **gm**.
- Detailed Site Investigation Report prepared by NEO Consulting.
- Acoustic Report prepared by PWNA.
- Traffic Impact Statement Report prepared by PDC Consultants.
- Survey Plan prepared by W Buxton.
- Economic Impact Assessment by Judith Stubbs and Associates.
- Integrated Infrastructure Delivery Plan prepared by **gm**.

This Planning Proposal report describes the intended objectives and justification for the proposed amendments to the planning controls in the SLEP 2012.

This Planning Proposal intends to provide new controls that will facilitate the renewal of the site and provide a future built form that is reflective of the objectives of State and Local Strategic Policies.

The preparation of this Planning Proposal has considered feedback provided by Strathfield Council in a meeting in 2020 with the Strategic Planning team.

The Planning Proposal retains a portion of the site area as B6 Enterprise Corridor zone which shall deliver employment objectives under the SLEP 2012. Additionally, the Planning Proposal seeks consent to introduce the B4 Mixed Use zone on the balance of the site which shall enable a mixture of land uses that are permissible under the B4 Mixed Use zone. To facilitate the economic development of the site, the proposal seeks to amend the Floor Space Ratio and Height Standards.

The Planning Proposal is supported by architectural plans and provide sufficient detail to demonstrate the relationship between the future built form and the immediate area. Reference should be made to the architectural plans prepared by **gm**. The plans are indicative of a future development upon the site, which it is envisaged that this shall be a high-quality development comprising basement parking, ground floor employment uses as well as upper-level residential apartments. The final design configuration is subject to a future detailed design in a Development Application, however the employment and residential gross floor area reflects the capital investment attributed to the need for employment and residential opportunities to satisfy demand, retention of employment land, the viability of the project, holding costs, risk, and opportunity costs.

Having considered the relevant current and future planning strategy policies, it is submitted that the proposal is acceptable. This report identifies strategic policies that support the need for increased densities and investment into projects that offer mixed land uses utilising existing infrastructure.

As such, the Planning Proposal accords with metropolitan and Councils planning objectives is in the public interest and satisfies the aims and objectives of the Environmental Planning and Assessment Act, 1979 (EP&A Act).

This report describes the characteristics of Strathfield LGA, the site and surrounding context and assesses the proposed amendment to the Height and Density provisions within the context of the metropolitan and local planning frameworks and Section 9.1 Ministerial Directions. It provides a Strategic Assessment under the relevant Council and State Planning Framework.

The discussions and justifications within this report align with Section 3.33 of the EP&A Act. The preparation of this report is under the guidelines 'A guide to preparing Planning Proposals' and 'A guide to preparing local environmental plans', dated December 2018, issued by the Department of Planning, Industry and Environment (DPIE).

330-332 parramatta rd, homebush west

2. site and surrounding context

2.1 the site and existing development

The subject site is located at No. 330-332 Parramatta Road, Homebush West and is legally known as Lot B in DP 397130, Lot 11 in DP 789393, Lot 9 in DP 217002 and Lot 1 in DP 660055. The site is on a corner lot, with Parramatta Road to the North-East, and Marlborough to the South-East and adjacent to the Centenary Drive overpass.

The site is a consolidated landholding with a site area of 4,160m². The site is generally rectangular and has a primary frontage of approximately 42.77 metres to Parramatta Road and a secondary frontage of 65.77 metres to Marlborough Road.

The site currently accommodates two attached light-industrial warehouse buildings. One building is occupied as a carpet wholesaler. The other building is an architect's office. The site has a large open concrete hardstand area currently utilised for material storage and customer car parking. A perimeter fence bounds all frontages of the site.

The site is in a prominent corner position. Adjacent is a service station with apartment buildings located to the west and south. Industrial land uses are to the east and include the Flemington Markets. Centenary Drive acts as a buffer between the two localities. To the north of the site is the Parramatta Road corridor and the M4 Highway.



image 1. subject site outlined in red (source: nsw dept. lands six viewer)



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image 2. image 2: subject site (source: gm)



image 3. image 3: subject site - view from parramatta road (source: gm)

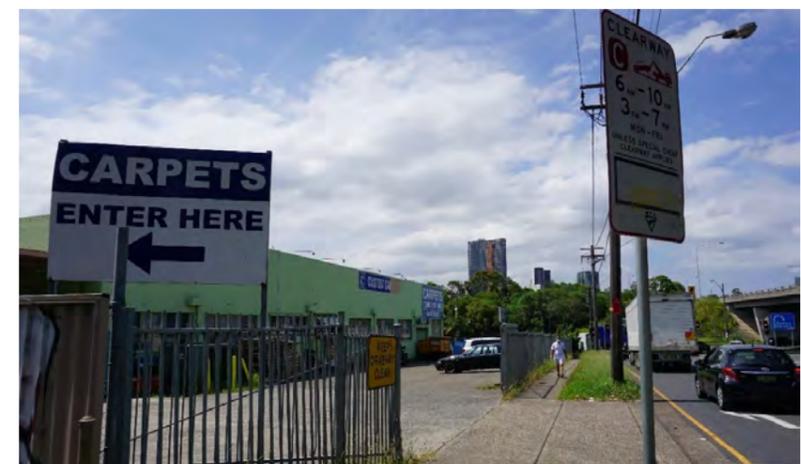


image 4. site as viewed from marlborough road facing north-west (source: gm)

2. site and surrounding context

2.2 existing and future context

The site is within the Homebush West locality and is approximately 14km west of the Sydney CBD and 10km from the Parramatta CBD. The site is at a transitioning point. The immediate surrounding context to the West and South has residential land uses consisting of apartment buildings and detached dwellings. To the East is a mixture of industrial land uses with some commercial development located to the west, along Parramatta Road. Public transport access from the subject site is approximately 1.3km or a 17minute walk to the nearest train station, specifically Flemington station. Furthermore, the site is 1.4km or a 19-minute walk to Flemington Town Centre.

The character of the locality is generally residential, with the area undergoing a shift towards medium to high density residential and mixed land uses. The site has good access to a Strategic Centre and Local Centre and a variety of local services in Homebush. The subject site is within 4km from Strathfield, defined as a Local Centre under the Eastern City District Plan and within 5.3km from Burwood, marked as a Strategic Centre under the Eastern City District Plan. Northwest of the site is Strathfield Railway Station. The locality consists of open space areas along Powell's Creek, railway infrastructure for Flemington Railway Station and road corridors like Parramatta Road and a network of cycle routes. The locality includes heritage conservation areas, Local and State significant heritage items.

The site is forms part of the Parramatta Road Corridor as detailed in the Parramatta Road Corridor Urban Transformation Strategy. This Corridor contains a range of land uses, such as industrial uses, wholesales, food distributors, retail shops, entertainment and education facilities, office and business park developments. Sites and surrounds along the Corridor play a vital role in delivering the Council's Urban Design and built-form objectives for this area of Parramatta Road. This Corridor forms part of a larger spatial hierarchy shown in Council Strategies.

The immediate streetscape and surrounds of the site are generally in a tired and detracting condition which does not appropriately reflect the progressive nature and standard of living that is apparent in the Strathfield Local Government Area and envisioned in relevant Strategies. This detracting condition is due to the under-utilised commercial spaces, constrained outlook associated with the Centenary Drive overpass, and lack of well-designed buildings in the immediate context. However, with the introduction of the State and Local Strategies and Environmental Instruments, there will be a significant improvement in the quality of new buildings. The immediate under-utilised context is an appropriate catalyst to warrant renewal of the site to improve the aesthetic quality of the area and streetscape presentation. A few parts of Homebush locality have commenced renewal, with various sites being master planned for mixed-use and residential building development. This Planning Proposal seeks to deliver a well-designed built form that will positively contribute to the streetscape and provide active edges and frontages.



image 5. aerial context of site (source: nsw dept lands)



image 6. view of marlborough road facing south (source: gm)

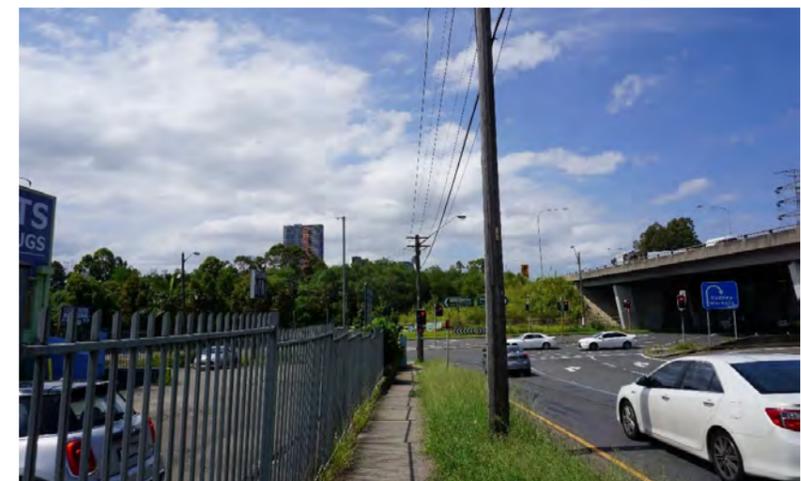


image 7. view north towards parramatta road and centenary drive to the east (source: gm)

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2. site and surrounding context



image 8. image 8: view of courallie avenue to the west facing north (source: gm)



image 10. view of courallie avenue to the west facing north (source: gm)



image 9. image 9: view toward the site along parramatta road (source: gm)



image 11. view toward the site along parramatta road (source: gm)



3. development concept

The objective and intended outcomes of the planning proposal is to facilitate the redevelopment of the site for a mixed-use development with residential units above the podium level, commercial and retail space at ground and upper ground levels and commercial facilities in the form of a rooftop bar on the rooftop level, together with a through-site link, basement parking and associated facilities.

gm have developed a conceptual scheme for the site. The concept establishes the built form parameters for future development consent to be sought. This referenced design provides a high-quality built form that provides street activation and amenity with minimal adverse impact on the surrounding setting. The reference design sets the maximum height and GFA achievable within the building envelope and retains the front portion of the site as the existing B6 Enterprise Corridor zone to align with the surrounding properties.

The Planning Proposal is seeking to amend the SLEP 2012 as follows:

- Amending the Land Zoning applying to the site under the SLEP 2012. The Land Zoning Map – Sheet LZN_001 to permit B4 Mixed Use Zone to the rear portion of the site, shown in section 8 of this report.
- Amending the maximum permissible Height of Buildings applying to the site under the SLEP 2012. The Height of Buildings Map - Sheet HOB_001 to permit a maximum building height of 60m. This is shown in section 8 of this report, with a new Key Site Map and inclusion in Clause 4.3A of the SLEP 2012.
- Amending the maximum permissible Floor Space Ratio applying to the site under the SLEP 2012. The FSR Map- sheet FSR_001 to permit a maximum FSR of 4.05:1 to be consistent with the proposed built form envelope. This is shown in section 8 of this report, with a new Key Sites Map and inclusion in Clause 4.4A of the SLEP 2012.
- New Key Sites Sheet Map applying to the site under the SLEP 2012. The Key Sites Map Sheet KYS_001 to highlight in blue the site as 94.

The proposed new planning controls have been tested and informed by a series of conceptual architectural plans. An urban design statement is submitted with the Planning Proposal.

3.2 conceptual development calculations

To provide certainty in terms of the future built form for the site, **gm** have prepared conceptual architectural plans as part of the Planning Proposal. The concept plans indicate the following preliminary calculations:

- Site Area: 4,160 m²
- Site Frontage: 74.31 metre to Marlborough Road + 42.77 metre to Parramatta Road
- Proposed Gross Floor Area: 16,863 m²
- Floor Space Ratio: 4.05:1
- Commercial Gross Floor Area: 2,595 m²
- Residential Gross Floor Area: 12,664 m²
- Communal Gross Floor Area: 1,563 m²
- Height: 60 metre height of building
- Storeys: 16 storeys
- Approximate yield: 150 apartments

The above are preliminary calculations where the proposed FSR and heights have been tested in terms of urban analysis. The proposed FSR/GFA is the minimum required density to facilitate a viable redevelopment of the subject site. This is further explained in the Economic Report.

3.3 case for change

The subject site could accommodate residential floor space and increased building density more than the SLEP 2012 planning controls permit. Reasons for justifying the amendments to the planning controls are as follows:

- The proposal will unlock underutilised land to provide a high-quality development for the community to live, play and work within.
- The proposal provides residential apartments for the Homebush locality to meet the needs of the community with a diverse mix of dwelling size.
- The proposal will provide an additional employment floor area to provide local jobs for the Homebush locality.
- The proposal factors the projected population growth for the area and sustains the envisaged employment land uses in the form of flexible commercial spaces and residential accommodation.

3. development concept

3.4 Public Benefits

The Planning Proposal will provide public benefit through the following:

- Improved urban experience and a high level of amenity for the community.
- Through-site access to improve safety and pedestrian connectivity along Parramatta Road.
- Improved street activation and retail and commercial floor space.
- Proximity to high amenity open space and recreation facilities.
- Development contributions for affordable housing are to be discussed as part of the delivery of the proposal.

4. the planning proposal

4.1 Overview

This Planning Proposal report has been prepared in accordance with Section 3.33 of the EP&A Act and the guidelines 'A guide to preparing Planning Proposals' and 'A guide to preparing local environmental plans', dated December 2018, issued by DPIE. The Planning Proposal is explained in the various Parts outlined in the following sections of this report.

4.2 Council Consultation and Project History

The proponent and its consultants have undertaken preliminary consultation with Strathfield Council. The proponent met with Council Planning staff in 2020 to introduce the concept scheme for feedback. The proponent advised that reasons for refusal in the previous Planning Proposal have been addressed in this new concept scheme. At this meeting Council advised that the Transport for NSW studies and Parramatta Road Corridor Urban Transformation Strategy do not currently align and that no further feedback could be provided per se. However, Council advised Planning Proposals can still be lodged which may assist parties form a way forward with plans for the revitalisation of Parramatta Road. The Planning Proposal lodged in 2014 that Council refused was discussed in the meeting. The proponent discussed the concerns raised with the previous Planning Proposal have now been addressed in the new Planning Proposal. Council acknowledged the satisfaction of the previous points of refusal in the meeting.

This Report has adequately considered the matters raised in Strathfield Council's letter of refusal for the previous Planning Proposal. The proponent has provided a built form that considers the solar access to adjoining properties, a publicly accessible through site link at ground level, increased setback from adjoining properties, design for good solar access, podium and rooftop level commercial uses and public spaces and has incorporated specific urban design treatments to ensure any future built form shall have minimal impact on adjoining sites. The proponent provides an Economic Assessment Report with the Planning Proposal.

Accordingly, the proposal is considered to have adequately considered and addressed the matters raised in Council's refusal advice.

4. the planning proposal

4.3 Current Planning Framework

4.3.1 Strathfield LEP 2012

The following table provides a strategic assessment against the relevant provisions of the Strathfield LEP 2012.

Strathfield LEP 2012		
Standard and Objectives	Proposed	Compliance
<p>1.2 Aims of Plan</p> <p>(1) This Plan aims to make local environmental planning provisions for land in Strathfield in accordance with the relevant standard environmental planning instrument under section 3.20 of the Act.</p> <p>(2) The particular aims of this Plan are as follows—</p> <p>(aa) to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts,</p> <p>(a) to achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield,</p> <p>(b) to promote the efficient and spatially appropriate use of land, the sustainable revitalisation of centres, the improved integration of transport and land use, and an appropriate mix of uses by regulating land use and development,</p> <p>(c) to promote land uses that provide a wide range of employment, recreation, retail, cultural, service, educational and other facilities for the local community,</p> <p>(d) to provide opportunities for economic growth that will enhance the local community,</p> <p>(e) to promote future development that integrates land use and transport planning, encourages public transport use, and reduces the traffic and environmental impacts of private vehicle use,</p> <p>(f) to identify and protect environmental and cultural heritage,</p> <p>(g) to promote opportunities for social, cultural and community activities,</p> <p>(h) to minimise risk to the community by identifying land subject to flooding and restricting incompatible development.</p>	<p>The Planning Proposal shall facilitate the future redevelopment of the site in accordance with the aims and objectives of the Strathfield LEP 2012.</p> <p>The proposal will retain employment land within the site, whilst providing new housing opportunities within close proximity to existing services, public transport and surrounding centres.</p> <p>The site is a large land holding that is surrounded by residential flat buildings. The proposal will deliver a built form that is reflective of the surrounding built form and provide an acceptable urban outcome for the constrained site.</p> <p>The site is not identified as a heritage item nor located within a heritage conservation area.</p> <p>Accordingly, the proposal attains compliance with the aims of the LEP.</p>	<p>Yes</p>

Strathfield LEP 2012		
Standard and Objectives	Proposed	Compliance
Part 2		
2.3 Zone Objectives and Land Use Table		
<p>Zone B4 Mixed Use</p> <p>Objectives of zone</p> <ul style="list-style-type: none"> To provide a mixture of compatible land uses. To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling. To facilitate mixed use urban growth around railway stations and transport nodes and corridors, commercial centres and open space. To provide local and regional employment and live and work opportunities. 	<p>The proposal seeks to rezone a portion of the site into B4 Mixed Use, to allow for a future mixed use development.</p> <p>This shall facilitate a mixture of compatible land uses within the site. The proposal shall facilitate urban growth around transport nodes and corridors, and will provide improved built form for the site.</p> <p>The planning proposal supports the objectives of the B4 Mixed Use zone.</p>	<p>Yes</p>
<p>Zone B6 Enterprise Corridor</p> <p>Objectives of zone</p> <ul style="list-style-type: none"> To promote businesses along main roads and to encourage a mix of compatible uses. To provide a range of employment uses (including business, office, retail and light industrial uses). To maintain the economic strength of centres by limiting retailing activity. To ensure that development does not impact on the safe and efficient operation of classified roads. 	<p>The intent of the planning proposal is to retain a viable area of land for the purposes of employment uses to meet the objectives of the B6 Enterprise Corridor zone.</p> <p>The conceptual plans allocate floor area for the purposes of B6 Enterprise Corridor uses.</p> <p>The proposal is supported by an Economic Report, which concludes that the proposal shall not result in a net loss of any employment land, and will result in the orderly and efficient development of the site by retaining existing employment and achieving an uplift on the site through the development of new residential apartments.</p> <p>The proposal shall facilitate attainment of the B6 Enterprise Corridor zone objectives.</p>	<p>Yes</p>

4. the planning proposal

4.3.2 Strathfield DCP No 20 – Parramatta Road Corridor Area

The site is located within the land identified in Figure 1 of the DCP.

The proposal seeks a new vision for the site and given it is not currently zoned B4 Mixed Use, there are no built form controls for the site. Inherently, the proposal will be different to the requirements of the DCP, given it seeks new planning controls. It may be relevant that as part of the Planning Proposal process, built form controls for the site be prepared to guide future development. This may require a revision to the DCP.

The proposal supports the aims and objectives of the DCP, however, seeks a new vision for the site and this shall be guided by the Planning Proposal process.

5. part 1 – objectives and intended outcomes

The objective of this Planning Proposal is to amend the SLEP 2012 to facilitate the future redevelopment of the site at 330 -332 Parramatta Road Homebush. An indicative concept for the site provides a mixed-use development with residential apartments above a podium level consisting of commercial and retail premises at ground and upper ground floor levels and a roof-top bar, pedestrian through-site link, basement parking and associated facilities.

The intended outcomes of the proposed amendments include the following:

- Promoting the urban renewal of the Parramatta Road Corridor.
- Providing additional employment floor space to increase employment opportunities for the local area.
- Enable residential apartments to be permissible development with consent in the site.
- Providing residential apartments near Sydney Olympic Park, and in proximity to public transport, Strategic and Local centres.
- New built form to enhance pedestrian amenity and activate the ground plane for a site located forming part of the Parramatta Road Urban Transformation Program.
- Enabling increased building heights and density than the allowable current height and floor space ratio controls whilst delivering improved public space outcomes.

The outcome will allow the achievement of a range of State and Local Strategic Planning objectives whilst ensuring a site-specific response addresses the surrounding context.

6. part 2 – explanation of provisions

The objectives and intended outcome of this Planning Proposal will be achieved by:

Amending the SLEP 2012 Land Zoning Map Sheet LZN_001 in accordance with the proposed land zoning map, shown at section 8 of this report, which indicates a B4 Mixed Use Zone to the rear portion of the site.

Amending the SLEP 2012 Height of Building Map Sheet HOB_001 in accordance with the proposed building height map, shown at section 8 of this report, which highlights the site in blue to refer to clause 4.3A.

Amending Clause 4.3A Exceptions to Height of Buildings (Parramatta Road Corridor). This clause is to have the inclusion in Column 1 Key Site number 94 with corresponding column 3 maximum height with 60m.

Amending the SLEP 2012 Floor Space Ratio Map Sheet FSR_001 in accordance with the proposed floor space ratio map, shown at section 8 of this report, which highlights the site in blue to refer to clause 4.4A.

Amending Clause 4.4A Exceptions to Floor Space Ratio (Parramatta Road Corridor). This clause is to have the inclusion at column 1 Key sites number 94 with corresponding column 2 Floor space ratio of 4.05:1.

New Key Sites Sheet Map applying to the site under the SLEP 2012. The Key Sites Map Sheet KYS_001 to highlight in blue the site as 94.

7. part 3 – justification

7.1 Section A - Need for the planning proposal

7.1.1 Q1. Is the Planning Proposal a result of an endorsed local strategic planning statement, strategic study, or report?

The Planning Proposal is prepared to respond to the key directions and strategies relevant to the site including, the Parramatta Road Corridor Urban Transformation Strategy, A Metropolis of Three Cities- The Greater Sydney Region Plan and the Eastern City District Plan.

An assessment of the consistency of the Planning Proposal against the above strategies is in Section 7.2.1 Question 3 of this report. The Planning Proposal has resulted from an analysis of the sites physical and strategic attributes. This analysis considers the prominent site position along Parramatta Road that will assist in realising the objectives and intended outcomes of the strategic planning policies.

The Planning Proposal presents a design option for future redevelopment and an urban design statement is submitted with this report.

7.1.2 Q2. Is the Planning Proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The proposed zone, building height and floor space ratio amendments to the SLEP 2012 will enable the proposed design scheme. The current planning controls do not realise the sites full development potential.

7.2 Section B – Relationship to strategic planning framework

7.2.1 Q3. Will the planning proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

Yes. The Planning Proposal is consistent with the objectives and actions of the following regional, district and Strategy Planning Policies.

- 7.2.1.1 A Metropolis of Three Cities – the Greater Sydney Region Plan

The Greater Sydney Region Plan, A Metropolis of Three Cities (GSRP) was released by the Greater Sydney Commission in March 2018. The GSRP provides a vision for the region over the next 40 years to transform Greater Sydney into a metropolis of three cities, namely the Western Parkland City, Central River City and Eastern Harbour City. The site is located within the Eastern Harbour City. This region is expected to have increases in population, additional dwellings, additional jobs and changes in the environment. The region will focus on new infrastructure projects which include the Light rail, Northconnex, the Sydney Metro City, Sydney Metro West and Sydney Metro Northwest.

7. part 3 – justification

Table 2: Consistency with the Greater Sydney Region Plan.

Objective	Comment	Consistency
<p>Objective 7</p> <p>Communities are healthy, resilient and socially connected</p> <p>Strategy 7.1</p> <p>Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by:</p> <ul style="list-style-type: none"> • providing walkable places at a human scale with active street life • prioritising opportunities for people to walk, cycle and use public transport • co-locating schools, health, aged care, sporting and cultural facilities • promoting local access to healthy fresh food and supporting local fresh food production. 	<p>The conceptual scheme in this Planning Proposal provides an inclusive place for people. The place offers flexible spaces for retail and commercial uses. The Proposal provides opportunities to walk and cycle and connect with surrounding networks.</p>	Yes
<p>Objective 9</p> <p>Greater Sydney celebrates the arts and supports creative industries and innovation</p> <p>Strategy 9.1</p> <p>Facilitate opportunities for creative and artistic expression and participation, wherever feasible with a minimum regulatory burden, including:</p> <ul style="list-style-type: none"> • arts enterprises and facilities and creative industries • interim and temporary uses • appropriate development of the night-time economy. 	<p>The conceptual scheme in the Planning Proposal includes multi-functional commercial spaces that can be encouraged for use as arts, events, and creative spaces. Any future detailed Development Application is to demonstrate compliance with this provision.</p>	Yes
<p>Objective 10</p> <p>Greater housing supply</p> <p>More housing in the right locations. Locational criteria for urban renewal investigation opportunities include:</p> <ul style="list-style-type: none"> • alignment with investment in regional and district infrastructure which acknowledges the catalytic impacts of infrastructure such as Sydney Metro Northwest and Sydney Metro City & Southwest, NorthConnex, WestConnex, CBD and South East Light Rail, Parramatta Light Rail, Northern Beaches Hospital • other possible future investments such as Western Harbour Tunnel and 	<p>The Planning Proposal will provide residential apartments within the subject site that is within proximity to transport opportunities and road infrastructure. The site is considered a suitable location to supply new housing as it is in proximity to Strathfield a Local Centre and Burwood a Strategic Centre.</p>	Yes

Objective	Comment	Consistency
<p>Beaches Link and Sydney Metro West and opportunities created by enhancements to existing infrastructure such as upgrades to schools, open space including sporting facilities and transport</p> <ul style="list-style-type: none"> • accessibility to jobs, noting that over half of Greater Sydney's jobs are generated in metropolitan and strategic centres • accessibility to regional transport, noting that high frequency transport services can create efficient connections to local transport services and expand the catchment area of people who can access regional transport • catchment areas within walking distance (up to 10 minutes) of centres with rail, light rail or regional bus transport • efficient interchanges with a comprehensive walking and cycling network • areas of high social housing concentration where there is good access to services, transport and jobs • distance from special land uses such as ports and airports. 		
<p>Objective 11</p> <p>Housing is more diverse and affordable</p>	<p>The Planning Proposal provides residential apartments of differing sizes and affordable housing within the development.</p>	Yes
<p>Objective 12</p> <p>Great places that bring people together</p> <p>Strategy 12.1</p> <p>Using a place-based and collaborative approach throughout planning, design, development and management, deliver great places by:</p> <ul style="list-style-type: none"> • prioritising a people-friendly public realm and open spaces as a central organising design principle • recognising and balancing the dual function of streets as places for people and movement • providing fine grain urban form, diverse land use mix, high amenity and walkability in and within a 10-minute walk of centres 	<p>The Proposal includes a through-site link at the ground floor level to support user experience, user engagement, user movement and safety. Furthermore, the multi-functional spaces within the ground floor levels can change to accommodate diverse activities over time.</p>	Yes

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7. part 3 – justification

Objective	Comment	Consistency
<ul style="list-style-type: none"> integrating social infrastructure to support social connections and provide a community hub recognising and celebrating the character of a place and its people. <p>Strategy 12.2</p> <p>In Collaboration Areas, Planned Precincts and planning for centres:</p> <ul style="list-style-type: none"> investigate opportunities for precinct-based provision of adaptable car parking and infrastructure in lieu of private provision of car parking ensure parking availability takes into account the level of access by public transport consider the capacity for places to change and evolve, and accommodate diverse activities over time incorporate facilities to encourage the use of car sharing, electric and hybrid vehicles including charging stations. 		
<p>Objective 14</p> <p>A Metropolis of Three Cities – integrated land use and transport creates walkable and 30-minute cities</p> <p>Strategy 14.1</p> <p>Integrate land use and transport plans to deliver the 30-minute city.</p> <p>Strategy 14.2</p> <p>Investigate, plan and protect future transport and infrastructure corridors.</p> <p>Strategy 14.3</p> <p>Support innovative approaches to the operation of business, educational and institutional establishments to improve the performance of the transport network.</p>	<p>The Planning Proposal will assist the delivery of the 30-minute city by providing commercial and retail spaces within proximity to public transport, walking and cycling networks.</p>	Yes
<p>Objective 15</p> <p>The Eastern, GPOP and Western Economic Corridors are better connected and more competitive</p> <p>Action 6</p> <p>Collaborate to deliver the Greater Parramatta and the Olympic Peninsula (GPOP) vision</p>	<p>The site is in the Sydney Olympic Park Lifestyle Super Precinct located within the Greater Parramatta and the Olympic Peninsula (GPOP). The Planning Proposal will assist in realising the vision of GPOP, which is integral to the fulfilment of A Metropolis of Three Cities. The Planning Proposal seeks to provide spaces for new businesses and facilities to encourage cycling, walking and recreation activities.</p>	Yes

Objective	Comment	Consistency
<p>Objective 19</p> <p>Greater Parramatta is stronger and better connected</p> <p>Strategy 19.2</p> <p>Develop and implement land use and infrastructure plans which strengthen the economic competitiveness and grow its vibrancy by:</p> <ul style="list-style-type: none"> enabling the development of an internationally competitive health and education precinct at Westmead creating opportunities for an expanded office market balancing residential development with the needs of commercial development, including if required, a commercial core providing for a wide range of cultural, entertainment, arts and leisure activities improving the quality of Parramatta Park and Parramatta River and their walking and cycling connections to Westmead and the Parramatta CBD providing for a diverse and vibrant night-time economy in a way that responds to potential negative impacts. 	<p>The Planning Proposal provides business and office space opportunities. These business and office spaces are flexible and can support varying activities. The concept design promotes walking, cycling and a night-time economy through services on the ground floor level and a rooftop bar.</p>	Yes
<p>Objective 22</p> <p>Investment and business activity in centres</p> <p>Strategy 22.1</p> <p>Provide access to jobs, goods and services in centres by:</p> <ul style="list-style-type: none"> attracting significant investment and business activity in strategic centres to provide jobs growth diversifying the range of activities in all centres creating vibrant, safe places and a quality public realm focusing on a human-scale public realm and locally accessible open space balancing the efficient movement of people and goods with supporting the liveability of places on the road network improving the walkability within and to centres 	<p>The subject site is near the Burwood and Sydney Olympic Park Strategic Centres. The Planning Proposal supports surrounding centres by providing a built form that provides access to jobs and services.</p>	Yes



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7. part 3 – justification

Objective	Comment	Consistency
<ul style="list-style-type: none"> • completing and improving a safe and connected cycling network to and within centres • improving public transport services to all strategic centres • conserving and interpreting heritage significance • designing parking that can be adapted to future uses • providing for a diverse and vibrant night-time economy in a way that responds to potential negative impacts • creating the conditions for residential development within strategic centres and within walking distance (up to 10 minutes), but not at the expense of the attraction and growth of jobs, retailing and services; where appropriate, strategic centres should define commercial cores informed by an assessment of their need. 		
<p>Objective 23 Industrial and urban services land is planned, retained and managed Strategy 23.1 Retain, review and plan industrial and urban services land in accordance with the principles for managing industrial and urban services land. Strategy 23.2 Consider office development in industrial zones where it does not compromise industrial or urban services activities in the South and Western City Districts.</p>	The current land use zone is to be retained at the rear portion of the site. The Planning Proposal includes two levels of spaces that are flexible and can be adapted to varying needs.	Yes
<p>Objective 30 Urban tree canopy cover is increased Strategy 30.1 Expand urban tree canopy in the public realm.</p> <p>Objective 31 Public open space is accessible, protected and enhanced Strategy 31.1 Maximise the use of existing open space and protect, enhance and expand public open space by: • providing opportunities to expand a network of diverse, accessible, high quality open spaces that respond to the needs and values of communities as populations grow</p>	Landscaping and public spaces will be provided as part of the Planning Proposal to support the renewal of the Parramatta Road Corridor.	Yes
<p>Objective 31 Public open space is accessible, protected and enhanced Strategy 31.1 Maximise the use of existing open space and protect, enhance and expand public open space by: • providing opportunities to expand a network of diverse, accessible, high quality open spaces that respond to the needs and values of communities as populations grow</p>	The Proposal provides new quality public spaces, end trip facilities and links to surrounding pedestrian walkways and public transport to enhance public space opportunities within the community.	Yes

Objective	Comment	Consistency
<ul style="list-style-type: none"> • investigating opportunities to provide new open space so that all residential areas are within 400 metres of open space and all high density residential areas (over 60 dwellings per hectare) are within 200 metres of open space • requiring large urban renewal initiatives to demonstrate how the quantity of, or access to high quality and diverse local open space is maintained or improved • planning new neighbourhoods with a sufficient quantity and quality of new open space • delivering shared and co-located sports and recreational facilities including shared school grounds and repurposed golf courses • delivering or complementing the Greater Sydney Green Grid • providing walking and cycling links for transport as well as leisure and recreational trips. 		
<p>Objective 32 The Green Grid links parks, open spaces, bushland and walking and cycling paths Strategy 32.1 Progressively refine the detailed design and delivery of: • Greater Sydney Green Grid priority corridors • opportunities for connections that form the long-term vision of the network • walking and cycling links for transport as well as leisure and recreational trips.</p>	The Proposal will provide a new way for people to move through the site via a through-site link. This will support links to public transport and surrounding walking and cycling networks.	Yes
<p>Objective 33 A low-carbon city contributes to net-zero emissions by 2050 and mitigates climate change Strategy 33.1 Support initiatives that contribute to the aspirational objective of achieving net-zero emissions by 2050 especially through the establishment of low-carbon precincts in Planned Precincts, Growth Areas and Collaboration Areas.</p>	The future detailed Development Application is to demonstrate compliance with the initiatives of this objective. Support initiatives include building efficiency and car-sharing facilities.	Yes
<p>Objective 34 Energy and water flows are captured, used and re-used Strategy 34.1 Support precinct-based initiatives to increase renewable energy generation</p>	The Planning Proposal does not impede the application of SEPP BASIX 2004. Any future detailed Development Application is to demonstrate compliance with this objective. The Development	Yes



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Objective	Comment	Consistency
and energy and water efficiency especially in Planned Precincts and Growth Areas, Collaboration Areas and State Significant Precincts.	Application will consider any further initiatives applicable to the locality.	
Objective 35 More waste is re-used and recycled to support the development of a circular economy Strategy 35.1 Protect existing, and identify new, locations for waste recycling and management. Strategy 35.2 Support innovative solutions to reduce the volume of waste and reduce waste transport requirements.	A future detailed Development Application will discuss compliance with this objective and new recycling and waste management facilities to reduce waste on-site.	Yes
Objective 37 Exposure to natural and urban hazards is reduced Strategy 37.1 Avoid locating new urban development in areas exposed to natural and urban hazards and consider options to limit the intensification of development in existing urban areas most exposed to hazards. Strategy 37.2 Respond to the direction for managing flood risk in the Hawkesbury-Nepean Valley as set out in Resilient Valley, Resilient Communities – Hawkesbury-Nepean Valley Flood Risk Management Strategy.	A detailed site investigation report (Neo Consulting 2021) is submitted with the Planning Proposal. The report includes recommendations to be actioned before the site is considered suitable for the proposal. Future redevelopment of the site will need to address the requirements of SEPP No. 55.	Yes
Objective 38 Heatwaves and extreme heat are managed Strategy 38.1 Mitigate the urban heat island effect and reduce vulnerability to extreme heat.	A future detailed Development Application is to demonstrate consideration of the use of building materials to mitigate the urban heat island effect.	Yes

• 7.2.1.2 Eastern City District Plan

The Eastern City District includes the Strathfield Local Government Area. The Eastern City District Plan is a 20-year plan to manage growth in the context of economic, social, and environmental matters to achieve the 40-year vision for Greater Sydney. The Eastern City District plan contains the planning priorities and actions at the district level for implementing the Greater Sydney Region Plan, A Metropolis of Three Cities. The Eastern City District Plan informs the assessment of planning proposals and guides the decision of State agencies. Furthermore, the Eastern City District Plan guides the public and community of approaches to manage growth and change.

Table 3: Consistency with the Eastern District Plan

Objective	Comment	Consistency
Planning Priority E1. Planning for a city supported by infrastructure	The design of the Planning Proposal supports the local area by providing an inclusive place for people. The Planning Proposal provides employment space for a range of retail and commercial uses and offers its users opportunities to walk and cycle.	Yes
Planning Priority E3 Providing services and social infrastructure to meet people's changing needs	The concept design of the built form provides a range of facilities accessed via walking and cycling pathways. These facilities would meet users' needs and enhance the liveability of the locality.	Yes
Planning Priority E4 Fostering healthy, creative, culturally rich and socially connected communities	The design of the building offers flexible spaces suitable for varying uses over time, such as creative spaces to support a night-time economy.	Yes
Planning Priority E5 Providing housing supply, choice and affordability, with access to jobs, services and public transport	The Planning Proposal retains a portion of the site as employment lands to provide access to jobs and services for the community. Residential apartments above the upper podium levels in varying sizes to support choice and affordable housing units also form part of the Planning Proposal. The future development of the site will be subject to development contributions.	Yes
Planning Priority E6 Creating and renewing great places and local centres, and respecting the District's heritage	The Planning Proposal will revitalise the public realm and streetscape presentation to assist the renewal of the Parramatta Road Corridor.	Yes
Planning Priority E7 Growing a stronger and more competitive Harbour CBD	The Planning Proposal will facilitate commercial floor space to assist the growth of the Harbour CBD to be stronger and more competitive.	Yes
Planning Priority E10 Delivering integrated land use and transport planning and a 30-minute city	The Proposal will result in commercial business and retail spaces close to public transport. This will contribute to the delivery of a 30-minute city and users of the site will benefit from accessibility to public transport.	Yes
Planning Priority E11 Growing investment, business opportunities and jobs in strategic centres	The Proposal will contribute to growing investment and business opportunities through the range of flexible commercial spaces within the podium and roof top levels and these spaces can attract a range of tenants.	Yes
Planning Priority E12 Retaining and managing industrial and urban services land	Although this priority is not applicable as land subject to the Corridor Strategy is not subject to the industrial land strategies and actions of the District Plan. However, the Planning Proposal retains the existing land use zone along the front portion of the site.	Yes
Planning Priority E13 Supporting growth of targeted industry sectors	The proposal will facilitate commercial space which will accommodate a range of services and tenants.	Yes

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Objective	Comment	Consistency
Planning Priority E17 Increasing urban tree canopy cover and delivering Green Grid connections	Addressed in previous table - consistency with the Greater Sydney Region Plan.	Yes
Planning Priority E18 Delivering high quality open space	Addressed in previous table - consistency with the Greater Sydney Region Plan.	Yes
Planning Priority E19 Reducing carbon emissions and managing energy, water and waste efficiently	Addressed in previous table - consistency with the Greater Sydney Region Plan.	Yes
Planning Priority E20 Adapting to the impacts of urban and natural hazards and climate change	Addressed in previous table - consistency with the Greater Sydney Region Plan.	Yes

- W7.2.1.3 Parramatta Road Corridor Urban Transformation Strategy (PRCUT Strategy)

The Strategy is a 30-year plan setting the long-term framework for the future growth and development of the Parramatta Road Corridor. The Strategy was adopted by the NSW Government and is given statutory force by the Ministerial Directions under section 9.1 of the EP&A Act. The subject site is in the Parramatta Road Corridor and in the transformation area, as shown in image 10. The subject site is identified as a growth precinct with a proposed rapid or suburban bus route and indicative stops as shown in image 11.

The Strategy identifies the Homebush Precinct will be transformed into an active and varied hub, blending higher density housing and a mix of different uses supported by networks of green and open spaces with walking access to train stations.

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image 12. image 10: parramatta road corridor



image 13. Image 11: Integrated land use and transport concept.

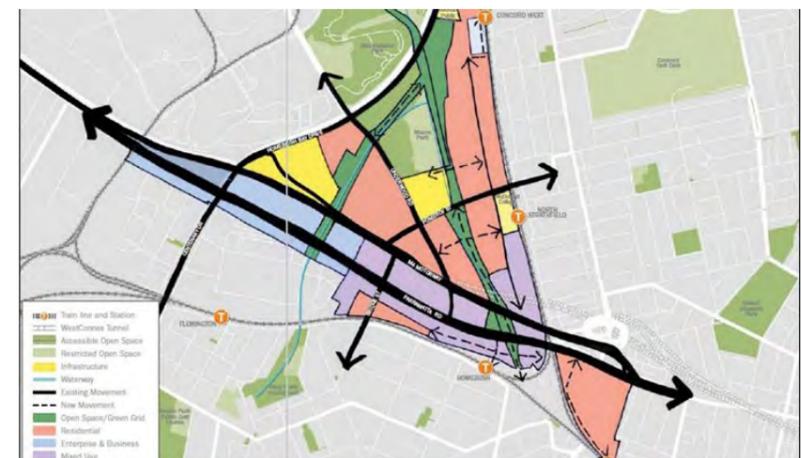


image 14. Image 12: Homebush Precinct.

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PRCUT Strategy - Part 3 Vision and Principles

Table 4: Vision and Principles

Seven Principles of Transformation	Comment	Consistency
Housing Choice and Affordability		
<p>-An additional 56,000 people live in the Corridor in 27,000 new homes.</p> <p>-The community is diverse, with key workers, students, seniors and families.</p> <p>-The community's housing needs are met with a mix of dwelling types, sizes and prices.</p> <p>-A minimum of five per cent of new housing is Affordable Housing (or in line with Government policy of the day), new housing also caters for single households, older people or different household structures.</p>	<p>The Planning Proposal:</p> <ul style="list-style-type: none"> - provides 150 residential apartments to contribute to dwelling targets in the Parramatta Road Corridor. - contributes to the community's housing needs by providing floor plans with adaptable units and apartments of varying sizes and efficient design. -incorporates affordable housing. 	Yes
<p>Strategic Action:</p> <p>Provide 'diverse housing' for both purchase and rental markets that satisfies the objectives and Design Criteria of the Apartment Design Guide, that may include:</p> <ul style="list-style-type: none"> - lower cost market housing for rent or purchase, including new generation boarding houses with high quality shared spaces - moderately priced housing that is affordable to purchase for households earning up to \$150,000 or 80-190% of the median income - rental properties with long-term tenures and optional extensions in place - housing that uses design innovations, resulting in new products such as decoupled/ optional car parking, which are suited to essential service workers, young 'city makers' early in their careers looking for 'starter homes', families with children, and downsizers/seniors - student accommodation - aged-care housing - housing that promotes innovation in other ways across type, tenure, construction methodology or other mechanisms to make such housing more attainable to a diversity of income groups. 	<p>- The Planning Proposal will provide housing mix will meet market demand by increasing the supply of housing to the market and thereby supporting lower cost market housing.</p> <p>- The Planning Proposal will support the strategic action of providing housing diversity whilst supporting the objectives and design criteria of the Apartment Design Guide and outlined in the urban design statement accompanying the Planning Proposal.</p>	Yes
<p>Strategic Action:</p>	<p>The Planning Proposal provides a mix of dwelling sizes which consist of 30 x 1-bedroom units, 90 x 2 bedroom, and 30 x 3 bedroom. As outlined in the</p>	Yes

Seven Principles of Transformation	Comment	Consistency
<p>Establish a mix of dwelling sizes, including studios, one bedroom and three-bedroom dwellings to be delivered in residential, mixed use and shop-top developments that</p> <p>cater to the future population profile of the Precincts and Frame Areas, having regard to any recommendations of the Local Housing Strategy, the requirements of State Environmental Planning Policy No 65 – Design Quality of Residential Apartment Development, and the Apartment Design Guide.</p>	<p>Strathfield LSPS, the Strathfield LGA has one of the largest young worker populations than Greater Sydney with the dominant age group been of 25-34years old. According to the Strathfield Local Housing Strategy 2020 there will be an increase in the projected population and dwelling numbers for the Strathfield LGA. Hence, the Planning Proposal provides for the future population profile and facilitates a range of dwelling sizes including 1-bedroom apartments, and this size will likely be attractive to the 25–34-year age group. Furthermore, the apartments are near public transport services such as the Flemington train station (only 1.3 km south of the subject site) and access to services along Parramatta Road.</p>	
<p>Strategic Action:</p> <p>Provide a minimum of 5% of new housing as Affordable Housing, or in-line with Government policy of the day.</p>	<p>The Planning Proposal supports the strategic action by providing 5% of housing as affordable housing within the development.</p>	Yes
Diverse and resilient economy		
<ul style="list-style-type: none"> - \$31 billion of development value is realised. - Parramatta Road Corridor is Sydney's 'economic spine' - 50,000 workers across a diverse range of sectors and roles come into the Corridor each day to work. - Auburn is recognised as Sydney's large format retail hub and Camperdown is a specialist precinct that supports the world class research, educational and health uses associated with the University of Sydney and the Royal Prince Alfred Hospital. - There is new life in the retail areas of Parramatta Road, and the Corridor is home to a variety of businesses, including small and medium enterprises, advanced technologies and creative industries. 	<p>The Planning Proposal seeks to amend the land use zoning map to include the B4 mixed use zone in addition to retaining the existing B6 Enterprise zone. This will encourage the co-location of multiple uses in one building as incorporated within this Proposal. The podium level in the building offers a mix of business activity by providing commercial and retail space on both floor levels. The adaptable design of the building offers flexible uses over time where commercial and retail spaces can be occupied as large or small suites, depending on the changing needs of the community.</p> <p>Currently the subject site is in a tired and detracting condition and its immediate context is underutilised. Without intervention, the site will decline in building condition and potential activity to revitalise the area. The current zoning is not suitable for contemporary business requirements and viable redevelopment is unlikely to occur in a solely B6 zone that prohibits residential uses. The Planning Proposal retains B6 zoning to support the range of employment uses under the zone. Business activity will remain at street level and therefore will not impact the need for surrounding sites to provide for additional employment uses. Furthermore, employment lands suitable for B6 Enterprise Corridor including urban services will be retained under the Planning Proposal thereby allowing such businesses to still benefit from main road exposure.</p>	Yes

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Seven Principles of Transformation	Comment	Consistency
Accessible and connected		
<ul style="list-style-type: none"> . It is easier to move to, through and within the Corridor in both east-west and north-south directions. . The urban transformation of the Corridor is supported by transit-oriented development. Existing and new desirable and affordable mixed-use environments are enhanced by high-quality, high frequency public transport and safe active transport connections. . The Corridor's inherent social, economic and environmental resources are optimised, including freight generating uses within and supporting the Corridor. . Available road and rail capacity is utilised and public investments in transport are optimised. . Non-infrastructure initiatives, such as encouraging visitors to use non-car modes of travel to help alleviate congestion, and modifying or altering timing of trips, are well utilised. . People choose to walk and/or cycle for local trips along the Corridor's 34km of new and upgraded links, hop on buses and/or light rail for intermediate trips, and use rail and/or car for regional trips. . The integrated transport network contributes to regional resilience and sustainable communities along the Corridor and beyond. 	<p>The subject site is easily accessible by a variety of public transport options. The Planning Proposal provides a development that is considered a transit-oriented development and encourages the use of alternative transport options such as cycling.</p>	Yes
Vibrant community places		
<ul style="list-style-type: none"> . Residents can walk easily to public transport, local shops, schools, parks and open space areas, jobs and a range of community services and facilities that are all close by. . Neighbourhoods include a mix of old and new buildings sitting well together creating attractive places for people to enjoy. . New development respects and protects existing lower-scale development and heritage. 	<p>The Planning Proposal promotes quality places and provide new built form to transform and improve the amenity of the Corridor.</p> <p>The Planning Proposal includes commercial areas, common open space areas and promotes local jobs.</p> <p>The Planning Proposal places users and residents within walking distance to public transport, shops, and parks.</p> <p>Community centres and facilities can be addressed in a detailed Development Application.</p>	Yes

Seven Principles of Transformation	Comment	Consistency
<ul style="list-style-type: none"> . New landmarks and high-quality buildings and spaces are recognised and valued by the community. . Residents and workers can easily access new and upgraded community facilities and services including libraries, community centres, childcare centres, cultural facilities, schools and community health facilities. 		
Green spaces and links		
<ul style="list-style-type: none"> . There is 66ha of new open space areas, linear parks and links along watercourses and infrastructure corridors, linked to pedestrian and cycle connections. . Parramatta Road and the surrounding road network is greener and lined with trees. . The Corridor's nine watercourses have been naturalised and are pleasant places for people to walk and cycle along and enjoy. 	<p>The Planning Proposal is designed to improve linkages between open space networks, provides new urban spaces for diverse uses and improves public access to the site.</p>	Yes
Sustainability and resilience		
<ul style="list-style-type: none"> . Smart parking strategies have reduced people's car dependence and fuel use leading to reduced greenhouse gas emissions. Development is more feasible, meaning savings could be passed on to homebuyers, making housing more affordable and reducing the overall cost of living. . Because thinking about parking has changed, the design of buildings transition between different uses ensuring community uses and facilities, or perhaps even open space to occur over time. . A lush tree canopy and vegetation on buildings makes places cooler and greener, and residents and workers can enjoy the outdoors. . Households enjoy improved living costs made possible by significant reductions in water and energy consumption in the Corridor. 	<p>The subject site is located within walking distance to public transport and will reduce car dependency.</p> <p>BASIX energy, water targets and landscaping can be addressed in a detailed Development Application</p>	Yes
<ul style="list-style-type: none"> . There is an effective governance structure in place. . Decisions are made in a timely, transparent and coordinated way. . Well understood benchmarks and indicators inform the planning and decision making processes. . There is a clear monitoring, reporting and review process. 	<p>The Planning Proposal allows Government to deliver and facilitate new actions towards renewing the Parramatta Road Corridor.</p>	Yes



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PRCUT Strategy - Part 4 Delivering the Strategy

The strategy recognizes existing planning controls constrain the Parramatta Road renewal activities named in the strategy and that they will need to be amended.

As such the planning proposal seeks to amend relevant planning controls. The Planning Proposal does not strictly comply with the strategy however departures to the strategy are supported by further studies.

PRCUT Strategy - Part 5 Corridor East Precincts and Frame Areas

The subject site is located within the Homebush Precinct. This precinct has been assigned for renewal because of their access to jobs, transport infrastructure and services and ability to accommodate new development in a balanced way.

The map marks the site as Enterprise and Business declaring land immediately fronting Parramatta Road is assigned for urban renewal opportunities and new challenges for the Homebush Precinct include high levels of on-street car parking.

Table 5: Homebush Precinct

Key Actions	Comment	Consistency
Land Uses		
- Employment and mixed-use focus on both sides of Parramatta Road and through the Bakehouse Quarter.	The Planning Proposal provides a mixed-use development with commercial, and retail uses on the ground and upper ground floor levels of the podium, residential apartments above the podium and a rooftop level.	Yes
Transport and movement		
- Acknowledge Parramatta Road, Homebush Bay Drive and Leicester Street will continue to be key movement streets in the Precinct. - Reduce car dependency by improving access to public and active transport infrastructure.	The Planning Proposal provides a through site link to assist with pedestrian movement. The site is located within walking distance to public transport.	Yes
Place-making		
- Establish strong activity on Parramatta Road. - Break up large blocks with laneways and through site links where possible.	The Planning Proposal provides commercial and retail spaces at street level along Parramatta Road. The Proposal includes a through site link.	Yes
Open space, linkages and connections		
-Leverage new development to provide new open space, high quality and active public domains and new through-site links.	The Proposal includes public domain improvements and a through site link.	Yes

- 7.2.1.4 Parramatta Road Corridor Urban Transformation - Implementation Plan 2016-2023 (Implementation Plan)

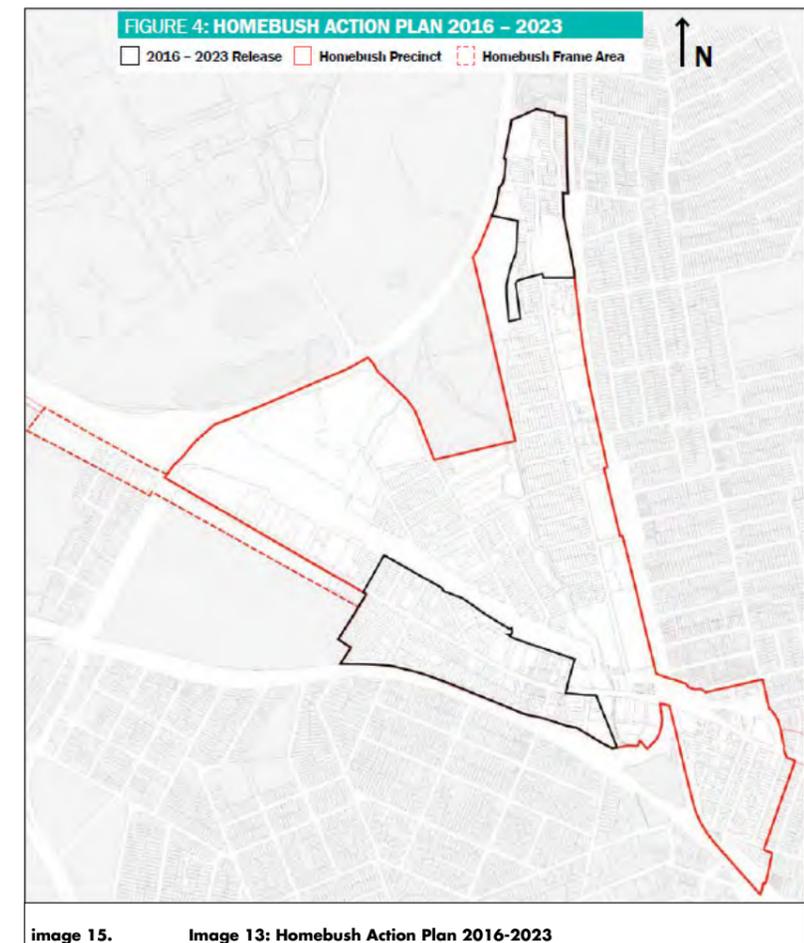


image 15. Image 13: Homebush Action Plan 2016-2023

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Table 6: Homebush Action Plan

Actions	Proposed	Compliance
Timing of release		
<p>-From 2016.</p> <p>-Sequencing of planning proposals in the Precinct and Frame Area to be consistent with the Homebush Action Plan 2016 – 2023.</p>	<p>The subject site is located within the Homebush Frame Area which is outside of the 2016-2023 Release area and therefore is 'Out of Sequence' under the PRCUT Implementation Plan 2016-2023. As such the Planning proposal is considered against the Out of Sequence Checklist.</p>	Yes
Strategic land uses		
<p>- a maximum of 435,000m2 residential gross floor area.</p> <p>- Consistent with the requirements of the Strategy:</p> <p>a minimum of 5% of new housing is to be provided as Affordable Housing, or in line with Government policy of the day.</p> <p>a range of housing diversity typologies as identified within the Strategy are to be provided.</p> <p>-a minimum of 195,000m2 employment gross floor area of predominantly light industrial, enterprise, commercial, retail and community uses.</p>	<p>The Planning Proposal provides 5% of the new housing is to be dedicated as affordable housing through a VPA. The VPA is to be negotiated with Council.</p> <p>The Planning Proposal provides residential GFA of 12,664 sqm and employment GFA of 2,595 sqm consisting of commercial and retail spaces.</p>	Yes
Public Transport		
<p>-TfNSW to implement the strategic initiatives of Sydney CBD to Parramatta Strategic Transport Plan, including the following key public transport projects for Corridor West:</p> <p>investigation of four light rail routes linking to the Parramatta CBD with possible connections to Strathfield, Burwood and Sydney Olympic Park by delivery of Parramatta Light Rail project following Government and planning approvals.</p> <p>Parramatta River Ferry initiatives including 80 extra weekly services, a new wharf at Rhodes, new river ferries and a wharf upgrade program being rolled out by TfNSW</p> <p>Upgrade of Western Sydney Rail services, including the Western Line and Northern Line to allow for faster and more frequent services.</p>	<p>As part of the Planning Proposal process relevant State agencies are referred to for comments.</p>	Yes

Actions	Proposed	Compliance
<p>- Delivery of the Powells Creek reserve pedestrian and cycle link.</p> <p>- Delivery of new pedestrian and cycle bridge crossings over Powells Creek at Hamilton Street and Lorraine Street.</p> <p>- Development in the Precinct to make an appropriate contribution to the delivery of new pedestrian and cyclelinks as indicated in the Planning and Design Guidelines, including:</p> <p>new north-south cycle connection along the riparian corridor from Station Street in the south to Pomeroy Street in the north</p> <p>new cycle connection from Strathfield Station in the south, along Cooper Street to Parramatta Road and the M4 Motorway and looping around to Princess Avenue.</p> <p>- Development in the Precinct to be designed to deliver through-site links as indicated in the Planning and Design Guidelines.</p>	<p>The Planning Proposal provides through site links. Refer to table X Planning and Design guidelines for consistency with the requirements.</p>	Yes
Open space and recreation		
<p>-Delivery of the upgrade and embellishment of Powells Creek Reserve.</p> <p>-In accordance with the Infrastructure Schedule, provision of contributions towards the medium and long term open space facilities.</p>	<p>Provision for contributions to designated State public infrastructure is allocated at the Planning Proposal and Development Application stages as required. Reference is to be made to the Integrated Infrastructure Delivery Plan accompanying this Planning Proposal.</p>	Yes
Community facilities		
<p>-Development in the Precinct to make an appropriate contribution to:</p> <p>embellishment of an appropriate, existing community facility to provide an additional meeting space, potentially at the new Courallie Community Centre</p> <p>appropriate upgrade of an existing library facility at Strathfield, Burwood or Concord</p> <p>provision of exhibition space/facilities within the Burwood Community Hub and George Street Community Centre.</p> <p>-Provision of an additional:</p> <p>332 childcare places</p> <p>39 Before School Care places</p>	<p>Provision for contributions to designated community facilities is allocated at the Planning Proposal process and Development Application stages as required. Furthermore, the Planning Proposal includes flexible spaces in the podium level that can accommodate varying commercial services including community facilities that can be addressed in detail at the Development Application stage.</p>	Yes



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Actions	Proposed	Compliance
133 After School Care places 95 Vacation Care places.		
Education facilities		
Council to support the provision of 139 additional after-school care places. In accordance with the Infrastructure Schedule, provision of appropriate contributions towards primary and secondary schools.	Provision for contributions to designated State public infrastructure is allocated at the Planning Proposal and Development Application phases.	Yes
Health facilities		
The Sydney Local Health District has undertaken detailed planning for Concord Hospital redevelopment. Consultation with the Ministry of Health should be undertaken during the preparation of planning proposals within the Corridor in the short term and satisfactory arrangements entered into, as relevant.	During the Planning Proposal process relevant State agencies are referred for comments.	Yes
Road improvements and upgrades		
Prior to any rezoning commencing, a Precinct-wide traffic study and supporting modelling is required to be completed which considers the recommended land uses and densities, as well as future Westconnex conditions, and identifies the necessary road improvements and upgrades required to be delivered as part of any proposed renewal in the Precinct.	A Traffic Impact Statement Report under a separate cover is provided with the Planning Proposal.	Yes
Funding framework or satisfactory arrangement		
New and upgraded roads, community facilities and open space to be delivered by development and funded through Section 94 contributions, the SIC levy and/or works in kind. The value of the contribution shall be consistent with the Infrastructure Schedule.	Development contributions for infrastructure is allocated at the Development Application and Planning Proposal phases. Reference is to be made to the Integrated Infrastructure Delivery Plan accompanying this Planning Proposal.	Yes

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Implementation Plan 'Out of Sequence' checklist

Actions	Proposed	Compliance
Criteria 1 - Strategic objectives, land use and development		
. The planning proposal can demonstrate significant delivery or contribution towards the Strategy's Corridor wide and Precinct specific vision.	Reference is to be made to Table 4 Vision and principles of the PRCUT Strategy, Table 5 Homebush Precinct in PRCUT Strategy and Table 7 PRCUT Planning and Design Guideline.	Yes
. The planning proposal satisfies the Strategy's seven land use and transport planning principles and fulfills the relevant Strategic Actions for each Principle.	Reference is to be made to Table 4 Vision and seven principles of transformation of the PRCUT Strategy	Yes
. The planning proposal can demonstrate significant net community, economic and environmental benefits for the Corridor and the Precinct or Frame Area within which the site is located.	The Planning Proposal provides the provision of 150 residential apartments. The residential units consist of a mix of sizes with 2 bedrooms been the predominant size. This will cater to the diversity in demand for varying household types and housing sizes. The proposal will contribute to the vision for Homebush which is a varied hub blending higher density housing a with differing land uses as set out in the PRCUT Planning and Design guideline. The Proposal would contribute to the dwelling targets and population growth projections as set out in the PRCUT Planning and Design Guidelines. The Proposal provides environmental benefits in the form of landscaped and communal open spaces at ground and podium levels. A total of 2043 sqm in landscaping is provided with 457sqm in deep soil. Further details of future public domain opportunities would be addressed at the Development Application stage. The proposed design scheme demonstrates that adequate setbacks to the side boundary allow for future landscaping.	Yes
. The planning proposal is consistent with the recommended land uses, heights, densities, open space, active transport and built form plans for the relevant Precinct or Frame Area.	The Planning Proposal seeks to amend the land use zone to include B4 zone which is not consistent with the plans for the Frame Area in the PRCUT Planning and Design Guidelines. The Proposal seeks an amendment to the maximum height of building to 60m, exceeding that which is desired under the PRCUTS Planning and Design Guidelines. The Proposal seeks an amendment to the maximum floor space ratio to 4.05:1, exceeding that which is desired under the PRCUTS Planning and Design Guidelines.	No



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Actions	Proposed	Compliance
	<p>The report highlights the proposed amendments to the planning controls and its necessity to support market conditions to provide new housing and local jobs as envisioned by the projected population growth and community demand.</p> <p>The Planning Proposal provides new public spaces and landscaped areas for people to live, recreate and work in.</p> <p>New commercial flexible spaces are provided in the podium level and the rooftop level which provide local jobs, new visitor experience, pedestrian safety walkways, shelter in the form of awnings and a rooftop bar to recreate a nightTime economy.</p> <p>The Planning Proposal provides residential apartments to support the desired dwelling growth for the area under the PRCUT Planning and Design Guidelines. The map under the PRCUT Planning and Design Guideline shows the site as Enterprise and Business for the locality. However the Proposal retains the front portion of the site as B6 zone and provides flexible spaces in the podium level that can be used depending on the community's need, and these employment lands would be supported by the new local population living in close proximity to these facilities</p> <p>The Planning Proposal is in walkable distance to public transport and connects to surrounding pedestrian and bike networks.</p> <p>The Planning Proposal brings an opportunity to revitalise the Parramatta Corridor for the community and materialises the future visions of the State of NSW.</p>	
. The planning proposal demonstrably achieves outcomes aligned to the desired future character and growth projections identified in the Strategy.	Reference is to be made to Table 7 PRCUT Planning and Design Guideline.	Yes
. The planning proposal demonstrates design excellence can be achieved, consistent with councils adopted design excellence strategy or the design excellence provisions provided in the Parramatta Road Corridor Planning and Design Guidelines (Planning and Design Guidelines).	The Proposed design has been prepared to respond to strategic and context analysis and is discussed within the urban design statement and architectural plans submitted with the Planning Proposal.	Yes

Actions	Proposed	Compliance
Criteria 2 - Integrated Infrastructure Delivery Plan		
. An Integrated Infrastructure Delivery Plan, which identifies advanced infrastructure provision and cost recovery for the local and regional infrastructure identified in the Infrastructure Schedule, must support the planning proposal. The Integrated Infrastructure Delivery Plan must demonstrate a cost offset to council and agency costs for a set period that aligns with the anticipated timing for land development identified in the Implementation Plan 2016 – 2023. Infrastructure to be considered includes: <ul style="list-style-type: none"> . public transport . active transport . road upgrades and intersection improvements . open space and public domain improvements . community infrastructure, utilities and services. 	Reference is to be made to the Integrated Infrastructure Delivery Plan accompanying this Planning Proposal.	Yes
Criteria 3 - Stakeholder engagement		
. Consultation and engagement with relevant stakeholders (council, government agencies, business, community, adjoining properties and user or interest groups, where relevant) have been undertaken, including any relevant pre-planning proposal engagement processes required by local council. <ul style="list-style-type: none"> . An appropriate level of support or agreement is documented. . Provision of documentary evidence outlining the level of planning or project readiness in terms of the extent of planning or business case development for key infrastructure projects. 	Preliminary stakeholder engagement has been undertaken including meeting with tenants and a separate meeting with Council in late 2020. Further consultation and opportunities for comment, can be undertaken with relevant bodies and the community during the Planning Proposal process.	Yes
Criteria 4 - Sustainability		
. The planning proposal achieves or exceeds the sustainability targets identified in the Strategy.	Achievement of sustainability targets shall form part of a future Development Application.	Yes
Criteria 5 – Feasibility		
. The planning proposal presents a land use and development scenario that demonstrates economic feasibility with regard to the likely costs of infrastructure and the proposed funding arrangements available for the Precinct or Frame Area.	An Economic Analysis report is provided under a separate cover with the Planning Proposal.	Yes
. The planning proposal demonstrates a land use and development scenario that aligns with and responds to market conditions for the delivery of housing and employment for 2016 to 2023. Viability should not be used as a justification for poor planning or built form outcomes.	An economic analysis report is provided under a separate cover with the Planning Proposal.	Yes



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7.2.1.5 Parramatta Road Corridor Urban Transformation - Planning and Design Guidelines

Table 7: PRCUT Planning and Design Guideline

Actions	Proposed	Compliance
Section 3 Corridor Guidelines		
3.1 Urban Structure		
Corridor East – land within the Strathfield LGA which is also located in the Central District as identified within A Plan for Growing Sydney. Homebush Precinct will become a new, mixed-use precinct for the Corridor, housing a new community of residents attracted to the area for its high amenity and access to employment at Parramatta CBD and Sydney Olympic Park. The precinct will provide a long-term supply of housing stock to meet increasing demand as Sydney Olympic Park grows into a new city.	<p>The site falls within Corridor East of the Parramatta Road Corridor.</p> <p>Figure 3.2 named East Corridor Character in the PRCUT Planning and Design Guideline requires the subject site to have a green edge and commercial frontage.</p> <p>The Planning Proposal has been designed to support the anticipated and future character of the Homebush Locality.</p> <p>The Proposal provides commercial frontages to Parramatta and Marlborough Roads. These commercial frontages will activate and improve the streetscape presentation along the Corridor. The Proposal will provide a mix of local jobs and new housing stock to house the local growing population. A green edge frontage can be provided at the Development Application stage.</p>	No, subject to change
3.3 Creek and Watercourses		
<p>a. Integrate green and blue infrastructure early in the planning process to maximise environmental and social outcomes at the lowest cost.</p> <p>b. Improve the environment performance and amenity of existing</p>	The requirements of this clause are to be considered at a future Development Application.	Yes

Actions	Proposed	Compliance
<p>drainage corridors and watercourses by integrating water management initiatives that address quality and quantity management.</p> <p>h. Implement lot and street-scale stormwater runoff initiatives to manage water quantity and quality before it enters the local waterway.</p>		
3.4 Open Space & Public Domain		
<p>A. Open Space Requirements</p> <p>b. Provide new public open space that is:</p> <ul style="list-style-type: none"> i. part of a legible Green Grid network within and beyond the Corridor ii. landscaped and includes substantial areas for high quality and sustainable landscaping iii. an appropriate size to accommodate a variety of uses iv. suitably dimensioned and designed for the intended use in terms of quality and orientation v. flexible and easily adapted to different uses in response to changing community activity and passive recreational preferences and are useable in a range of weather conditions vi. vibrant, inclusive, accessible and safe. vii. linked to pedestrian and cycle paths to encourage reduced car dependency viii. integrated with the public domain, creeks, watercourses, or other encumbered land, if appropriate ix. designed to achieve sharing of space between sports x. located with access to, or makes provision for, recycled or other sustainable water supply xi. capable of being well maintained. <p>B. Public Domain Principles</p> <ul style="list-style-type: none"> a. Increase canopy cover and provide for greenery within the public domain. 	<p>Public open space is provided in the form of a landscaped area, commercial arcade, and a rooftop bar in the Proposal.</p> <p>These user-friendly spaces provide for active, and passive uses. These spaces are flexible and easily adapted to the changing needs of the community.</p> <p>Further open space and public domain opportunities can be addressed at the Development Application stage.</p>	Yes



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Actions	Proposed	Compliance
b. Build local character and identity through existing site qualities and natural landscape features. c. Ensure public domain and common or shared spaces are functional and attractive for their intended users and accessible to all. d. Create public domain that promotes recreation and public engagement. e. Increase the quality and usability of the public domain through innovative built form, wider footpaths and new connections. f. All new streets should implement water sensitive urban design treatments at the point source across all catchment areas. g. Provide permeable ground surfaces, where appropriate, to allow rainwater to penetrate the soil.		
3.5 Community Facilities		
Community Facility Requirements a. Consider providing high quality specialised spaces that are shared by developments rather than treating each development as a stand alone proposal. b. Provide opportunities for a variety of experiences and social interaction. c. Provide opportunities for structured and unstructured activities and cater to a diverse range of users. d. Create diverse 24 hour activity by providing facilities and spaces for public activity outside regular business hours. e. Provide varied spaces for social interaction.	The Planning Proposal provides spaces that are flexible in size and can be adapted to respond to the changing needs of the community. These spaces can be adapted to serve diverse facilities for the community. The Proposal provides a range of spaces located in the landscaped area, podium and roof top levels of the building.	Yes
3.6 Traffic and Transport		
Traffic and Transport Requirements a. Improve north-south connectivity across Parramatta Road for all users. b. Improve Street network permeability across Precincts and Frame Areas, particularly for pedestrians and cyclists c. Improve public and active transport quality, access, and	Figure 3.3 and 3.5 of the PRCUT Planning and Design Guideline show the requirements applicable to the site. Although the Proposal does not provide an increased setback between the public domain and building line. The Proposal provides an alternative and safer route to cross between Parramatta Road and Marlborough Roads. The Proposed through site link connects the development with the public domain. The through site link and commercial	No

Actions	Proposed	Compliance
connectivity to and within Precincts and Frame Areas. d. Support an improved urban environment with areas designated for greater levels of street activity. e. Facilitate local access needs for new development to support the needs of residents and businesses. f. Encourage travel behaviour change to discourage car use and support more sustainable travel choices such as public and active transport. g. Within the Rapid Transit Indicative Zone, work with Transport for NSW to integrate bus stops and rapid transit stops into the streetscape, including: i. ensuring the safety and amenity of transport users and pedestrian passers-by ii. ensuring safe, efficient, and reliable public transport operations iii. providing convenient street crossings, canopy /awning structures, seating, public lighting, real-time travel information, bins, and other required facilities. h. Provide an unobstructed and safe pedestrian and cycling network that links residential, employment and retail uses to community facilities, transport nodes and open space within Precincts and Frame Areas.	frontages to the site's boundaries promote safer streets and improved pedestrian pathway connectivity. The development provides awning structures as weather shelter for pedestrians and visitors. The development encourages the use of public and active transport by providing dedicated bike spaces. The development provides employment uses. The Proposal provides flexible spaces that can be adapted to accommodate community facilities. Car sharing options can be considered at the Development Application stage.	
3.7 Street Function		
Street Function Requirements a. Progressively implement the Movement and Place Street Function network in accordance with the Precinct Plans and the features identified for each street function type in the Precinct Transport Report, September 2016. b. Encourage local traffic calming in residential streets.	The PRCUT Precinct Transport Report identifies the street function type for Parramatta Road in Homebush to largely be focused on movement. The Proposal allows access to and from the site to be from Marlborough Road to minimise disruption of traffic flow along Parramatta Road. All parking for the development is within the basement level and will have no impact of traffic movement along the Parramatta Road corridor. Table 3.1 named movement and place framework in the PRCUT Planning and Design Guideline, states 'generally lower pedestrian volumes or activity and limited facilities' and 'Some active frontages and generally wide lanes/narrow kerbs'.	Yes



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Actions	Proposed	Compliance
	In this regard, the proposed development has an active street frontage and provides a through site link for pedestrian safety.	
3.8 Car Parking & Bicycle Parking		
A. Car Parking Requirements a. Off street parking is to be provided in accordance with the maximum rates identified in Table 3.2. b. On-street parking to be integrated to the streetscape and parallel to the kerb. c. Where possible, parking rates should be allocated to buildings (rather than dwellings) to enable the most efficient using of parking within a building. d. Parking that is unbundled or separated from dwelling and building ownership should be encouraged in all developments. A parking rate reduction of 20% should be considered for buildings with unbundled parking. e. To plan for the emergence of electric vehicles, 1 electric vehicle charge point should be provided in each new off-street parking facility in the Precinct. B. Shared Parking Requirements a. Shared parking rates should be provided in accordance with the occupancy rates provided in Table 3.3. b. Shared parking is parking shared by more than one user, which allows parking facilities to be used more efficiently. c. Parking requirements for non-residential uses may be shared and potentially reduced where it can be determined that the peak parking requirements occur at different times (either daily or seasonally). Parking rates for shared parking shall be calculated by applying the following occupancy rates to the maximum parking requirements for a proposed use.	Car Parking Requirements The Planning Proposal provides the following spaces as per table 3.2 of this clause. 0.9 space per 1 bedroom unit = 27 1.2 space per 2-bedroom unit = 108 1.5 space per 3-bedroom unit = 45 Total of 180 residential car parking spaces 0.2 space per 7 units (visitor) = 5 visitor car parking spaces 70 maximum spaces /sqm of commercial GFA 2388sqm = 35 (rounded) 50 maximum spaces /sqm of retail GFA 207sqm = 4 No spaces have been specified for industrial land uses however this is to be addressed at the Development Application stage. Shared Parking Requirements Details on shared parking rates and facilities is to be addressed at the Development Application stage. Car share, decoupled parking and parking design requirements can be addressed at the Development Application stage. Bicycle Parking Requirements 1 bike space per 5 units (Residential) = 30 residential bike spaces 1 bike space per 10 units (Residential Visitors) = 15 1 bike space per 150sqm (Commercial)=19 1 bike space per 400sqm (Commercial Visitors) = 7 Total bike spaces = 71 It is to be noted that 1 bike space per dwelling is required under the PRCUT Planning and Design Guidelines. In this regard, further bike spaces can be addressed in detail at the Development Application stage. In addition, retail bike parking spaces and end of trip facilities such as lockers and change rooms required as per the PRCUT Planning and Design	Yes

Actions	Proposed	Compliance
C. Car Share and Ride Share Requirements D. Decoupled Parking Requirements E. Parking and Access Design Requirements F. Bicycle Parking Requirements a. Bicycle parking is to be provided in accordance with the Table 3.4. b. Bicycle parking should be located in secure but publicly accessible locations with provision made for public bike spaces in addition to those for building occupants. c. End-of-trip facilities for non-residential developments should be provided in accordance with Table 3.5. d. Where more than one shower/change cubicle is required, separate male and female facilities should be provided with sufficient flexibility incorporated into the design to modify the mix depending on the predominant users.	Guidelines can be provided at the Development Application stage.	
3.9 Active Transport Active Transport Requirements a. Improve street network permeability across the Corridor, particularly for pedestrians and cyclists, by providing active transport routes where indicated on the Precinct Plans. b. Prioritise safe and direct links to rail stations, open spaces and community facilities. c. Connect missing links, particularly in the regional network (existing or planned). d. Separate bikes from cars, where possible. e. Provide bike parking and innovative, high quality and well designed end of trip facilities that promote multi-modal trips and the efficient use of existing public and private parking facilities.	The Proposal provides pedestrian links to public transport and networks via the through site link and pathways along the boundary. The site has the potential to accommodate community facilities, and this can be addressed at the Development Application stage. A detailed Development Application showing end trip facilities and bike parking facilities will be provided at the Development Application stage.	Yes
3.10 Sustainability & Resilience Sustainability and Resilience Requirements	BASIX and NABERS can be addressed at the Development Application stage.	Yes



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Actions	Proposed	Compliance
<p>a. Future development should seek to satisfy the requirements set out in Table 3.6.</p> <p>b. Future development should demonstrate consistency with the smart parking strategies and design principles outlined in Section 3.8 – Car Parking and Bicycle Parking.</p> <p>c. Public domain and buildings shall be designed to reduce localised heat created by the urban heat island affect by:</p> <p>i. maximising canopy cover on all streets that are designated as being Local, Places for People, or Vibrant on the Street Function Plans</p> <p>ii. targeting canopy cover of at least 60% over all pedestrian spaces (footpaths, trafficable pedestrian areas).</p> <p>iii. maximising the use of vegetation on buildings, including above ground parking facilities. Vegetation, green roofs, green walls and materials with a high solar reflectance index are encouraged on at least 50% of the surfaces of all buildings.</p> <p>Western and northern building facades should be particular areas of focus.</p> <p>d. Flow rates from the site should not be more than pre-development site discharge.</p> <p>e. Stormwater run-off quality should seek to reduce annual loads of:</p> <p>i. total Nitrogen by 45%</p> <p>ii. total Phosphorus by 65%</p> <p>iii. total suspended solids by 85%.</p> <p>f. Develop design strategies and management measures to mitigate the impacts of climate change on key infrastructure and assets.</p>	<p>Stormwater requirements and opportunities for tree canopy and vegetation on the building can be addressed at the Development Application stage.</p>	
<p>Section 4 Built Form Guidelines</p> <p>4.1 Block Configuration and Site Planning</p>		
<p>Requirements</p> <p>a. Respond to the scale of surrounding buildings and definition of the street networks and public spaces.</p>	<p>The Proposed built form is larger in scale in comparison to surrounding buildings. However, the design incorporates a podium level to create a pedestrian scale experience in the public realm and allow for visual permeability through the site. The proportion and scale of the podium</p>	<p>No</p>

Actions	Proposed	Compliance
<p>b. Protect and enhance the rich, distinctive and valued character of the Corridor, particularly those elements that contribute to a sense of place and identity.</p> <p>c. Arrange building forms (including heights and massing) to reinforce the future desired structure and character of the area as set out in the relevant Precinct and Frame Area Guidelines.</p> <p>d. Ensure that buildings address the street, laneway, new through-site link or open space.</p> <p>e. Define street edges with low rise buildings or appropriately scaled podiums to create a pedestrian scale at street level. Sleeve larger buildings with finer grain active frontages to the street and public domain.</p> <p>f. Provide appropriate building separation to protect privacy and solar access to private and public property.</p> <p>g. Emphasise building corners on key streets to signify key intersections and enhance public domain legibility.</p> <p>h. Consider possible future development on adjoining sites.</p>	<p>level creates an active street frontage. The upper residential floors are setback from the boundaries to reduce impacts on the adjoining sites. The façade of the residential tower has been designed to lean away from Parramatta Road to protect the development from emitting noise whilst enhancing solar access to the site and adjoining properties.</p>	
<p>4.2 Building Massing, Scale and Building Articulation</p>		
<p>A. Building Massing and Scale Requirements</p> <p>a. Relate building height to street width and intended character.</p> <p>b. Buildings, or their individual elements, should be appropriately scaled to address and define the surrounding character.</p> <p>c. Reduce heights, increase setbacks or provide appropriate transitions to heritage buildings and places or sensitive uses.</p> <p>d. Changes in scale should be explored to create interest and enhance the relationship with the public domain.</p> <p>e. The GFA is to be no more than 75% of the building envelope.</p>	<p>Reference is to be made to the Urban Design Statement submitted with the Planning Proposal Application.</p> <p>It is acknowledged that the Planning Proposal is inconsistent with the requirements of this clause. However, this design is a result of working with site-specific constraints and opportunities. The architectural plans demonstrate the proposal has been tested and informed by a series of amendments to the mass of the initial concept.</p> <p>The proposal is capable of achieving a good aesthetic outcome. The conceptual massing and scale of the development minimises any adverse impacts upon adjoining development whilst providing a landmark development on a corner allotment.</p>	<p>No</p>



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Actions	Proposed	Compliance
<p>f. Floor plates above 8 storeys should be limited to 750m² GFA to create slender tower forms.</p> <p>g. The maximum building length should not exceed 60m.</p> <p>h. The maximum tower length should not exceed 45 metres and is to be considered in conjunction with tower floor plate controls.</p> <p>i. Identify and express street frontage heights with an upper level tower to create an appropriate street scale, sky views, and minimise wind down draft.</p> <p>B. Building Articulation Principles</p> <p>a. Apply the relevant building articulation principles illustrated in Figures 4.2 - 4.7, based on location.</p> <p>b. The maximum wall length without articulation is 45m.</p> <p>c. Articulate building facades in plan and elevation to reduce the appearance of building bulk and to express the elements of the building's architecture.</p> <p>d. Interpret and respond to the positive attributes of a Precinct or Frame Area by incorporating dominant patterns, textures and compositions into the built form.</p> <p>e. Provide a sense of address and visual interest from the street through the use of insets and projections that create interest and, where relevant, the appearance of finer grain buildings, however avoid recesses that undermine the safety of the public domain.</p> <p>f. Integrate ventilation louvres and car park entry doors into facade designs where located on street frontages.</p> <p>g. Buildings on corners should address both streets.</p>	<p>The Proposal has active street frontages to both site boundaries. Both street frontages have entries and exits to the building with awnings to provide shelter from the sun, wind and rain for pedestrians.</p>	
4.3 Setbacks and Street Frontage Heights		
Setbacks and Street Frontage Height Requirements	The street edges are reinforced through the materiality and the massing of the building oriented towards both street frontages.	Yes

Actions	Proposed	Compliance
<p>a. Provide building setbacks and street frontage heights in accordance with Table 4.1.</p> <p>b. Reinforce Street edges that contribute to the character of a historic or heritage conservation area.</p> <p>c. Design setbacks that will contribute positively to the pedestrian environment at street level.</p> <p>d. Retail shop fronts should reinforce the streetscape edge and integrate with footpath activity through transparent store front activity, where possible.</p>	<p>The building edges are made active with commercial spaces with openings at street level.</p> <p>The commercial frontage integrates with the surrounding footpath activity and provides transparent shop fronts to stimulate a vibrant hub.</p> <p>Landscaped edges are to be addressed in detail at the Development Application stage.</p>	
4.4 Transition Zones and Sensitive Interfaces		
<p>Transition Zone and Sensitive Interface Requirements</p> <p>a. Implement the transitions and sensitive interfaces in accordance with the Guidelines for individual Precincts and Frame Areas illustrated in Figures 4.8 - 4.13.</p> <p>b. Encourage the gradual stepping up of the built form at the interface of existing low rise development and proposed higher rise development.</p> <p>c. Encourage new development that is sensitive and complementary in scale and site location to surrounding properties of identified heritage and/or streetscape value, and which contributes positively to the desired character of the street or area concerned.</p>	<p>The gradual step up of the tower component of the design is approximately at the interface of the overall height of adjoining medium density buildings.</p>	Yes
4.5 Building Typologies		
<p>A. Residential Building Requirements</p> <p>a. Locate residential uses in accordance with the Precinct Plans.</p> <p>b. Provide a minimum floor to floor height of 3.1 metres.</p> <p>c. Ensure ground floor dwellings have a primary street address or are oriented to the public domain and have clear legible entries.</p> <p>d. Comply with the Apartment Design Guide (if relevant).</p>	<p>Minimum floor to floor heights can be addressed at the Development Application stage.</p> <p>The ground and upper floor levels of the building are oriented towards the street and address the public domain. Passive surveillance and activation is provided in the podium levels.</p> <p>An urban design statement addressing the ADG is submitted with this Planning Proposal Application.</p>	No



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Actions	Proposed	Compliance
<p>B. Commercial Building Requirements</p> <p>a. Locate commercial uses in accordance with the Precinct Plans.</p> <p>b. Provide a minimum floor to floor height of 4.0 metres.</p> <p>c. Provide legible entry/ lobby areas accessed from a public street and address streets to provide surveillance to increase safety and activation of streets.</p> <p>d. Ground floor tenancies and building entry lobbies are to have entries and ground floor levels at the same level as the adjacent footpath or public domain.</p> <p>C. Mixed Use Building Requirements</p> <p>a. Provide a range of appropriately sized and configured tenancies that meet commercial or market needs.</p> <p>b. Incorporate non-retail uses such as supermarkets, gymnasiums, child care centres, community facilities and medical suites that service the local residential and worker population.</p> <p>c. Ensure the location of ground floor uses either activates or provides surveillance to the public domain.</p> <p>d. Create clear legible entries for each use.</p> <p>D. Industrial and Employment Building Requirements</p> <p>a. Locate office components on main road frontages.</p> <p>b. Use high quality materials and an appropriate colour palette where buildings are visible from the public domain and to add visual interest.</p> <p>c. Locate service entries and loading on secondary streets.</p> <p>d. Provide landscape setbacks on primary streets.</p>	<p>Access to the building is at grade level and further details can be addressed at the Development Application stage.</p> <p>The Proposal accommodates a range of flexible spaces that can be rented to a range of uses. Building materials and colour schemes are to be addressed at the Development Application stage.</p>	
4.6 Active and Commercial Frontages		
<p>Active and Commercial Frontage Requirements</p> <p>a. Locate Active Frontages and Commercial Frontage on streets and fronting open space, urban plaza</p>	<p>The Proposal provides building frontages to Parramatta and Marlborough Roads. The commercial frontages will reactivate the Parramatta Corridor. Building entries are clearly defined with awnings and landscaping.</p>	Yes

Actions	Proposed	Compliance
<p>and public domain generally in accordance with the Guidelines for the relevant Precinct and Frame Area.</p> <p>b. Create a fine grain of Active and Commercial Frontages to ensure an integrated street edge and reduce building massing.</p> <p>c. Encourage ground floor activities to spill out into the public domain to create a vibrant streetscape and promote a sense of community.</p> <p>d. Screen large retail tenancies by smaller tenancies for greater street activation and retail variety where appropriate.</p> <p>e. Provide clearly defined and visible building entries which directly address the street.</p> <p>f. Provide awnings or colonnades for weather protection and shade along active frontages.</p>		
4.7 Building Entries and Fencing		
<p>Building Entry and Fencing Requirements</p> <p>a. Accentuate building entries through signage, street numbers and landscaping.</p> <p>b. Achieve a fine grain of entries along streets to reinforce activation, movement in and out of buildings, and for multiple 'eyes on the street'.</p> <p>c. Ground floor dwellings should be accessed from the street, where possible.</p> <p>d. Avoid car parking entries and loading docks on main streets. The location and widths of any services, infrastructure and car park entries on Active Frontages must be minimised.</p> <p>e. Where possible, use low level, transparent or partially open fencing is proposed.</p> <p>f. Front fencing should respect existing character or contribute to the future desired character.</p>	<p>Building entry and fencing is to be addressed at the Development application stage.</p>	Yes
4.8 Amenity		



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Actions	Proposed	Compliance
<p>A. View Requirements</p> <p>a. Protect significant views to and from public places.</p> <p>b. Configure built form to enhance or frame views to significant places or elements, or support legibility of the area.</p> <p>c. Buildings should not impede key views from the public domain to important public places, parks, heritage buildings and monuments.</p>	<p>The building has been designed to maximise view of the Sydney skylight whilst protecting the views to and from the surrounding buildings.</p> <p>A view analysis would be provided with the Application.</p>	Yes
<p>B. Shadowing and Solar Access Requirements</p> <p>a. Orientate taller elements north-south to minimise overshadowing.</p> <p>b. Manage height of east-west buildings to allow solar access to courtyard spaces and adjoining open space and roads.</p> <p>c. Maximise direct solar access to adjoining properties.</p> <p>d. Minimise shadowing of public and private open space.</p>	<p>The building has been designed to minimise overshadowing to adjoining properties and allow for adequate sunlight to adjoining properties. The most affected neighbouring property would receive a minimum of 2 hours of direct sunlight to internal area of the building.</p>	Yes
<p>C. Visual and Acoustic Amenity Requirements</p> <p>a. Orient and design development to optimise visual and acoustic privacy between buildings.</p> <p>b. Configure and landscape internal courtyards to optimise visual privacy whilst also allowing passive surveillance opportunities.</p> <p>c. Attenuate noise impacts between residential and non-residential components of mixed-use development.</p> <p>d. Employ design measures to minimize loss of privacy.</p>	<p>The building has been designed and oriented to minimise privacy impacts to adjoining buildings.</p> <p>Privacy measures are incorporated into the balconies to reduce and minimise overlooking to adjoining properties.</p> <p>Communal courtyard areas include landscaping to optimise visual privacy.</p> <p>The residential tower has been designed away from Parramatta Road to reduce noise into the building.</p> <p>Acoustic measures between apartments are to be addressed at the Development Application stage.</p>	Yes
<p>D. Air and Noise Quality Requirements</p> <p>a. Development on busy roads (an annual average daily traffic volume of more than 40,000 vehicles) is to consider the provisions of the State Environmental Planning Policy (Infrastructure) 2007 and Development Near Rail Corridors and Busy Roads Interim Guidelines.</p>	<p>Noise and air quality requirements are to be addressed at the Development Application stage.</p>	Yes

Actions	Proposed	Compliance
<p>b. Internal habitable rooms of dwellings are to be designed to achieve internal noise levels of no greater than 50dBA.</p> <p>c. Adopt the planning and design approaches and architectural treatments outlined in Figure 4.14 - 4.21 to minimise noise and air quality impacts from abutting busy roads, rail corridors and other noise-generating land uses.</p> <p>d. Consider the Indicative Floor Plans at Appendix A when designing development on busy roads.</p>		
4.9 Accessibility, Safety and Security		
<p>A. Accessibility Requirements</p> <p>a. Ensure that public buildings and spaces are designed to be universally accessible.</p> <p>b. Incorporate accessibility into the design of new buildings, public spaces and the public domain.</p> <p>c. Incorporate solutions which lead to an improvement in accessibility and freedom of choice offered to the user.</p> <p>d. Accommodate a wide range of ancillary aids and support interactive usage through open space and public domain.</p> <p>e. Consider changing lifestyles and changing use of space.</p> <p>f. Incorporate adaptable dwelling opportunities to cater for occupants with a disability.</p>	<p>Accessibility requirements are to be addressed at the Development Application stage.</p>	Yes
<p>B. Safety and Security Requirements</p> <p>a. Ensure the design for new public spaces, streets and new development minimises crime and supports community safety by applying Crime Prevention Through Environmental Design.</p> <p>b. (CPTED)'s Safer by Design Guidelines.</p> <p>c. Encourage passive surveillance of streets and other public places.</p>	<p>Safety and security is to be addressed at the Development Application stage.</p>	Yes



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Actions	Proposed	Compliance
<p>d. Ensure ground floor uses to buildings edging public space are predominantly active.</p> <p>e. Minimise opportunities for concealment or entrapment by removing or illuminating alcoves, or designing alcoves with splayed edges.</p> <p>f. Maintain unobstructed sightlines between and around buildings wherever possible.</p> <p>g. Remove or redesign any physical features that are known to compromise safety and security.</p> <p>h. Improve the quality of lighting in streets, parks and other public spaces.</p> <p>i. Create landscapes and physical locations that channel and group pedestrians into target areas.</p> <p>4.10 Signage and Advertising</p> <p>Signage and Advertising Requirements</p> <p>a. Signage is to comply with the requirements of State Environmental Planning Policy No 64-Advertising and Signage.</p> <p>b. Encourage quality signage that contributes positively to the streetscape and creates a sense of place. Advertising signs should complement the design of buildings and the overall character of streets and Precincts and Frame Areas.</p> <p>c. The main facades of buildings from the first floor to the rooftop or parapet are to be uncluttered and generally free of signage.</p> <p>d. Freestanding signs are not to be located on the top of buildings and should not impact on the skyline when viewed from the street.</p> <p>e. Provide appropriate directional, informational and regulatory signage.</p> <p>f. Signage must relate to an approved use on the property/site.</p> <p>g. Incorporate clear signage for access and egress around public transport and public places.</p>	<p>Signage and advertising is to be addressed at the Development Application stage.</p>	<p>Yes</p>

Actions	Proposed	Compliance
<p>h. Signs painted on or applied to the roof of a building are not permitted.</p> <p>i. Despite any other requirements, existing signs that have heritage value must be retained where appropriate, preferably in their original location, or adaptively reused.</p>		
<p>Section 7 Homebush Guidelines</p> <p>7.3 Opportunities & Constraints</p>		
<p>. large land holdings, generally unfragmented land and limited strata titled properties</p> <p>. proximity to high amenity open space, recreation facilities and Sydney Olympic Park</p> <p>. potential to enhance existing recreational opportunities and linkages for active transport</p> <p>. access to the proposed Parramatta Light Rail</p> <p>. enhanced road connections for all modes of transport to increase accessibility to employment, recreation and cultural opportunities currently separated by riparian corridors and road/rail infrastructure</p> <p>. improved connectivity to the five Rail Stations bordering the Precinct at Concord West, North Strathfield, Flemington, Homebush and Strathfield</p> <p>. enhanced pedestrian connectivity and safety across Parramatta Road, the M4 Motorway and railway lines whilst improving connections to Sydney Markets and the Bakehouse Quarter</p> <p>. improved active transport access to regional recreation and open space facilities with a focus on connecting to the existing recreational routes around Olympic Park</p> <p>. reduced car dependency by lowering parking rates in areas with good access to public transport. The primary constraints and challenges are:</p> <p>. existing high traffic volumes on the strategic road network</p>	<p>Recreational opportunities are provided in the form of public ground level spaces, landscaped areas and a commercial arcade and rooftop commercial opportunities.</p> <p>The Proposal enhances connectivity to pedestrian pathways and public transport.</p> <p>The Proposal recognises the constraints of the locality that are low levels of existing residential areas in the area to support businesses. Therefore, the proposal provides high density housing opportunities to increase the local population thereby supporting existing and new local businesses</p> <p>The Proposal addresses the localities constraints of safety by increasing pedestrian connectivity and offering a through site link.</p> <p>The entry and exit to and from the development are off Marlborough Road thereby not impacting traffic flow along Parramatta Road.</p> <p>The development provides an adequate amount of off streetcar parking spaces for the residential and commercial components of the building.</p>	<p>Yes</p>



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Actions	Proposed	Compliance
<ul style="list-style-type: none"> . access barriers for all modes of transport created by major roads, the Rail lines and riparian corridors . low pedestrian connectivity and permeability within the Precinct . high parking demand and levels of on-street parking throughout the Precinct . fragmented communities within the Precinct. 		
7.4 Future Character and Identity		
Vision Sitting between Sydney's two main CBDs, Homebush can be transformed into an active and varied hub, blending higher density housing and a mix of different uses, supported by a network of green links and open spaces with walking access to four train stations.	The Proposal blends high density housing with commercial uses and offers an active hub to improve the street frontage to Parramatta Road and the wellbeing of the community.	Yes
Living and Working There Homebush will be a focus for high density housing, with a hub of activity between Homebush, North Strathfield, Concord West and Strathfield Stations. Both Parramatta Road and George Street will form main streets to build on the character of the Bakehouse Quarter and the curve of Parramatta Road. Taller residential buildings will mark the centre of activity at the Precinct's core. The network of streets to the north and west from here will be easy and safe to walk through, with medium-density housing and the green corridor of Powells Creek. The area around Flemington Markets will have a new employment and retail focus.	<p>The Proposal builds an active street frontage to Parramatta Road and provides new employment areas.</p> <p>As shown in figure 7.4 named Homebush structure plan in the PRCUT Planning and Design Guideline, the site is marked as Enterprise corridor. However, it is considered that the site has potential to provide additional housing opportunities and would assist in achieving housing targets whilst retaining employment generating development.</p> <p>The current density in the area is low and a higher density is required to support a sustainable local economy within Homebush.</p>	Yes
Delivering the Vision The vision can be realised by: building on the vibrancy and character of the Bakehouse Quarter delivering a high-quality open space network and improving the areas around the train stations planting trees and improving the environment along Parramatta Road	The Proposal delivers on the long-term vision for the Parramatta Road Corridor to be a vibrant and renewed area. The Proposal supports the plan to create new places for people along the corridor. It improves the pedestrian environment and activates the frontage to Parramatta Road. The development acknowledges the limited street parking in the area, and therefore provides basement car parking. Parking access is away from Parramatta Road.	Yes

Actions	Proposed	Compliance
ensuring the viability of shops and commercial uses along Parramatta Road addressing on-street parking along Parramatta Road minimising traffic congestion along Parramatta Road, including north-south connections boosting service frequency at Flemington, Homebush, Concord West and North Strathfield Stations addressing barriers such as the M4 Motorway and Concord Road managing flooding, noise and contamination constraints.		
7.5 Open Space, Linkages & Connections & Public Domain		
A. Open Space Requirements c. Provide new public open space areas on larger sites to increase the overall quantum of local open space in the Precinct. The indicative location and configuration of these open space areas is shown in Figure 7.5 and to be determined as part of a future planning proposal(s).	New public open spaces are provided as part of the development.	Yes
Linkage and Connection Requirements a. Break up long blocks with new lanes and high-quality pedestrian prioritised links, where possible.	The concept design of the Planning Proposal provides a through site link to connect to surrounding pedestrian pathways.	Yes
Public Domain Requirements Provide the recommended building setbacks along Parramatta Road to facilitate tree planting, landscaping, and public domain improvements.	<p>The design of the building incorporates setbacks from the boundaries.</p> <p>Corridor requirements including the 6-metre green edge setback is to be addressed at the Development Application stage.</p>	No
7.6 Street Function & Precinct Transport		
Street Function Requirements Parramatta Road, Homebush Bay Drive and Concord Road will function as Movement Corridors. George Street will function as a Place for People and will also be a high pedestrian activity zone. All remaining roads, including Underwood Road and Pomeroy Street, will perform a Local Street function.	Figure 7.6 named Homebush Street Function in the PRCUT Planning and Design Guideline, shows movement corridors along the northern and eastern boundaries of the site. The Planning Proposal retains the existing movement corridors and provides a through site link to connect to these corridors.	Yes
Precinct Transport Requirements a. Implement the specific objectives and recommendations of the	The PRCUT Precinct Transport Report requires Parramatta Road to continue to have a relatively high movement function providing access	No

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Actions	Proposed	Compliance
Parramatta Road Corridor Precinct Transport Report, September 2016. b. Refer to additional Corridor-wide Guidelines at Section 3.	through the Precinct. And discusses that the change of land use will activate frontages and provide opportunities for mixed use development. In this case the Proposal activates both street frontages with commercial uses along the northern and eastern boundaries. The Planning Proposal provides the following spaces as per table 40. 0.9 space per 1 bedroom unit = 27 1.2 space per 2-bedroom unit = 108 1.5 space per 3-bedroom unit = 45 0.2 space per 7 units (visitor) = 5 70 maximum spaces /sqm GFA 2388sqm = 35 50 maximum spaces /sqm GFA 207sqm = 4 No spaces have been specified for industrial land uses however this is to be addressed at the Development Application stage. Details on shared parking rates and facilities is to be addressed at the Development Application stage. As section 3 requires the site to have a green edge and commercial frontage. This is to be addressed at the Development Application stage.	
7.7 Fine Grain		
Fine Grain Requirements c. Setback residential development from the street front in alignment with neighbouring dwellings to provide the opportunity for a front garden and landscaping to address the street.	Setbacks from the street frontage for the residential tower is considered adequate. This is due to the site been located on a prominent corner position. Adjoining medium density buildings are built to the front boundary with reduced setbacks. Facade treatment to create variation and noise mitigation materials can be addressed at the Development Application stage. Landscaping and a green edge area can be considered at the Development Application stage.	No
7.8 Green Edge Setbacks, Transitions & Activity & Commercial Zones		
A. Setback and Transition Requirements a. Green Edge setbacks are to be provided in the locations illustrated in Figure 7.7. b. Provide a minimum 6 metre green edge setback to Parramatta Road to provide wider footpaths and facilitate street tree planting.	A 6-metre green edge setback and toher requirements are to be addressed at the Development Application stage. The consistent with the typical section for Parramatta Road and minimum setbacks to Marlborough Street and a built form transitions as required by this control and demonstrated in the figures of the PRCUT Planning and Design Guidelines.	No

Actions	Proposed	Compliance
c. Demonstrate consistency with the typical section for Parramatta Road as illustrated in Figure 7.11. e. Provide the minimum required setbacks along all other streets in the Precinct and Frame Area as identified in Section 4. f. Provide a built form transition consistent with Figure 7.8 to new open space to ensure that at least 50% of the open space will receive a minimum of 3 hour direct solar access between 11 am and 3pm on 21 June.	In the architectural plans submitted with the Planning Proposal a cross section projecting the massing for the site is shown in comparison to other buildings in the context area. This emphasises the immediate area is undergoing change with high density buildings and therefore the proposal is considered acceptable. In addition as highlighted in the Strathfield Local Housing Strategy that apartments are to be the most common type of accommodation in area. t It is to be noted that a typical section along Parramatta Road and Marlborough Road demonstrates medium density buildings with minimal transitions and setbacks from the boundaries. The Proposal has been designed to retain adequate solar access to adjoining properties and minimise adverse impacts.	
B. Activity and Commercial Zone Requirements a. Active and Commercial Frontages are to be provided in the locations illustrated in Figure 7.7. b. The ground floor level of Active and Commercial Frontages is to match the street level. c. Consistent paving, street furniture, signage, planting and lighting should be provided along Active and Commercial Frontages.	The Planning proposal provides an active and commercial frontage to Parramatta Road. Paving, street furniture, planting and lighting is to be detailed at the Development Application stage.	Yes
7.9 Recommended Planning Controls		
A. Land Use The recommended land use zones to implement the vision for the Homebush Precinct and Frame Area are shown in Figure 7.12. The recommended zones are consistent with the Standard Instrument (Local Environmental Plans) Order 2006, required to be applied to all LEPs. The permissible uses in the zones will be determined by Strathfield Council and City of Canada Bay Council. B6 Enterprise Corridor	Figure 7.12 named Homebush Recommended Land Uses shows the site as B6 Enterprise Corridor. Under the SLEP 2012 the site is zoned B6 Enterprise Corridor. The Planning proposal retains the existing land use to the front of the site and seeks to include a B4 mixed use zone. Figure 7.12 in the PRCUT Planning and Design Guidelines shows the lot on the corner of Parramatta Road and Kanoona Avenue to be the last lot with a B4 mixed use zone on the western portion of the corridor. However, it should be noted that the Homebush area is undergoing significant change with new recent residential development surrounding the subject site. Furthermore, the land use zones surrounding the subject site are zoned R3 Medium Density Residential which emphasises the suitability of the location of the site for a B6 and B4 zone.	No



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Actions	Proposed	Compliance
	The subject sites prominent corner position provides an opportunity to showcase the transition in development within the locality. The commercial frontage and residential apartments to the rear would support the changing character of the area and connect with residential development to the rear of the subject site. The site has potential to provide additional housing opportunities and will have a significant impact on achieving Council's housing targets whilst retaining employment generating development. The planning proposal would complement the surrounding development and can provide a development that will not have adverse impacts upon the adjoining properties which is discussed in the Urban Design report.	
B. Building Heights The recommended maximum building heights are shown in Figure 7.13. Site identified as P - 17m.	A 60-metre height is proposed. Under the PRCUT Planning and Design guideline a maximum of 17m is identified for the subject site. Under the SLEP 2012 a maximum of 14m is identified for the subject site. It is to be noted that adjoining sites have been appropriately zoned R3 – Medium Density Residential with the construction of several residential flat buildings been constructed nearby and recently. It is considered that certain sites should accommodate increased density and growth if the site can do so. In this circumstance, the subject site is a large, consolidated site that has the capacity for redevelopment and the proposed development would be compatible with the surrounding mixed-use character of the area. Furthermore, by providing a higher density residential development that would suit the expected future needs of the LGA and subsequently put a downward pressure on the cost of housing. The Strathfield Local Housing Strategy discusses that high density housing will be the future delivery of housing in the area due to the area already been developed.	No
C. Densities The preferred floor space ratios (FSR) are shown in Figure 7.14. S1 – 1.5:1	4.05:1 FSR proposed. The PRCUT Planning and Design Guideline identifies the subject site as having a maximum FSR of 1.5:1. Under the SLEP 2012 the maximum FSR is 1.5:1 for the subject site. Reference is to be made to the modelling and economic assessment report submitted with this Planning Proposal.	No

Actions	Proposed	Compliance
	<p>The controls under the PRCUT and SLEP 2012 are in adequate as it does not provide a density that is consistent with the desired future character for the locality. The design modelling shown in the urban design report and analysis in the economic report show that additional housing can be accommodated whilst providing a design that offers residential amenity, streetscape improvements, employment land uses and public spaces.</p> <p>The Proposal seeks to increase the maximum FSR, and it is acknowledged that it is significantly higher than the existing controls under the SLEP 2012 and PRCUTs. However, the site is a large regular shaped allotment of land with large floor plates for employment land uses. The Proposal will provide an architecturally designed development that is consistent with surrounding land uses and replaces the existing detracting building. For the long-term vision of the PRCUT strategy to be realised in making the corridor a better place to live, work and visit the existing controls need to be revised to accommodate increased densities in a sustainable manner for the growing needs of the Homebush area.</p> <p>The PRCUT Planning and Design Guideline under section 7.4 Future Character and Identity has shown population growth projections in 2023 of 8,310 and in 2050 of 19,570, as well as dwelling growth projection in 2023 of 4,210 and in 2050 of 9,450 and job growth projections in 2023 of 5610 and in 2050 of 12,853. The Proposal ensures the viability of commercial uses along Parramatta Road. Furthermore, a higher density is required to support a sustainable local economy in the area.</p> <p>The need for new housing is shown in the figures and to support this growing need in the community, the proposed density is considered appropriate considering environmental, sustainable and economic outcomes. A site-specific density control should be provided to ensure that the future redevelopment of the site is consistent with the increased population growth and growth in dwellings.</p> <p>The PRCUT Planning and Design Guidelines show that the proposed indicative land use mix (additional), in terms of residential GFA for frame areas over the long term in 2050 will be 87,000 GFA.</p> <p>Considering housing needs, it is considered necessary that certain sites that are unique in terms of land size and consolidation, should accommodate increased growth and provide increased housing. This requires that the site is suitably zoned with an appropriate FSR and height to regulate an increased density. The subject site is an exceptional circumstance due to it being a large regular shaped site in single ownership and hence, available for immediate redevelopment.</p> <p>Therefore, the proposed residential development will facilitate a suitable strategic outcome consistent with strategic directions in the PRCUT Strategy.</p>	



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- 7.2.1.6 Greater Parramatta Interim Land and Infrastructure Implementation Plan July 2017 (interim Plan)

The following table provides an assessment of consistency against the Greater Parramatta Interim Land and Infrastructure Implementation Plan July 2017 (interim Plan) relevant to the Planning Proposal.

Table 8: Interim Plan

Objective	Comment	Consistency
<p>Quarter 4: Olympic Park Lifestyle Super Precinct</p> <p>The world-class sporting and event venues of Sydney Olympic Park to GPOP's east come alive when there are crowds of tens of thousands – that is, on major game days, at concerts and events. Sydney Olympic Park is GPOP's eastern economic anchor offering inner-city living in the Sydney Olympic Park Town Centre, Carter Street and Homebush Precincts.</p>	<p>The site is located within quarter 4. The Planning Proposal does not hinder or contradict the application of this vision for the quarter.</p>	Yes
<p>Draft West central District Plan jobs and Housing Targets</p> <p>Jobs Growth GPOP 60-70% increase in jobs</p> <p>Housing Growth GPOPO 86% increase in housing</p> <p>The Draft West Central District Plan also proposes an Affordable Rental Housing Target of 5-10% subject to viability for nominated urban renewal areas for very low- and low-income householder within GPOP.</p>	<p>The Planning Proposal will retain the B6 zone. A diverse range of uses will be provided in the concept-built form including retail, commercial spaces, and short-term accommodation on a commercial basis.</p>	Yes
Key Actions		
<p>Declare Greater Parramatta as a 'Priority Growth Area'</p> <p>Declare Greater Parramatta as a 'Priority Growth Area', reflecting its importance as a major economic opportunity for the West Central District and Greater Sydney</p>	<p>Figure 3 in the interim Plan identifies Homebush area to be progress as a Priority Precinct. The subject site is located within the Homebush Priority Precinct.</p>	Yes
<p>Commence New Priority Precinct</p> <p>Investigations Progress work on new Priority Precincts. • Commence planning for a world class health, education and research 'super' precinct at Westmead in conjunction with the Westmead Alliance. • Work with Land and Housing Corporation and City of Parramatta to rejuvenate and transform Tellopea into a vibrant neighbourhood which includes more social and affordable housing. • Commence planning investigations for Wentworthville, Burwood, Strathfield and Homebush precincts.</p>	<p>Figure 3 in the interim Plan identifies Homebush area to be progress as a Priority Precinct. The subject site is located within the Homebush Priority Precinct.</p>	
<p>Deliver Key Infrastructure</p>	<p>Figure 4 identifies potential infrastructure for Homebush Precinct to include existing road and</p>	Yes

Objective	Comment	Consistency
<p>Facilitate the delivery of key infrastructure to support growth in the priority growth area. This includes the preparation of a Special Infrastructure Contribution (SIC) to fund State and regional infrastructure including roads and public transport, community facilities, health facilities, schools, parks and other public spaces and identification of additional projects for potential Housing Acceleration (HAF) funding.</p>	<p>intersection upgrades, regional cycleways and upgrade to existing schools.</p> <p>The Planning Proposal would contribute by providing bike storage and parking facilities and provide a through site link for pedestrian safety and upgrade the façade of site fronting Parramatta Road. Contributions for infrastructure would be required to be paid as part of the Planning Proposal and Development Application process.</p>	
<p>Promote Regional Connectivity and Activity</p> <p>Enhance the priority growth area's open spaces, walkways and cycleways by providing funding through the Special Infrastructure Contribution and Precinct Support Scheme for more open space along the Parramatta River for people to enjoy, as well as improving</p>	<p>The Planning Proposal improves walkability and connectivity to support the community through incorporating open space along the site's eastern boundary as part of open space and a movement corridor in the form of a thorough site link to improve pedestrian safety between Parramatta Road and Marlborough Road.</p>	Yes
Implementation and Next Steps		
<p>Local Planning Direction</p> <p>To ensure future land use change is consistent with the interim Plan, a local planning direction (Section 117 Direction) will be implemented. The local planning direction requires that future amendments to any local or state planning instruments are consistent with the interim Plan.</p>	<p>The Planning Proposal is consistent with the Interim Plan which provide new opportunities for retail, office and short-term accommodation on a commercial basis for a more active and vibrant frontage to Parramatta Road.</p>	
<p>Planning Pathways</p> <p>The interim Plan identifies priorities for the next 12 months in a number of precincts. Within these precincts, planning pathways are being pursued to effect change such as amendments to the zoning, height and floor space ratio. This can occur via a State Government led, local council led or private proponent initiated process.</p>	<p>The site is located within Homebush which has been declared a Priority Precinct. Potential Infrastructure for Homebush has been identified as existing road and intersection upgrades, regional cycleways, and upgrades to existing schools. Contributions for infrastructure would be required to be paid as part of the Planning Proposal and Development Application process.</p>	Yes
<p>Priority Precincts</p> <p>Priority Precincts are areas that the Minister for Planning considers to have a wider social, economic or environmental significance to the community or have redevelopment potential on a scale that is important in implementing the State's planning objectives. Precincts are larger areas made up of multiple land holdings that are capable of delivering significant additional growth and require coordination from State and local government to realise their potential. Wentworthville, Westmead, Tellopea, Burwood, Strathfield and Homebush are identified as Priority Precincts in this interim Plan</p>	<p>The Planning Proposal provides redevelopment opportunity for a locality that has been identified in the Interim Plan as undergoing significant transformation over the next 20 years. The Planning Proposal does not contradict or hinder the application of this clause.</p>	Yes
<p>Local Planning Proposals</p> <p>Local planning proposals can be prepared by landowners to amend the zoning and/or planning controls that apply to their land. Planning proposals will need to be generally consistent with the interim Plan.</p>	<p>This Planning Proposal seeks to amend the planning controls that apply to the site. The Planning Proposal provides urban renewal, activation and job opportunities as identified key actions for the redevelopment of the Homebush Priority area. The Planning Proposal does not contradict or hinder the application of the interim Plan.</p>	Yes

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7.2.2 Q4. Is the planning proposal consistent with a council’s local strategy or other local strategic plan?

- 7.2.2.1 Strathfield 2040 – Local Strategic Planning Statement

The Strathfield 2040 Local Strategic Planning Statement (LSPS) defines Councils long term vision for the future character and land use and infrastructure provision in the Strathfield Local Government Area. The LSPS connects State and Local strategic plans with the planning controls to guide future character of the LGA.

Table 9: Strathfield 2040 – LSPS

Themes	Proposed	Compliance
Infrastructure and Collaboration		
Planning Priority 1 Collaboration ensures growth is sustained by well-planned and accessible infrastructure	A development uplift for the site is proposed. The development would support housing targets and provide housing for the projected population growth. The development fronts the Parramatta Road Corridor and therefore would provide new services for the community and a high-quality street frontage to reinvigorate the Corridor. The proposal provides diversity in apartment size to meet community demand and a portion of the apartments will be allocated as affordable housing. Furthermore, provisions for contributions to infrastructure would be allocated at the Planning Proposal and Development Application stages. Sustainability and water recycling systems are to be addressed at the Development Application stage. As part of the Planning Proposal process the proponent would collaborate with various Government agencies including Transport for NSW to ensure the development supports and works well with future infrastructure and the proposed Strathfield Connector located in close proximity to the subject site.	Yes
Planning Priority 2 Connected, integrated, efficient and accessible transport options connect Strathfield’s people to their neighbourhoods, centres, jobs, community and recreation areas	Map 4 Active Transport identifies a Walking Route along the southwest boundary of the subject site and a bicycle network near the site. In this regard, the proposal seeks to support these future routes via providing end facilities on site, bike parking facilities and pathways to connect to proposed routes. Requirements of this control relating to car and ride sharing facilities, emerging mobility options, electric charging stations and residential parking spaces are to be addressed in a future Development Application. The Planning Proposal provides a through site link for pedestrians to connect to surrounding networks and to facilitate a safer pedestrian crossing.	Yes
Planning Priority 3 Freight corridors and local servicing meets needs with minimal impact on neighbourhoods and centres	Noise mitigation strategies for the residential apartments are to be addressed at the Development Application stage. The Proposed residential land use will be consistent with the immediate surrounding land uses which consist of medium density residential buildings, commercial land uses and dwelling houses.	Yes
Liveability		
Planning Priority 5 Well located and designed social and recreation infrastructure connect us and	The Planning Proposal provides public and recreational space to support community. Flexible commercial spaces are in the podium level of the Proposal and provide opportunities for artistic and	Yes

Themes	Proposed	Compliance
supports healthy and active lifestyles for people of all ages and abilities	cultural expression as well as space for the community to come together.	
Planning Priority 6 Development balances growth with best practice planning and infrastructure provision to deliver sustainable, liveable and well-designed neighbourhoods	The Proposal has been designed to provide greenspaces and landscaped areas. The Proposed building transitions in design are considered adequate and are demonstrated in the modelling. The architectural plans demonstrate the proposal retains solar access to the adjoining lots, pedestrian safety is enhanced, increased rear setbacks ensure privacy, natural lighting and ventilation to all apartments is maximised and noise from arterial roads are mitigated.	Yes
Planning Priority 7 Quality urban design complements all heritage and neighbourhood character	A views analysis is to be submitted with the Planning proposal. Urban design outcomes are addressed in the Urban Design statement.	Yes
Planning Priority 8 Diverse housing options provide for people at all lifecycles and connects them to jobs, recreation, services and transport	Action 51 sets a method to achieve this Planning priority. This is to be achieved through delivering high density residential development to Parramatta Road Corridor. In this regard, the Planning Proposal seeks to include the B4 zone to the rear of the subject site. The amendment to the LEP would allow the site to develop new residential apartments to reactivate Homebush West. The Proposal seeks to increase the density of the site to provide new housing opportunities and affordable housing for the community. The PR/CUT Strategy has been considered as part of the design for this Proposal. The Proposal provides a range of apartments in varied sizes to meet the changing needs of households and age structures.	Yes
Productivity		
Planning Priority 9 Our centres are easy to get around, deliver activated social spaces, opportunities to connect, nearby housing and local employment opportunities	The Planning proposal provides commercial spaces on the ground and upper ground floor levels to reinvigorate the Parramatta Road Corridor. The Proposed built form provides new places for people. The design enhances the public domain area to improve the liveability and connectivity along the Parramatta Road Corridor. The Proposal includes commercial spaces in the form of a rooftop bar in the rooftop level this will assist in creating a night-time local economy. Further opportunities such as markets and food streets can be considered in a future Development Application. These initiatives would support Action 68 to create a vibrant street life and meeting places.	Yes



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Themes	Proposed	Compliance
	Action 63 intends to introduce land use provisions to enable tourist and visitor accommodation close to the Sydney Markets and in the GPOP area. However, an economic report is submitted with the Planning Proposal and highlights the need for housing and less demand for industrial land use in the local area.	
Planning Priority 10 Industrial land and precincts deliver District and local urban services and provide activated spaces with minimal impact on neighbourhoods	Action 72 sets to address this Planning Priority. The Action makes provision in Councils LEP 2021 to safeguard industrial and urban service land from conversion to residential development and/or mixed use. Objective 23 under the A Metropolis of Three Cities, states industrial and urban services land refers to land identified in the NSW DPIE Employment Lands Development Monitor and includes...some business zoned land which permits a number of industrial uses. In this regard, this includes light industry which is permitted with consent under the B6 enterprise corridor zone. Although the site is zoned B6 the zone includes a range of permissible uses besides industrial uses. The economic report attached with the Planning proposal demonstrates the site is to be viable with a residential component in the development. Therefore, an amendment is sought to include a B4 zone to allow the site to be redeveloped and thereby enacting upon the PRCUT Strategy and realising a new improved Parramatta Road Corridor. This would support NSW Government's objectives to create more housing, activating underutilised areas, creating a night-time economy, public domain improvements and creating healthy and safe communities. The Proposed combination of B7 and B4 zoning for the site provides an improved interface between the surrounding R3 sites.	No
Planning Priority 11 Strathfield's unique experiences provide a central meeting point for Strathfield residents and visitors	The Proposal includes place-based initiatives to attract visitors and improve visitor experience to the locality. In addition, this will support neighbouring commercial areas and residential apartments.	Yes
Sustainability		
Planning Priority 15 Quality open spaces and thriving green corridors offset the impacts of growth across the LGA	Map 9 named tree canopy, indicates the subject site has less than 10% tree canopy. The Proposal seeks to provide new public spaces and landscaped areas. Ground cover landscaping, shrubs and tree planting can be addressed in detail in at the Development Application stage.	Yes
Planning Priority 16 A healthy built environment delivers sustainable and resource efficient outcomes	BASIX, water and energy targets are to be addressed at the development Application stage. Renewable energy, water and energy efficient mechanisms and recycling facilities for the development are to be addressed at the Development Application stage. Map 10 named Urban heat, indicates the subject site is to be 6-9 degrees warmer and map 11 indicates the site is to be at index 2 of the heat vulnerability index. In this regard, sustainability actions to reduce the heat island effect will be addressed at the Development Application stage.	Yes
Planning Priority 17 Hazards are minimised and infrastructure supports resiliency	Map 11 named hazards and risks, indicates the subject site is to be in the 120metre pipeline buffer zone. Urban development is to be managed to mitigate natural and urban hazards and will be consulted with qualified specialist during the Development Application stage.	Yes

- 7.2.2.2 Strathfield Local Housing Strategy (LHS) September 2020

The Proposal is consistent with the Housing Vision in the LHS whereby housing choice in a quality designed building for its growing population would be provided. Furthermore, the site is located within an area with high accessibility to public transport and services and the proposed commercial spaces would bring new local jobs for the residents of the residential apartments.

The LHS indicates that in its review of policy documents applicable to the Local Government Area, there would be an increase of approximately 3650 new dwellings to be delivered between 2016 and 2021. The LHS also mentions that Planning Proposals subject to the PRCUT may not proceed until a traffic study for the area is completed. The LHS also confirms that the Local Strategic Planning Statement identifies the Parramatta Road Corridor as an opportunity for residential intensification and that industrial land characteristics within the Local Government Area are highly valued. In this regard, the Planning Proposal will contribute to the housing targets for the local area and will support the Local Strategic Planning Statement with residential intensification to the rear of the site which will complement the adjoining medium density residential buildings. The Planning Proposal retains to the front the site the B6 Enterprise Corridor and provides in the podium level flexible spaces that can be used for a range of purposes as community demands change.

The LHS discusses that there is likely to be a significant change in the dwelling mix in the Local Government Area in the future. Figure 26 in the LHS report shows that in 2036 apartments will be the most widely type of dwelling mix in the area. Figure 27 in the LHS also shows the projected new dwellings in the Strathfield Local Government Area will be apartments. Table 22 in the LHS shows that the demands for apartment dwellings will be at 19,008 in 2036. As these figure and table show that demand for apartments is expected to continue to move upwards and apartments is to become the most common type of accommodation in the Local Government Area. In this regard, the Planning Proposal is consistent with the findings in the LHS and would deliver new housing opportunities in the form of residential apartments for the Local Government Area.

The LHS outlines that the projected population growth and household sizes area to change for the Local Government Area. The project population in 2035 is 80,729 increasing from 71,845 in 2031 and the number of dwellings is to increase to 30,805 in 2036 from 27,195 in 2031. Therefore, more dwellings are required to house the growing population in the area and in this regard the Planning Proposal delivers on this matter.

The LHS discusses that in the 2016 almost half of all dwellings in the Strathfield Local Government Area were in residential flat buildings. Therefore, the LHS anticipates that it is likely that high density housing will be the primary source of future dwelling delivery in the area as the Local Government Area is almost completely developed. The LHS states that high density housing is primarily anticipated along Parramatta Road. In this regard, the Planning Proposal is consistent with these findings in that a high-density development would be provided to deliver dwelling targets for the area.

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The LHS also discusses flexibility in Council DCP controls and acknowledges that these controls assist in preserving certain characteristics traits in the locality. However, the controls for medium density development are stricter than dwelling houses. The LHS also states that these site specific DCP controls make certain types of otherwise permissible development unachievable due to technical non-compliance. The LHS also notes that the character of the low-density areas of Strathfield may shift as existing housing stock is replaced with complying development housing that does not align with the DCPs vision. The LHS recommended that less prescriptive controls would allow for future developers to bring more innovative housing products to the market. In this regard the Planning Proposal delivers an innovative design that will improve the amenity of the local area and bring a restored streetscape presentation along the Corridor.

7.2.3 Q5. Is the planning proposal consistent with applicable State Environmental Planning Policies?

- 7.2.3.1 State Environmental Planning Policies

State Environmental Planning Policy (SEPP)	Comment	Consistency
SEPP (Building Sustainability Index: BASIX) 2004	The Planning Proposal does not impede the application of this SEPP. Any future detailed Development Application is to demonstrate compliance with the provisions of this SEPP.	Yes
SEPP (Affordable Rental Housing) 2009	The Planning Proposal is consistent with the aims of this SEPP. The Planning Proposal dedicates 5% affordable housing by way of a VPA to be negotiated with Council later. This will increase the supply of affordable housing consistent with State Policy.	Yes
SEPP No. 70 – Affordable Housing (Revised Schemes)	The Planning Proposal is consistent with the aims of this SEPP. The Planning Proposal dedicates 5% affordable housing by way of a VPA to be negotiated with Council later. This will increase the supply of affordable housing consistent with State Policy.	Yes
SEPP No. 65 – Design Quality of Residential Apartment Development	An urban design statement is submitted with this Planning Proposal. The statement submitted addresses design options which respond to provisions of this SEPP.	Yes
SEPP 55 – Remediation of Land	A detailed site investigation report (Neo Consulting 2021) is submitted with the Planning Proposal. The report indicates recommendations for action before the site can be determined suitable for the proposal. Future redevelopment/construction of the site will need to address the requirements of this SEPP, however, the site can be made suitable for the proposed amendment to the land use zone.	No
SEPP (Infrastructure) 2007	As part of Clause 104 Traffic – Generating development of this SEPP, consultation with Transport for NSW will be required for the future detailed Development Application. A traffic impact assessment report is submitted with the Planning Proposal.	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	The site forms part of the Parramatta Road Corridor and currently accommodates two attached light industrial warehouse buildings. There is no significant trees or vegetation that will be impacted by this Planning Proposal.	Yes

7.2.4 Q6. Is the planning proposal consistent with applicable Ministerial Directions (s.9.1 directions)?

7.2.4.1 Ministerial Directions

The following table provides an assessment of consistency against the s 9.1 directions relevant to the Planning Proposal.

Table 12: Ministerial Directions

Direction and Objective	Comment	Consistency
1. Employment and Resources		
1.1 Business and Industrial Zones Objectives (1) The objectives of this direction are to: (a) encourage employment growth in suitable locations, (b) protect employment land in business and industrial zones, and (c) support the viability of identified centres.	This Planning Proposal does not seek to amend the existing zone of this land and retains the B6 Enterprise Corridor zone. This will ensure the retention of employment generating development. The Planning Proposal seeks to provide a variety of employment uses, including retail, commercial, and serviced apartments. Serviced apartments are permissible development under the B6 Enterprise Corridor zone. The Planning Proposal will allow for new purpose-built form that would be attractive to future occupants, maintain an active streetscape to Parramatta Road and complement the surrounding development.	Yes
1.2-1.5	N/A	N/A
2. Environment and Heritage		
2.1-2.2	N/A	N/A
2.3 Heritage Conservation Objective (1) The objective of this direction is to conserve items, areas, objects and places of environmental heritage significance and indigenous heritage significance.	The site is not affected by any heritage matters. The proposal raises no issues in relation to heritage values of the LGA.	Yes
2.4-2.5	N/A	N/A
2.6 Remediation of Contaminated Land Objective (1) The objective of this direction is to reduce the risk of harm to human health and the environment by ensuring that contamination and remediation are considered by planning proposal authorities.	A detailed site investigation report (Neo Consulting 2021) is submitted with the Planning Proposal. The report indicates recommendations for action before the site can be determined suitable for the proposal. Future redevelopment of the site will need to address the requirements of the report.	
3. Housing, Infrastructure and Urban Development		
3.1 Residential Zones	N/A the site is not affected by an existing or proposed residential zone	
3.2 – 3.3		
3.4 Integrating Land Use and Transport	The proposal is consistent with this direction, providing density close to transport and improving the range of local jobs which can be accessed by walking and cycling. The site supports the local centres (Flemington, Strathfield and Sydney Olympic Park).	Yes

330-332 parramatta rd, homebush west

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7. part 3 – justification

Direction and Objective	Comment	Consistency
3.5	N/A The Planning Proposal seeks to increase the maximum height of building control applicable to the site. The Planning proposal seeks consent for a building envelope (60 metres in height) which is located below the outer horizontal surface of 1.56m AHD applicable to the site. Should consultation be required with the operator of Sydney Airport, this can be undertaken as a condition of Gateway Determination. This can form part of the final Planning Proposal documentation.	N/A
3.6 – 3.7	N/A	N/A
4. Hazard and Risk		
4.1 Acid Sulfate Soils Objective (1) The objective of this direction is to avoid significant adverse environmental impacts from the use of land that has a probability of containing acid sulfate soils.	This direction would be addressed with the future development application. The site is identified as being affected by Class 5 Acid Sulfate Soils.	Yes
4.2	N/A	N/A
4.3 Flood Prone Land Objectives (1) The objectives of this direction are: (a) to ensure that development of flood prone land is consistent with the NSW Government's Flood Prone Land Policy and the principles of the Floodplain Development Manual 2005. (b) to ensure that the provisions of a local environmental plan that apply to flood prone land are commensurate with flood behaviour and include consideration of the potential flood impacts on and off the subject land.	N/A The site is not mapped as flood prone.	N/A
4.4 Planning for Bushfire Protection Objectives	N/A The site is not mapped as bushfire prone.	N/A

Direction and Objective	Comment	Consistency
(1) The objectives of this direction are: (a) to protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and (b) to encourage sound management of bush fire prone areas.		
5. Regional Planning		
5.1-5.9	N/A	N/A
5.10 Implementation of Regional Plans	Consistency with relevant regional plan is achieved as outlined in detail in Section 7.2.1 Question 3 of this report.	Yes
5.11	N/A	N/A
6. Local Plan Making		
6.1 Approval and Referral Requirements Objective (1) The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of development.	The Planning Proposal does not generate the need for additional concurrence, consultation or referral of Development Applications to a Minister or Public Authority.	Yes
6.2 Reserving Land for Public Purposes	N/A	N/A
6.3 Site Specific Provisions	It is considered that the proposal is consistent with this direction as the provisions of the Planning Proposal will be facilitated by amending the relevant height and FSR maps instead of a site-specific provision within the LEP to vary development standards applying to a site.	
7. Metropolitan Planning		
7.1 -7.2	N/A	N/A
7.3 Parramatta Road Corridor Urban Transformation Strategy Objectives (1) The objectives of this Direction are to: (a) facilitate development within the Parramatta Road Corridor that is consistent with the Parramatta Road Corridor Urban Transformation Strategy (November, 2016), the Parramatta	7.3 1a. The Planning Proposal is assessed against the PRCUTS Strategy and Implementation Plan in the Appendix. 1b. The Planning Proposal provides a mix of dwelling sizes which consist of 30 x 1-bedroom units, 90 x 2 bedroom, and 30 x 3 bedroom. As outlined in the Strathfield LSPS, the Strathfield LGA has one of the	Yes

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7. part 3 – justification

Direction and Objective	Comment	Consistency
Road Corridor Implementation Tool Kit and the Parramatta Road Corridor Urban Transformation Implementation Update 2021, (b) provide a diversity of jobs and housing to meet the needs of a broad cross-section of the community, and (c) guide the incremental transformation of the Parramatta Road Corridor in line with the delivery of necessary infrastructure.	largest young worker populations than Greater Sydney with the dominant age group been of 25-34years old. According to the Strathfield Local Housing Strategy 2020 there will be an increase in the projected population and dwelling numbers for the Strathfield LGA. Hence, the Planning Proposal provides for the future population profile and facilitates a range of dwelling sizes including 1-bedroom apartments, and this size will likely be attractive to the 25–34-year age group. Furthermore, the Planning Proposal seeks to retain the existing B6 zone and provide on the podium level a mix of business activity. This will encourage the co-location of multiple uses in one building and provide a range of employment uses. The retention of the existing zone will contribute to the diversity of jobs for the community. 1 c. The Planning Proposal is assessed against the Out of Sequence checklist, under Part 3 Justification, Section A - need for the planning proposal, of this report.	
What a relevant planning authority must do if this Direction applies (4)A planning proposal that applies to land within the Parramatta Road Corridor must: (a)give effect to the objectives of this Direction, (b)be consistent with the Strategic Actions within the Parramatta Road Corridor Urban Transformation Strategy (November, 2016), (c)be consistent with the Parramatta Road Corridor Planning and Design Guidelines (November, 2016) and particularly the requirements set out in Section 3 Corridor-wide Guidelines and the relevant Precinct Guidelines, (d)be consistent with the staging and other identified thresholds for land use change identified in the Parramatta Road Corridor Implementation Plan 2016 – 2023 (November, 2016) and the Parramatta Road Corridor Urban Transformation Implementation Update 2021, as applicable, (e)contain a requirement that development is not permitted until land is adequately serviced (or arrangements satisfactory to the relevant planning authority, or other appropriate authority, have been made to service it) consistent with the Parramatta Road Corridor	4a. Refer to above 7.3. 4b. The Planning Proposal is assessed against the strategic actions within the PRCUT Strategy the appendix. 4c. The Planning Proposal is assessed against the PRCUT Planning and Design Guidelines in the appendix. 4d. The Planning Proposal is assessed against the PRCUT implementation plan and implementation update 2021 in the appendix. 4e. The Planning Proposal includes an economic report which highlights the proposed development capable of been serviced with existing and future infrastructure. Contributions are provided as part of the Planning Proposal and Development Application process. The Planning Proposal is assessed against the PRCUT Implementation Plan 2016-2023 in the appendix. 4f. The Planning Proposal is assessed against the Central City District Plan in the appendix.	Yes

Direction and Objective	Comment	Consistency
Implementation Plan 2016 – 2023 (November, 2016), (f)be consistent with the relevant District Plan.		
Consistency (5)A planning proposal may be inconsistent with the terms of this Direction only if the relevant planning authority can satisfy the Secretary of the Department of Planning & Environment (or an officer of the Department nominated by the Secretary) that the planning proposal is: (a) consistent with the Out of Sequence Checklist in the Parramatta Road Corridor Implementation Plan 2016 – 2023 (November, 2016), or (b) justified by a study that clearly demonstrates better outcomes are delivered than identified in the Parramatta Road Corridor Urban Transformation Strategy (November, 2016) and Parramatta Road Corridor Implementation Plan 2016-2023 (November, 2016) having regard to the vision and objectives, or (c) of minor significance.	5a. The Planning Proposal is assessed against the Out of Sequence checklist, under Part 3 Justification, Section A - need for the planning proposal, of this report. 5b. Reference should be made to the Urban Design Study and Economic Report. 5c. The proposal is not of minor significance.	Yes
7.4	N/A	N/A
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan Objective (1) The objective of this direction is to ensure development within the Greater Parramatta Priority Growth Area is consistent with the Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan dated July 2017 (the interim Plan).	The Planning Proposal is assessed against the interim Plan in the Appendix.	Yes
7.6-7.13	N/A	N/A



7. part 3 – justification

7.3 section c – environmental, social and economic impact

7.3.1 Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

No, there are no known critical habitats or ecological communities that exist on the site. The site is an existing developed site with concrete hardstand containing no vegetation, flora or fauna. Therefore, it is expected that the proposal will not affect any critical habitat or threatened species, populations or ecological communities or their habitats.

7.3.2 Q8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The Planning Proposal is unlikely to give rise to any unreasonable environmental impacts.

In the case where environmental impacts are identified then certain mitigation measures are discussed in reports accompanying this Planning Proposal application. According to report by Neo Consulting 2021 forming part of the Planning Proposal Application, actions are to be taken before the site is considered suitable for the proposal.

The site is not identified as being flood prone or in a bushfire risk prone area. The site is identified as being subject to Class 5 Acid Sulfate Soils however, any future development application of the subject site will be required to comply with the relevant standards.

A design that mitigates noise impacts from Parramatta Road is proposed. A detailed design of the development would be required to comply with the relevant Australian Standards. Any future Development Application would be required to address the relevant Australian Standards and Building Code of Australia.

Energy efficiency and the principles of Water Sensitive Urban Design and sustainability initiatives would be incorporated into the development. Any future development application would be required to be accompanied by a BASIX Certificate and stormwater management system.

7.3.3 Q9. Has the planning proposal adequately addressed any social and economic effects?

The Planning Proposal is considered to have positive social and economic effects on the locality. The Planning Proposal is supported by an Economic Impact Assessment by Judith Stubbs and Associates 2021.

7.4.1 Q10. Is there adequate public infrastructure for the planning proposal?

The site has access to existing infrastructure and is in close proximity to public transport. Any upgrade of services will be considered at the detailed design stage.

An integrated infrastructure delivery plan submitted with this Planning Proposal Application summarises infrastructure provision, public benefits, and cost recovery.

This Planning Proposal report discusses various public benefits and monetary contributions that will be considered as part of the application process and project delivery phase.

7.4.2 Q11. What are the views of State and Commonwealth public authorities consulted in accordance with the Gateway determination?

The Gateway determination process will request input from the appropriate Government Agency's as part of Planning Proposal process.

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8. part 4 – mapping

Reference should be made below, which contains the proposed mapping amendments to the Strathfield LEP 2012.



image 16. current land use zoning map

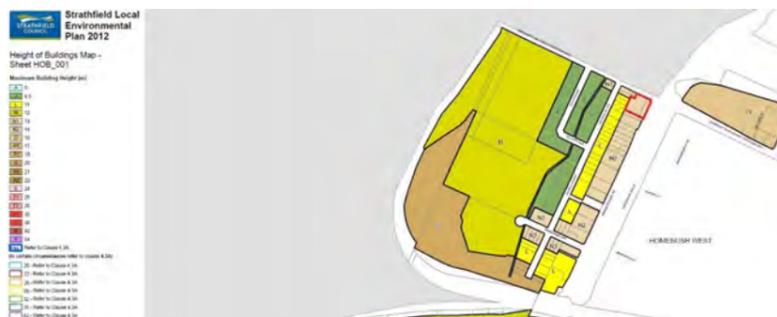


image 17. current height of buildings map

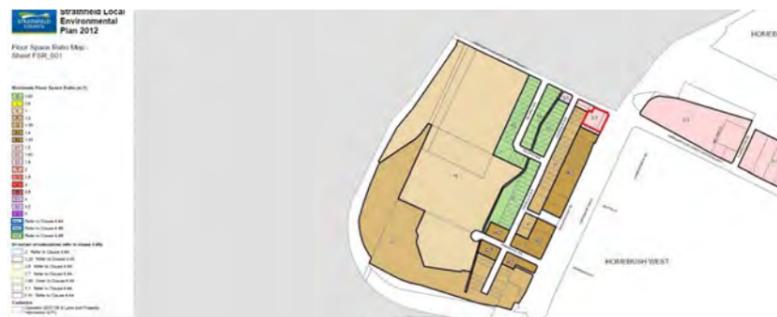


image 18. current floor space ratio map

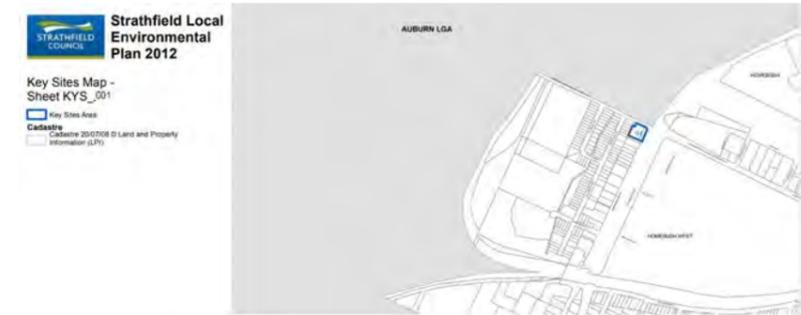


image 19. proposed key sites map



image 20. proposed land use zoning map



image 21. proposed height of building map

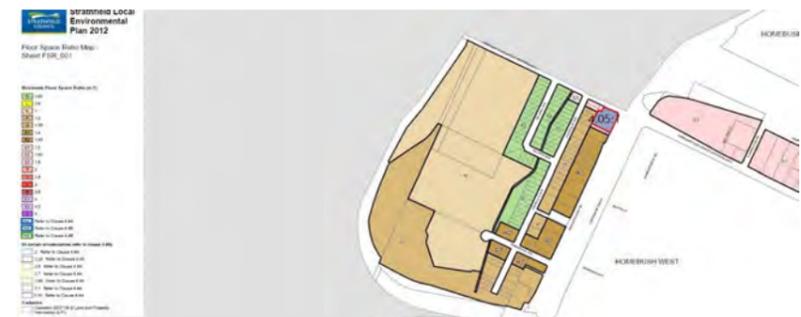


image 22. proposed floor space ratio map

9. part 5 - community consultation

As outlined earlier, community consultation will be undertaken in accordance with the Planning proposal process.



10. part 6 – project timeline

In accordance with the requirements in the ‘A guide to preparing planning proposals’, the table below sets out an indicative project time line for the Planning Proposal.

Comment	Date
Lodgement of Planning Proposal	Early 2022
Public Notification	Feb/March/April 2022
Review of Submissions	May 2022
Consideration by Strategic Planning	July 2022
Report prepared for Council Consideration	August 2022
Planning proposal referred to DPIE	August 2022
Gateway Determination by DPIE	September 2022
Public exhibition	October-November 2022
Review of Submissions	December 2022
Planning Proposal reported to Council	January 2023
Date of submission for finalisation of LEP	February-March 2023
Legal drafting of LEP	April 2023
Notification of the LEP	May 2023

11. conclusion

This Planning Proposal has been prepared to request an amendment to the land use zone, an amendment to the Height of Building and Floor Space Ratio development standards under the SLEP 2012 in relation to the land at 330-332 Parramatta Road Homebush West. The proposal shall retain the B6 Enterprise Corridor zone and will rezone a portion of the site to B4 Mixed Use and amend the Height to 60 metres and amend the FSR to 4.05:1.

The aim of this Planning Proposal is to deliver the objectives of the SLEP 2012 and supporting Local and State Strategic Policies in relation to housing delivery, employment opportunities, increased economic viability of development, promote residential amenity, choice and affordability, and provide upgrade to the surrounding public domain.

The Urban Design Statement and Economic Impact Assessment report supports the proposed height and density and confirms that the site would benefit from urban renewal. There are no significant adverse impacts associated with the additional height specifically in relation to overshadowing. An analysis of this has been undertaken in the Planning Proposal process. The proposed envelope at 60metres maintains adequate amount of sunlight to surrounding properties and on this basis there is no justified planning reason not to support the amendment to the height.

In conclusion, the planning proposal:

- Addresses the criteria for preparing a Planning Proposal set out in the guidelines issued by DPIE and responds to Council's advice.
- Is consistent with State Government planning policies and Ministerial Directions.
- Is consistent with the objectives and desired outcomes of the SLEP 2012 and specifically the B6 Enterprise Corridor and B4 Mixed Use zone in that it retains employment opportunities and integrates compatible uses including new housing opportunities.
- Represents the orderly and economic redevelopment of the site by retaining existing employment and achieving uplift on the site through the development of new residential apartments at the rear of the site in line with adjoining development.

- Satisfies the principal strategic planning policies.
- Satisfies or has the potential to satisfy all of the relevant State environmental planning policies.
- Satisfies aims and objectives of the local statutory and non-statutory planning policies.
- Creates additional housing opportunities close to major transport links.
- Provides a public benefit in the form of public domain works along the site boundaries.

For these reasons provided in this report, the proposal is considered to be in the public interest.

The proposal is submitted to Strathfield Council, as the Relevant Planning Authority, for consideration and approval.

It is requested that the application be forwarded to the DPIE for a Gateway Determination pursuant to Section 56 of the EP and A Act 1979.

integrated infrastructure delivery plan

330-332 parramatta rd, homebush west

client wezdah

project address 330-332 parramatta rd, homebush west

lot & dp lot b dp397130 + lot 11 dp789393
+ lot 9 dp217002 + lot 1 dp660055

project number 12694

consent authority strathfield council

project description planning proposal

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introduction

gmarchitects has prepared this Integrated Infrastructure Delivery Plan (IIDP) for the site located at 330-332 Parramatta Road Homebush West (the site). The Planning Proposal (proposal) seeks consent to amend the Strathfield Local Environmental Plan 2012 (SLEP 2012) as follows:

- Amend the Land Use Zone Development Standard, to retain the B6 Enterprise Corridor zone along the Parramatta Road Frontage and introduce B4 Mixed Use zone to the rear portion of the site.
- Amend the Floor Space Ratio Development Standard, from 1.5:1 to 4.05:1.
- Amend the Height of Building Development Standard, from 14 metres to 60 metres.

The proposal also includes upgrades to existing public domain surrounding the site, including contributions to affordable housing and future infrastructure upgrades as detailed in this report.

This Integrated Infrastructure Delivery Plan (IIDP) seeks to provide a transparent methodology to calculate an infrastructure contribution that adequately addresses Criteria 2 of the PRCUTS Implementation Plan Out of Sequence Checklist.

This report seeks to determine an infrastructure contribution for the development utilising the PRCUTS guidelines, stakeholder engagement, gap analysis and interrogation of the Infrastructure schedules presented Part 6 PRCUTS – Infrastructure Schedule. The methodology is based upon principles of “reasonableness” and “apportionment” as used for the basis of determination of Section 94 calculations by local government.

Adopting the total infrastructure costs identified in the PRCUTS Infrastructure Schedule, up to \$1,133,909 combined regional and local infrastructure contributions are proposed, broken up as follows:

State Infrastructure Contribution	
State Infrastructure Contribution = \$5.60 per m ² GFA	\$83,055.55
Local Infrastructure Contribution	
Local Infrastructure Contribution (Section 94) = \$173.31 per m ² GFA	\$2,562,000

table 1. state and local infrastructure contributions

background

This IIDP supports a Planning Proposal for site located at 330-332 Parramatta Rd, Homebush West. The subject Planning Proposal has been developed in accordance with the Parramatta Road Corridor Urban Transformation Strategy (PRCUTS), the Greater Sydney Commission District Plans (Eastern City District) and other relevant Government planning Strategies and Policies. The following information derived from the PRCUTS is relevant to the subject Proposal.

The PRCUTS and associated suite of documents, including the Parramatta Road Corridor Urban Transformation Implementation Plan 2016-2023 (the Implementation Plan) are supported by a Section 117 Ministerial Direction. This means the Implementation Plan has statutory force, and land use and development in the Corridor must be consistent with the PRCUTS suite of documents including the PRCUTS 'Out of Sequence Checklist' (p12 and p15 of the PRCUTS Implementation Plan).

The subject Proposal for rezoning, and increased height and fsr of 330-332 Parramatta Rd, Homebush West departs from the staging and sequencing identified by the Implementation and is therefore considered against the 'Out of Sequence Checklist'. This Checklist ascribes a merit assessment process to determine whether proposals should be allowed to proceed.

The Out of Sequence Checklist ensures that changes to the land use zone or development controls do not occur without meeting the underlying Principles and Strategic Actions of the Strategy, such as the necessary transport, services and social infrastructure to service a new population. It will also ensure the established benchmarks for the quality of development and public domain outcomes desired for the Corridor are achieved.

Six key considerations have been identified as issues to be addressed as part of the Proposal. This IIDP addresses Criteria 2.

The site falls within the Homebush Precinct of the PRUTS, which provides the long-term vision and framework to support co-ordinated employment and housing growth in the Parramatta Road Corridor in response to transport and infrastructure investment, economic and demographic shifts, and industrial and technological advances.

Under the PRCUTS Implementation Plan 2016-23, the Planning Proposal is considered "Out of Sequence" on the grounds that it facilitates transition from employment uses to residential uses prior to 2023 within the Homebush Precinct's Business and Enterprise Core.

Urban renewal projects create for new or upgraded infrastructure and services to meet the needs of an increased residential and/or worker population. Some of this infrastructure would be at a regional scale, including open space and community facilities to be used by a wide catchment of people outside the immediate boundaries of the Homebush Precinct. Other infrastructure would be required at a local scale to meet the needs of the adjacent population.

Attracting the funding required to deliver the necessary infrastructure to support urban renewal is often a challenge on a project by project basis. The intent is that a number of projects across each precinct within the PRCUTS contributes to fund infrastructure required and ultimately deliver urban renewal. A range of funding sources must therefore be considered in relation to the Corridor to ensure that infrastructure and services can be provided. The PRCUTS proposes a combination of State and local contributions in the Homebush Precinct and wider corridor.

The subject Proposal contributes to the following State and Local Infrastructure such that a development outcome is in line with the funding component of Principle 7: Delivery of the PRCUTS.

The following state and local infrastructure upgrades have been identified in relation to the Homebush precinct.

State Funded Infrastructure	Local Funded Infrastructure
Hospital	Cycling Links
Community Health Facility	Walking Links
Primary Schools	Local Roads
Secondary Schools	Recreational Facilities
	Cultural Facilities
	Open Space and Public Domain

table 2. state and local funded infrastructure

This IIDP seeks to provide a transparent methodology to calculate an infrastructure contribution that adequately addresses Criteria 2 of the PRCUTS Implementation Plan Out of Sequence Checklist.



330-332 parramatta rd, homebush west

planning proposal

The objective and intended outcomes of the planning proposal is to facilitate the redevelopment of the site for a mixed-use development with residential units above the podium level, commercial and retail space at ground and upper ground levels and commercial facilities in the form of a rooftop bar on the rooftop level, together with a through-site link, basement parking and associated facilities.

gm have developed a conceptual scheme for the site. The concept establishes the built form parameters for future development consent to be sought. This referenced design provides a high-quality built form that provides street activation and amenity with minimal adverse impact on the surrounding setting. The reference design sets the maximum height and GFA achievable within the building envelope and retains the front portion of the site as the existing B6 Enterprise Corridor zone to align with the surrounding properties.

The Planning Proposal is seeking to amend the SLEP 2012 as follows:

- Amending the Land Zoning applying to the site under the SLEP 2012. The Land Zoning Map – Sheet LZN_001 to permit B4 Mixed Use Zone to the rear portion of the site, shown in section 8 of this report.
- Amending the maximum permissible Height of Buildings applying to the site under the SLEP 2012. The Height of Buildings Map - Sheet HOB_001 to permit a maximum building height of 60m. This is shown in section 8 of this report, with a new Key Site Map and inclusion in Clause 4.3A of the SLEP 2012.
- Amending the maximum permissible Floor Space Ratio applying to the site under the SLEP 2012. The FSR Map- sheet FSR_001 to permit a maximum FSR of 4.05:1 to be consistent with the proposed built form envelope. This is shown in section 8 of this report, with a new Key Sites Map and inclusion in Clause 4.4A of the SLEP 2012.
- New Key Sites Sheet Map applying to the site under the SLEP 2012. The Key Sites Map Sheet KYS_001 to highlight in blue the site as 94.

The proposed new planning controls have been tested and informed by a series of conceptual architectural plans. An urban design statement is submitted with the Planning Proposal.



integrated infrastructure delivery plan

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development calculations

To provide certainty in terms of the future built form for the site, **gm** have prepared conceptual architectural plans as part of the Planning Proposal. The concept plans indicate the following preliminary calculations:

- Site Area: 4,160 m²
- Site Frontage: 74.31 metre to Marlborough Road + 42.77 metre to Parramatta Road
- Proposed Gross Floor Area: 16,863 m²
- Floor Space Ratio: 4.05:1
- Commercial Gross Floor Area: 2,595 m²
- Residential Gross Floor Area: 12,664 m²
- Communal Gross Floor Area: 1,563 m²
- Height: 60 metre height of building
- Storeys: 16 storeys
- Approximate yield: 150 apartments

The above are preliminary calculations where the proposed FSR and heights have been tested in terms of urban analysis. The proposed FSR/GFA is the minimum required density to facilitate a viable redevelopment of the subject site. This is further explained in the Economic Report.

case for change

The subject site could accommodate residential floor space and increased building density more than the SLEP 2012 planning controls permit. Reasons for justifying the amendments to the planning controls are as follows:

- The proposal will unlock underutilised land to provide a high-quality development for the community to live, play and work within.
- The proposal provides residential apartments for the Homebush locality to meet the needs of the community with a diverse mix of dwelling size.
- The proposal will provide an additional employment floor area to provide local jobs for the Homebush locality.
- The proposal factors the projected population growth for the area and sustains the envisaged employment land uses in the form of flexible commercial spaces and residential accommodation.

infrastructure contribution calculation

Principal 7 of the PRCUTS document acknowledges the risk to development viability due to unreasonable infrastructure costs. It implies that a contribution towards future infrastructure costs is an appropriate way to address funding.

This report seeks to determine an infrastructure contribution for the development utilising the PRCUTS guidelines, stakeholder engagement, gap analysis and interrogation of the Infrastructure schedules presented Part 6 PRCUTS – Infrastructure Schedule. The methodology is based upon principles of “reasonableness” and “apportionment” as used for the basis of determination of Section 94 calculations by local government.

The methodology to calculate an infrastructure contribution is described below in .

step 1 stakeholder engagement	Approach each state and local authority as nominated by Strathfield Council to advise of the proposed development and seek feedback as to the impact(s), if any, to their infrastructure. Assess if impacts trigger new infrastructure works or upgrades to existing infrastructure.
step 2 review of the prcuts infrastructure schedule Information Tool Kit	The infrastructure schedule for the Homebush precinct requires infrastructure costs to be added. Costing of missing items have been added and is based on comparable items provided in adjoining precincts which have been provided by neighbouring Councils.
step 3 gap analysis	Perform a gap analysis to identify any infrastructure that may be affected by development not included in the information
step 4 calculate infrastructure contributions	for infrastructure upgrades identified on the Infrastructure Schedule. Calculations based on reviewed prcuts figures and includes missing items from the toolkit in the calculation.
step 5 section 94 contributions	Calculate Section 94 Contributions and costing of public works that could form part of a VPA.
step 6 recommendation	Provide recommendation for value of infrastructure contribution.

table 3. infrastructure contribution calculation methodology



step 1 - stakeholder engagement

Preliminary stakeholder engagement has been undertaken including meeting with tenants and a separate meeting with Council in late 2020. Further consultation and opportunities for comment, can be undertaken with relevant bodies and the community during the Planning Proposal process.

step 2 - homebush precinct infrastructure schedule

The infrastructure schedule for the Homebush Precinct presented in the PRCUTS Infrastructure Schedule Implementation Tool Kit is used as the basis of the determining total infrastructure cost for the precinct. For the purpose of this analysis the total long term infrastructure cost has been considered. The completed Infrastructure schedule is included in the Appendix.

To allocate cost to the un-costed infrastructure elements in the Homebush Precinct these items were compared to similar elements in other precincts. A base unit rate (either per \$ / m2 or \$ / item) was calculated for these items and applied to the Homebush precinct. Typically the schedule provided total quantities for each un-costed element. Thus by applying the unit rate to this element a cost for an infrastructure element could be calculated.

Adopting the total infrastructure costs from the schedule the following costing options can be calculated.

The items listed on the infrastructure schedule have been further assessed to identify if they are either state or local infrastructure allowing contributions payable to the Department of Planning and Strathfield Council to be proposed. Local infrastructure identified on the schedule may also have contributions under Section 94 contributions. This overlap will be considered in the proposed contribution calculations.

It should be noted that the Department of Planning advised that schools would be funded by State Government and as such these budgets have been allocated in the State Infrastructure Budget.

Infrastructure Cost Summary is presented below which summarises the costs of PRCUTS State (Regional) and Local Precinct Infrastructure Costs.

State Infrastructure	\$539,538.48
Local Infrastructure	\$22,889,940.12

table 4. state and local funded infrastructure homebush precinct based on toolkit

Infrastructure Cost Summary is presented below which summarises the costs of PRCUTS State (Regional) and Local Precinct Infrastructure Costs, including figures that were note provided in the toolkit.

State Infrastructure	\$3,539,538.48
Local Infrastructure	\$37,306,690.12

table 5. state and local funded infrastructure homebush precinct based on toolkit

infrastructure contribution calculation

step 3 - gap analysis

The site is currently serviced by all utility services, water, sewer, gas, power. The utility authorities that would service this site are, Sydney Water, Jemena, Ausgrid Telstra and NBN.

The cost of provision of these services will be applied directly by the relevant authority, which will be agreed once the development consent has been granted. The mechanism for utility authority to recoup cost for infrastructure upgrade works is already in place and would be activated by the submission of a development application.

step 4 - calculate infrastructure contributions

Infrastructure contributions have been calculated by pro rata comparison of the maximum additional GFA proposed under the Proposal for the subject site (14,783 m²), compared to the total proposed additional GFA in the Homebush Precinct for 2030 (435,000 m² residential + 195,000 m² commercial = 630,000 m²). The Proposal represents 2.3% of the total residential GFA proposed for the Homebush precinct.

Apportionment of infrastructure costs by GFA is reasonable as this aligns with similar proportions of population and dwellings.

Planning proposal infrastructure contributions made up of two components being state infrastructure contributions, paid to and managed by the department of planning, and local infrastructure contributions, paid to and managed by Strathfield Council (the applied Section 94 Contribution).

Contributions assessment is detailed below:

state infrastructure contributions		total
Total State Infrastructure Cost	\$3,539,538.48	
Homebush Precinct Total Additional GFA	630,000 m ²	
State Infrastructure Cost per m ² GFA	\$5.60	
state contributions from proposal		\$83,055.55
<hr/>		
local infrastructure contributions		
Total Local Infrastructure Cost	\$37,306,690.12	
Homebush Precinct Total Additional GFA	630,000 m ²	
Local Infrastructure Cost per m ² GFA	\$59.22	
local contributions from proposal		\$875,404.45

table 7. contribution assessment based on PRCUTS schedule



step 5 - section 94 contributions

Section 94 of the Environmental Planning and Assessment Act 1979 permits Strathfield Council to levy or require provision of facilities or land where, as a consequence of development, the increased number of residents or workers will result in an increased demand for those services.

As an alternative to the PRCUTS Local Infrastructure Costs, the Section 94 contributions have been assessed on an existing verses proposed basis. The purpose of this to identify the difference in Section 94 contribution Strathfield Council will receive if the uplift to the site is realised.

Strathfield LGA (2019) Direct Development Contributions Plan 2010 – 2030 Table of Rates in the amendment of September 2017 quarter tabulates the contributions per precinct. The subject site falls within Precinct 2 of this Plan.

When considering the existing controls, the table indicates \$297.46 per m² for commercial development. The calculations of contributions based on existing controls is below:

Site area	4,160 m ²
Current allowable FSR	1.5 :1
Current allowable GFA	2,080 m ²
Commercial rate m ² precinct 2	\$297.46
existing contributions	\$618,716.80

table 8. existing contributions based on current controls

An Economic Impact Assessment forms part of the submission of this Planning Proposal. The report calculates estimated costs to the development based on the Strathfield LGA (2019) Direct Development Contributions Plan 2010 – 2030. This includes contributions to the following:

Road/Intersection Improvement
Potential Active Transport Improvement
Open Space Provision and Embellishment
Community Infrastructure/Facilities

The report calculates the Local infrastructure contributions as follows:

	rate	total
30 one bedroom	\$11,248	\$337,000
90 two bedroom	\$16,299	\$1,467,000
30 three bedroom	\$20,000	\$600,000
Commercial	1% of commercial component	\$158,000
s94 contributions from proposal		\$2,562,000

table 9. data extracted from economic impact assessment by judith stubbs and associates

4. the planning proposal

A summary of the potential additional contributions with the proposal are:

Contribution based on existing controls	\$618,716.80
Contribution based on proposed controls	\$2,562,000
Difference	\$1,943,283.20

table 10. summary of additional contributions with proposed control changes

Rezoning of the site attracts a much greater Section 94 contribution that would not be made available to Council if the current controls remain (approximately 4 times greater).

voluntary planning agreement (VPA)

Further to discussions with Strathfield Council, the planning proposal provides 5% of the new floor space as affordable housing.

This is consistent with current Government policy. The Greater Sydney Commission and the Department of Planning target is between 5% to 10% of the increase in residential GFA to be allocated to affordable housing.

The affordable housing contribution in this Proposal is being offered in addition to the Regional and Local Infrastructure Contributions outlined in this IIDP.



step 6 - recommendation

Upon assessment, it is recommended that the Planning Proposal submission acknowledges that upgrades in existing infrastructure may not be required to support the demand created by specific development. However the Proposal would be expected to include contributions to Local and State Infrastructure. Local contributions is to be either by the total section 94 contribution or the local infrastructure contribution as identified above this is to avoid a doubling up of contributions on the same infrastructure items.

Infrastructure Contribution provides a fair, reasonable and equitable methodology to apportion infrastructure equitable way to contribute to infrastructure cost as a result of density and employment uplift.

The value of a VPA to provide 5% of residential GFA to affordable housing, if accepted by Strathfield Council, are to be deducted from the monetary infrastructure contribution amounts.

It is therefore recommended that the infrastructure contributions as proposed by this report for the proposed Planning Proposal are adopted, and the Proposal proceeds to Gateway as it satisfies the Criteria included in the PRCUTS Out of Sequence Checklist.

330-332 parramatta rd, homebush west

integrated infrastructure delivery plan

02 02 2022

appendix a - calculation sheet

HOMEBUSH PRECINCT												
Item	Description	Responsibility	Hierarchy	Mechanism	Measure	Unit	Rate	Cost	Source			
ACTIVE TRANSPORT NETWORK												
SHORT (2016 - 2023)	Prioritised Cycling Link* - coating applied to both sides of road - single lane, on road cycleway, including surface treatment and signage - without kerb separation	Queen Street - Parramatta Road - Cooper Street between Princess Avenue and Strathfield Rail Station	Council	Local	Developer Contributions Plan	1120	m	\$255.00	\$ 571,200.00	PART ITEM 1.18	local	regional
	Desired Through Site Link	Victoria Avenue to Concord West Rail Station Rohwell Avenue eastern extension	Developer/Council	Local	Opportunity through development	100	m	\$225.00	\$22,500.00			\$22,500.00
	Prioritised Walking Link* - coating applied to both sides of road	Concord West Rail Station to Rohwell Avenue eastern extension	Council	Local	Developer Contributions Plan	250	m	\$225.00	\$ 56,250.00	PART ITEM 1.11 + ITEM 3.19		\$56,250.00
		George Street from Rohwell Avenue to Parramatta Road	Council	Local	Developer Contributions Plan	1,600	m	\$225.00	\$ 360,000.00	PART ITEM 1.11 + ITEM 3.19		\$360,000.00
		Parramatta Road from Powell's Creek and Station Street	Council	Local	Developer Contributions Plan	300	m	\$225.00	\$ 67,500.00	PART ITEM 1.11 + ITEM 3.19		\$67,500.00
									\$ 1,106,700.00			
MEDIUM TO LONG TERM (2024 - 2054)	Prioritised Cycling Link* - coating applied to both sides of road - single lane, on road cycleway, including surface treatment and signage - without kerb separation	Homebush Bay Drive to Mason Park	Council	Local	Developer Contributions Plan	200	m	\$255.00	\$ 51,000.00	PART ITEM 1.18		\$51,000.00
	Desired Through Site Link	Mason Park from Underwood Road to Powell's Creek Reserve Lafus Lane to Powell's Creek Reserve	Council	Local	Developer Contributions Plan	460	m	\$255.00	\$ 234,600.00	PART ITEM 1.18		\$117,300.00
		Station Street to Columbia Lane	Developer/Council	Local	Opportunity through development	220	m	\$225.00	\$85,500.00			\$49,500.00
									\$ 420,600.00			
									TOTAL	\$ 1,527,300.00		
COMMUNITY INFRASTRUCTURE/FACILITIES												
SHORT (2016 - 2023)	Meeting space	Embellishment of existing facility	Council	Local	Developer Contributions Plan	1	no	\$1,000,000.00	\$1,000,000.00			\$1,000,000.00
	Cultural space	Provision of exhibition space/facilities within the Burwood Community Hub and George Street Community Centre	Council	Local	Developer Contributions Plan	1	no	\$1,000,000.00	\$1,000,000.00			\$1,000,000.00
	Library	Additional 118m2 of floor space. Could be provided within an existing facility in either Strathfield, Concord or Burwood	Council	District	Developer Contributions Plan	118	m2	\$4,572.36	\$ 539,538.48	PART 4.2		\$539,538.48
	Childcare	Support the provision of 332 places	Private/Not for profit sector	Local		1	no	\$1,000,000.00	\$1,000,000.00			\$1,000,000.00
	Outside of school hours (OOSH)	Support the provision of: 39 Before School Care Places 133 After School Care Places 95 Vacation Care Places	Private/Not for profit sector	Local		1	no	\$2,000,000.00	\$2,000,000.00			\$2,000,000.00
									\$ 5,539,538.48			
MEDIUM TO LONG TERM (2024 - 2054)	Childcare	Support the provision of 691 places	Private/Not for profit sector	Local		1		\$1,000,000.00	\$1,000,000.00			\$1,000,000.00
	Outside of school hours (OOSH)	Support the provision of: 93 Before School Care Places 316 After School Care Places 226 Vacation Care Places	Private/Not for profit sector	Local		1		\$2,000,000.00	\$2,000,000.00			\$2,000,000.00
	Meeting Space	Development of a new multipurpose community centre within the centre of the Homebush Precinct near the Bakehouse Quarter. The facility should have sufficient space for at least two meeting rooms, with a total floor area of 120m2	Council	Local	Developer Contributions Plan	120	m2	\$3,644.11	\$ 437,293.20	PART 4.1		\$437,293.20
Library	Development of a new library within the Bakehouse Quarter. To be 548m2 (this could be located within the potential multipurpose centre within the Precinct)	Council	Local	Developer Contributions Plan	548	m2	\$4,572.36	\$ 2,505,653.28	PART 4.2		\$2,505,653.28	
									\$ 5,942,946.48			
									TOTAL	\$ 11,482,484.96		
ROAD/INTERSECTION UPGRADE												
SHORT (2016 - 2023)	Road	George Street/Parramatta Road - Consider extension or duplication of westbound right turn bay and additional capacity on northern approach. New development south of Parramatta Road includes an extension of George Street to create a 4 leg intersection. Performance will also be influenced by new westbound M4 ramp	RMS/Council	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
	Road	George Street/Pomeroy Street and Underwood Road/Pomeroy Street - Detailed investigation is required at these intersections. Capacity improvement options are limited and may be affected by the preferred Parramatta Light Rail route.	RMS/Council	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
	Road	Cooper Street/Parramatta Road - Provide new signals with pedestrian and cycle crossings to improve local and active transport access to Strathfield	RMS/Council	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
									\$1,500,000.00			
MEDIUM (2021 - 2031)	Road	Derowrie Avenue/Parramatta Road - New signals to serve increased traffic from Pomeroy St extension to Parramatta Road has been included to provide improved permeability and local access for the Precinct. This is important given the constrained road network and limited opportunities for access	RMS/Council	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
									\$500,000.00			
									TOTAL	\$2,000,000.00		
OPEN SPACE AND RECREATION												
SHORT (2016 - 2023)	Sportground	1 sportground (2 playing fields)	Council	Local	Developer Contributions Plan	50000	m2	\$64.64	\$ 3,232,000.00	PART ITEM 3.1 (D)		\$3,232,000.00
	Outdoor sports court	4 tennis courts	Council	Local	Developer Contributions Plan	4	m2	\$125,371.71	\$ 501,486.84	PART ITEM 3.4 (D)		\$501,486.84
	Outdoor sports court	2 multipurpose court	Council	Local	Developer Contributions Plan	2		\$105,054.99	\$ 210,109.98	PART ITEM 3.3 (D)		\$210,109.98
	Sportground	2 sportground (4 playing fields)	Council	Local	Developer Contributions Plan	100000	m2	\$64.64	\$ 6,464,000.00	PART ITEM 3.1 (D)		\$6,464,000.00
	Sportground	1 sportground (2 playing fields)	Council	Local	Developer Contributions Plan	50000	m2	\$64.64	\$ 3,232,000.00	PART ITEM 3.1 (D)		\$3,232,000.00
	Outdoor sports court	2 multipurpose court	Council	Local	Developer Contributions Plan	2		\$105,054.99	\$ 210,109.98	PART ITEM 3.3 (D)		\$210,109.98
	Outdoor sports court	4 tennis courts	Council	Local	Developer Contributions Plan	4	m2	\$125,371.71	\$ 501,486.84	PART ITEM 3.4 (D)		\$501,486.84
	Urban plaza	Homebush Station Plaza	Council	Local	Developer Contributions Plan	350	m2	\$455.00	\$ 159,250.00	Industry Advice		\$159,250.00
	Upgrade and embellishment	Powell's Creek Reserve embellishment - south of Allen Street to Parramatta Road	Council	Local	Developer Contributions Plan	6000	m2	\$220.00	\$ 1,320,000.00	Industry Advice		\$1,320,000.00
	Upgrade and embellishment	Powell's Creek Reserve embellishment - south of Parramatta Road to Precinct edge	Council	Local	Developer Contributions Plan	4200	m2	\$220.00	\$ 924,000.00	Industry Advice		\$924,000.00
	Upgrade and embellishment	Embellishment of former bowling club site adjacent to Ismay Reserve	Council	Local	Developer Contributions Plan	8500	m2	\$240.00	\$ 2,040,000.00	Industry Advice		\$2,040,000.00
	New local open space	New linear park - Bedford Road to Underwood Road	Council	Local	Opportunity through development	32000	m2	\$200.00	\$6,400,000.00			\$6,400,000.00
	Urban plaza	Concord West Station Plaza - embellishment	Council	Local	Developer Contributions Plan	1100	m2	\$455.00	\$ 500,500.00	Industry Advice		\$500,500.00
	New local open space	On land at the corner of Park Rd and Derowrie Ave	Council	Local	Opportunity through development	1500	m2	\$200.00	\$300,000.00			\$300,000.00
										\$22,762,943.64		
									TOTAL	\$25,994,943.64		
PUBLIC TRANSPORT NETWORK												
MEDIUM TO LONG TERM (2024 - 2054)	Rail	Improve rail frequencies at Homebush, North Strathfield and Concord West Stations to support growth in the Precinct. Demand modelling will be required to ascertain the exact needs	TNSW	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
	Bus	Investigate provision of a new bus route connecting Parramatta to Burwood via Parramatta Road. This could assist in providing access between the areas of Granville, Auburn and Homebush closer to Parramatta Road than rail stations, and also to/from these areas to the strategic centres of Parramatta and Burwood and to the major interchange at Strathfield	TNSW	Regional		1	no	\$500,000.00	\$500,000.00			\$500,000.00
									\$1,000,000.00			
									TOTAL	\$1,000,000.00		
									CONTRIBUTIONS TOTAL	\$42,004,728.60		
HOMEBUSH PRECINCT - URBAN AMENITY IMPROVEMENTS PROGRAM (UAI)												
SHORT (2016 - 2023)	Proposed Cycling Link	Improve cycle and pedestrian connection along Powell's Creek corridor to Bicentennial Park/Sydney Olympic Park	Council	Local	UAI	1	no	\$100,000.00	\$100,000.00			\$100,000.00
	Proposed Cycling Link	New pedestrian/cycleway bridge crossings over Powell's Creek at Hamilton and Lorraine Streets	Council	Local	UAI	1	no	\$150,000.00	\$150,000.00			\$150,000.00
	Public Domain	Station Street public domain improvements and entrance to Homebush Station	Council	Local	UAI	1	no	\$100,000.00	\$100,000.00			\$100,000.00
	Public Domain	Public domain improvements to Parramatta Road including new street planting and public domain improvements from George Street to Underwood Road	Council	Local	UAI	1	no	\$100,000.00	\$100,000.00			\$100,000.00
	Public Domain	Public domain improvements to Bridge Road	Council	Local	UAI	1	no	\$80,000.00	\$80,000.00			\$80,000.00
HOMEBUSH PRECINCT - REGIONAL / STATE INFRASTRUCTURE												
MEDIUM TO LONG TERM (2024 - 2054)	Hospital	Hospital beds and services at Westmead and Concord Hospitals	Sydney Local Health District	Regional	On the capital works program for NSW							
	Community Health Facility	HealthOne - an integrated Primary Care Service, incorporating community health, out-of-hospital clinics, prevention and health promotion services. A major new community facility requiring approx. 3,000m2 of space and providing health and wellbeing services to a number of the Parramatta Road Precincts	Sydney Local Health District	Regional	Capital works program for NSW							
	Primary Schools	New school/classroom provision. 50% of total attributable cost to be paid by development	DEC	Local	Satisfactory arrangements/monetary cost	9453	no/Dwelling	\$ 7,151.00	\$ 67,598,403.00			Based on DEC figures
Secondary Schools		DEC	Local	Satisfactory arrangements/monetary cost	9453	no/Dwelling	\$ 4,375.50	\$ 41,361,601.50			Based on DEC figures	
									CONTRIBUTIONS TOTAL	\$108,960,004.50	\$37,306,690.12	\$3,539,538.48



330-332 parramatta rd, homebush west



urban design statement

330-332 parramatta rd, homebush west

client wezdah

project address 330-332 parramatta rd, homebush west

lot & dp lot b dp397130 + lot 11 dp789393 + lot 9 dp217002 + lot 1
dp660055

project number 12694

consent authority strathfield council

project description planning proposal

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introduction

The following comments and the design has been prepared by Nicholas Nasser, Nominated Architect of **gm**architects. They address the proposal in terms of urban design appropriateness and SEPP 65 – Apartment Design Guide compliance capability.

In accordance with Clause 50(1A) of the Environmental Planning and Assessment Regulation 2000, I, Nicholas Nasser am a qualified architect for the purposes of State Environmental Planning Policy No 65 – Design Quality of Residential Flat Development.

This statement is to be read in conjunction with the planning proposal documentation forming part of this submission.



330-332 parramatta rd, homebush west

vision

The presentation documentation forming part of this application has demonstrated the sites opportunities and constraints. The conversion of these characteristics has informed a vision for the site that is specific to its locality.

The subject site is ideally located at the meeting point of a north south, east west infrastructural link. The built form will exhibit design excellence and an elegant built form ratio to accentuate its height as a prominent 'landmark' in the area.

The form generation strategy has been exhaustively narrated in the supporting documentation of this planning proposal. The form is a consequence of consideration, and is sculpted to encourage a porous threshold between public domain and private residence.

The immediate public domain will be enhanced to create a positive, vibrant and unique pedestrian experience to provide a general uplift to the area including improved pedestrian links, landscape character and articulated edges.

The proposal seeks to identify the site, while providing amenity to uses far beyond the confines of the site boundaries.



urban design statement

25/08/2021

design strategy

The contextual site analysis has identified the following built form strategic sequencing:

- Identify allowable building envelope
- Consider neighbouring solar access
- Create pedestrian link between Marlborough and Parramatta Roads and in doing so, activate with arcade off the busy roads
- Adopt increased set backs and rest a podium under a tower form
- Accommodate communal open spaces to increase amenity for future residents on left over podium space.
- Ensure the tower form achieves dual aspect with solar access and is naturally cross ventilated
- Introduce additional circulation and create vertical beaks in the form to reduce the perceived length and bulk.
- Activate rooftop
- Mitigate acoustic impact of busy roads
- Promote continuity of cross sectional height

330-332 parramatta rd, homebush west

height strategy

The site falls in the frame of the Homebush Precinct of the Parramatta Road Corridor. A cross section looking west identifies the precinct profile in relation to its neighbouring suburbs.

Rise in storeys ranges from single storey dwellings in transition areas, to 40 storeys in Sydney Olympic Park.

The sites location, proximity and orientation is such that height has minimal impact on neighbouring properties. The continuation of a projected line across the sectional profile of the precinct establishes a height of 16 storeys.



urban design statement

25/08/2021

shadow impacts

Extensive shadow impact analysis forms part of this planning proposal submission. The analysis demonstrates the minimal impact of height, given the extractive process in form generation. The sites location, proximity and orientation are exploited with the majority of the shadows landing on the arterial roads.

Please see architectural presentation documentation for further detail.

330-332 parramatta rd, homebush west

sepp 65 design principles

The following comments and the design has been prepared by Nicholas Nasser, Nominated Architect of **gm**architects. They address the proposal in terms of urban design appropriateness and SEPP 65 – Apartment Design Guide compliance capability.

In accordance with Clause 50(1A) of the Environmental Planning and Assessment Regulation 2000, I, Nicholas Nasser am a qualified architect for the purposes of State Environmental Planning Policy No 65 – Design Quality of Residential Flat Development.

This statement is to be read in conjunction with the planning proposal documentation forming part of this submission.



urban design statement

25/08/2021

principle 1: context & neighbourhood character

“Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.

Responding to context involves identifying the desirable elements of an area’s existing or future character. Well-designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.

Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.”

response

The site has two street frontages and is almost square in shape at 65m x 43m. There is a splay to the north east corner of the site, and an unusual extracted portion that appears to allow for the neighbouring petrol station driveway access.

The site is located on the south west corner of the intersection of Parramatta Rd and Marlborough Rd. The site is near the west side of the road bridge over Parramatta Rd for Route 3 (Centenary Drive/Homebush Bay Drive). The M4 passes by to the north of Parramatta Rd and the Olympic village is visible from the site to the north over the M4. Flemington Markets are to the east on the other side of Route A3.

Land Use in the area is characterised by a pocket of 3 street blocks of low scale mixed use residential, surrounded by industrial uses.

Flemington Station is within walking and cycling range with a distance of 800m from the site. The three block characteristic is in transition with many residential flat buildings under construction or with submissions in council.

The density is such that the community would benefit from use additional to residential. A mixed use development would provide employment opportunity and diversity to the benefit of the residents.

The proposal is for a mixed use development. The development includes a balanced mix of retail, commercial, and residential to accompany its neighbours.

The current planning controls zone the site B6 Enterprise Corridor, while the neighbouring zone is R3 Residential. The proposal responds and contributes to its changing and desired future local context and warrants the reconsideration of the planning controls.

principle 2: built form & scale

“Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

Good design also achieves an appropriate built form for a site and the building’s purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.

Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.”

response

scale & height

The bulk and scale of the proposal achieves an appropriate built form for the site as derived from the contextual analysis that forms part of this submission. The arrangement of the proposal building addresses its two street frontages.

The form and height is appropriate for maintaining neighbouring amenity to adjacent properties, while maintaining compliance with other principles of SEPP 65.

separation

Separation to the neighbouring boundaries where another RFB is located is 6m to the podium, with additional setbacks to the tower component.

Where separation is reduced specific treatment to this separation will ensure that visual and acoustic privacy is maintained between units. This includes:

- Re-orientating windows away from opposing windows. This also articulates building façade
- Application of louvre screening to control views in a particular direction. As most of the habitable spaces are bedrooms, there is no adverse effect of acoustic or visual privacy.



principle 3: density

“Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.

Appropriate densities are consistent with the area’s existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.”

response

The proposed development responds to the sites evolving context. It achieves a suitable mix of dwellings sizes of one, two and three bedroom apartments. A variety of dwelling sizes provides a range of affordable housing opportunities and a better demographic mix for the utilisation of existing infrastructure.

The proposal includes a total of 150 apartments with a mix of:

30	one bedroom apartments	20%
90	two bedroom apartments	60%
30	three bedroom apartments	20%
150	total number of apartments	

330-332 parramatta rd, homebush west

principle 4: sustainability

"Good design combines positive environmental, social and economic outcomes.

Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation."

response

- Passive ESD principles were incorporated early in the design stage.
- Materiality will be optimised for particular opportunities and has been reviewed throughout the design development
- Corridors have multiple openings to allow for natural sunlight and ventilation, reducing the necessity for artificial lighting and mechanical ventilation.
- The unit layouts throughout the development have been orientated to maximise solar access into living spaces. Breaks in the buildings allow for cross ventilation into the units.
- A BASIX assessment has been prepared and accompanies this building proposal.



urban design statement

25/08/2021

principle 5: landscape

"Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.

Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.

Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management."

response

Landscaped and communal open spaces have been provided at the ground level, and the podium level. The ground level open space provides of 300m² with the podium providing an area of 1,490m².

Refer to the landscape plans for details to do with community gardening and its social and recreational values. Also designed into the landscape plan are measures to affect water management, climate and heat island mitigation together with biodiversity support.

The type of planting proposed has been selected on the basis of good aesthetic appearance, being mainly native and suitable to the locality and for requiring minimal amounts of water. The size of the development is such that a body corporate will ensure the landscaping is maintained at optimal levels and regular maintenance takes place.

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330-332 parramatta rd, homebush west

principle 6: amenity

“Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident wellbeing.

Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.”

compliance response

Yes The pedestrian and vehicle entry points to the project are clearly apparent. The main pedestrian access to the stairs and lifts are well defined as a cut creating an arcade through the building. The open foyers can be readily recognised if persons, who may be afraid of their personal safety, need to quickly access the building. At night good levels of lighting will be maintained to continue this theme of quick access if needed.

Balconies and courtyards will assist in the provision of good amenity levels to the residents. All balconies are linked to the indoor living areas and form an extension of these spaces. Some units have a secondary balcony off bedrooms. This will facilitate improved amenity in these particular units.

With the dual aspects of the units achieving good solar penetration and do not rely upon artificial lighting or heating. The architectural drawings and shadow diagrams show that adequate solar access to the dwellings is achieved for this density of residential development.

Multiple areas of communal open space have been provided in the proposed development, including 1,490m² at ground level and 300m² at the roof top.



urban design statement

25/08/2021

principle 7: safety

“Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.

A positive relationship between public and private spaces is achieved through clearly defined secure access points and well-lit and visible areas that are easily maintained and appropriate to the location and purpose.”

response

natural surveillance

The proposal has designed the placement of physical features, activities and people in such a way as to maximise visibility and foster positive social interaction among legitimate users. Window placement towards public spaces, balconies, lighting and landscape design assist in achieving these outcomes in the design.

access control

Because of the way the design has selectively placed entrances and exits, fencing, lighting and landscape to limit access or control flow, natural access control occurs. Within the design this has been implemented particularly through the use of clearly identifiable points of entry; fencing and operable barrier controls such as lockable doors.

territorial reinforcement

The design creates a sense of difference between private and public spaces providing a visual alert that an area is off-limits and where intruders stand out and are more easily identified thereby deterring criminal behaviour. Such examples in the proposed design include fencing and landscaping, built form design and layout.

maintenance and ownership

The ongoing maintenance of the building will present the notion that activity on the site is regular and visitation by legitimate users is unpredictable. This circumstance will deter anti-social behaviour as crimes are more likely to be detected. The development has been designed to ensure that maintenance regimes are not onerous and that materials will provide long lasting visual appeal to create a well-maintained presentation.

330-332 parramatta rd, homebush west

principle 8: housing diversity & social interaction

“Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.

Well-designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.

Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.”

response

A suitable mix of unit types will ensure that an appropriate level of housing affordability by optimising the provision of economic housing choices.

30	one bedroom apartments	20%
90	two bedroom apartments	60%
30	three bedroom apartments	20%
150	total number of apartments	



urban design statement

25/08/2021

principle 9: aesthetics

“Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.

The visual appearance of a well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.”

response

- The building has been designed with form and materiality being large factors to the proposal. Lower floors have a strong focus on landscaping, softening the treatment and interface between building and public domain; main floors have a strong urban presence with a selective use of materiality and building interface; the tower component reflecting a dynamic presence with its locale and views
- The strong focus on materiality will reflect on the overall design quality of the building
- The whole development is connected by its thorough landscaping design.

330-332 parramatta rd, homebush west

conclusion



urban design statement

25/08/2021

I verify that the development was designed in accordance with, and satisfies the design principles contained in SEPP 65.

I have been involved with the design process from the outset meeting with the Council through to this lodgement.

The above comments with respect to the proposal are made against SEPP 65 – Apartment Design Guide. They demonstrate how our team has worked thoroughly through the 9 principles.

The proposal responds to the environmental and ecological needs for a compact city through urban consolidation and conservation of resources.

The proposal offers satisfactory urban design, architectural and landscape outcomes.

The 9 principles are capable of achieving compliance.

These comments are offered in respect of SEPP 65 – Apartment Design Guide and have been prepared by Nicholas Nasser RAIA ARB 9457.

This is a mixed use building worthy of this verification.

regards,

nicholas nasser raia
registered architect arb: 9457
director of design
gmarchitects

330-332 parramatta rd, homebush west





Ref: 0372r01v02

6/09/2021

GM Architect Pty Ltd
330A Parramatta Road
Homebush West NSW 2140

Attention: Matthew Khouri

**RE: 330-332 PARRAMATTA ROAD, HOMEBUSH WEST
PLANNING PROPOSAL APPLICATION FOR A MIXED-USE DEVELOPMENT
TRAFFIC IMPACT STATEMENT**

Dear Matthew,

PDC Consultants has been commissioned by GM Architects to undertake a Traffic Impact Statement of a Planning Proposal relating the site at 330-332 Parramatta Road, Homebush West.

The Planning Proposal seeks approval for rezoning of the site to allow for a mixed-use development. As per the concept plans prepared by GM Architects, the indicative development would comprise:

- 994 m² commercial gross floor area (GFA);
- 1,081 m² supermarket GFA;
- 207 m² retail GFA;
- 313 m² rooftop licensed premises GFA;
- 150 residential apartments across Levels 1-15;
- A total of 325 car parking spaces within four (4) basement levels;
- Loading area accommodating three (3) service vehicles;
- Vehicle access via Marlborough Road leading to the loading dock and car parking levels;
- Pedestrian access via Marlborough Road and Parramatta Road.

The site is located within the Strathfield Council local government area and specifically falls within the Parramatta Road Corridor Area which has a site specific Development Control Plan (DCP). However, following preliminary discussions between the Applicant and Council, it is understood that the proposed development is required to be assessed solely in accordance with the Strathfield DCP 2005 and Strathfield Local Environmental Plan 2012 (Strathfield LEP 2012).

PDC Consultants

ABN: 70 615 064 670

info@pdconsultants.com.au | www.pdcconsultants.com.au
+61 2 7900 6514 | Level 14, 100 William Street, Woolloomooloo NSW 2011



LOCATION AND SITE

The subject site is located at 330-332 Parramatta Road, Homebush West being approximately 13 kilometres west of the Sydney CBD and approximately 700 metres north of Flemington Railway Station. More specifically, the site is located on the southern side of Parramatta Road and on the south-western corner of Parramatta Road and Marlborough Road intersection.

The site is comprised of a single lot, formally identified as Lot 11 DP 789393. The site is rectangular in configuration with a total area of 4,047m². The northern boundary has a 42 metre frontage to Parramatta Road and the eastern boundary has a 66 metre frontage to Marlborough Road. The western and southern boundaries border neighbouring residential dwellings having lengths of 55 metres and 60 metres respectively.

The site currently accommodates a two-storey commercial office building and single-storey bulky goods retail warehouse. Two (2) vehicle accesses are provided including a 9.5 metre wide driveway onto Marlborough Road and an 8.0 metre wide driveway onto Parramatta Road. **Figure 1** and **Figure 2** overleaf provide an appreciation of the site in both a broad and local context respectively.

ROAD NETWORK

- Western Motorway: the Transport for NSW (TfNSW) Western (M4) Motorway runs in an east-west direction between Haberfield in the east and Lapstone in the west. Near the site, it is subject to 90 km/h speed zoning restrictions and accommodates three (3) lanes of traffic in each direction within a wide divided carriageway.
- Parramatta Road: forms a part of TfNSW Highway (HW5). Parramatta Road runs in an east-west direction between the Sydney CBD in the east and Parramatta in the west. Near the site, it is subject to 60 km/h speed zoning restrictions and accommodates three (3) lanes of traffic in each direction within a divided carriageway. Both kerbsides are subject to 'No Stopping' restrictions, as well as clearway restrictions which operate between 6am-7pm, Monday to Friday and 8am-8pm, Saturday and Sunday.
- Centenary Drive: forms part of TfNSW state road MR200. Centenary Drive runs in a north-south direction between Homebush Bay Drive in the north and Hume Highway in the south. Centenary Drive is subject to 80 km/h speed zoning restrictions and accommodates three (3) lanes of traffic in each direction within an undivided carriageway.
- Marlborough Road: forms part of TfNSW state road MR200. Marlborough Road generally runs in north-south direction and is provided in the form of a loop road between Parramatta Road in the north and Richmond Road in the south. It runs underneath the Centenary Drive overpass at both its northern and southern ends and provides on/off ramps to Centenary Drive. Along the site frontage, Marlborough Road accommodates three (3) right turn lanes onto Parramatta Road and one (1) left turn lane onto Parramatta Road. Marlborough Road is subject to 60 km/h speed zoning restrictions and 'No Stopping' restrictions are in place along both kerbsides.



Figure 1: Site Plan

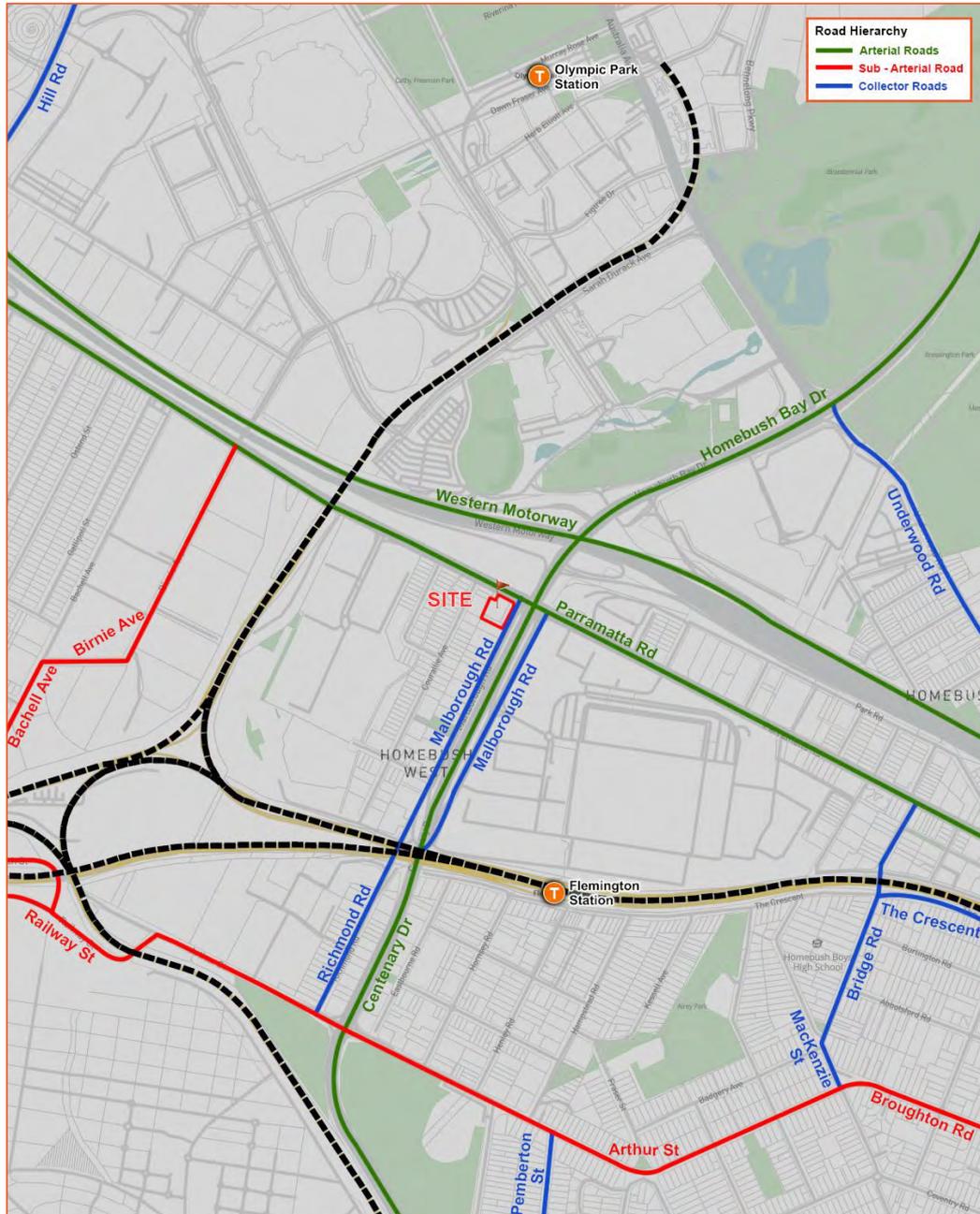


Figure 2: Existing Road Hierarchy



ACTIVE & PUBLIC TRANSPORT SERVICES

Rail Services

The Integrated Public Transport Service Planning Guidelines, Sydney Metropolitan Area, states that the walking catchment for metropolitan railway stations includes all areas within an 800-metre radius of a station. It can be seen from **Figure 3** that Flemington Railway Station is located approximately 700 metres south of the site and hence, falls inside the typical walking catchment area. Accordingly, future residents, employees and visitors of the proposed development would have convenient access to Flemington Railway Station and Sydney rail network as shown by **Figure 4**.

Flemington Railway Station is serviced by two (2) railway lines, being the T2 Inner West Line and T3 Bankstown Line. **Table 1** below shows the notable town centres that are accessible along the railway lines and the average service headways during peak and off-peak periods.

Table 1: Rail Services

RAILWAY LINE	NOTABLE TOWN CENTRES ALONG LINE	AVERAGE HEADWAY
T2 Inner West & Leppington Line	Leppington, Glenfield, Liverpool, Cabramatta, Parramatta, Granville, Lidcombe, Homebush, Strathfield, Ashfield, Redfern, Central, Townhall, Wynyard, Circular Quay, St James, Museum, St James	Weekdays: 5-15 minutes all day Weekends: 5-15 minutes all day
T3 Bankstown Line	Liverpool, Lidcombe, Birrong, Bankstown, Sydenham, Redfern & Sydney CBD	Weekdays: 7-13 minutes peak / 30 minutes off peak Weekends: 30 minutes

Bus Services

The Integrated Public Transport Service Planning Guidelines, Sydney Metropolitan Area, states that the walking catchment for metropolitan bus services includes all areas within a 400-metre radius of a bus stop. There are no bus stops within 400 metres radius of the site however, there are a number of bus services that operate within 800 metres of the site as shown by **Figure 3**.

Table 2 overleaf shows the notable town centres that are accessible via these bus services and the average service headways during peak and off-peak periods.



Table 2: Bus Services

ROUTE NO.	ROUTE (TO / FROM)	ROUTE DESCRIPTION	AVERAGE HEADWAY
401	Lidcombe Station to Lidcombe Birnie Ave	Loop service	Weekdays: 20-30 minutes all day Weekends: No Services
408	Rookwood Cemetery to Burwood via Flemington	Via Flemington	Weekdays: 1 hour, 7 services only Weekends: 1 hour, 7 services only
525	Parramatta to Strathfield via Sydney Olympic Park	Via Rydalmere, Newington, Sydney Olympic Park, Homebush	Weekdays: 10 - 30 minutes all day Weekends: 30 minutes – 1 hour
526	Burwood to Rhodes Shopping Centre	Via Homebush, Sydney Olympic Park, Newington, Wentworth Point	Weekdays: 20-30 minutes all day Weekends: 30 minutes
N60	Fairfield to City Town Hall (Night Service)	Via Yennora, Holroyd, Clyde, Homebush West, Burwood, Ashfield, Chippendale	Weekdays: 30 minutes Weekends: 30 minutes, 8 services on Saturday & 4 services on Sunday
N61	Carlingford to City Town Hall (Night Service)	Via Telopea, Rydalmere, Clyde, Homebush, Burwood, Ashfield, Chippendale	Weekdays: 1 hour, 3 to 4 services only Weekends: 1 hour, 3-4 services on Saturday and no services on Sunday

EXISTING TRAFFIC GENERATION

As previously mentioned, the existing site accommodates a bulky goods retail store and a commercial premise, having an estimated bulky goods retail GFA of 1,247 m² and commercial GFA of 680 m². The applicable traffic generation rates for the existing uses have been derived from the RMS Technical Direction TDT 2013 / 04a (RMS Guide Update), being as follows:

- Commercial: 1.6 trips / 100 m² GFA / hour during the 7-9am (AM) peak period;
1.2 trips / 100 m² GFA / hour during the 4-6pm (PM) peak period.
- Bulky Goods Retail: nil trips during the AM peak period (Bulky good retail stores typically don't operate during the AM peak period);
2.7 trips / 100 m² GFA / hour during the PM peak period.

Application of the above trip rates to the existing commercial and bulky goods retail GFAs results in the following peak period traffic generation:

- 11 vehicle trips / hour (9 in, 2 out) during the AM peak period;
- 42 vehicle trips / hour (19 in, 23 out) during the PM peak period.

The above accounts for the commercial peak movements of 80% inbound and 20% outbound split during the AM peak period, noting that most trips will be associated with staff arriving at the site, and vice versa for the weekday PM peak period. The bulky goods retail component adopts a 50% inbound and 50% outbound split during the PM peak period.

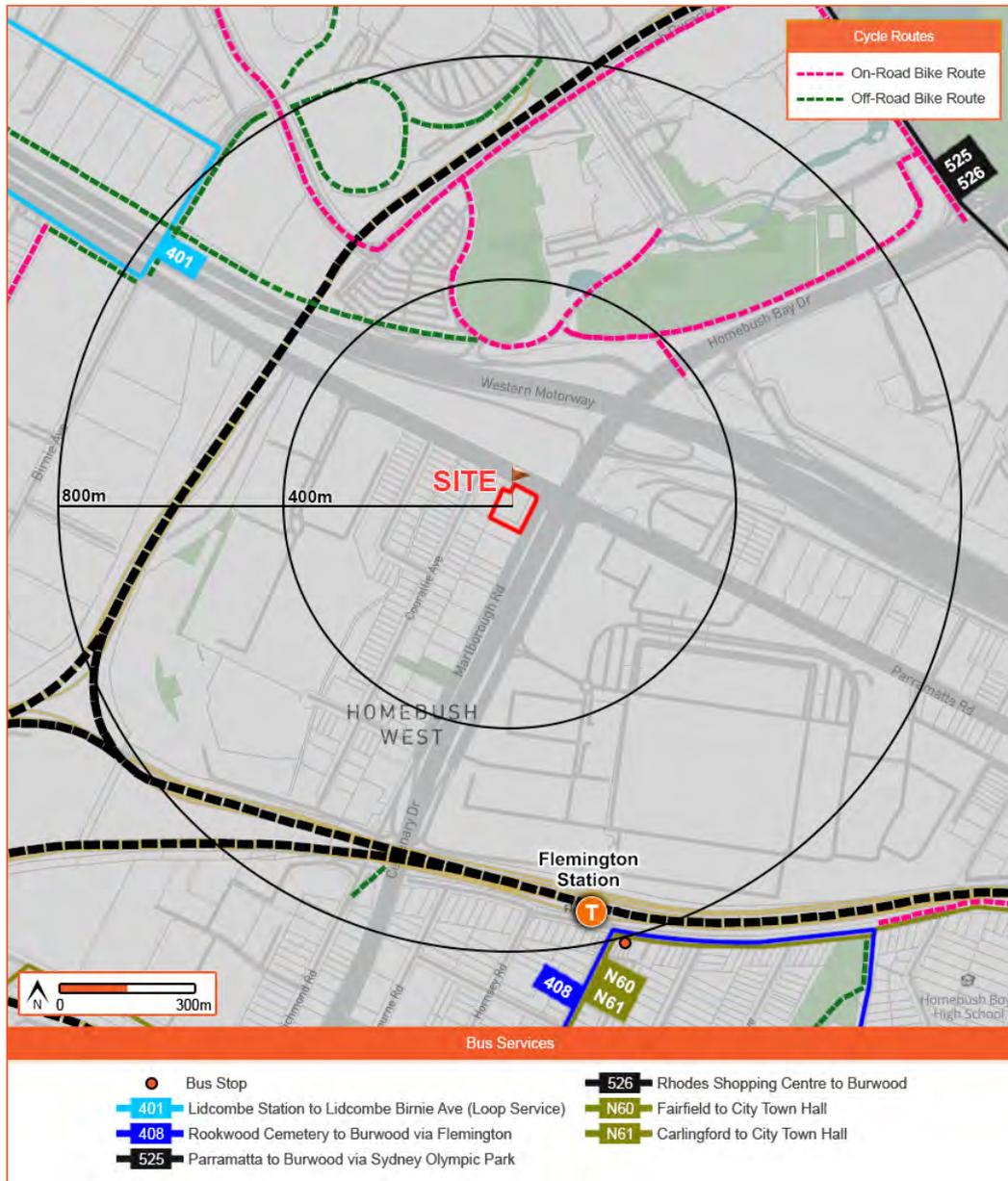


Figure 3: Public and Active Transport Services



Figure 4: Sydney Trains Rail Network - Suburban



PROPOSED DEVELOPMENT

The Planning Proposal seeks approval for rezoning of the site to allow for a mixed-use development. As per the concept plans prepared by GM Architects, the indicative development would comprise:

- 994 m² commercial GFA;
- 1,081 m² supermarket GFA;
- 207 m² retail GFA;
- 313 m² rooftop licensed premises GFA;
- 150 residential apartments across Levels 1-15;
- A total of 325 car parking spaces within four (4) basement levels;
- Loading area accommodating three (3) service vehicles;
- Vehicle access via Marlborough Road leading to the loading dock and car parking levels;
- Pedestrian access via Marlborough Road and Parramatta Road.

CAR PARKING REQUIREMENTS

Residential

The site is situated 700 metres from Flemington Railway Station and hence, falls within an 800 metre radius of a railway station within the Sydney Metropolitan Area. Accordingly, the car parking requirement for the residential component of the development is to be assessed in accordance with the Strathfield DCP 2005 and NSW Apartment Design Guide (ADG), as stipulated by Clause 30(1)(a) of the SEPP No 65 – Design Quality of Residential Apartment Development (SEPP 65).

As stated by Objective 3J-1 of the ADG, the minimum car parking requirement for a residential flat building development is set out in the RMS Guide to Traffic Generating Developments (RMS Guide) or Council's DCP, whichever is less. In this regard, the car parking requirement for the proposed residential apartments has been assessed separately against both the RMS Guide and Strathfield DCP 2005.

Table 3 below shows the residential car parking requirement for the development under application of both the RMS Guide and Strathfield DCP 2005.

Table 3: Residential Car Parking Requirement & Provision

TYPE	NO	RMS PARKING RATE	DCP PARKING RATE ¹	RMS REQUIREMENT	DCP REQUIREMENT	PARKING PROVISION
1 bedroom	30	0.6 spaces / unit	1.0 space / unit	141	225	182
2 bedrooms	90	0.9 spaces / unit	1.5 spaces / unit			
3 bedrooms	30	1.4 spaces / unit	2.0 spaces / unit			
Visitor	150	0.2 spaces / unit	0.2 spaces / unit	30	30	30
TOTAL				171	255	212

¹ Parking rate from - PART C of Strathfield DCP Multiple-Unit Housing



It is evident from **Table 3** that the residential component of the development requires a minimum of 171 car parking spaces, being the lesser of the RMS Guide and Strathfield DCP 2005 requirements. In response, the development provides a total of 212 car parking spaces for the residential component thereby satisfying the minimum parking requirement under Clause 30(1)(a) of the SEPP 65. The proposed residential car parking provision is therefore considered acceptable.

Non-Residential

The parking requirement for the non-residential land uses has been assessed in accordance with the Strathfield DCP 2005. It is however noted that the Strathfield DCP 2005 does not provide a specific rate for 'licensed premises' and accordingly, the 'restaurant' parking rate has been adopted in this instance as it has been deemed the most comparable use when considering the available parking rates in the Strathfield DCP 2005. **Table** below shows the minimum car parking requirement for the non-residential land uses.

Table 4: Non-Residential Car Parking Requirement & Provision

TYPE	GFA	DCP PARKING RATE	DCP REQUIREMENT	PARKING PROVISION
Commercial	994 m ²	1.0 space / 40 m ² GFA	25	25
Licensed Premises (Restaurant)	313 m ²	1.0 space / 40 m ² GFA	8	8
Retail	207 m ²	6.2 spaces / 100 m ² GLA	13	13
Supermarket	1,081 m ²	6.2 spaces / 100 m ² GLA	67	67
TOTAL			113	113

¹ GLA – Gross Leasable Floor Area.

² 'Licensed Premises' – Restaurant parking rate applied.

³ For the purposes of a conservative assessment, the retail and supermarket GFAs have been treated as GLA.

It is evident from **Table 4** that the non-residential component of the development requires a minimum of 113 car parking spaces under Strathfield DCP 2005. In response, 113 car parking spaces are provided for the non-residential component of the development satisfying the minimum requirement of Strathfield DCP 2005. The proposed non-residential car parking provision and allocation is therefore considered acceptable.

MOTORCYCLE AND BICYCLE PARKING REQUIREMENTS

The Strathfield DCP 2005 does not specify a specific rate for bicycle parking, but rather Part C Section 2.9 of the Strathfield DCP 2005 states the following:

2.9 Access and Parking

10. Suitable facilities for accommodating bicycle parking in all residential flat buildings must be provided.

In response, development provides a total of 71 bicycle parking spaces, comprising of 26 spaces for retail and commercial staff and visitors, 30 spaces for residents and 15 spaces for residential visitors. This is considered an acceptable level of provision.

In addition, the Strathfield DCP 2005 does not specify a specific rate for motorcycle parking. The proposed development does not provide any motorcycle spaces and this is considered acceptable.



SERVICE VEHICLE PARKING & WASTE COLLECTION

The Strathfield DCP 2005 does not stipulate a service vehicle rate for the proposed development. Accordingly, reference was made to the RMS Guide which provides recommended service vehicle parking rates for various land-uses. **Table 5** shows the recommended service vehicle parking requirements under the applicable parking rates and the proposed provision in response.

Table 5: Service Vehicle Parking Requirement & Provision

TYPE	NO / GFA	RMS PARKING RATE	RMS REQUIREMENT	PARKING PROVISION
Residential	150 units	1.0 space / 50 units	3	7
Commercial	994 m ²	1.0 space / 4,000 m ²	0.24	
Retail, Supermarket and Licensed Premises (Restaurant)	1,601 m ²	1.0 space / 400 m ²	4	
TOTAL			7	7

From **Table 5**, it is evident that the development is recommended to provide a total of seven (7) service vehicle parking spaces under the RMS Guide which includes a combination of courier/van bays and truck bays.

In response, the development provides a large loading dock area on Basement Level 1 which has capacity to accommodate a total of seven (7) loading bays and would include a combination of courier/van bays and truck bays. The largest vehicle to access the loading area will be a 12.5 metre Heavy Rigid Vehicle (HRV).

Waste collection the development would be undertaken on-site within the loading dock area.

The above on-site service vehicle and waste collection arrangements are considered acceptable and will ensure that servicing and waste collection of the development can be undertaken safely and efficiently.

TRAFFIC GENERATION

Table 6 below shows the estimated traffic generation of the proposed development which has been assessed in accordance with the recommended trip rates in the RMS Guide and RMS Guide Update.



Table 6: Traffic Generation of Proposed Development

TYPE	NO / GFA	AM PEAK TRIP RATE	PM PEAK TRIP RATE	AM PEAK TRIP GENERATION	PM PEAK TRIP GENERATION
Residential	150 units	0.19 trips / unit	0.15 trips / unit	29 vehicle trips / hour (6 in, 23 out)	23 vehicle trips / hour (18 in, 5 out)
Commercial	994 m ²	1.6 trips / 100 m ² GFA	1.2 trips / 100 m ² GFA	16 vehicle trips / hour (13 in, 3 out)	12 vehicle trips / hour (2 in, 10 out)
Specialty Retail	207 m ²	2.3 trips / 100 m ² GFA	4.6 trips / 100 m ² GFA	5 vehicle trips / hour (3 in, 2 out)	10 vehicle trips / hour (5 in, 5 out)
Supermarket	1,081 m ²	7.8 trips / 100 m ² GFA	15.5 trips / 100 m ² GFA	84 vehicle trips / hour (42 in, 42 out)	168 vehicle trips / hour (84 in, 84 out)
Licensed Premises (Restaurant)	313 m ²	1.5 trips / 100 m ² GFA	5.0 trips / 100 m ² GFA	5 vehicle trips / hour (3 in, 2 out)	16 vehicle trips / hour (8 in, 8 out)
TOTAL				139 vehicle trips (67 in, 72 out)	229 vehicle trips (117 in, 112 out)

Note:

1. *Specialty retail AM trip rate has been assumed as being 50% of the PM trip rate.*
2. *Supermarket AM trip rate has been assumed as being 50% of the PM trip rate.*
3. *Restaurant AM trip rate has been assumed as being 30% of the PM trip rate.*

Table 6 shows the proposed development will generate 139 vehicle trips (67 in, 72 out) during the weekday AM peak period and 229 vehicle trips (117 in, 112 out) during the PM peak period. These volumes are not a net increase in traffic generation as they do not take into consideration the generation of the existing development. In this regard, the net increase in traffic generation as a result of the development will be as follows:

- 128 vehicle trips / hour (58 in, 70 out) , during the AM peak period;
- 187 vehicle trips / hour (98 in, 89 out) , during the PM peak period.

TRAFFIC IMPACTS

As discussed above, the proposed development will result in a net increase in traffic generation of 128 vehicle trips / hour during the weekday AM peak and 187 vehicle trips / hour during the weekday PM peak.

At this preliminary stage, traffic modelling has not been undertaken to assess the impact of the increase in traffic generation on the external road network given the uncertainty of the proposed land-uses (and resultant change to the traffic generation of the site). Detailed traffic modelling of the external road network will be undertaken as part of any subsequent development application (DA) submission to Council which shall assess the traffic impacts and detail any required infrastructure upgrades to facilitate the development.

DESIGN ASPECTS

The proposed access and car parking arrangements generally comply with the relevant requirements of AS 2890.1, AS 2890.2 and AS 2890.6, with the following comments considered noteworthy:



Access

- The concept plans show the proposed development will have a 6.5 metre wide combined entry / exit driveway onto Marlborough Road.
- In accordance with the Strathfield DCP 2005 and AS 2890.1, the proposed development requires a Category 4 Driveway under Table 3.2 of AS 2890.1, being a separated entry / exit driveway with an entry lane width of 6.0-8.0 metres and exit lane width of 6.0-8.0 metres. As part of any subsequent DA submission, the access would be redesigned to comply with the Category 4 Driveway requirements of AS 2890.1.

Ramps

- The ramp providing access to the loading area shall be designed for a 12.5 metre HRV in accordance with AS 2890.2.
- The ramps providing access to car parking areas shall be designed for B99 vehicles in accordance with AS 2890.1.

Car Parking & Head Heights

- All residential and staff car parking spaces shall be designed in accordance with the User Class 1A requirements of AS 2890.1, having a minimum space width of 2.4 metres and length of 5.4 metres, with an aisle width of 5.8 metres.
- All retail and commercial visitor parking spaces shall be designated in accordance with the User Class 3A requirements of AS 2890.1, either having a:
 - Minimum space width of 2.6 metres and length of 5.4 metres, within an aisle width of 6.6 metres, or
 - Minimum space width of 2.7 metres and length of 5.4 metres, within an aisle width of 6.2 metres.

Head Heights

- A minimum clear head height of 4.5 metres is required above all traffic circulation from the vehicle access and loading dock area in accordance with Table 4.1 of AS 2890.2.
- A minimum clear head height of 2.2 metres is required above all traffic circulation and car parking areas in accordance with Clause 5.3.1 of AS 2890.1. An increased height of 2.4 metres is required above accessible parking spaces and shared areas as per AS 2890.6.

The proposed access and car parking arrangements as reflected on the concept plans generally comply with the relevant requirements of AS 2890.1, AS 2890.2 and AS 2890.6. The design will be assessed in further detail to ensure compliance is achieved with all aspects of these standards as part of any subsequent DA submission to Council.

SUMMARY

In summary:

- PDC Consultants has been commissioned by GM Architects to undertake a traffic impact statement to accompany a Planning Proposal, relating to the site at 330-332 Parramatta Road, Homebush West. The concept plans envisage the following development:
 - 994 m² commercial GFA;
 - 1,081 m² supermarket GFA;
 - 207 m² retail GFA;
 - 313 m² rooftop licensed premises GFA;



- 150 residential apartments across Levels 1-15;
 - A total of 325 car parking spaces within four (4) basement levels;
 - Loading area accommodating three (3) service vehicles;
 - Vehicle access via Marlborough Road leading to the loading dock and car parking levels;
 - Pedestrian access via Marlborough Road and Parramatta Road.
- The traffic generation assessment confirms that the proposed development will generate 139 vehicle trips / hour during the AM peak and 229 vehicle trips / hour during PM peak. The net increase will be 128 vehicle trip / hour during AM peak and 187 vehicle trips / hour during PM peak, once the generation of the existing development is taken into consideration. Detailed traffic modelling of the external road network will be undertaken as part of any subsequent development application (DA) submission to Council which shall assess the traffic impacts and detail any required infrastructure upgrades to facilitate the development.
 - The development requires a minimum of 284 car spaces (171 residential and 113 non-residential) under application of the Strathfield DCP 2005 and ADG. The development provides 325 car spaces (212 residential and 113 non-residential) and therefore satisfies the minimum requirements of the Strathfield DCP 2005 and ADG. The proposed car parking provision is therefore considered acceptable.
 - The proposed access and car parking arrangements comply with the relevant requirements of AS 2890.1 and AS 2890.2. Any minor amendments considered necessary (if any) can be dealt with prior to the release of a Construction Certificate.
 - The proposed access and car parking arrangements as reflected on the concept plans generally comply with the relevant requirements of AS 2890.1, AS 2890.2 and AS 2890.6. The design will be assessed in further detail to ensure compliance is achieved with all aspects of these standards as part of any subsequent DA submission to Council.

The proposed development is therefore supportable on traffic planning grounds. Please contact the undersigned should you have any queries or require any further information.

Yours sincerely,

A handwritten signature in black ink that reads 'M. Mulholland'.

Maria Mulholland
Traffic Engineer, PDC Consultants

Email: maria@pdccconsultants.com.au

Economic Impact Assessment

330-332 Parramatta Road Homebush West



21 December 2021

This report has been prepared for

GM Architects Pty Ltd

by



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1 Introduction

We have been retained by GM Architects to address Criteria 5 and 6 of the Out of Sequence Checklist contained in the Parramatta Road Implementation Plan 2016-2023.

GM Architects is preparing a Planning Proposal for the rezoning of a site at 330-332 Parramatta Road Homebush West from B6 Enterprise Corridor with FSR (Floor Space Ratio) of 2.25:1 and HOB (Height of Building) of 22 m to B4 Mixed Use with FSR of 4.05:1 and HOB of 60 m. The zoning change will allow for the construction of high rise residential apartments over commercial and retail uses (Shop top Housing).

Approval of the Planning Proposal will deliver 2,388 m² of commercial floor space, 207 m² of retail floor space, 30 one bedroom apartments, 90 two bedroom apartments and 30 three bedroom apartments with 325 car spaces.

The *Parramatta Road Corridor Urban Transformation Implementation Plan 2016-2023* (the plan)¹ identifies release areas and accompanying infrastructure to facilitate development is set out in the *Parramatta Road Open Space and Infrastructure Schedule*.²

The plan provides an Out of Sequence Checklist to ensure that:

“... changes to the land use zone or development controls do not occur without meeting the underlying Principles and Strategic Actions of the Strategy, such as the necessary transport, services and social infrastructure to service a new population. It will also ensure the established benchmarks for the quality of development and public domain outcomes desired for the Corridor are achieved”.

Criteria 5 Feasibility states that:

The planning proposal presents a land use and development scenario that demonstrates economic feasibility with regard to the likely costs of infrastructure and the proposed funding arrangements available for the Precinct or Frame Area

Criteria 6 Market Viability states that:

The planning proposal demonstrates a land use and development scenario that aligns with and responds to market conditions for the delivery of housing and employment for 2016 to 2023. Viability should not be used as a justification for poor planning or built form outcomes.

The figure below shows the proposed site in the context of the Homebush precinct 2016-2023 release area. It can be seen that the 2016-23 release areas are located adjacent to Concord West Railway Station in Canada Bay LGA and Homebush Railway Station in Strathfield LGA.

For the purposes of assessing the Out of Sequence Checklist items, this report assumes that the comparison is between the delivery of housing and employment spaces on the subject site compared to the delivery of housing and employment spaces in either the Concord West Sub Precinct or in the Homebush Railway Station Sub Precinct.

¹ Urban Growth NSW (2016) *Parramatta Road Corridor Urban Transformation Implementation Plan 2016-2023*

² Urban Growth NSW (2015) *Parramatta Road Open Space and Infrastructure Schedule*

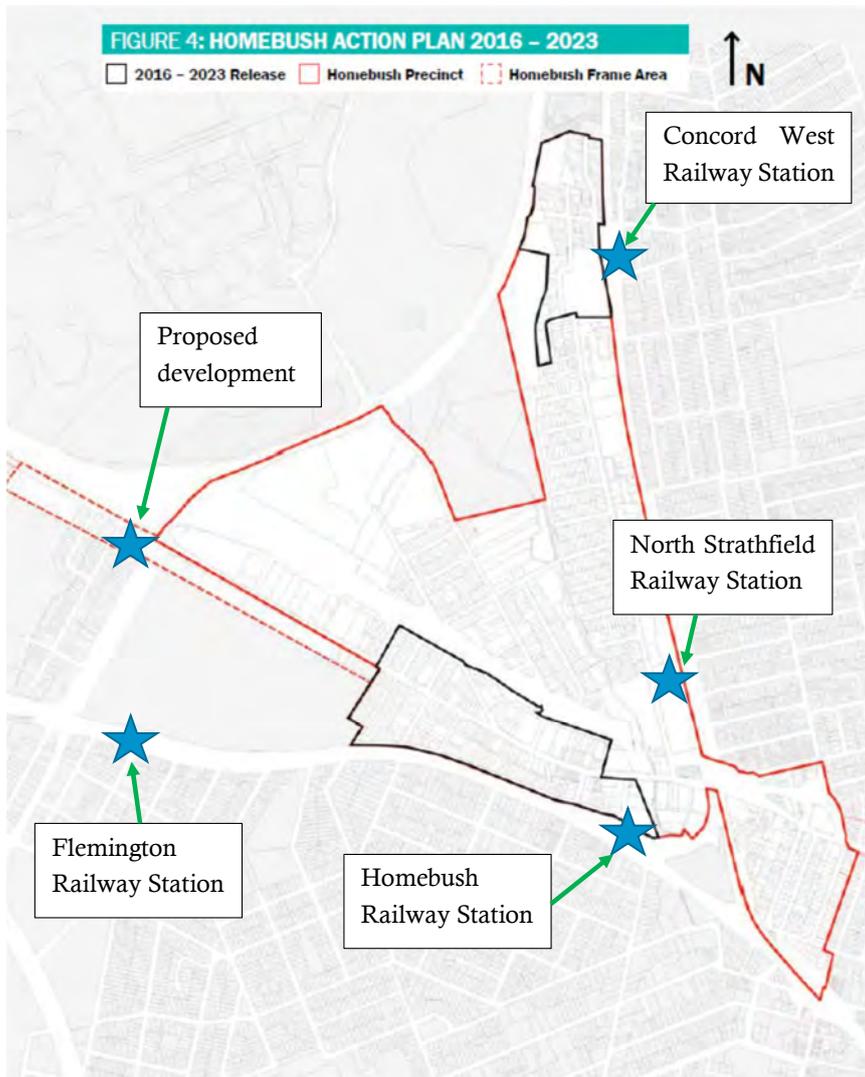


Figure 1.1: Development in the context of the Homebush Precinct

Source: Urban Growth NSW (2016) Parramatta Road Corridor Urban Transformation Implementation Plan 2016-2023

2 Criteria 5 Feasibility

2.1 Road/Intersection Improvement

Based on a preliminary review of the road network, compared to the baseline of similar development in the Concord West and Homebush Railway Station Sub Precincts, and assuming similar destinations for residents, the proposed development is expected to have the following impacts:

Parramatta Road east of Queen Street – No net impact

Parramatta Road west of Marlborough Road – No net impact

Parramatta Road between Marlborough Road and Queen Street – an increase in eastbound traffic and a decrease in west bound traffic

Centenary Drive – No net impact

Intersection of Marlborough Road and Parramatta Road – a net increase in traffic

Local Roads – changes in net impact

The Traffic Impact Statement for the proposal states:

At this preliminary stage, traffic modelling has not been undertaken to assess the impact of the increase in traffic generation on the external road network given the uncertainty of the proposed land-uses (and resultant change to the traffic generation of the site). Detailed traffic modelling of the external road network will be undertaken as part of any subsequent development application (DA) submission to Council which shall assess the traffic impacts and detail any required infrastructure upgrades to facilitate the development.³

With regard to Parramatta Road between Marlborough Road and Queen Street and Local Area Traffic Management (LATM), the development (in Precinct 2) will make a contribution under the Strathfield LGA *Direct Development Contributions Plan 2010 – 2030* for Parramatta Road and LATM Works.⁴ In the normal course of events, Council will make decisions on which projects to progress under these programs based on available funding and identified priorities and so the proposed development will satisfy Criteria 5 in this regard.

With regard to traffic impacts at the intersection of Marlborough Road and Parramatta Road, the developer proposes to carry out modelling at the time of DA submission. There is a mechanism through the Planning Proposal conditions of consent for the developer to make an appropriate contribution at that time for any improvements required as a result of additional traffic from the development. From Council's *Direct Development Contributions Plan 2010 – 2030*, the cost of

³ PDC Consultants (2021) *Traffic Impact Statement* p 12.

⁴ Strathfield LGA (2019) *Direct Development Contributions Plan 2010 – 2030* Table 4.2.

intersection improvements, if required will be of the order of \$200,000.⁵ Based on the feasibility analysis in Section 3 below, the project is expected to be able to accommodate this cost.

2.2 Potential Active Transport Improvement

With regard to active transport improvement, the development (in Precinct 2) will make a contribution under the Strathfield LGA *Direct Development Contributions Plan 2010 – 2030* for the Bay to Bay cycleway and for pedestrian improvements as part of the LATM program.⁶ In the normal course of events, Council will make decisions on which projects to progress under these programs based on available funding and identified priorities and so the proposed development will satisfy Criteria 5 in this regard.

2.3 Potential Public Transport Improvement

Funding for Public Transport Improvement projects will be driven by funding availability at the level of the NSW Government and project priority will be driven by need and political considerations. Consequently, the cost of any inadequacies in public transport will be borne by users as the cost of delays. While this is a cost to the general community and could be considered an externality generated by the development, the cost is not borne or incurred by government.

2.4 Open Space Provision and Embellishment

With regard to open space provision and embellishment, the development (in Precinct 2) will make a contribution under the Strathfield LGA *Direct Development Contributions Plan 2010 – 2030* for the open space in Couralie Avenue and embellishment of Austin Park.⁷ In the normal course of events, Council will make decisions on which projects to progress under these programs based on available funding and identified priorities and so the proposed development will satisfy Criteria 5 in this regard.

2.5 Community Infrastructure/Facilities

With regard to community infrastructure and facilities, the development (in Precinct 2) will make a contribution under the Strathfield LGA *Direct Development Contributions Plan 2010 – 2030* for the multi purpose centre in Couralie Avenue.⁸ In the normal course of events, Council will make decisions on which projects to progress under this program, based on available funding and identified priorities and so the proposed development will satisfy Criteria 5 in this regard.

⁵ Strathfield LGA (2019) *Direct Development Contributions Plan 2010 – 2030* Table I3.

⁶ Strathfield LGA (2019) *Direct Development Contributions Plan 2010 – 2030* Tables 5.2 and I3.

⁷ Strathfield LGA (2019) *Direct Development Contributions Plan 2010 – 2030* Table H1.

⁸ Strathfield LGA (2019) *Direct Development Contributions Plan 2010 – 2030* Table H1.

Council does not collect contributions for child care centres, and these are typically provided through the private market in response to demand, again satisfying Criteria 5.

2.6 Government School Requirements

The proposed development is in the catchment of Homebush West Public School and is expected to result in additional demand at this school at the expense of demand at Homebush Public School which services the Homebush Railway Station Sub Precinct.⁹ Both the proposed development and the Homebush Railway Station Sub Precinct are within the catchment for Homebush Boys High School and Strathfield Girls High School.

The NSW Government uses several strategies to manage enrolment demands in NSW public schools.¹⁰ These include:

- 1) Balancing enrolments across schools
- 2) Upgrading existing schools or building new schools
- 3) Using temporary facilities to manage short-term enrolment peaks

It is likely that the first strategy will be used to balance demand between Homebush West Public School and Homebush Public School at no additional cost and so Criteria 5 will be satisfied.

2.7 Sydney Local Health District Requirements

The subject site and the 2016-2023 release areas are both within the Sydney Local Health District.¹¹ At this scale, there is no net change in impacts on the Sydney Local Health District.

⁹ <https://schoolfinder.education.nsw.gov.au/> accessed 30 November 2021.

¹⁰ <https://www.schoolinfrastructure.nsw.gov.au/what-we-do/we-build-schools/planning-for-growth-fact-sheet.html> accessed 30 November 2021.

¹¹ <https://www.health.nsw.gov.au/lhd/Pages/lhd-maps.aspx> accessed 30 November 2021.

3 Criteria 6 Market Viability

3.1 Estimates of sales income

GM Architects has obtained a market assessment prepared by Francesco Portolesi of Strathfield Partners Real Estate. That report is attached. The report estimates that the total income from the project at \$129,096,000.

3.2 Estimate of underlying land value

Two recent sales of commercial and industrial land have been identified near the subject site. Details are shown in the table below.

Table 3.1: Recent sales of commercial and industrial land – Homebush West Suburb

Details	Sales Price	Area	\$/m ²
187 Parramatta Road Lot 3/ DP538771	\$11,500,000	4,306 m ²	\$2,671
350 Parramatta Road Lot 1/ DP1184509	\$350,000,000	12.41 ha	\$2,820

Source: EAC Redsquare data base, ISA Calculation

3.3 Economic Model

Preliminary economic modelling for the proposed development is set out in the table below. Within the accuracy of the modelling, it can be seen that the estimated funds available for the project exceeds the cost of delivery by \$600,000 and so the project is viable within the accuracy of the modelling.

Table 3.2: Economic modelling – Mixed use development 330-332 Parramatta Road Homebush West

	Item	Rate	Total
Net Income			
Estimated sales income	Subtotal		\$129,096,000
Less	5% affordable housing		(\$6,455,000)
	Selling and marketing costs	4%	(\$4,906,000)
	GST	10%	(\$10,703,000)

	Item	Rate	Total
Net Realisation			\$107,032,000
Allowance for profit		20%	(\$17,839,000)
Funds available for project			\$89,193,000
Cost of Development			
Land value	4,160 m ²	\$2,700	\$11,232,000
Demolition	4,160 m ²	\$115	\$478,000
Building Cost	16,863 m ² (Less 20% allowance for common areas)	\$2,670	\$36,019,000
Balconies	1,500 m ²	\$1,020	\$1,530,000
Parking (allow underground)	325 spaces	\$65,000	\$21,125,000
Subtotal			\$70,384,000
Professional fees	8%		\$4,694,000
Contingency	10%		\$5,915,000
Local infrastructure contributions	30 one bedroom	\$11,248	\$337,000
	90 two bedroom	\$16,299	\$1,467,000
	30 three bedroom	\$20,000	\$600,000
	Commercial	1% of commercial component	\$158,000
Holding and financing costs (Allow 2 year construction period, 12% per annum)	Allowance	6%	\$5,013,000
Total cost of Development			\$88,568,000

Source:EAC Redsquare data base, JSA Calculation

Attachment A – Market Appraisal



The site is identified within the Frame of the Homebush Precinct in the Parramatta Rd Corridor plans. It spans approximately from Lidcombe to Strathfield

homebush precinct

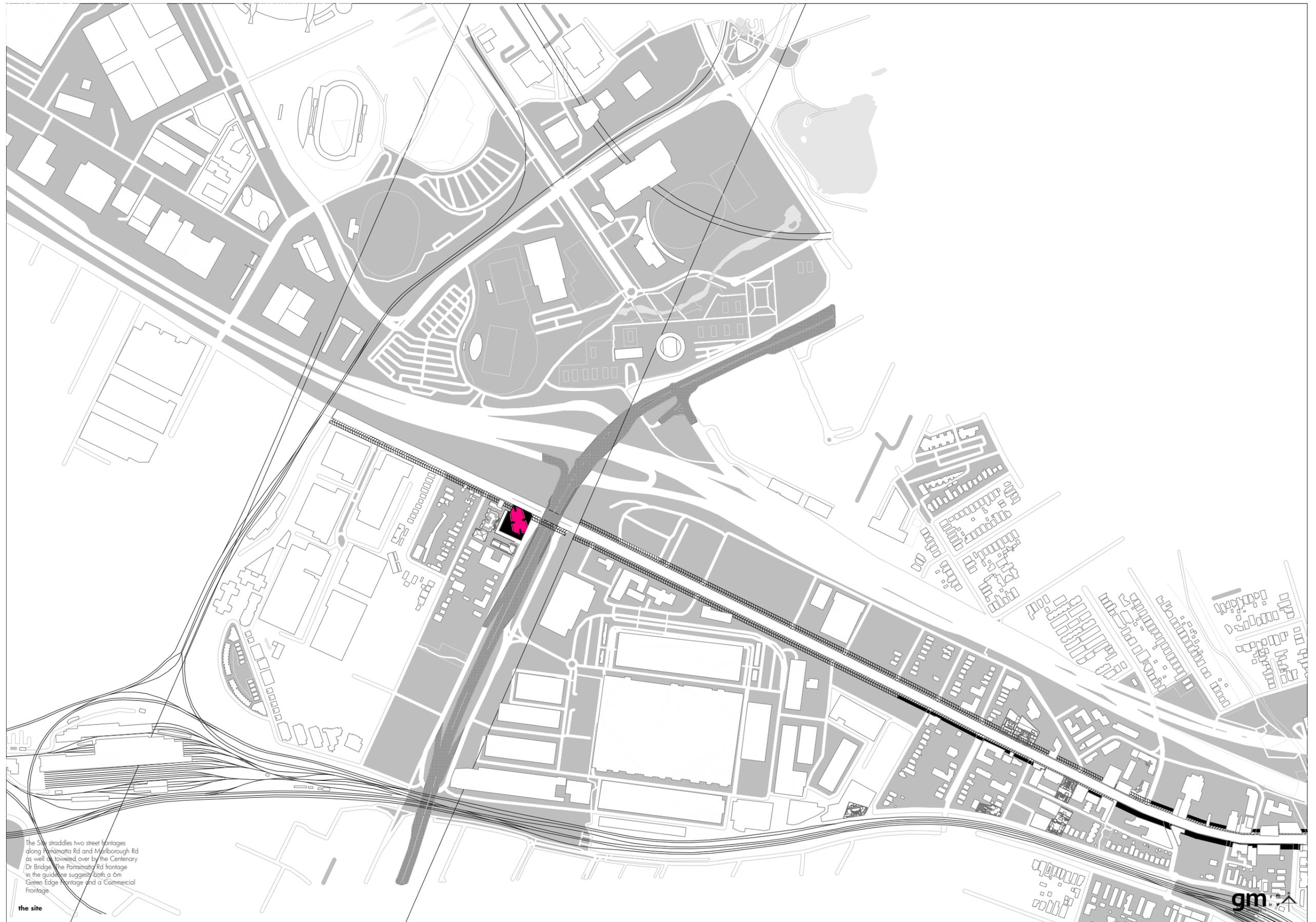


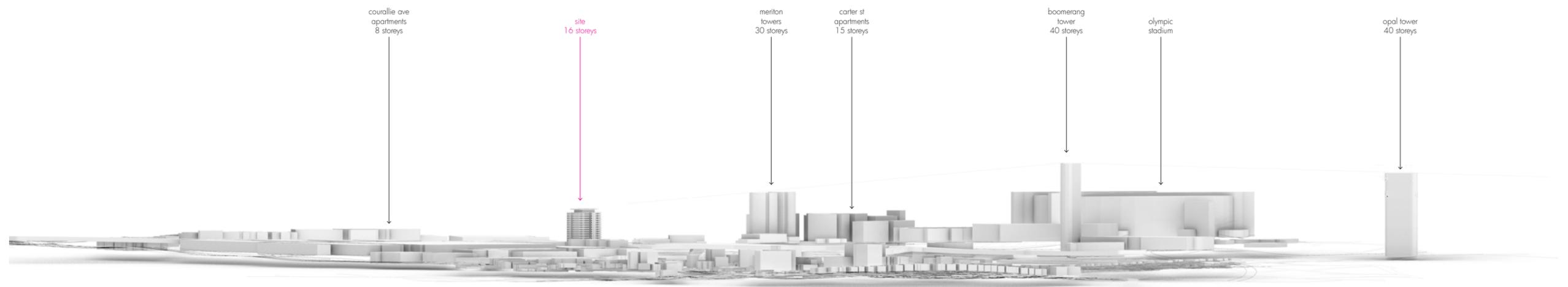


The East Corridor Character in The Parramatta Rd Corridor guidelines demarcate Precinct and Frames, Existing Open Spaces, Train Line and Stations, Green Edge Frontages, Active Frontages, Commercial Frontages, Links and Connections.

parramatta rd corridor







A cross section looking west identifies the precinct profile and projects the potential massing of the site, determining an appropriate height. Ranging up to 40 storeys in cases around Sydney Olympic Park, which has views that are unobstructed from the site.

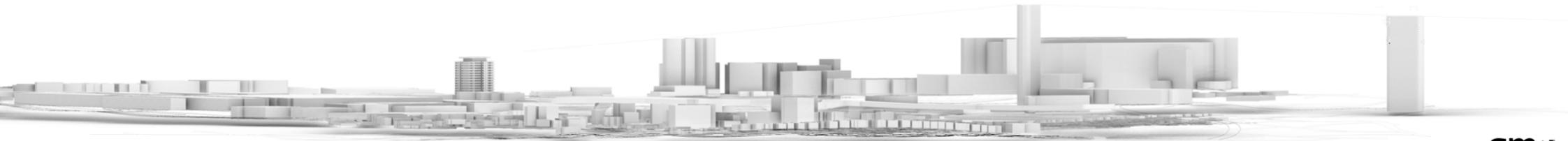
looking west



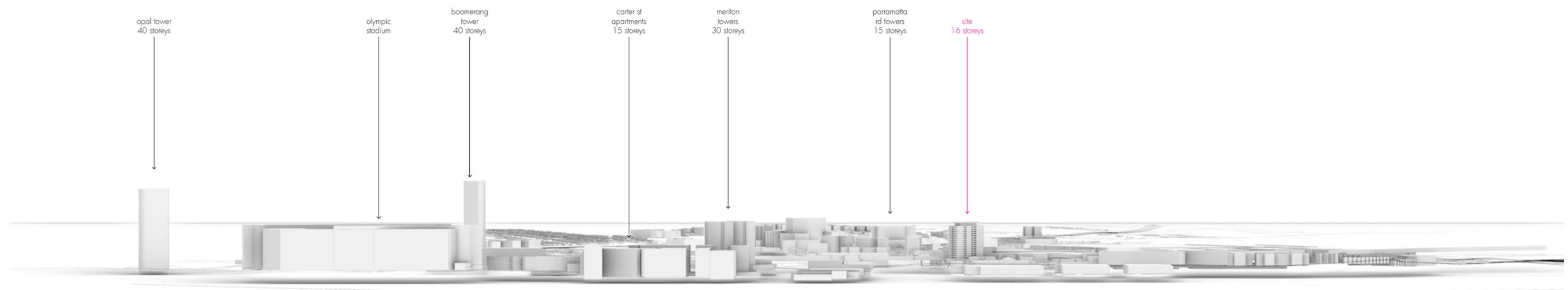


A Video Site Analysis traveling west towards Auburn, provides the experience of the precinct and surrounding areas. Limited interaction from any form other than through motor vehicle. Bridges, road signs, telecommunication stanchions, telegraph poles and power lines, advertising signs for industrial, commercial, car yards, Westconnex and M4 toll booths along with the high rise buildings near and far contribute to the surrounding context character.

travelling west



gm architects



A cross section looking east identifies the precinct profile and projects the potential massing of the site, in relation to other buildings in context. Ranging up to 40 storeys in cases around Sydney Olympic Park, which has views that are unobstructed from the site.

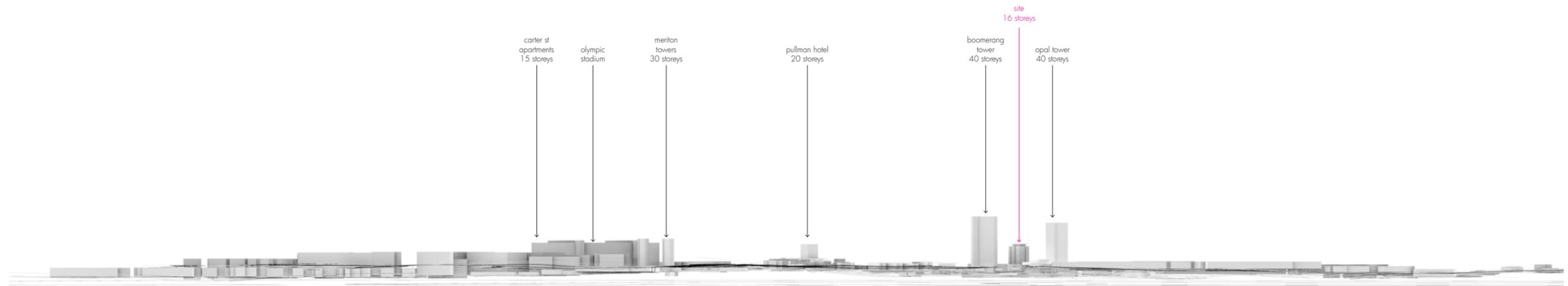
looking east



A Video Site Analysis traveling east towards Burwood provides the experience of the precinct and surrounding areas. Limited interaction from any form other than through motor vehicle. Bridges, road signs, telecommunication stanchions, telegraph poles and power lines, advertising signs for industrial, commercial, car yards, Westconnex and M4 toll booths along with the high rise mixed use buildings near and far contribute to the surrounding context character.

travelling east





A cross section looking north identifies the precinct profile and projects the potential massing of the site, in relation to other buildings in context. This profile shows the site siting geographically between the opal tower and the boomerang tower, both of which are 40 storeys in height. The triangulation can be seen unobstructed from the site, which is currently occupied as an office.

looking north



A Video Site Analysis traveling north towards Ryde, traveling along Centenary Dr, provides the experience of the precinct and surrounding areas. Limited interaction from any form other than through motor vehicle. Bridges, road signs, telecommunication stanchions, telegraph poles and power lines, advertising signs for industrial, commercial, car yards, Westconnex and M4 toll booths along with the high rise mixed use buildings near and far contribute to the surrounding context character.

travelling north





montage

gm architects



Envelope in previous planning proposal exploited set backs in an attempt to maximise the site's yield. The subsequent refusal of the application was justified by the lack of consideration for the existing context. This is a starting point, not a result, that will start a sequence of moves that consequentially provides form.

building envelope

built form

MARLBOROUGH RD

PARRAMATTA RD

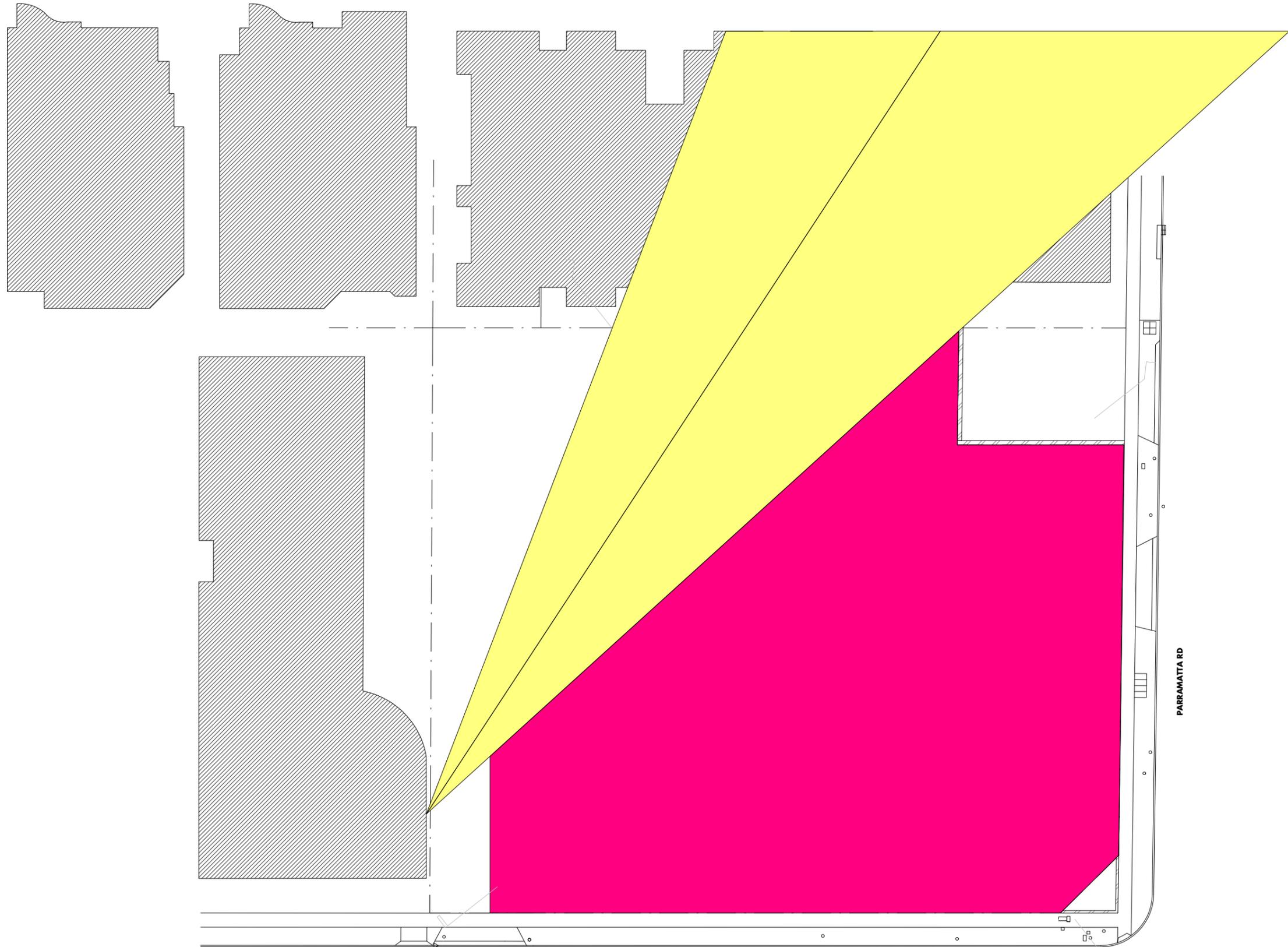


The second move is to ensure that the construction and development of a planning proposal does not adversely impact the neighbour's amenity. With the removal from the allowable envelope, the most affected neighbouring property achieves a minimum of 2hrs natural lighting to all internal areas of the building.

consider neighbour's solar access

built form





From 1 pm, there is now no obstruction to the neighbour achieving this requirement.

neighbour's solar access achieved

MARLBOROUGH RD

PARRAMATTA RD

built form



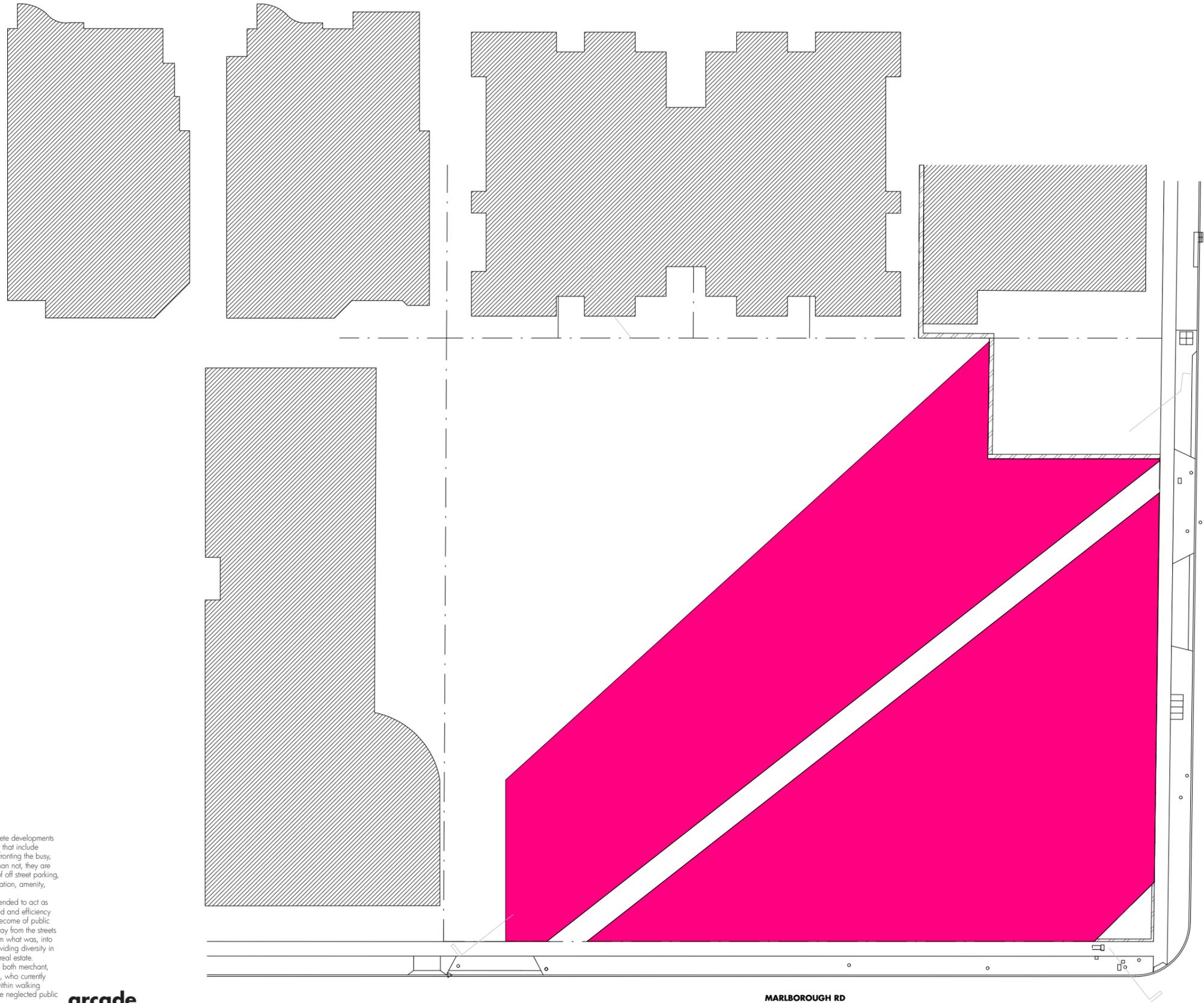


The site currently benefits from two driveways and hosts multiple businesses on the premises. Often, a pedestrian walking home from the station, may be spotted cutting through the site to avoid the noisy, congested meeting point of arterial connectors of Marlborough and Parramatta roads. The site also falls up to 3m from back to Parramatta road front. This is an opportunity to celebrate this topographical change by introducing porosity, and allowing the public circulation to continue in a modified form.

link marlborough road and parramatta rd

built form





There are many complete developments along Parramatta road that include commercial tenancies fronting the busy, car filled strip. More than not, they are vacant due to a lack of off street parking, inadequate size, circulation, amenity, among other reasons. The thoroughfare is intended to act as a refuge from the speed and efficiency hungry rush that has become of public space. It is a street away from the streets in an attempt to reclaim what was, into what could be, by providing diversity in commercial and retail real estate. This is to the benefit of both merchant, and the local residents, who currently have limited options within walking distance, or through the neglected public transport to the area.

arcade

built form





Pulling the form back from the neighbours, although daylighting is not affected, will reduce overlooking concerns. While it is inevitable that this may occur, measures have been adopted to increase the setback from existing residential neighbouring properties

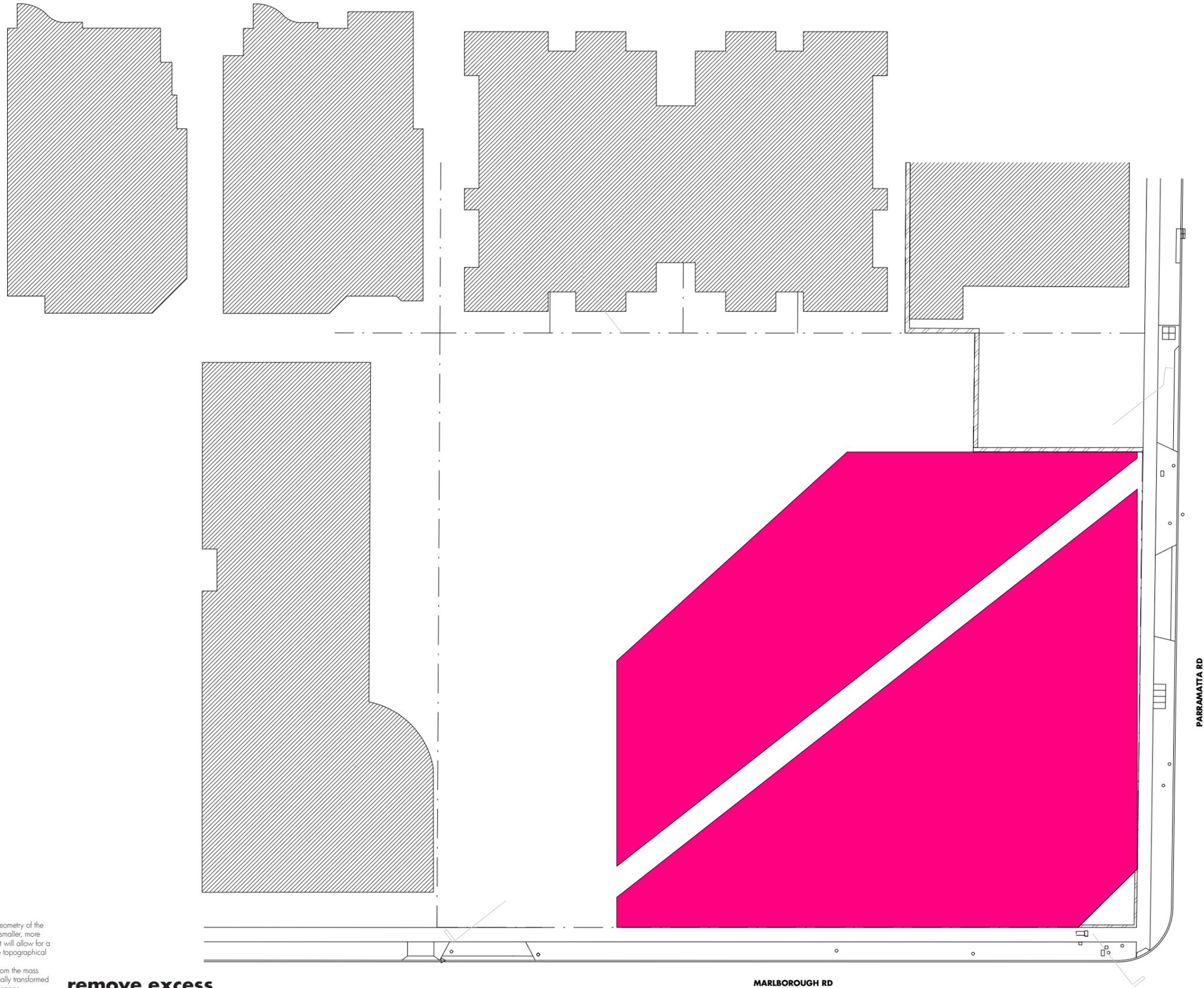
increase setbacks

built form

MARLBOROUGH RD

PARRAMATTA RD

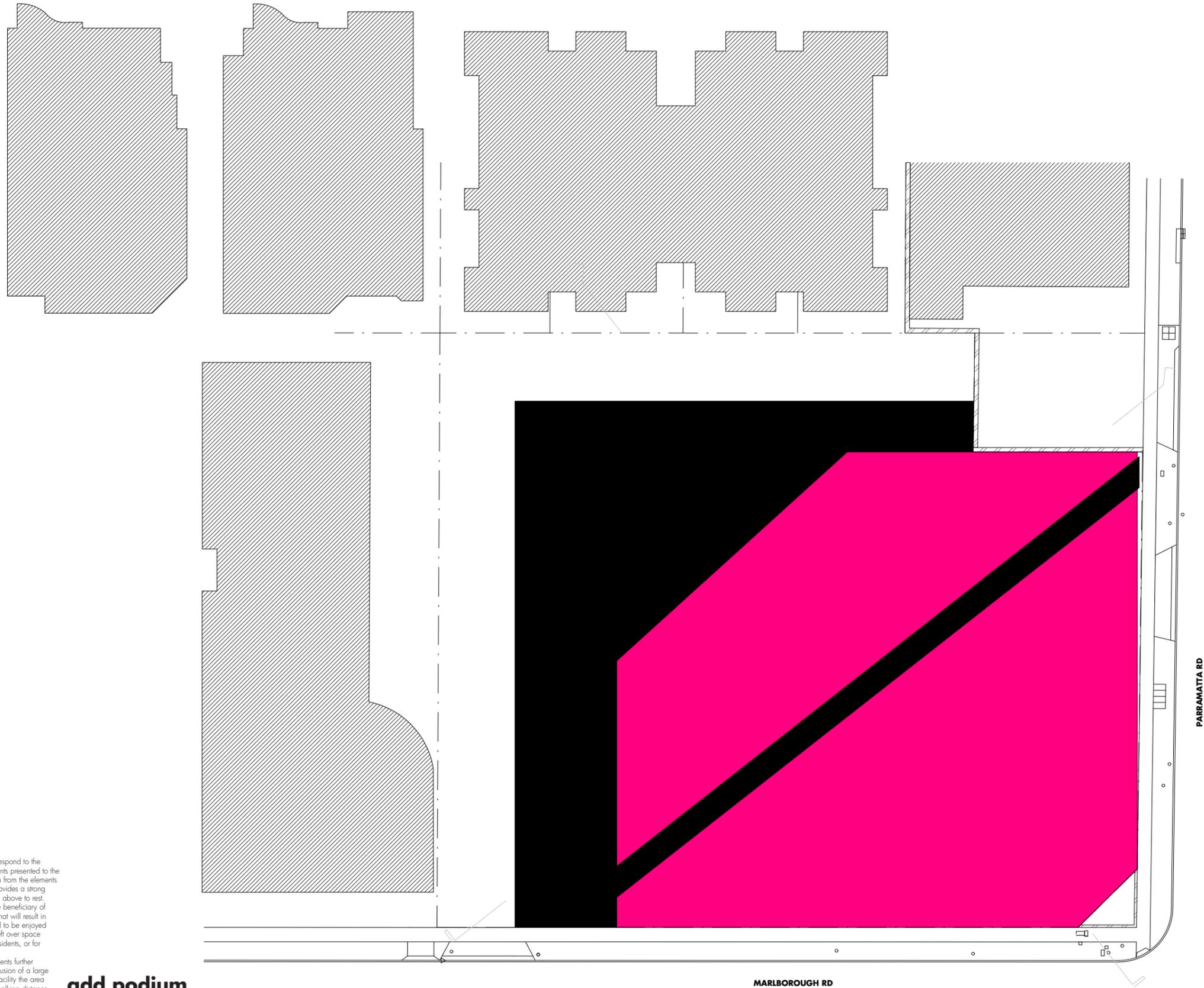




Consequently, the geometry of the form is simplified to a smaller, more concentrated mass that will allow for a podium to mediate the topographical difference.
The left over remains from the mass removal is consequentially transformed later to common open space.

remove excess

built form

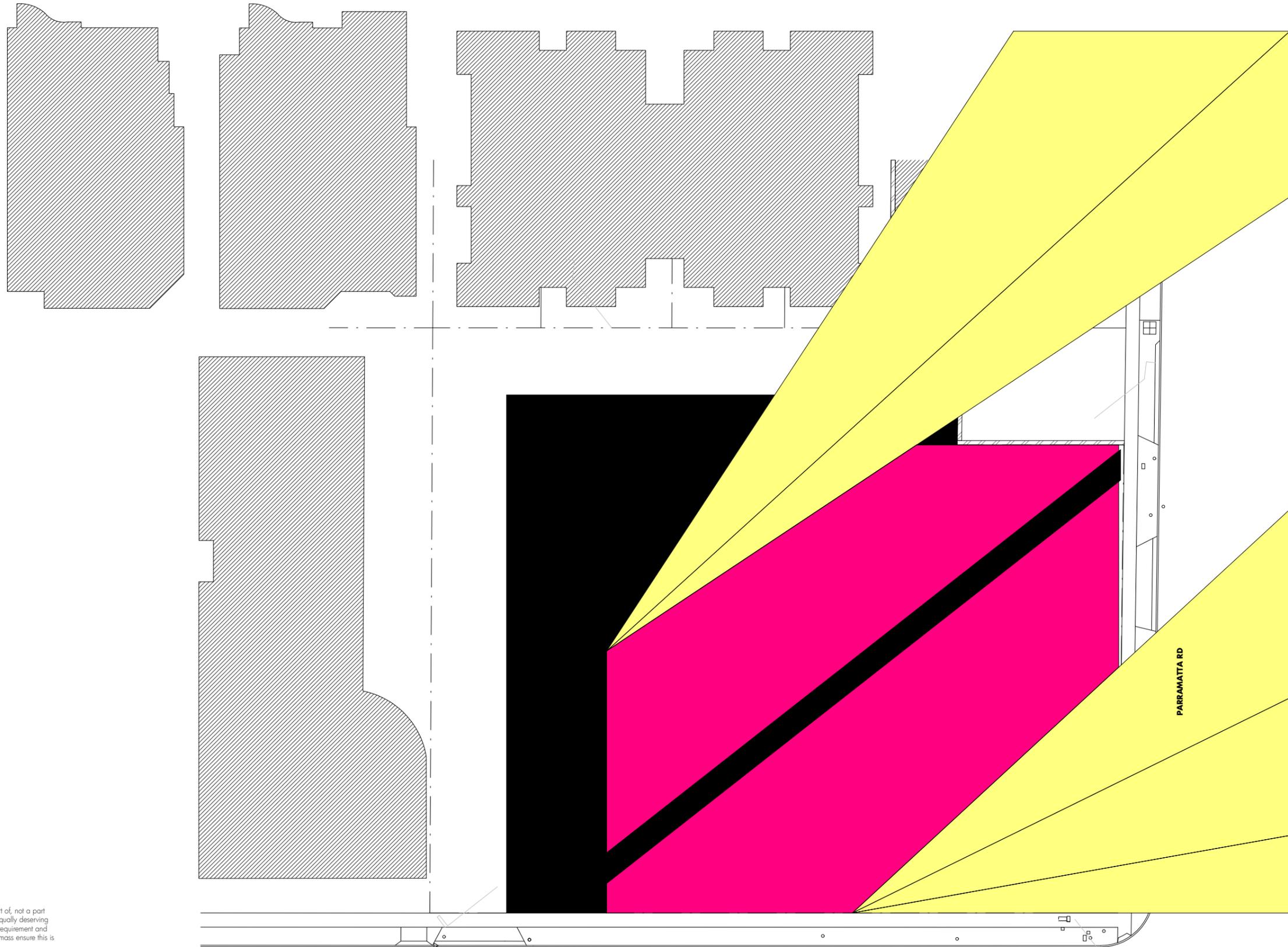


Adding a podium to respond to the topographical constraints presented to the site provides protection from the elements for pedestrians and provides a strong base to the lower form above to rest. The podium is also the beneficiary of the pragmatic moves that will result in the form. It is designed to be enjoyed as a free, undefined left over space for recreation of the residents, or for gatherings. The large podium presents further opportunity for the inclusion of a large sized supermarket. A facility the area currently lacks within walking distance.

add podium

built form





The project will be part of, not a part from it's context. It is equally deserving of the natural lighting requirement and removal of additional mass ensure this is achieved.
 The cut, in turn, ensures the podium receives natural lighting for communal use.

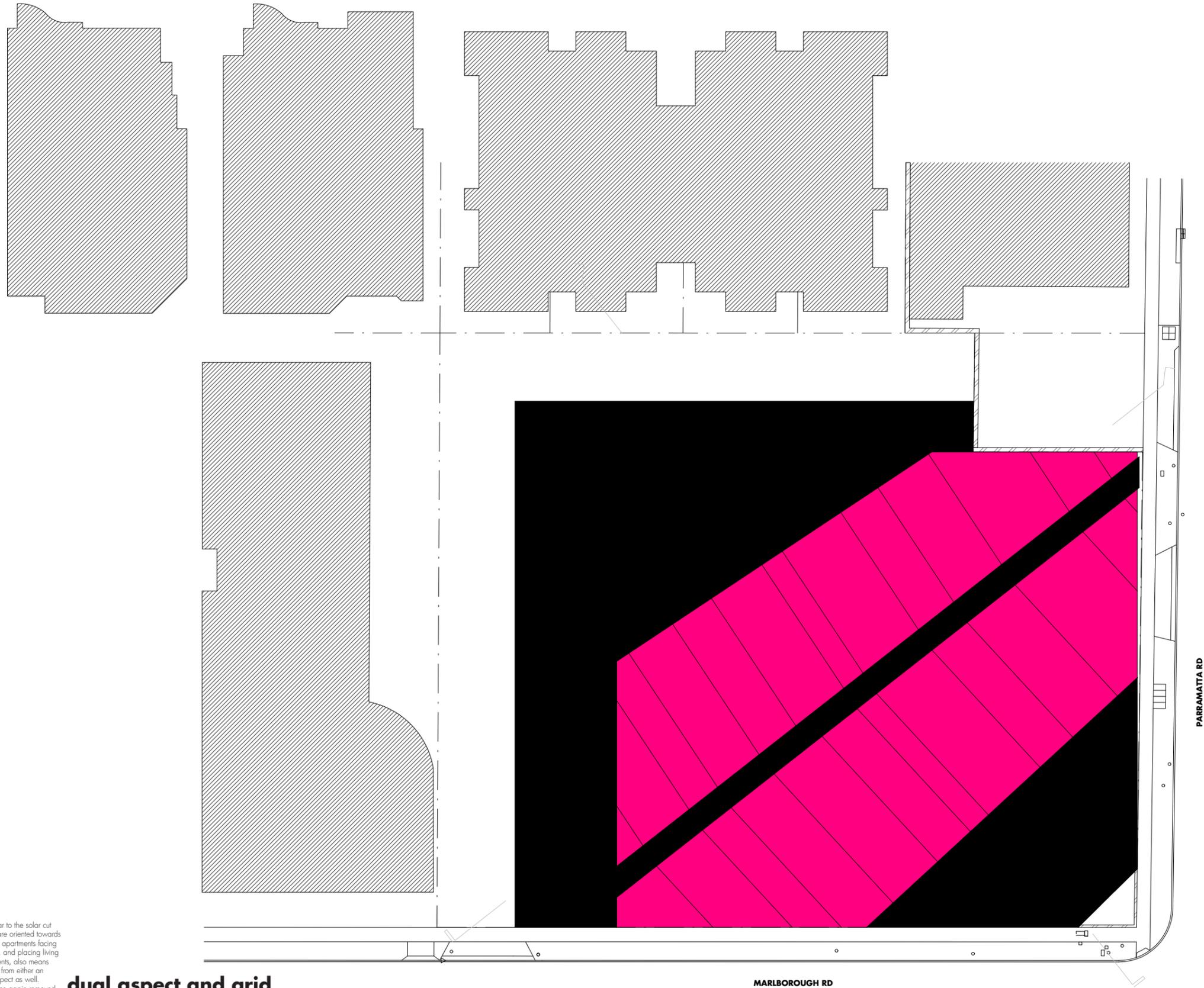
ensure building achieves solar access

MARLBOROUGH RD

PARRAMATTA RD

built form





Grid runs perpendicular to the solar cut lines and apartments are oriented towards this aspect. Having all apartments facing in a northern direction, and placing living rooms on the form extents, also means occupants can benefit from either an easterly, or westerly aspect as well. Excess geometry is once again removed.

dual aspect and grid

built form





Cutting perpendicular to the solar angles towards a future core allows for ventilated circulation through all common areas of the lower component.

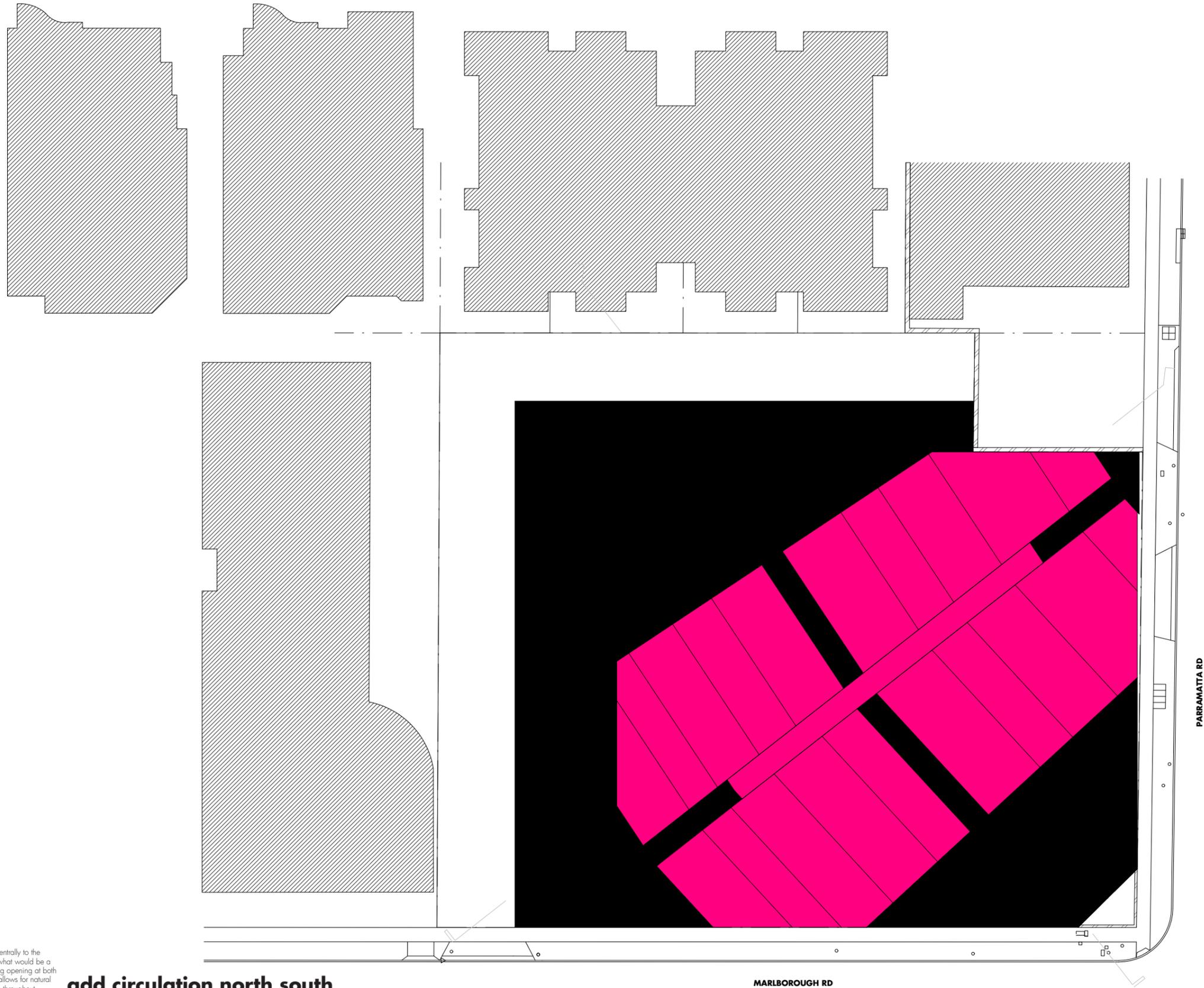
naturally ventilating split

built form

MARLBOROUGH RD

PARRAMATTA RD





Circulation is added centrally to the tower balanced over what would be a future core. Maintaining opening at both ends, and either side allows for natural ventilation and lighting throughout.

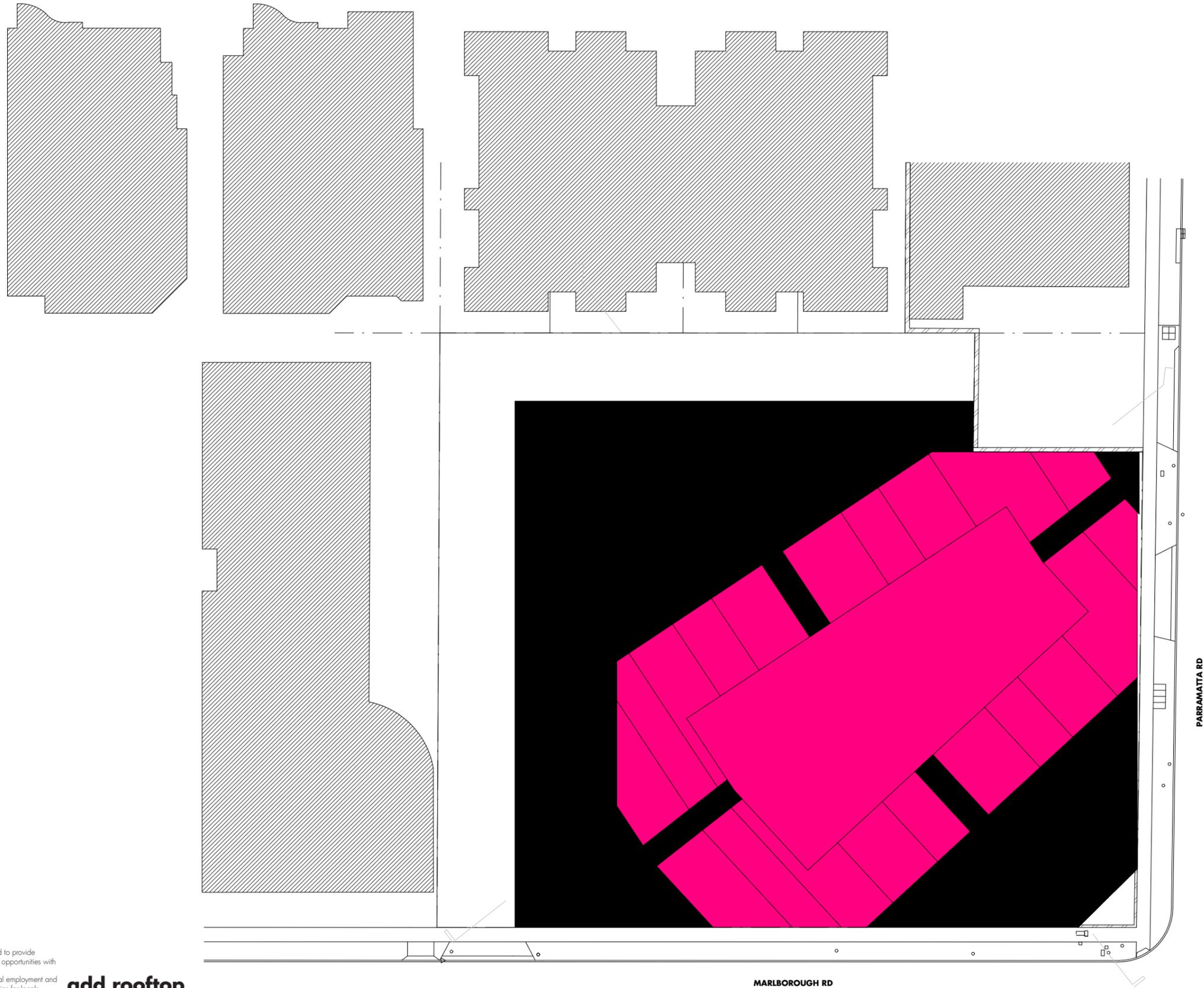
add circulation north south

built form

MARLBOROUGH RD

PARRAMATTA RD





The rooftop is intended to provide additional commercial opportunities with a view. This provides additional employment and recreational opportunities for locals.

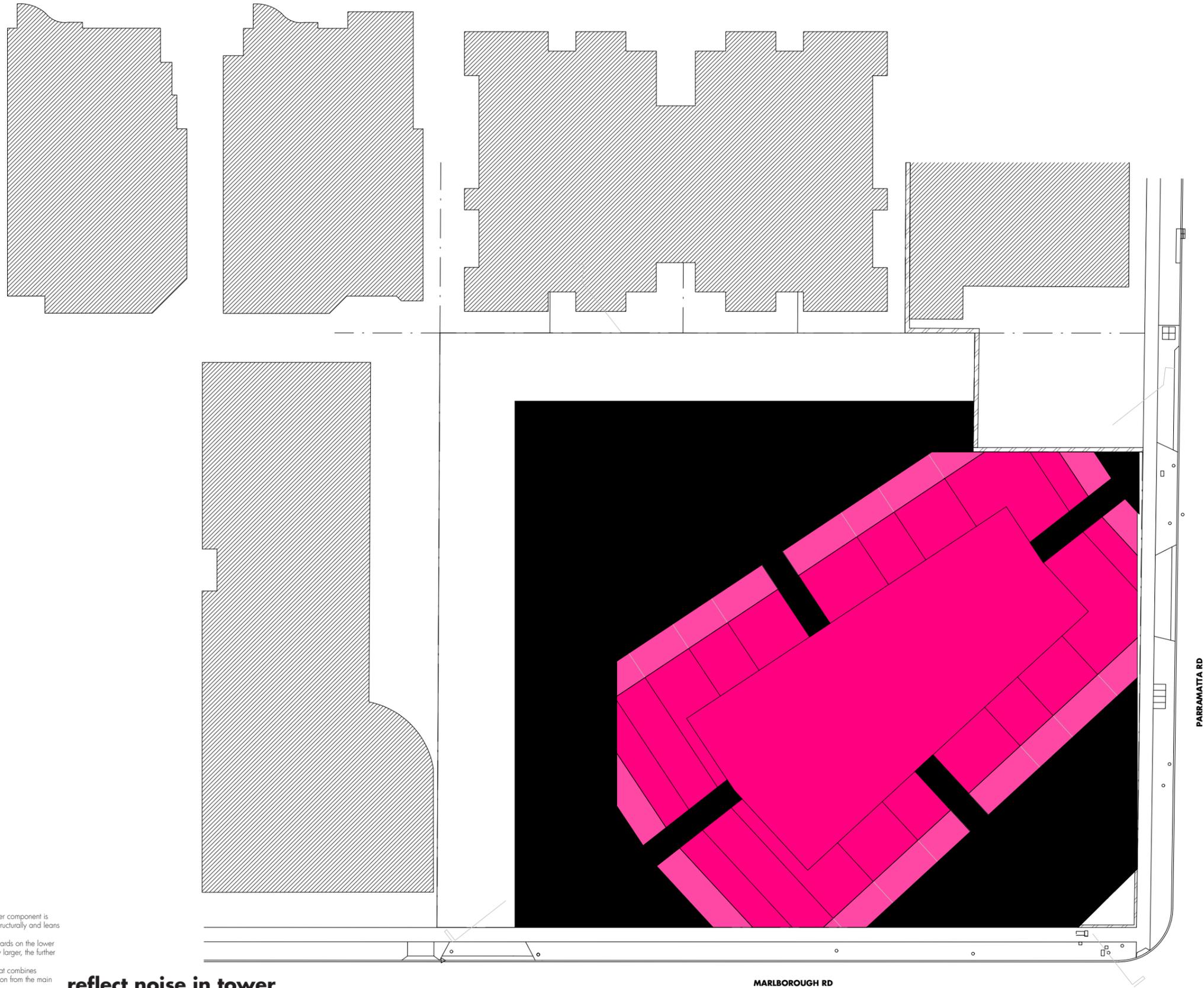
add rooftop

built form

MARLBOROUGH RD

PARRAMATTA RD



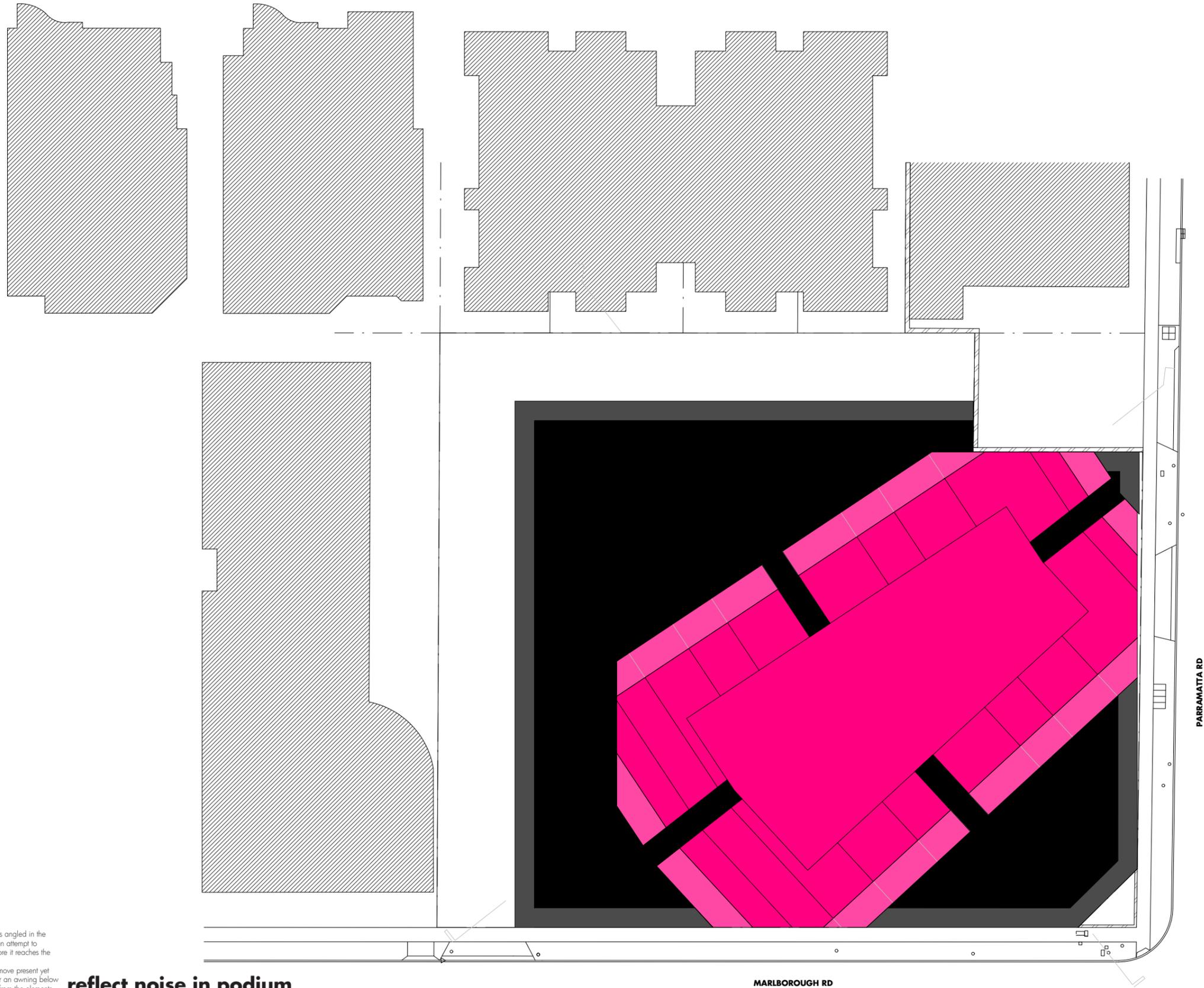


The facade of the tower component is designed to assist in structurally and leans in toward itself. In doing so, the courtyards on the lower levels are progressively larger, the further down you get. This presents a form that combines reflection and absorption from the main roads surrounding.

reflect noise in tower

built form



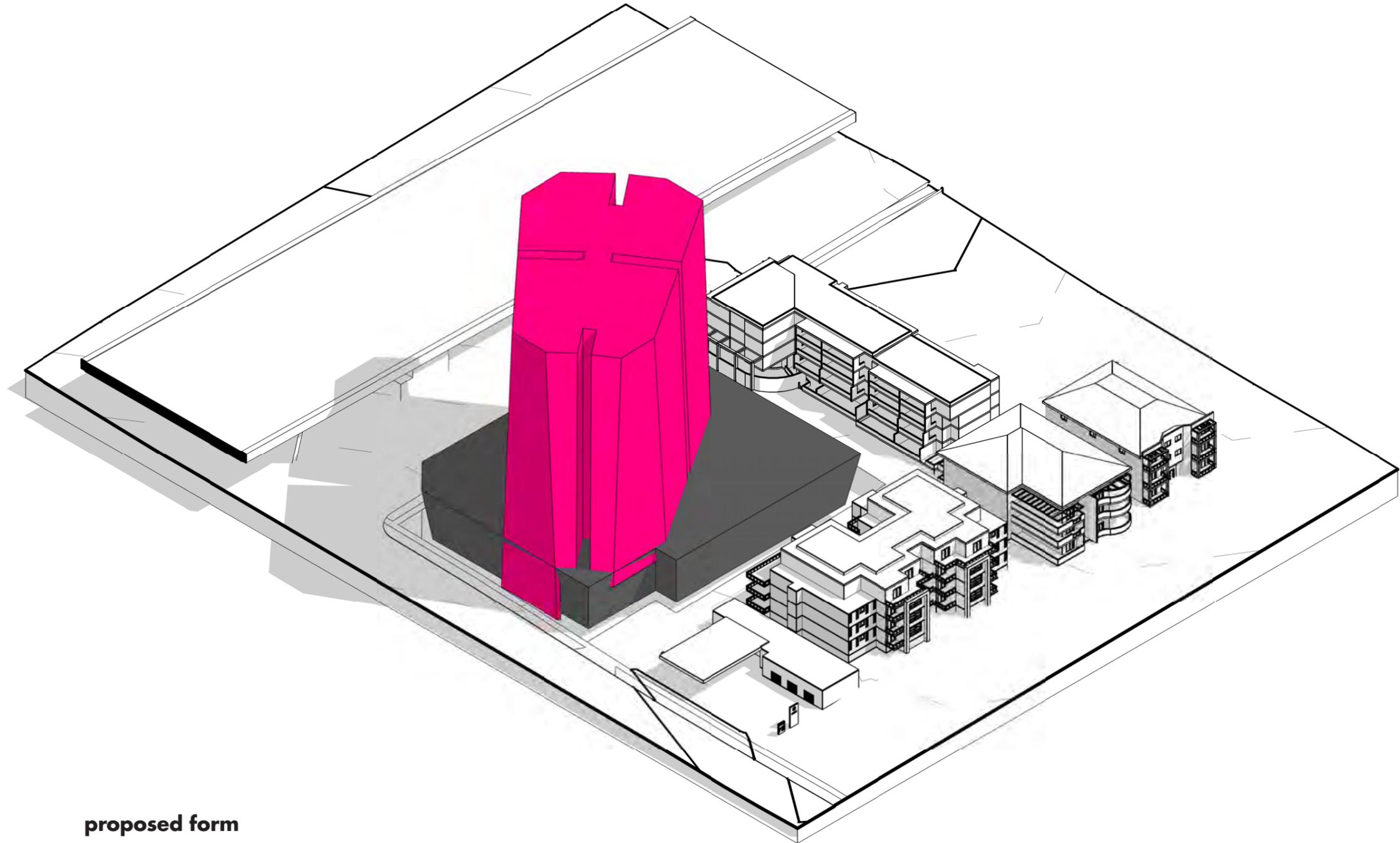


Similarly, the podium is angled in the opposite direction in an attempt to contain the sound before it reaches the lower component. The remains from this move present yet another opportunity for an awning below to protect pedestrians from the elements.

reflect noise in podium

built form

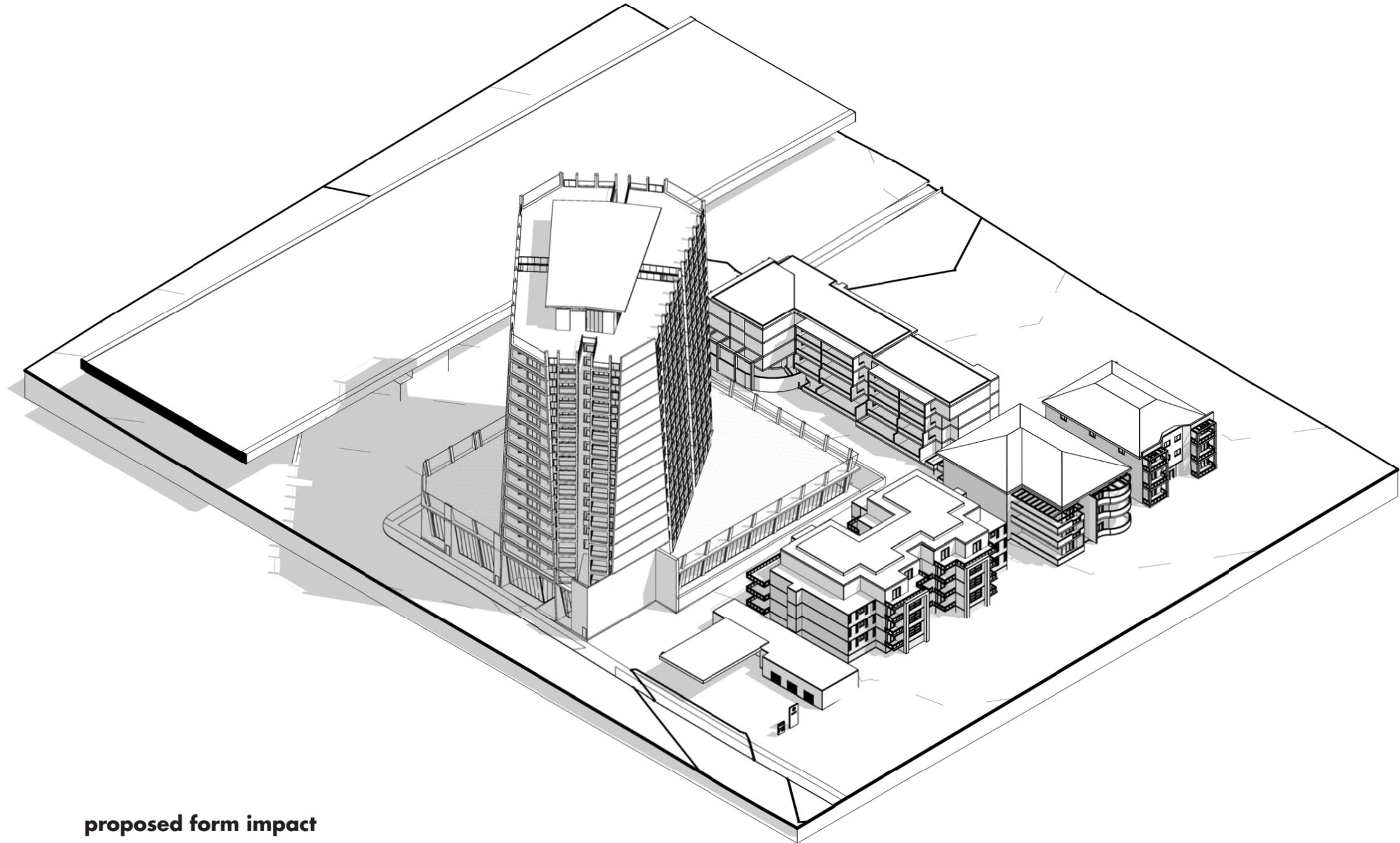




proposed form

built form

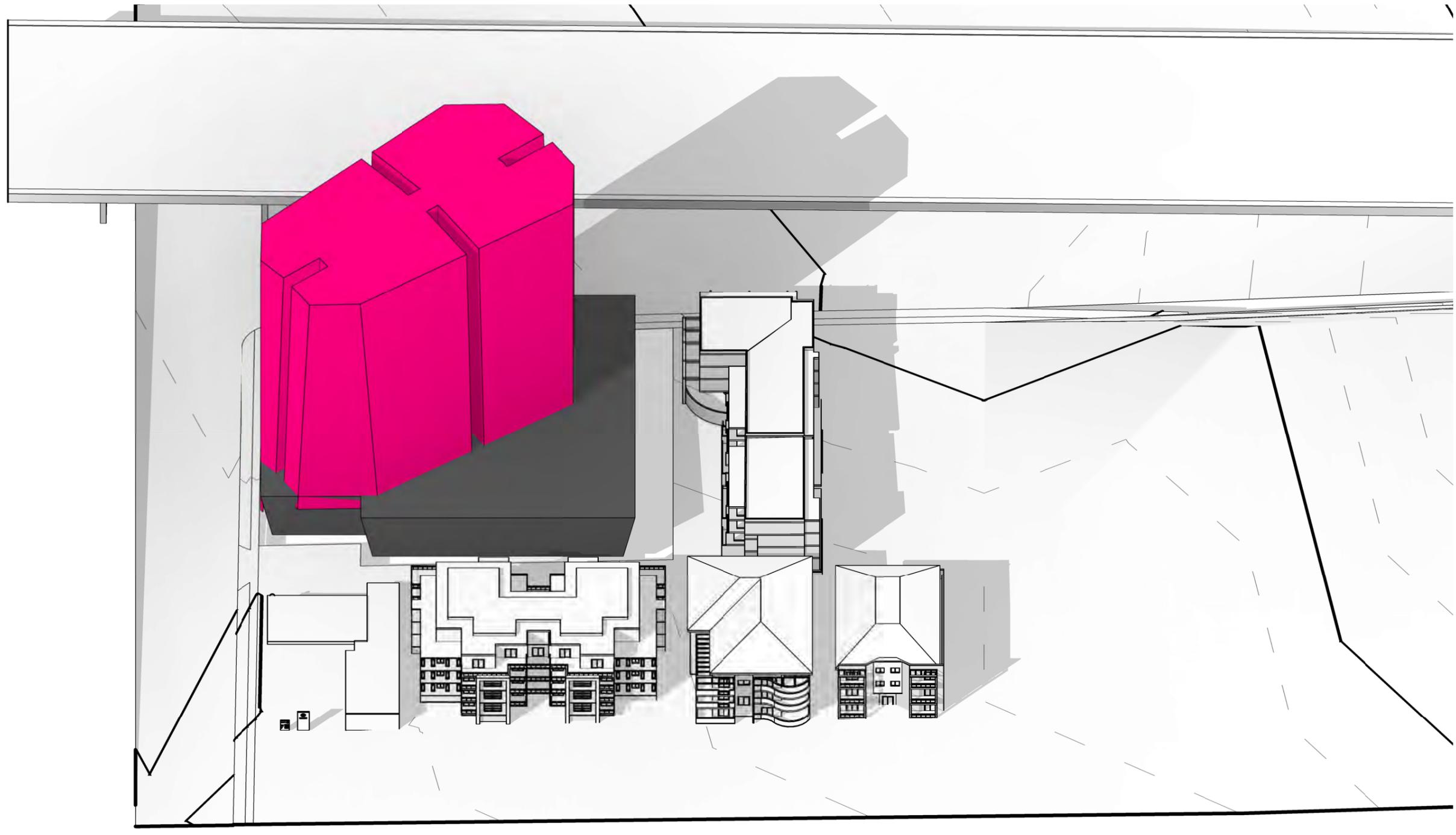




proposed form impact

built form

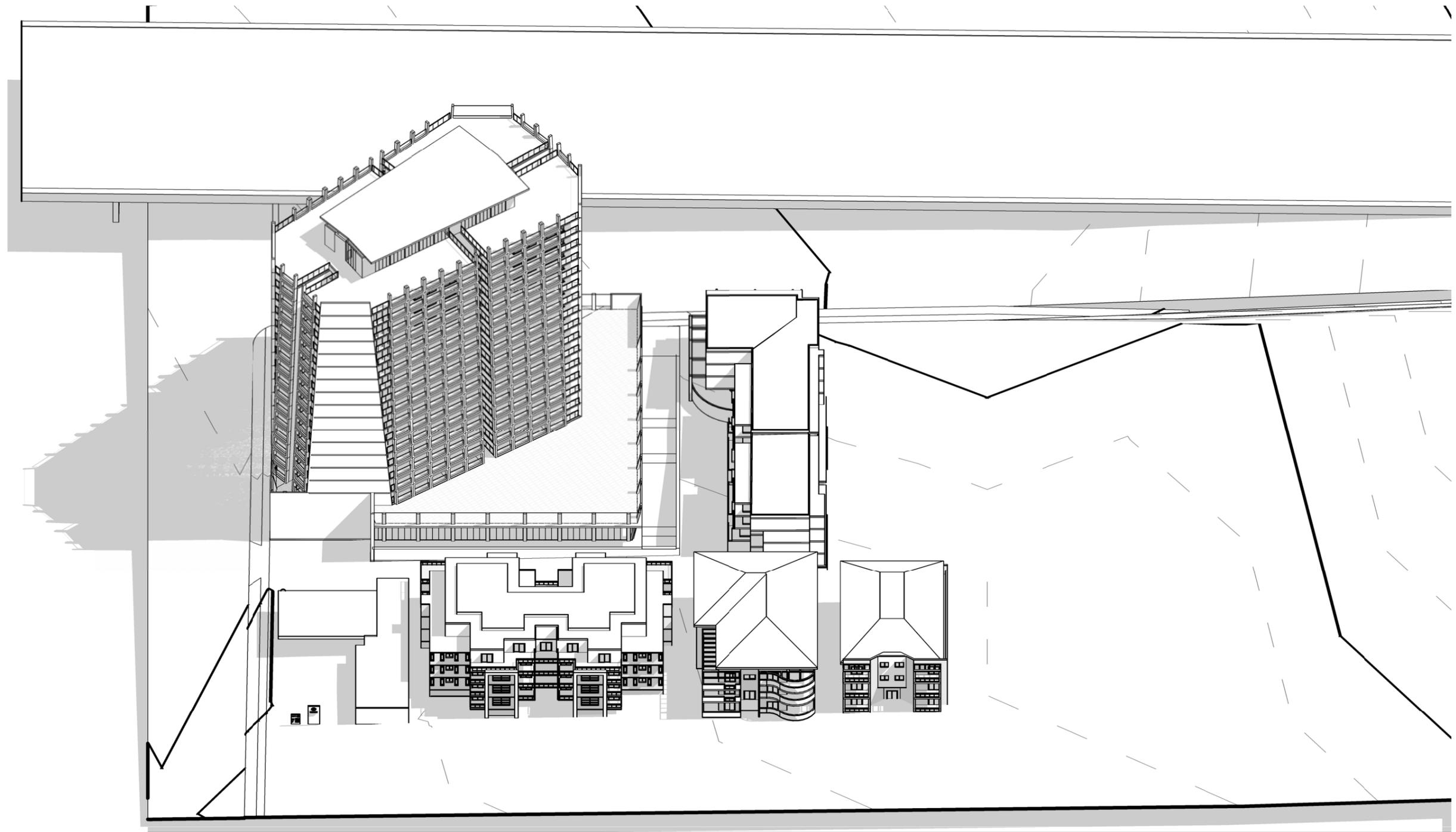




proposed building

built form





proposed building impact

built form



details + calculations

SITE DETAILS	
Address	330-332 Parramatta Rd, Homebush West NSW 2140
Lot + DP	Lot B DP397130 + Lot 11 DP789393 + Lot 9 DP217002 + Lot 1 DP660055
Site Area	4160 m ²
Site Frontage	74.305 m to Marlborough Rd (inc Splay) + 42.77 to Parramatta Rd
Current Use	Commercial and Industrial
Existing Gross Floor Area	1660 m ²

LEP	REQUIREMENT	PROPOSED
Zone	B6 Enterprise Corridor	B6 + B4 Mixed Use
F.S.R.	2.25 :1	4.05 :1
G.F.A.	9360 m ²	16863 m ²
H.O.B.	22 m	60 m
G.F.A.		
Commercial		2388 m ²
Communal		1563 m ²
Lobby		41 m ²
Retail		207 m ²
Residential		12664 m ²
TOTAL G.F.A.		16863 m ²

1 Bedroom	30
2 Bedroom	90
3 Bedroom	30
TOTAL APARTMENTS	150

LANDSCAPING	
ADG Communal Open Space	1040 m ² (25%)
ADG Deepsoil	291 m ² (7%)
DCP Landscaping	1040 m ² (25%)
	2043 m ²

CAR PARKING	
1 Car Wash Bay	1
0.9 Space Per 1 Bedroom Unit	27
1.2 Space Per 2 Bedroom Unit	108
1.5 Space Per 3 Bedroom Unit	45
0.2 Space Per 7 Units (Visitors)	5
? Spaces/m ² Commercial + Retail	
TOTAL CAR SPACES	325

1 Bike Space per 5 units (Residential)	30
1 Bike Space per 10 units (Residential Visitors)	15
1 Bike Space per 150 m ² (Commercial)	19
1 Bike Space per 400 m ² (Commercial Visitor)	7
TOTAL BIKE SPACES	71

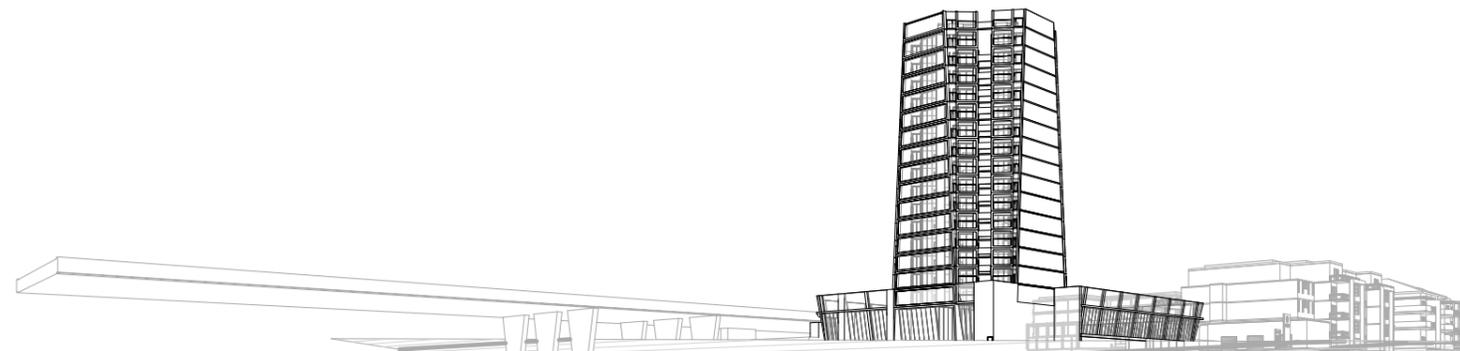
Livable Units	
Adaptable Units	23 apartments (15%)

STORAGE	
6 m ³ Storage per 1 Bedroom	180 m ³
8 m ³ Storage per 2 Bedroom	720 m ³
10 m ³ Storage per 3 Bedroom	300 m ³
TOTAL STORAGE	1200 m ³
	2291 m ³

planning proposal

330-332 parramatta rd, homebush west
mixed-use development

- a000 cover sheet
- a001 planning proposal
- a002 calculations
- a003 survey plan
- a100 basement 3
- a101 basement 2
- a102 basement 1
- a103 lower ground
- a104 upper ground
- a105 level 1
- a106 level 2
- a107 level 3
- a108 level 4
- a109 level 5
- a110 level 6
- a111 level 7
- a112 level 8
- a113 level 9
- a114 level 10
- a115 level 11
- a116 level 12
- a117 level 13
- a118 level 14
- a119 level 15
- a207 rooftop plan
- a208 roof plan
- a300 area plan
- a401 north view
- a402 south view
- a403 east view
- a404 west view
- a500 section aa
- a501 section bb
- a550 ramp section
- a551 ramp section 3d
- a601 shadow diagrams am
- a602 shadow diagrams pm

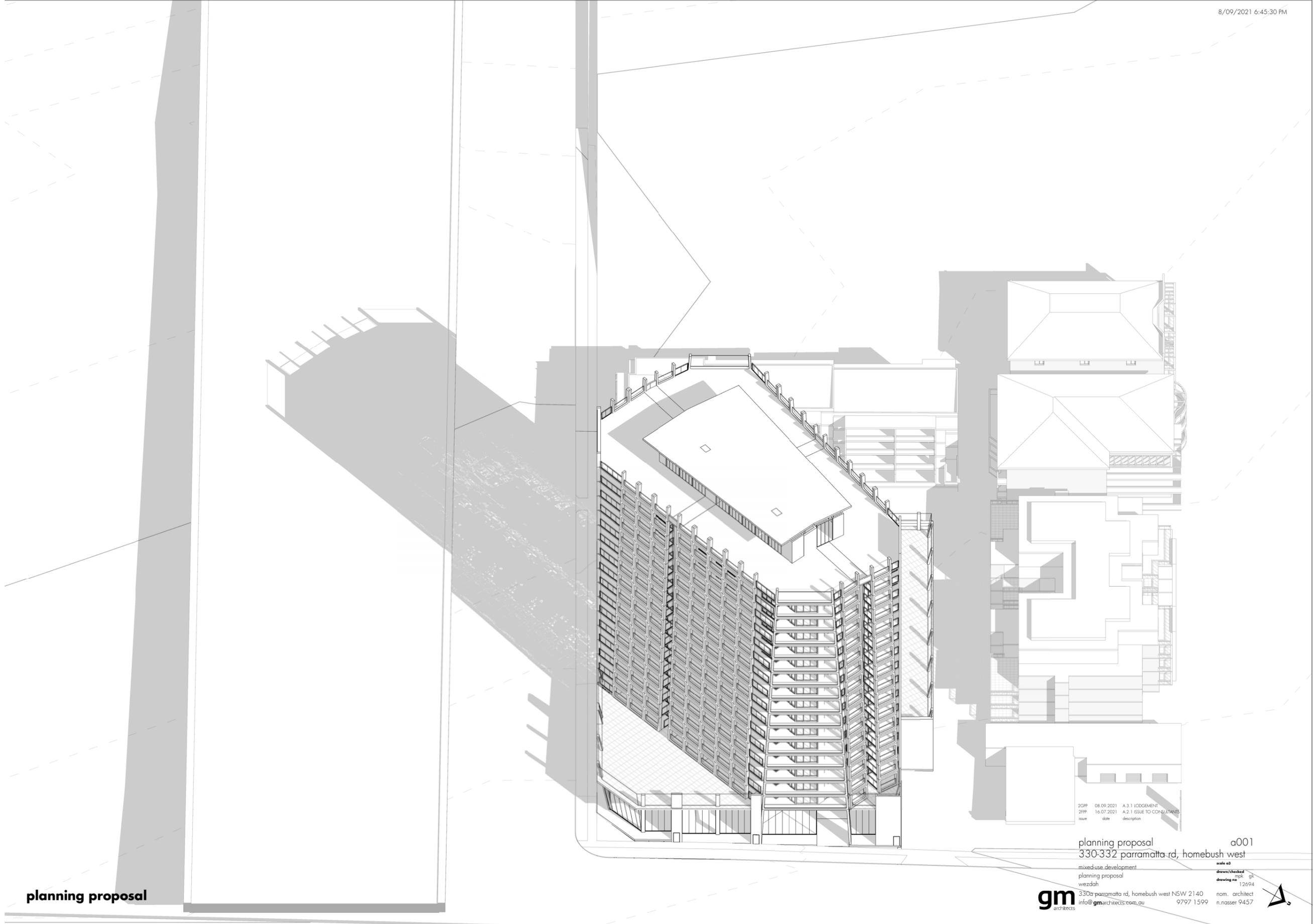


2GPP 08.09.2021 A.3.1 LODGEMENT
2FPF 16.07.2021 A.2.1 ISSUE TO CONSULTANTS
issue date description

gmarchitects

330a parramatta rd, homebush west NSW 2140 nom. architect
info@gmarchitects.com.au 9797 1599 n.nasser 9457

8/09/2021 6:45:30 PM



planning proposal

issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
2FPF	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

planning proposal
 330-332 parramatta rd, homebush west

a001

mixed-use development
 planning proposal
 wezzdah

scale a3
 drawing no. 12694
 drawing no. 12694



330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

nom. architect
 n.nasser 9457

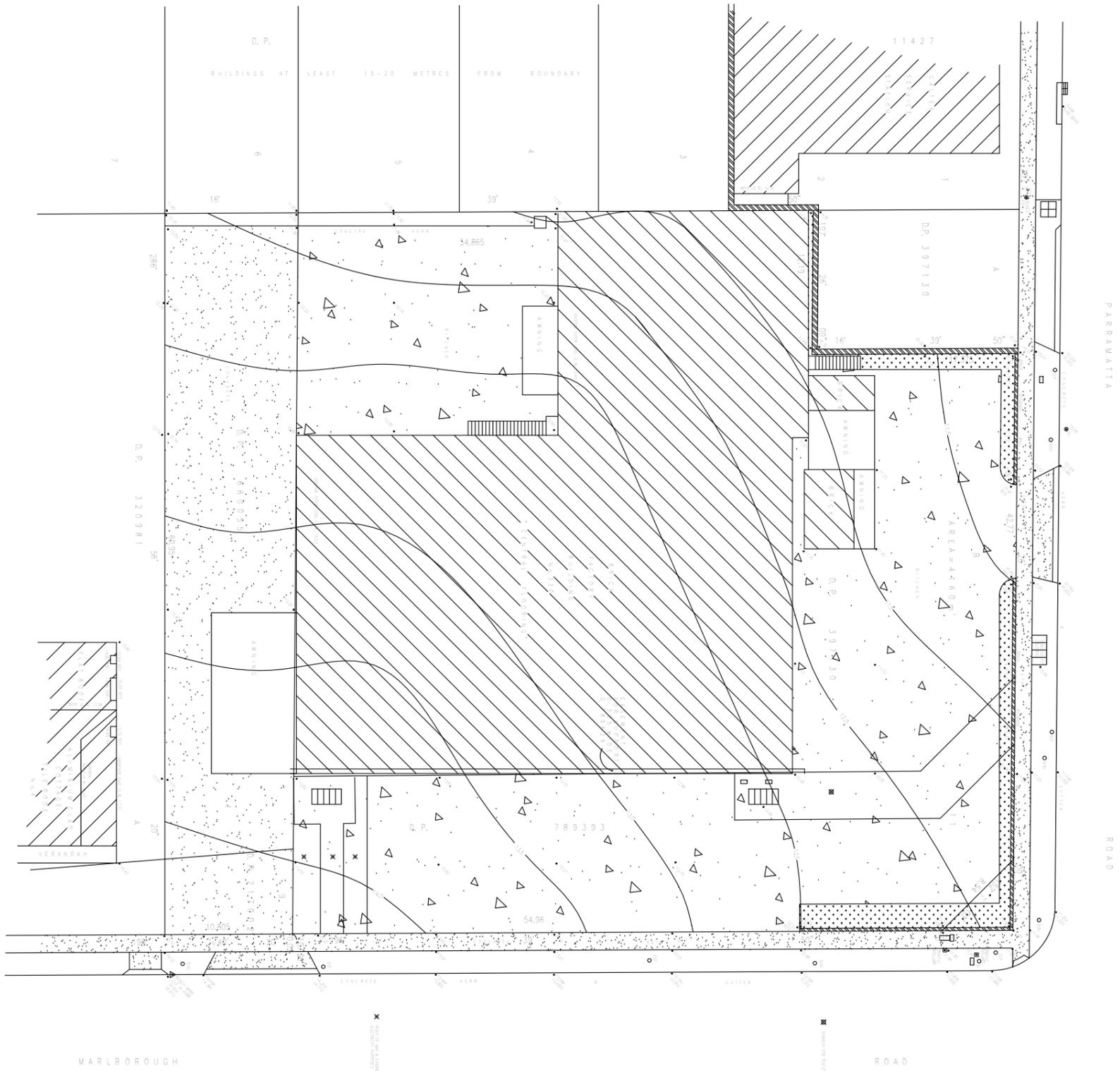
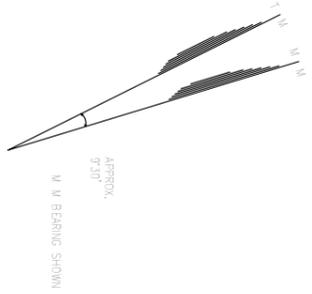


area - apartments

Level	Occupancy	No	Area	POS	Storage	Solar 2hrs	Cross Vent
l1	2 bedroom	101	85 m ²	55 m ²	15.52 m ³	Yes	Yes
l1	3 bedroom	102	104 m ²	89 m ²	11.93 m ³	Yes	Yes
l1	3 bedroom	103	104 m ²	74 m ²	11.93 m ³	Yes	Yes
l1	2 bedroom	104	95 m ²	49 m ²	12.86 m ³	Yes	Yes
l1	1 bedroom	105	65 m ²	27 m ²	10.68 m ³	Yes	Yes
l1	2 bedroom	106	84 m ²	48 m ²	10.03 m ³	Yes	Yes
l1	2 bedroom	107	81 m ²	21 m ²	9.64 m ³	Yes	Yes
l1	2 bedroom	108	84 m ²	32 m ²	8.81 m ³	Yes	Yes
l1	2 bedroom	109	82 m ²	45 m ²	10.79 m ³	Yes	Yes
l1	1 bedroom	110	61 m ²	31 m ²	9.66 m ³	Yes	Yes
l2	2 bedroom	201	85 m ²	51 m ²	15.52 m ³	Yes	Yes
l2	3 bedroom	202	104 m ²	92 m ²	11.93 m ³	Yes	Yes
l2	3 bedroom	203	104 m ²	71 m ²	11.93 m ³	Yes	Yes
l2	2 bedroom	204	95 m ²	45 m ²	12.86 m ³	Yes	Yes
l2	1 bedroom	205	65 m ²	24 m ²	10.68 m ³	Yes	Yes
l2	2 bedroom	206	84 m ²	44 m ²	10.03 m ³	Yes	Yes
l2	2 bedroom	207	81 m ²	20 m ²	9.64 m ³	Yes	Yes
l2	2 bedroom	208	84 m ²	36 m ²	8.81 m ³	Yes	Yes
l2	2 bedroom	209	82 m ²	41 m ²	10.79 m ³	Yes	Yes
l2	1 bedroom	210	61 m ²	28 m ²	9.66 m ³	Yes	Yes
l3	2 bedroom	301	85 m ²	50 m ²	15.52 m ³	Yes	Yes
l3	3 bedroom	302	104 m ²	91 m ²	11.93 m ³	Yes	Yes
l3	3 bedroom	303	104 m ²	70 m ²	11.93 m ³	Yes	Yes
l3	2 bedroom	304	95 m ²	44 m ²	12.86 m ³	Yes	Yes
l3	1 bedroom	305	65 m ²	24 m ²	10.68 m ³	Yes	Yes
l3	2 bedroom	306	84 m ²	43 m ²	10.03 m ³	Yes	Yes
l3	2 bedroom	307	81 m ²	19 m ²	9.64 m ³	Yes	Yes
l3	2 bedroom	308	84 m ²	35 m ²	8.81 m ³	Yes	Yes
l3	2 bedroom	309	82 m ²	40 m ²	10.79 m ³	Yes	Yes
l3	1 bedroom	310	61 m ²	28 m ²	9.66 m ³	Yes	Yes
l4	2 bedroom	401	85 m ²	49 m ²	15.52 m ³	Yes	Yes
l4	3 bedroom	402	104 m ²	89 m ²	11.93 m ³	Yes	Yes
l4	3 bedroom	403	104 m ²	68 m ²	11.93 m ³	Yes	Yes
l4	2 bedroom	404	95 m ²	43 m ²	12.86 m ³	Yes	Yes
l4	1 bedroom	405	65 m ²	23 m ²	10.68 m ³	Yes	Yes
l4	2 bedroom	406	84 m ²	41 m ²	10.03 m ³	Yes	Yes
l4	2 bedroom	407	81 m ²	19 m ²	9.64 m ³	Yes	Yes
l4	2 bedroom	408	84 m ²	35 m ²	8.81 m ³	Yes	Yes
l4	2 bedroom	409	82 m ²	39 m ²	10.79 m ³	Yes	Yes
l4	1 bedroom	410	61 m ²	27 m ²	9.66 m ³	Yes	Yes
l5	2 bedroom	501	85 m ²	48 m ²	15.52 m ³	Yes	Yes
l5	3 bedroom	502	104 m ²	88 m ²	11.93 m ³	Yes	Yes
l5	3 bedroom	503	104 m ²	67 m ²	11.93 m ³	Yes	Yes
l5	2 bedroom	504	95 m ²	42 m ²	12.86 m ³	Yes	Yes
l5	1 bedroom	505	65 m ²	22 m ²	10.68 m ³	Yes	Yes
l5	2 bedroom	506	84 m ²	40 m ²	10.03 m ³	Yes	Yes
l5	2 bedroom	507	81 m ²	18 m ²	9.64 m ³	Yes	Yes
l5	2 bedroom	508	84 m ²	34 m ²	8.81 m ³	Yes	Yes
l5	2 bedroom	509	82 m ²	38 m ²	10.79 m ³	Yes	Yes
l5	1 bedroom	510	61 m ²	26 m ²	9.66 m ³	Yes	Yes
l6	2 bedroom	601	85 m ²	47 m ²	15.52 m ³	Yes	Yes
l6	3 bedroom	602	104 m ²	86 m ²	11.93 m ³	Yes	Yes
l6	3 bedroom	603	104 m ²	66 m ²	11.93 m ³	Yes	Yes
l6	2 bedroom	604	95 m ²	41 m ²	12.86 m ³	Yes	Yes
l6	1 bedroom	605	65 m ²	21 m ²	10.68 m ³	Yes	Yes
l6	2 bedroom	606	84 m ²	39 m ²	10.03 m ³	Yes	Yes
l6	2 bedroom	607	81 m ²	18 m ²	9.64 m ³	Yes	Yes
l6	2 bedroom	608	84 m ²	33 m ²	8.81 m ³	Yes	Yes
l6	2 bedroom	609	82 m ²	37 m ²	10.79 m ³	Yes	Yes
l6	1 bedroom	610	61 m ²	25 m ²	9.66 m ³	Yes	Yes
l7	2 bedroom	701	85 m ²	46 m ²	15.52 m ³	Yes	Yes
l7	3 bedroom	702	104 m ²	85 m ²	11.93 m ³	Yes	Yes
l7	3 bedroom	703	104 m ²	65 m ²	11.93 m ³	Yes	Yes
l7	2 bedroom	704	95 m ²	40 m ²	12.86 m ³	Yes	Yes
l7	1 bedroom	705	65 m ²	21 m ²	10.68 m ³	Yes	Yes
l7	2 bedroom	706	84 m ²	38 m ²	10.03 m ³	Yes	Yes
l7	2 bedroom	707	81 m ²	17 m ²	9.64 m ³	Yes	Yes
l7	2 bedroom	708	84 m ²	32 m ²	8.81 m ³	Yes	Yes
l7	2 bedroom	709	82 m ²	36 m ²	10.79 m ³	Yes	Yes
l7	1 bedroom	710	61 m ²	25 m ²	9.66 m ³	Yes	Yes
l8	2 bedroom	801	85 m ²	44 m ²	15.52 m ³	Yes	Yes
l8	3 bedroom	802	104 m ²	83 m ²	11.93 m ³	Yes	Yes
l8	3 bedroom	803	104 m ²	63 m ²	11.93 m ³	Yes	Yes
l8	2 bedroom	804	95 m ²	39 m ²	12.86 m ³	Yes	Yes
l8	1 bedroom	805	65 m ²	20 m ²	10.68 m ³	Yes	Yes

area - apartments

Level	Occupancy	No	Area	POS	Storage	Solar 2hrs	Cross Vent
l8	2 bedroom	806	84 m ²	37 m ²	10.03 m ³	Yes	Yes
l8	2 bedroom	807	81 m ²	17 m ²	9.64 m ³	Yes	Yes
l8	2 bedroom	808	84 m ²	31 m ²	8.81 m ³	Yes	Yes
l8	2 bedroom	809	82 m ²	35 m ²	10.79 m ³	Yes	Yes
l8	1 bedroom	810	61 m ²	24 m ²	9.66 m ³	Yes	Yes
l9	2 bedroom	901	85 m ²	43 m ²	15.52 m ³	Yes	Yes
l9	3 bedroom	902	104 m ²	82 m ²	11.93 m ³	Yes	Yes
l9	3 bedroom	903	104 m ²	62 m ²	11.93 m ³	Yes	Yes
l9	2 bedroom	904	95 m ²	37 m ²	12.86 m ³	Yes	Yes
l9	1 bedroom	905	65 m ²	19 m ²	10.68 m ³	Yes	Yes
l9	2 bedroom	906	84 m ²	36 m ²	10.03 m ³	Yes	Yes
l9	2 bedroom	907	81 m ²	16 m ²	9.64 m ³	Yes	Yes
l9	2 bedroom	908	84 m ²	30 m ²	8.81 m ³	Yes	Yes
l9	2 bedroom	909	82 m ²	33 m ²	10.79 m ³	Yes	Yes
l9	1 bedroom	910	61 m ²	23 m ²	9.66 m ³	Yes	Yes
l10	2 bedroom	1001	85 m ²	35 m ²	15.52 m ³	Yes	Yes
l10	3 bedroom	1002	104 m ²	34 m ²	11.93 m ³	Yes	Yes
l10	3 bedroom	1003	104 m ²	41 m ²	11.93 m ³	Yes	Yes
l10	2 bedroom	1004	95 m ²	80 m ²	12.86 m ³	Yes	Yes
l10	1 bedroom	1005	65 m ²	59 m ²	10.68 m ³	Yes	Yes
l10	2 bedroom	1006	84 m ²	18 m ²	10.03 m ³	Yes	Yes
l10	2 bedroom	1007	81 m ²	15 m ²	9.64 m ³	Yes	Yes
l10	2 bedroom	1008	84 m ²	29 m ²	8.81 m ³	Yes	Yes
l10	2 bedroom	1009	82 m ²	31 m ²	10.79 m ³	Yes	Yes
l10	1 bedroom	1010	61 m ²	22 m ²	9.66 m ³	Yes	Yes
l11	2 bedroom	1101	85 m ²	41 m ²	15.52 m ³	Yes	Yes
l11	3 bedroom	1102	104 m ²	79 m ²	11.93 m ³	Yes	Yes
l11	3 bedroom	1103	104 m ²	59 m ²	11.93 m ³	Yes	Yes
l11	2 bedroom	1104	95 m ²	35 m ²	12.86 m ³	Yes	Yes
l11	1 bedroom	1105	65 m ²	18 m ²	10.68 m ³	Yes	Yes
l11	2 bedroom	1106	84 m ²	34 m ²	10.03 m ³	Yes	Yes
l11	2 bedroom	1107	81 m ²	15 m ²	9.64 m ³	Yes	Yes
l11	2 bedroom	1108	84 m ²	28 m ²	8.81 m ³	Yes	Yes
l11	2 bedroom	1109	82 m ²	31 m ²	10.79 m ³	Yes	Yes
l11	1 bedroom	1110	61 m ²	22 m ²	9.66 m ³	Yes	Yes
l12	2 bedroom	1201	85 m ²	38 m ²	15.52 m ³	Yes	Yes
l12	3 bedroom	1202	104 m ²	77 m ²	11.93 m ³	Yes	Yes
l12	3 bedroom	1203	104 m ²	57 m ²	11.93 m ³	Yes	Yes
l12	2 bedroom	1204	95 m ²	33 m ²	12.86 m ³	Yes	Yes
l12	1 bedroom	1205	65 m ²	17 m ²	10.68 m ³	Yes	Yes
l12	2 bedroom	1206	84 m ²	32 m ²	10.03 m ³	Yes	Yes
l12	2 bedroom	1207	81 m ²	14 m ²	9.64 m ³	Yes	Yes
l12	2 bedroom	1208	84 m ²	27 m ²	8.81 m ³	Yes	Yes
l12	2 bedroom	1209	82 m ²	30 m ²	10.79 m ³	Yes	Yes
l12	1 bedroom	1210	61 m ²	20 m ²	9.66 m ³	Yes	Yes
l13	2 bedroom	1301	85 m ²	37 m ²	15.52 m ³	Yes	Yes
l13	3 bedroom	1302	104 m ²	75 m ²	11.93 m ³	Yes	Yes
l13	3 bedroom	1303	104 m ²	56 m ²	11.93 m ³	Yes	Yes
l13	2 bedroom	1304	95 m ²	32 m ²	12.86 m ³	Yes	Yes
l13	1 bedroom	1305	65 m ²	16 m ²	10.68 m ³	Yes	Yes
l13	2 bedroom	1306	84 m ²	31 m ²	10.03 m ³	Yes	Yes
l13	2 bedroom	1307	81 m ²	14 m ²	9.64 m ³	Yes	Yes
l13	2 bedroom	1308	84 m ²	26 m ²	8.81 m ³	Yes	Yes
l13	2 bedroom	1309	82 m ²	27 m ²	10.79 m ³	Yes	Yes
l13	1 bedroom	1310	61 m ²	19 m ²	9.66 m ³	Yes	Yes
l14	2 bedroom	1401	85 m ²	35 m ²	15.52 m ³	Yes	Yes
l14	3 bedroom	1402	104 m ²	74 m ²	11.93 m ³	Yes	Yes
l14	3 bedroom	1403	104 m ²	54 m ²	11.93 m ³	Yes	Yes
l14	2 bedroom	1404	95 m ²	31 m ²	12.86 m ³	Yes	Yes
l14	1 bedroom	1405	65 m ²	15 m ²	10.68 m ³	Yes	Yes
l14	2 bedroom	1406	84 m ²	30 m ²	10.03 m ³	Yes	Yes
l14	2 bedroom	1407	81 m ²	13 m ²	9.64 m ³	Yes	Yes
l14	2 bedroom	1408	84 m ²	25 m ²	8.81 m ³	Yes	Yes
l14	2 bedroom	1409	82 m ²	26 m ²	10.79 m ³	Yes	Yes
l14	1 bedroom	1410	61 m ²	18 m ²	9.66 m ³	Yes	Yes
l15	2 bedroom	1501	85 m ²	34 m ²	15.52 m ³		



PLAN OF LEVELS AND DETAILS AT
330 PARRAWATTA ROAD, HOMEBUSH
FOR WEDZAH P/L

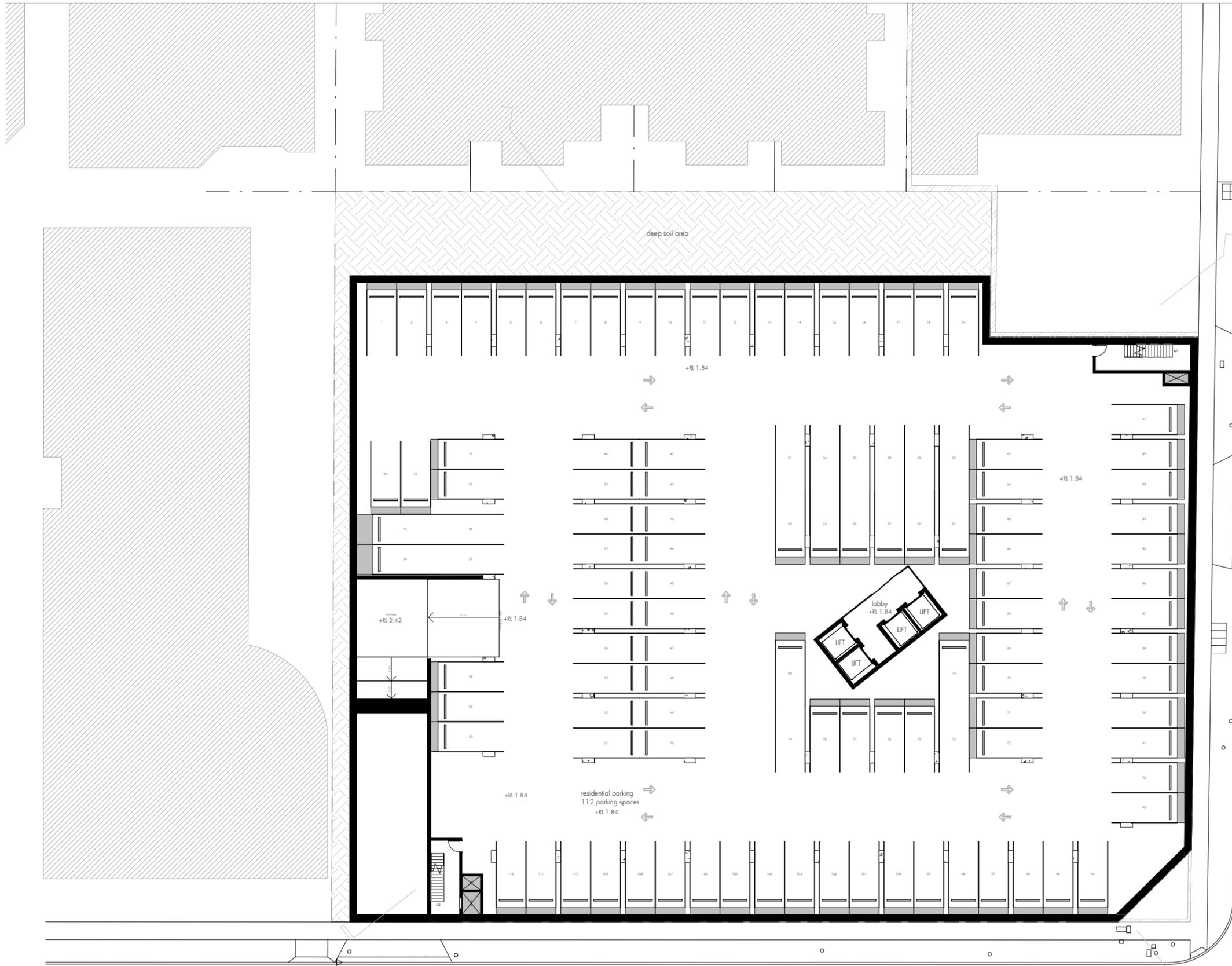
Boundaries have not been surveyed. Dimensions and areas computed from the plan. Improvements shown are diagrammatic only and shown for plotting purposes only.

Contours are approximate and preference should be given to spot levels. Levels only those visible at time of survey have been located. Levels under buildings unknown. Adjoining building details shown are approx. only due to restricted access.

DATUM	A.H.D.
REDUCTION RATIO	1:200
REFERENCE NO.	2017226
DATE OF SURVEY	30/5/2003
SURVEYED BY	P.B. S.S. D.M.
DRAWN BY	VAL

W. BUXTON PTY LTD
REGISTERED SURVEYORS
A.C.N. 002 678 819
70 ARLINGTON STREET
SYDNEY NSW 2010
TEL (02) 9553 9800
FAX (02) 9588 5793

8/09/2021 6:45:35 PM



PARRAMATTA RD

MARLBOROUGH RD

issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

basement 3
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

scale a3
 1 : 300
 drawn/checked
 mgk/gk
 drawing no
 12694

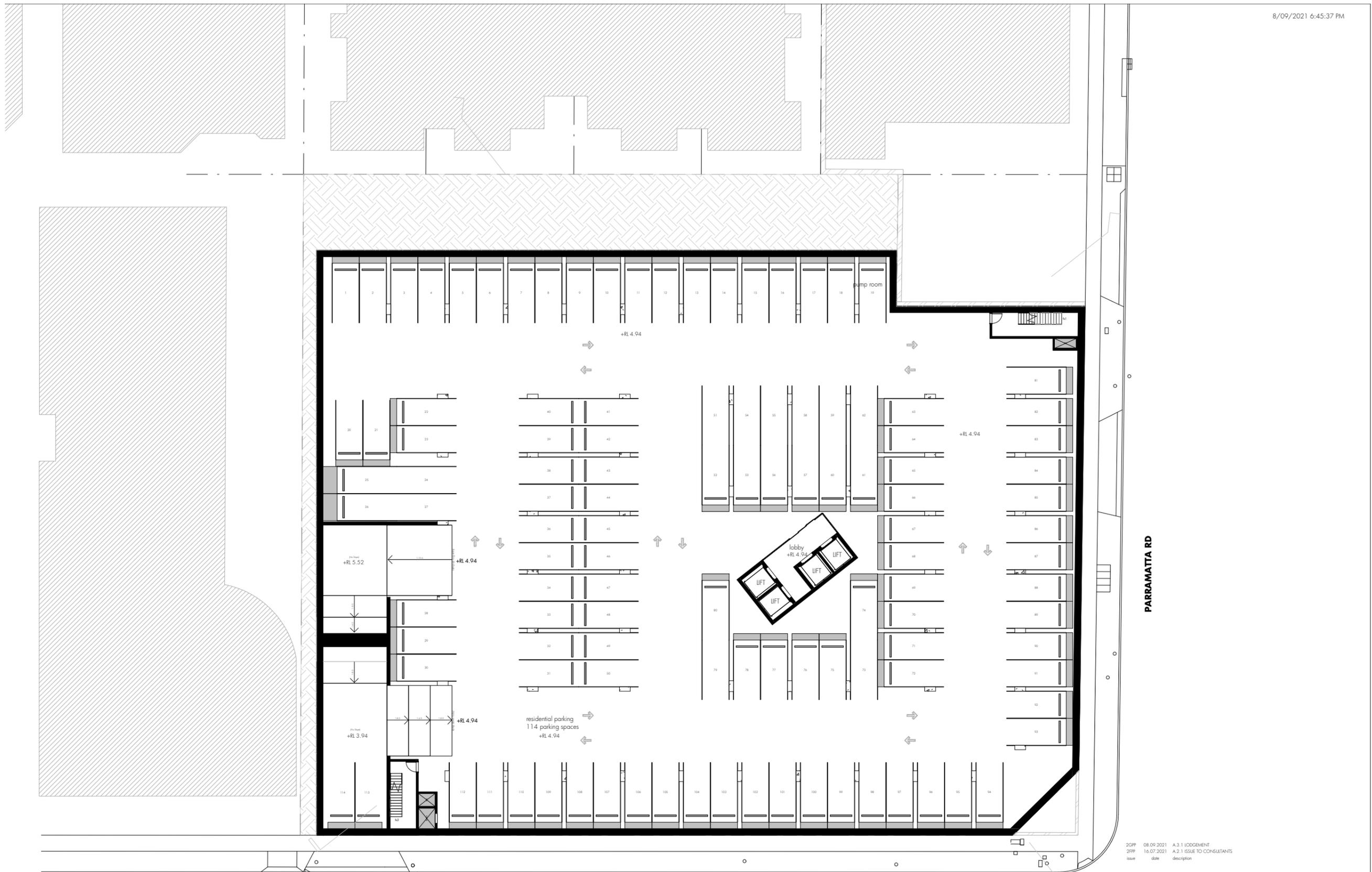
330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

nom. architect
 n.nasser 9457



basement 3

8/09/2021 6:45:37 PM



issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

basement 2
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a101

scale a3
 1 : 300
 drawn/checked
 mgk/gk
 drawing no
 12694

nom. architect
 n.nasser 9457



basement 2

MARLBOROUGH RD

PARRAMATTA RD

residential parking
 114 parking spaces
 +RL 4.94

lobby
 +RL 4.94
 LIFT
 LIFT
 LIFT

+RL 5.52

+RL 3.94

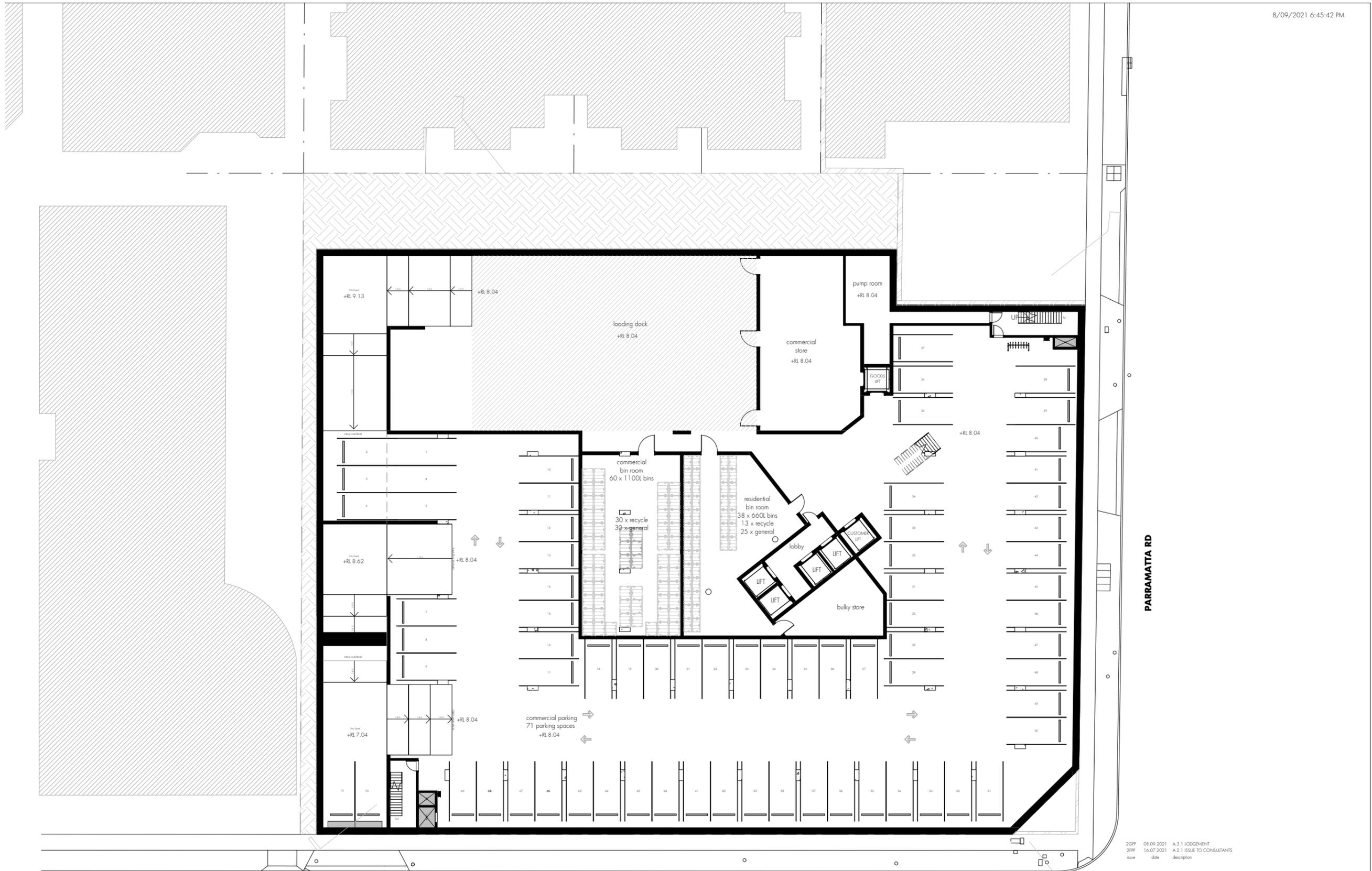
+RL 4.94

+RL 4.94

+RL 4.94

+RL 4.94

8/09/2021 6:45:42 PM



issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

basement 1
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

scale a3
 1 : 300
 drawn/checked
 mgk/gk
 drawing no
 12694

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

nom. architect
 n.nasser 9457

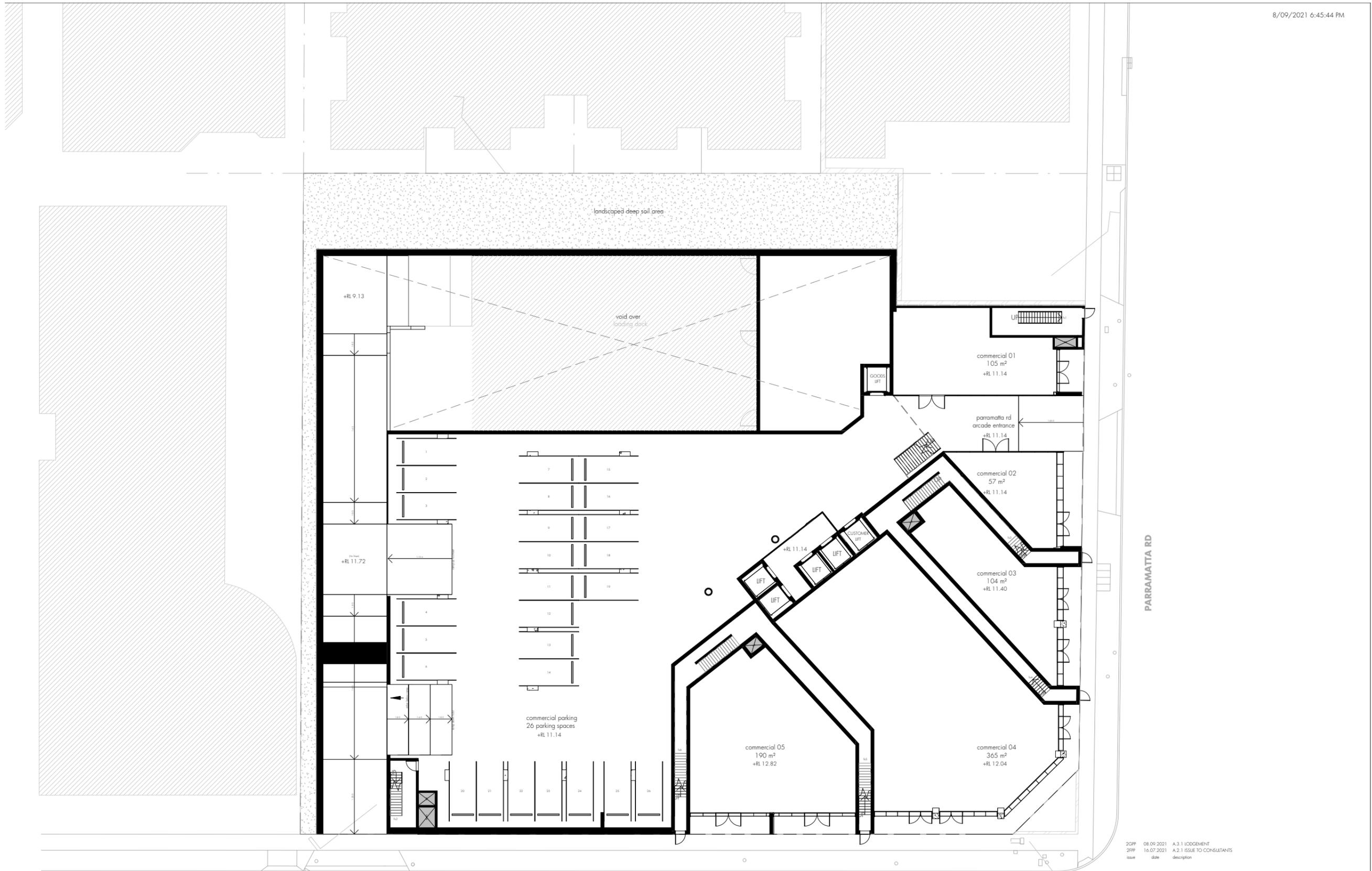


basement 1

MARLBOROUGH RD

PARRAMATTA RD

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issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
2FPF	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

lower ground a103
 330-332 parramatta rd, homebush west

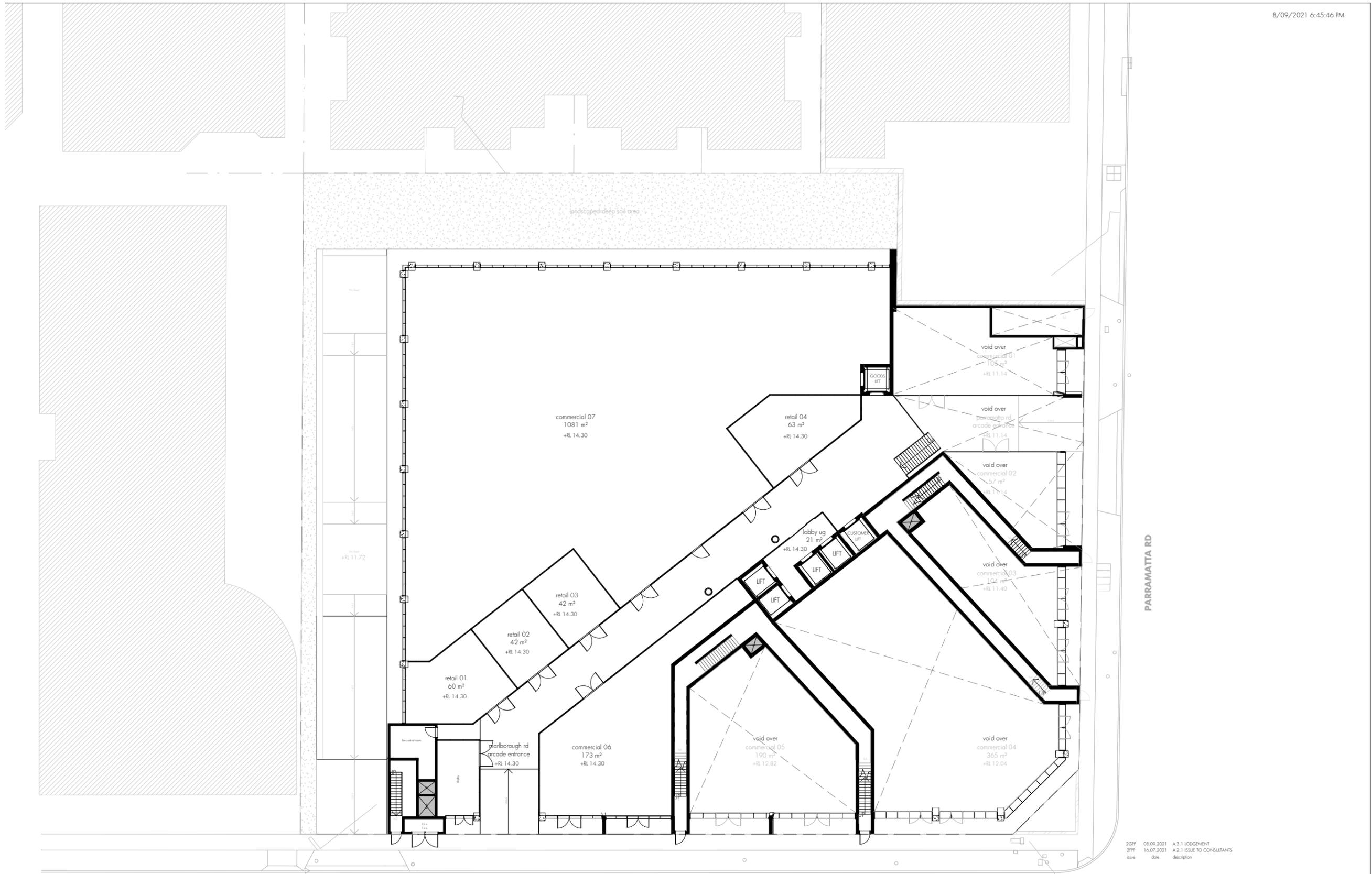
mixed-use development scale a3 1:300
 planning proposal drawn/checked gk
 wezzdah drawing no 12694

330a parramatta rd, homebush west NSW 2140 nom. architect
 info@gmarchitects.com.au 9797 1599 n.nasser 9457



lower ground

8/09/2021 6:45:46 PM



issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
2FPF	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

upper ground a104
 330-332 parramatta rd, homebush west
 mixed-use development scale a3 1:300
 planning proposal drawn/checked gk
 wezzdah drawing no 12694
 330a parramatta rd, homebush west NSW 2140 nom. architect
 info@gmarchitects.com.au 9797 1599 n.nasser 9457



upper ground

8/09/2021 6:45:55 PM



level 1

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 1
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a105
 scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



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level 2

issue	date	description
20PP	08.09.2021	A.3.1 LODDGE/MENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 2
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599



a106
 scale a3 1:300
 drawn/checkd gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:46:15 PM



level 3

issue	date	description
20PP	08.09.2021	A.3.1 LODDGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 3
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599



a107
 scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



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level 4

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 4
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a108
 scale a3 1:300
 drawn/checked gk
 drawing no 12694
 nom. architect n.nasser 9457



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level 5

issue	date	description
20PP	08.09.2021	A.3.1 LODDGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 5
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599



a109
 scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:46:47 PM



level 6

MARLBOROUGH RD

PARRAMATTA RD

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 6
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a110

scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:46:57 PM



level 7

issue	date	description
2GPP	08.09.2021	A.3.1 LODDGEMENT
29PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 7
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599



a111
 scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:47:09 PM



level 8

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 8
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a112
 scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:47:23 PM



level 9

issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
2FPF	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 9
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a113

scale a3
 1 : 300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:47:34 PM



level 10

issue	date	description
20PP	08.09.2021	A.3.1 LODDGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 10
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a114

scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:47:48 PM



level 11

MARLBOROUGH RD

PARRAMATTA RD

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 11
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a115

scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:48:03 PM



level 12

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 12
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a116

scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:48:17 PM



level 13

issue	date	description
20PP	08.09.2021	A.3.1 LODDGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 13
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a117

scale a3 1:300
 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:48:32 PM



level 14

issue	date	description
20PP	08.09.2021	A.3.1 LODDGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 14
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599



a118
 scale a3 1:300
 drawn/checked gk
 drawing no 12694
 nom. architect n.nasser 9457



8/09/2021 6:48:47 PM



level 15

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

level 15
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

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 info@gmarchitects.com.au 9797 1599

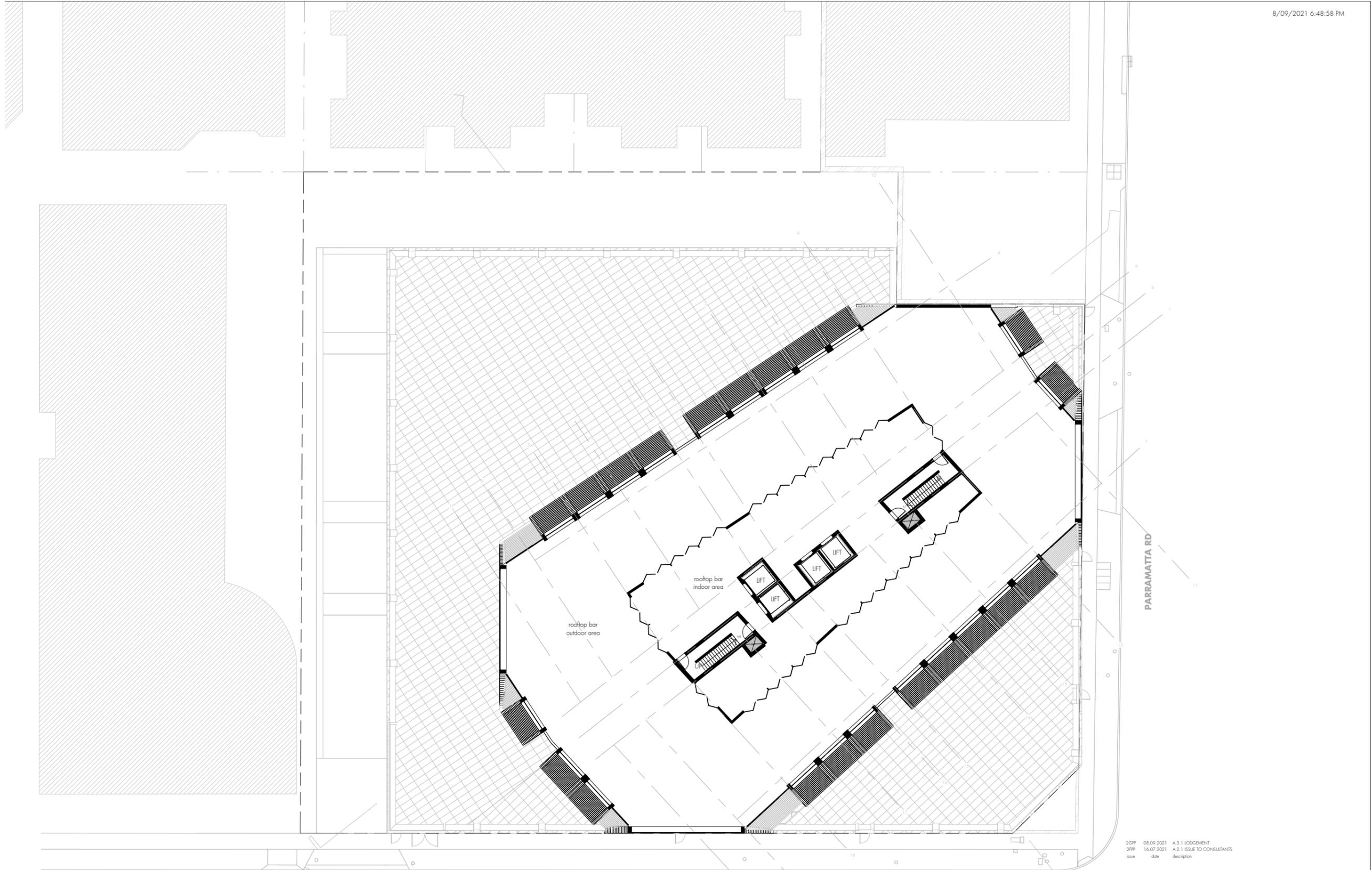


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 drawn/checked gk
 drawing no 12694

nom. architect
 n.nasser 9457



8/09/2021 6:48:58 PM



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25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

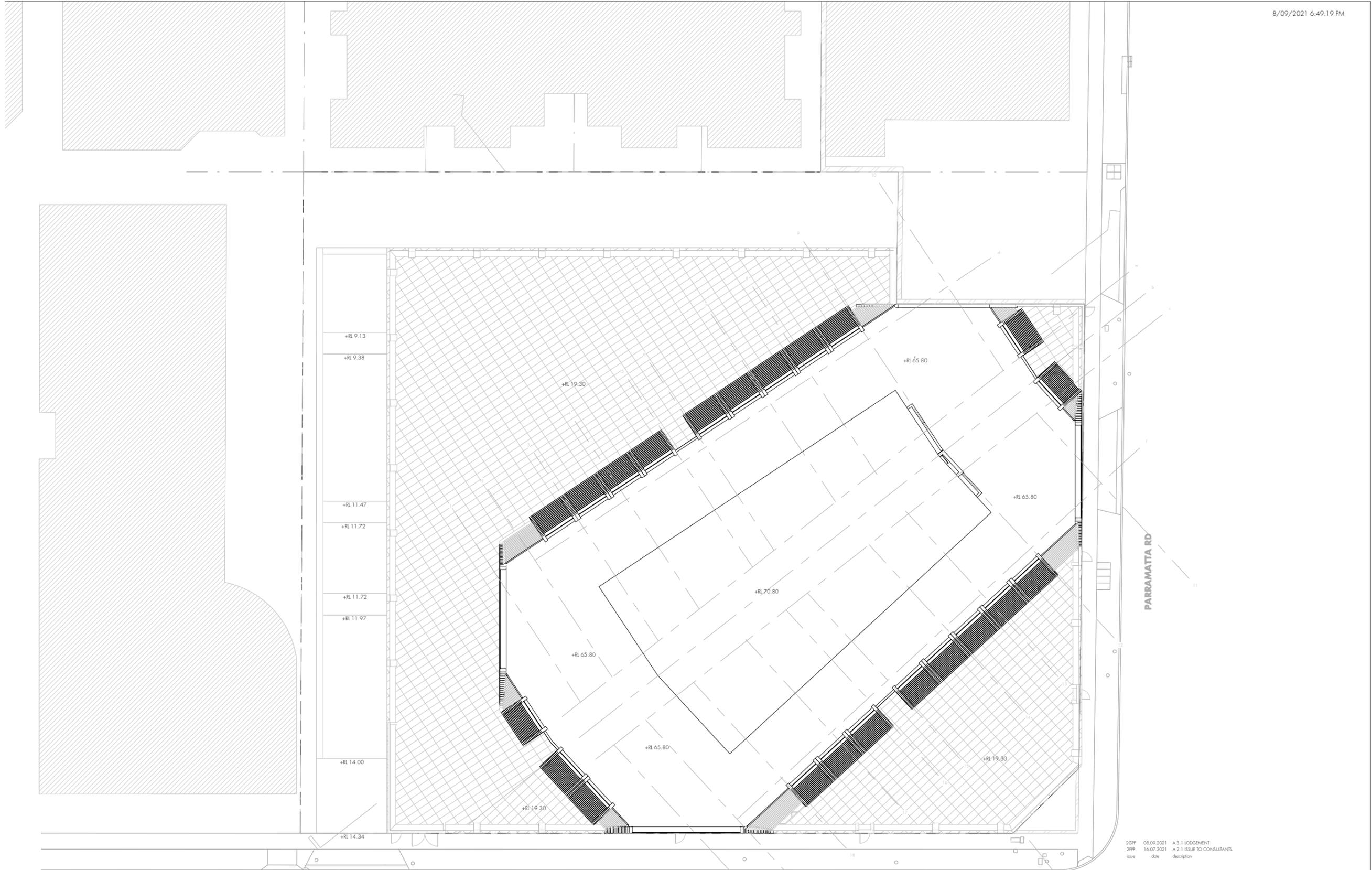
rooftop plan
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah
 330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

a207
 scale a3
 1 : 300
 drawing/checker
 mpk/gk
 drawing no.
 12694
 nom. architect
 n.nasser 9457



rooftop plan

8/09/2021 6:49:19 PM



roof plan

issue	date	description
20PP	08.09.2021	A.3.1 LODGEMENT
25PP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

roof plan
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

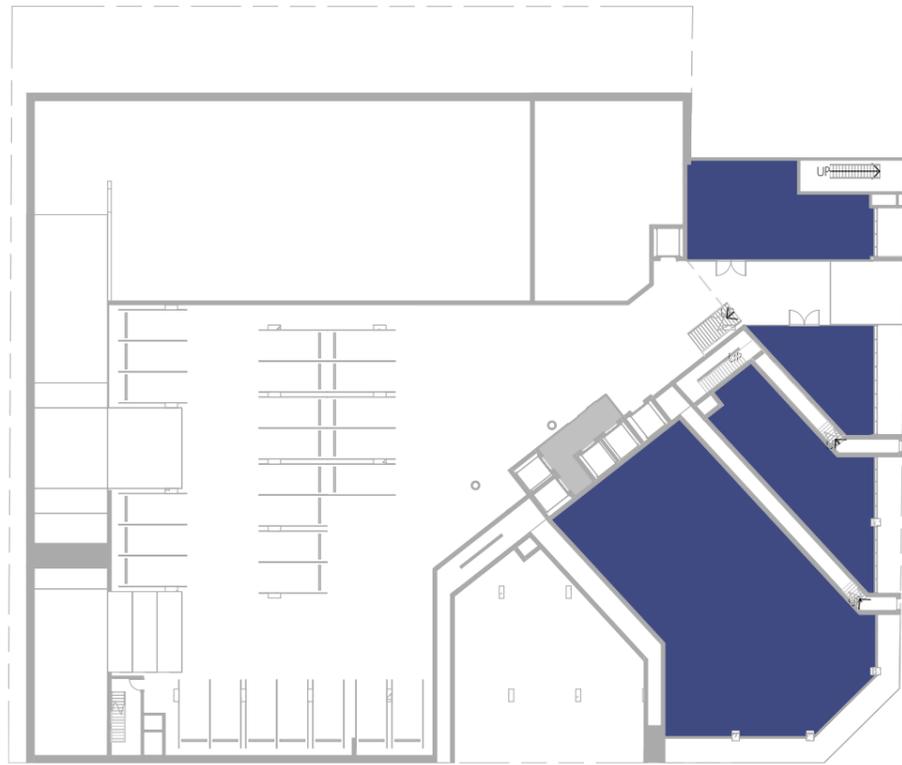
scale a3
 1 : 300
 drawing checked
 mpk gk
 drawing no
 12694

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

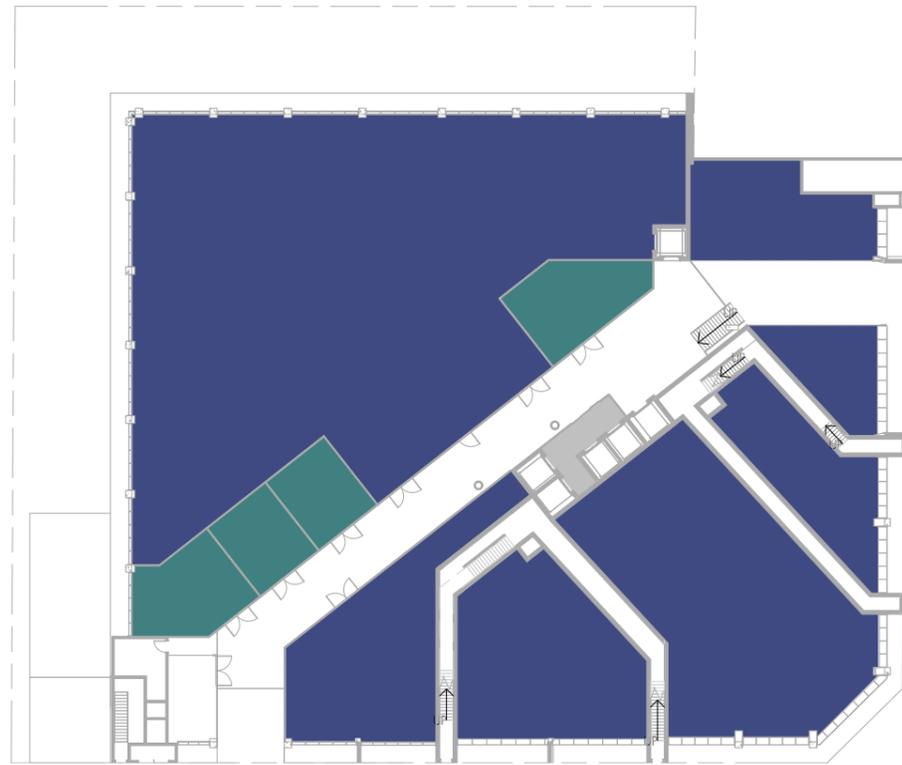
nom. architect
 n.nasser 9457



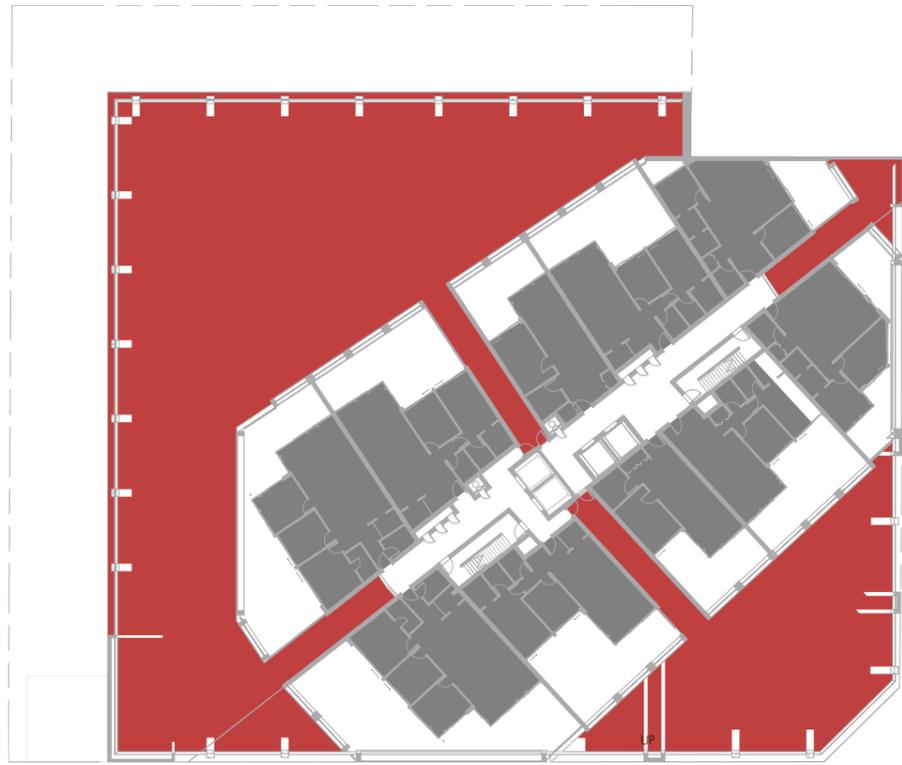
8/09/2021 6:49:29 PM



lg entry areas
1 : 500



ug areas
1 : 500



l1 area
1 : 500
area plan



l10 areas
1 : 500

GFA by Level Summary

Level	Area
g lower	652 m ²
g upper	1672 m ²
l1	2407 m ²
l2	844 m ²
l3	844 m ²
l4	844 m ²
l5	844 m ²
l6	844 m ²
l7	844 m ²
l8	844 m ²
l9	844 m ²
l10	844 m ²
l11	844 m ²
l12	844 m ²
l13	844 m ²
l14	844 m ²
l15	844 m ²
rooftop bar	312 m ²
Total	16863 m²

GFA

Category	Area
commercial	2388 m ²
communal open space	1563 m ²
lobby	41 m ²
retail	207 m ²
U	12664 m ²
Total	16863 m²

20PP 08.09.2021 A.3.1 LODGEMENT
 20PP 16.07.2021 A.2.1 ISSUE TO CONSULTANTS
 issue date description

area plan a300
 330-332 parramatta rd, homebush west
 mixed-use development scale a3 1 : 500
 planning proposal drawn/checked mjk/gk
 wezzdah drawing no. 12694
 330a parramatta rd, homebush west NSW 2140 nom. architect
 info@gmarchitects.com.au 9797 1599 n.nasser 9457



8/09/2021 6:53:16 PM



north view

2021	08.09.2021	A.3.1	LODGEMENT
2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

north view a401
 330-332 parramatta rd, homebush west
 mixed-use development scale a3
 planning proposal drawn/checked gk
 wezzdah drawing no 12694

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 330a parramatta rd, homebush west NSW 2140 nom. architect
 info@gmarchitects.com.au 9797 1599 n.nasser 9457

8/09/2021 6:55:20 PM



south view

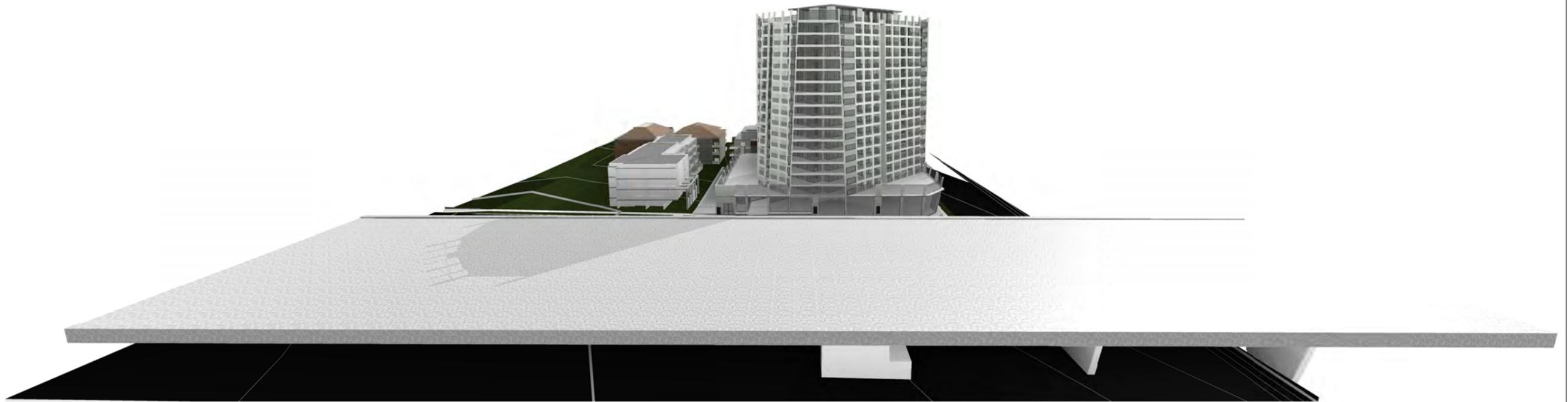
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2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

south view a402
330-332 parramatta rd, homebush west
mixed-use development
planning proposal
wezzdah



scale a3
drawing checked
drawing no. 12694
330a parramatta rd, homebush west NSW 2140 nom. architect
info@gmarchitects.com.au 9797 1599 n.nasser 9457

8/09/2021 6:57:21 PM



east view

2021	08.09.2021	A.3.1	LODGE/MENT
2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

east view a403
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah


 330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599

nom. architect n.nasser 9457
 scale a3
 drawing no 12694
 drawn by gk
 checked by gk



8/09/2021 7:01:00 PM



west view

20PP	08.09.2021	A.3.1	LODGE/MENT
25PP	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

west view a404
 330-332 parramatta rd, homebush west

mixed-use development
 planning proposal
 wezzdah

330a parramatta rd, homebush west NSW 2140
 info@gmarchitects.com.au 9797 1599 nom. architect n.nasser 9457



8/09/2021 7:03:02 PM



section aa

20PP	08.09.2021	A.3.1	LODGEMENT
25PP	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

section aa a500
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

scale a3
 drawn/checked
 drawing no. 12694
 mjk/gk

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nom. architect
 n.nasser 9457



8/09/2021 7:05:22 PM



section bb

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2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

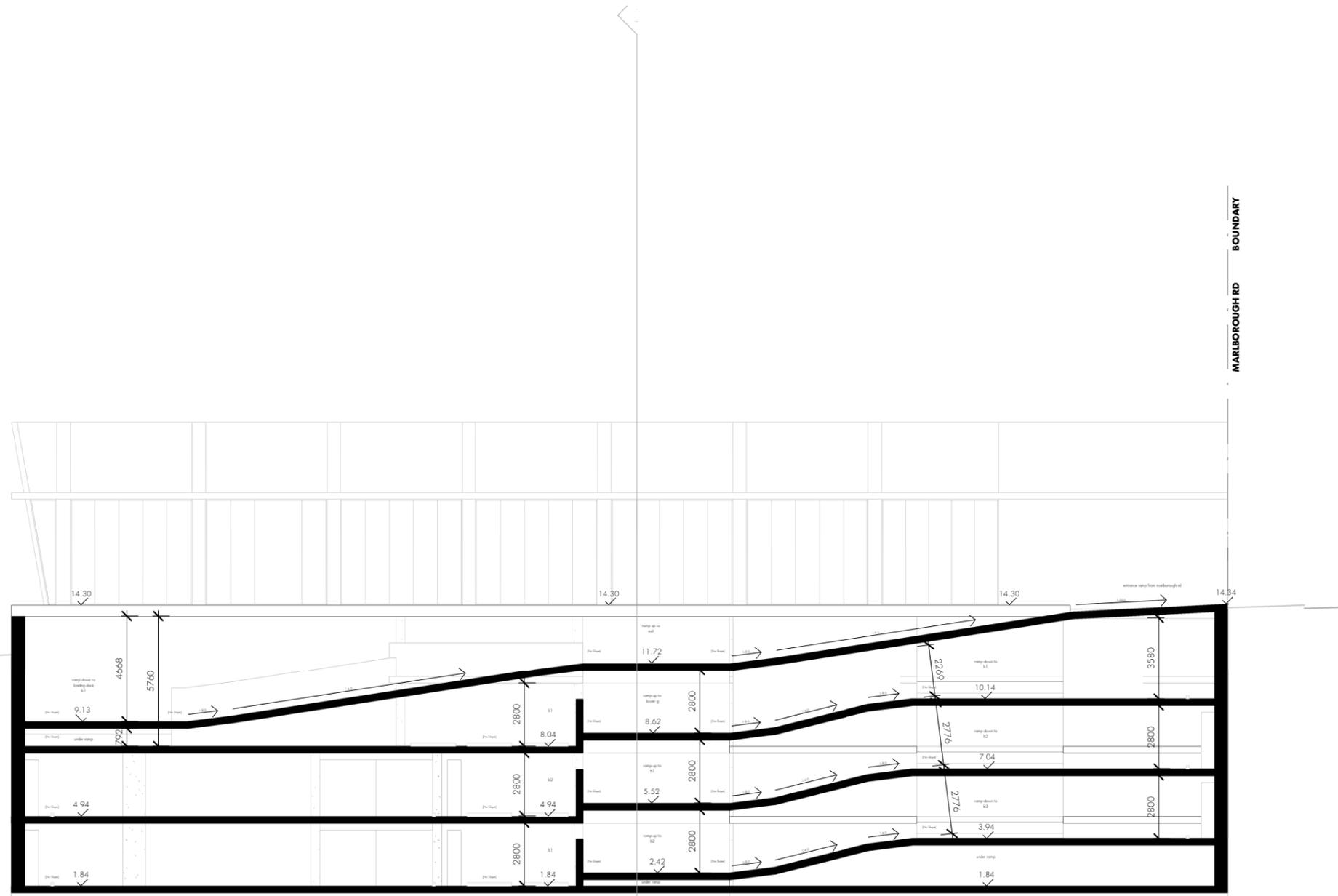
section bb
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

a501
 scale a3
 drawn/checked
 mgk/gk
 drawing no. 12694
 330a parramatta rd, homebush west NSW 2140
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 n.nasser 9457



BOUNDARY

BOUNDARY
MARLBOROUGH RD



issue	date	description
2GPP	08.09.2021	A.3.1 LODGEMENT
2PPP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

ramp section
 330-332 parramatta rd, homebush west
 mixed-use development
 planning proposal
 wezzdah

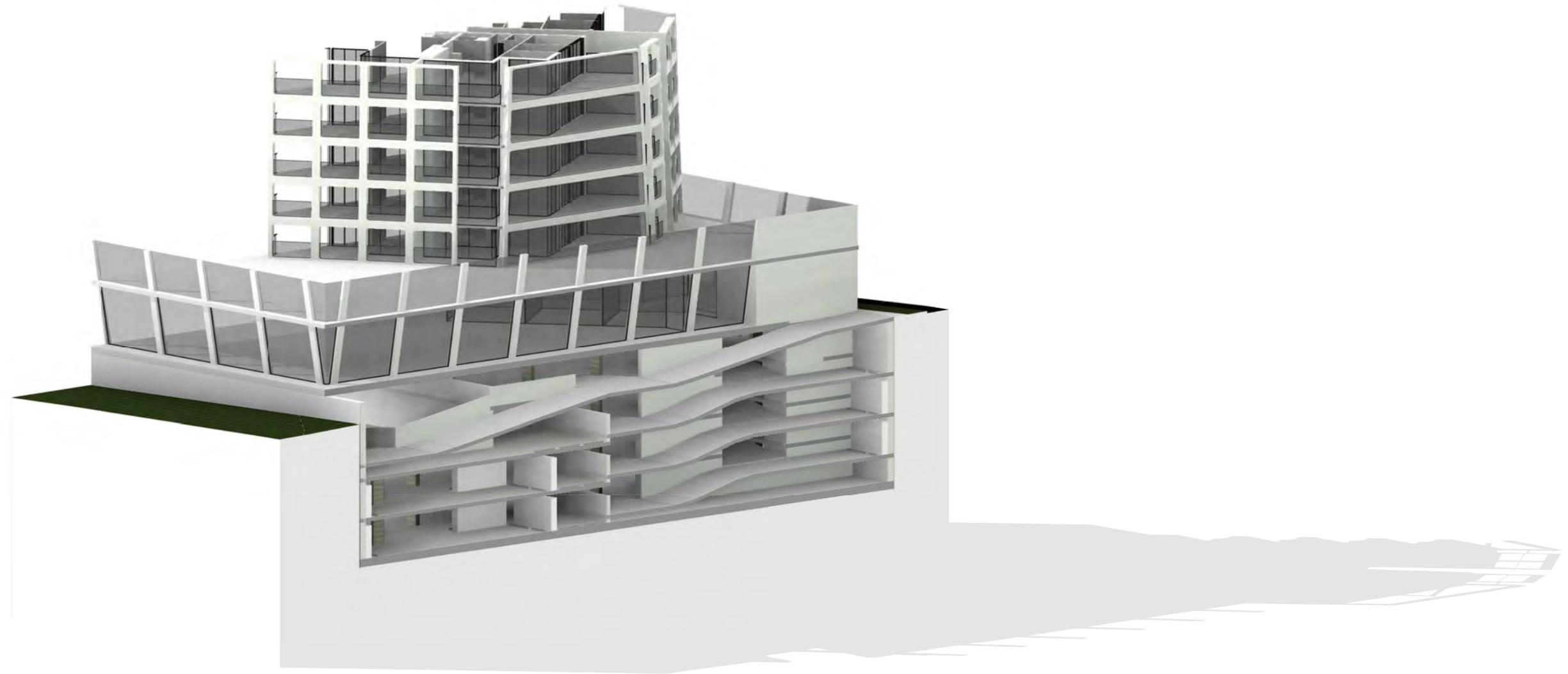
a550
 scale a3 1:200
 drawn/checked mgk/gk
 drawing no 12694

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 info@gmarchitects.com.au 9797 1599 nom. architect n.nasser 9457



ramp section

8/09/2021 7:06:00 PM



ramp section 3d

2021	08.09.2021	A.3.1	LODGEMENT
2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

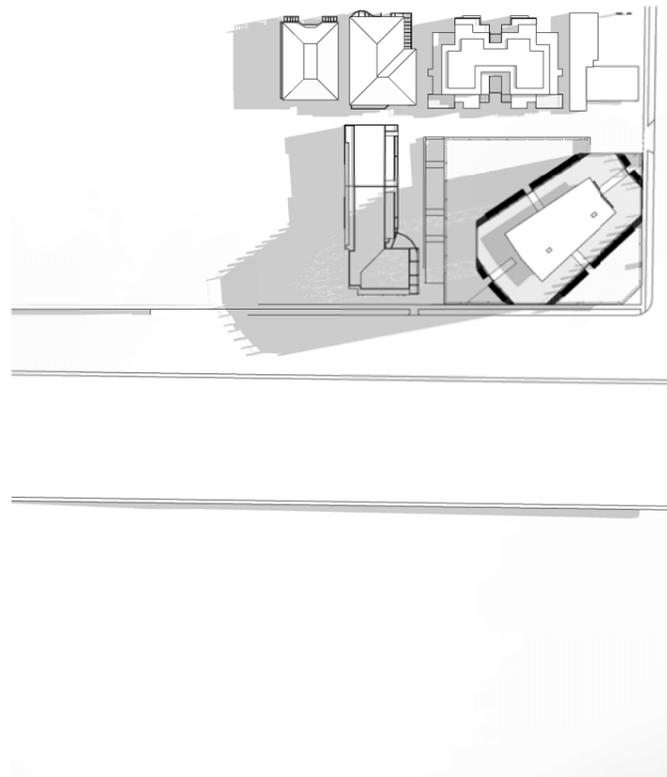
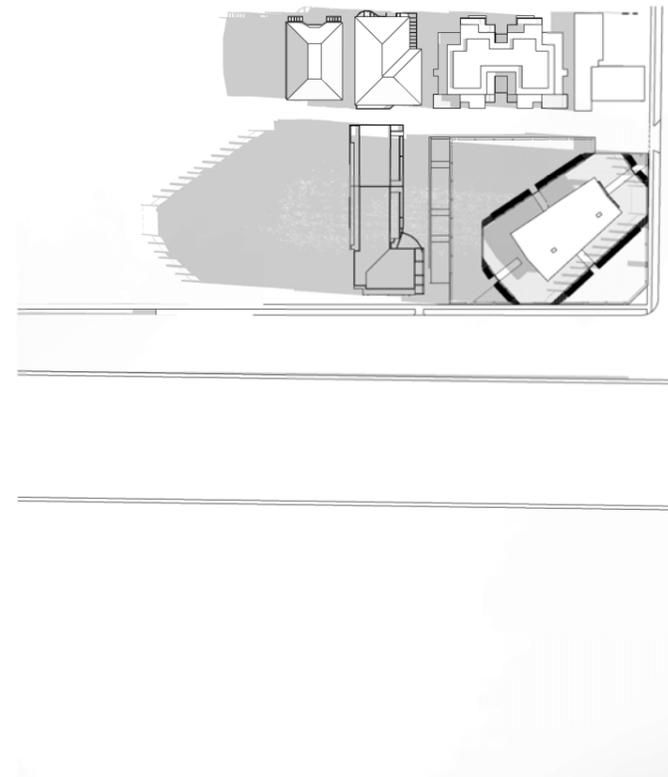
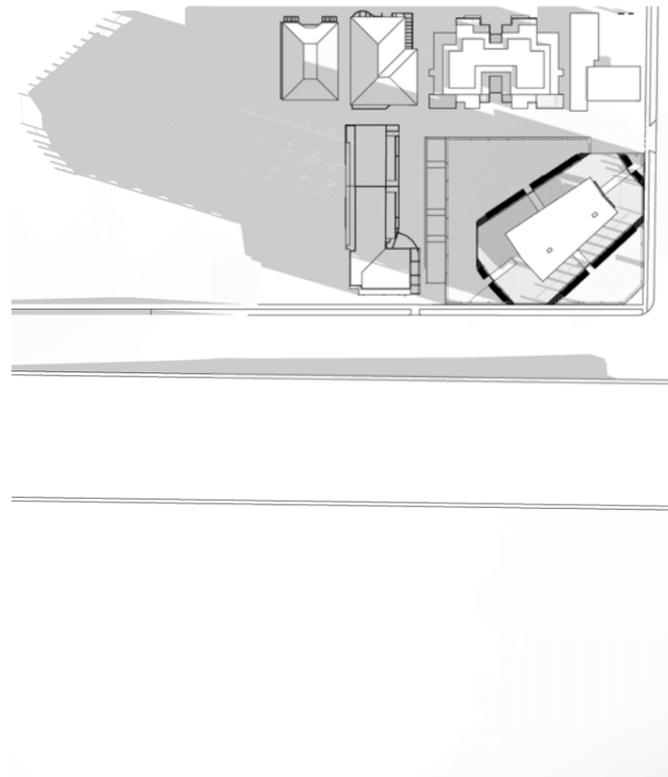
ramp section 3d a551
 330-332 parramatta rd, homebush west

mixed-use development scale a3
 planning proposal drawing checked gk
 wezzdah drawing no 12694

gm architects
 330a parramatta rd, homebush west NSW 2140 nom. architect
 info@gmarchitects.com.au 9797 1599 n.nasser 9457



8/09/2021 7:07:09 PM



9am

10am

11am

shadow diagrams am

2021	08.09.2021	A.3.1	LODGE/MENT
2021	16.07.2021	A.2.1	ISSUE TO CONSULTANTS
issue	date	description	

shadow diagrams am a601
330-332 parramatta rd, homebush west

mixed-use development
planning proposal
wezzdah

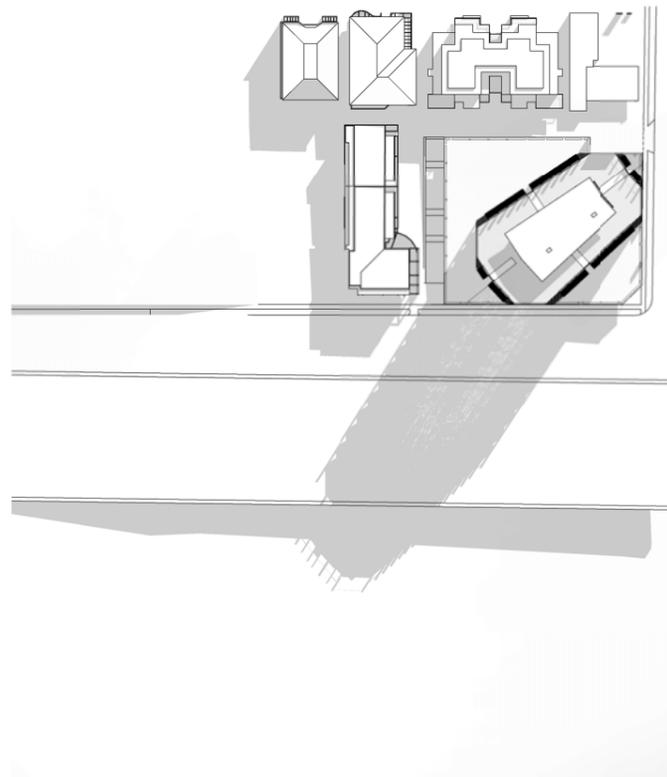
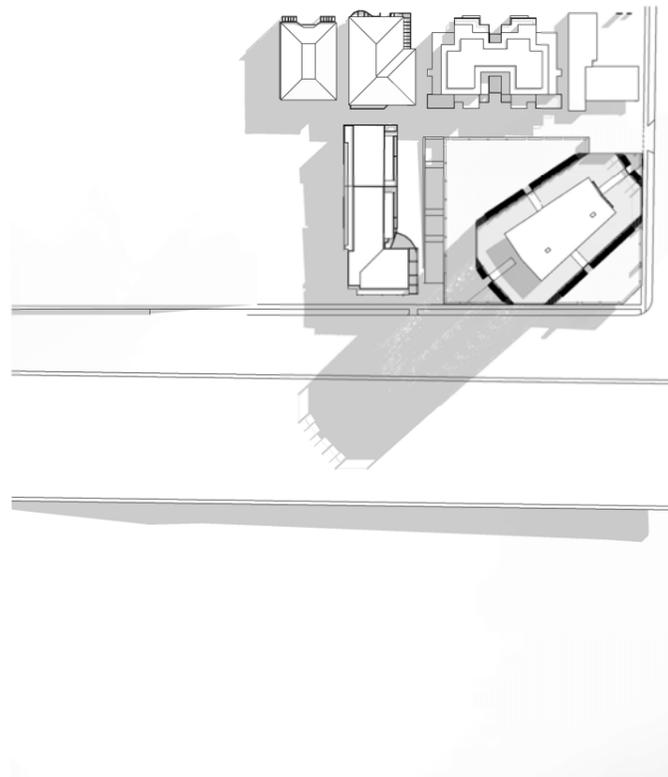
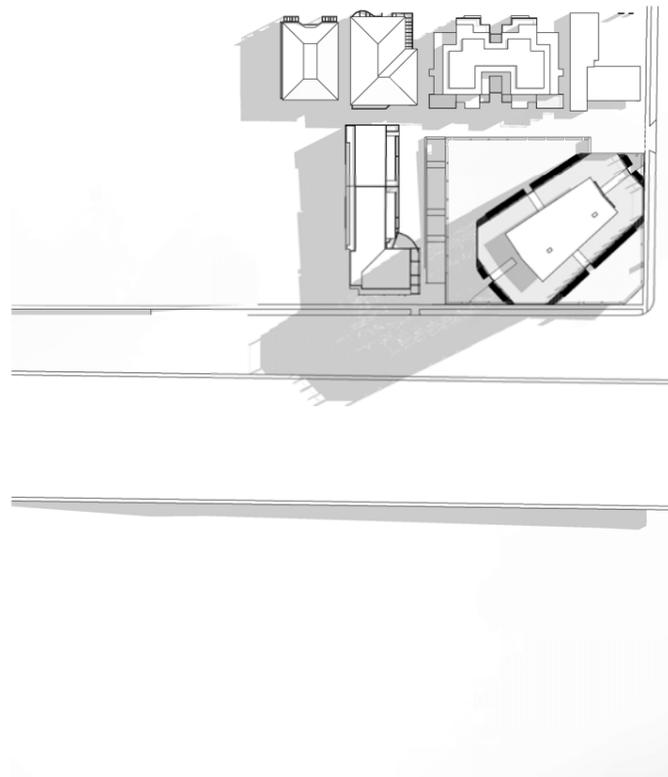
330a parramatta rd, homebush west NSW 2140
info@gmarchitects.com.au 9797 1599



scale a3
drawing no 12694
mk gk
n. nasser 9457



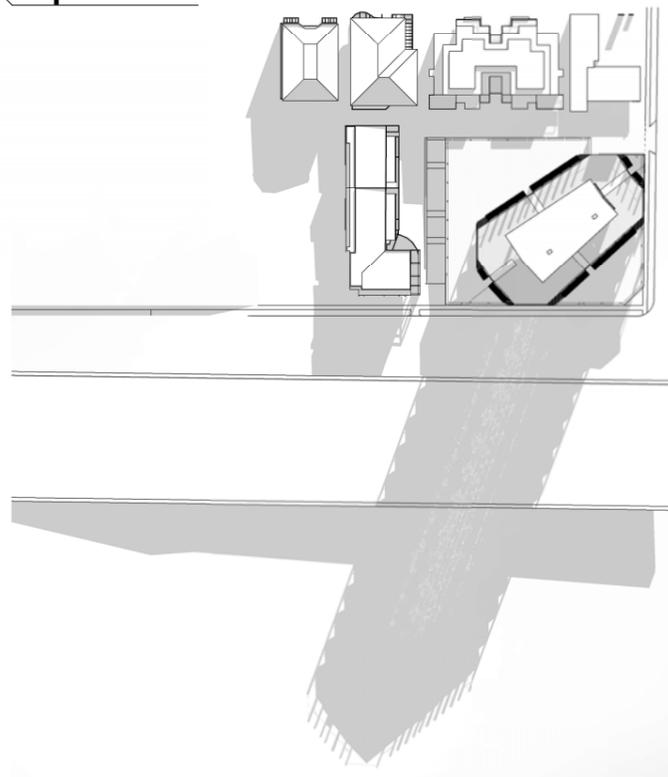
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12pm

1pm

2pm



3pm

shadow diagrams pm

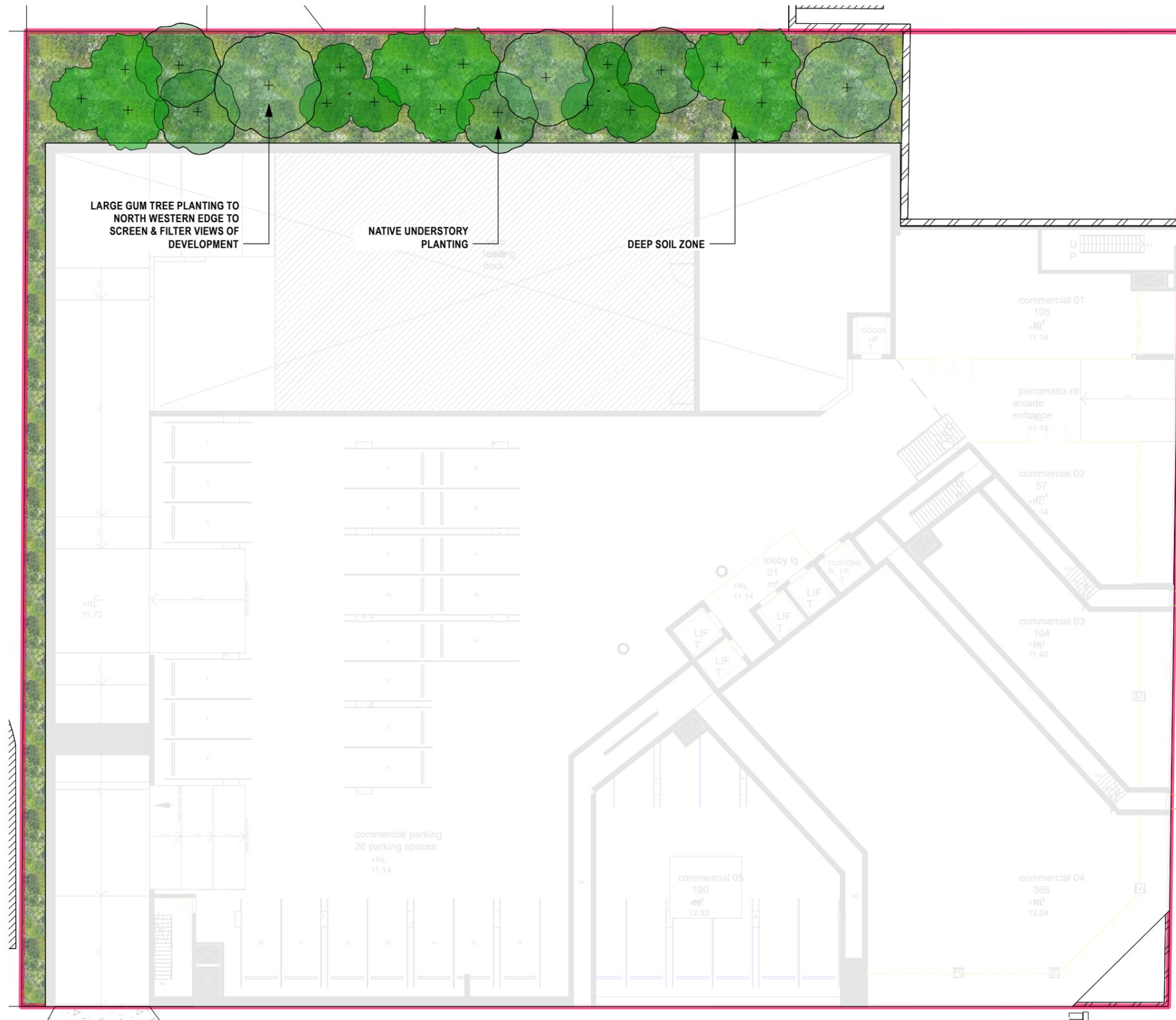
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2PPP	16.07.2021	A.2.1 ISSUE TO CONSULTANTS

shadow diagrams pm a602
330-332 parramatta rd, homebush west

mixed-use development
planning proposal
wezzdah

scale a3
drawing no. 12694
330a parramatta rd, homebush west NSW 2140
info@gmarchitects.com.au 9797 1599 nom. architect n.nasser 9457





LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  PROPOSED TREES (Refer plant schedule)
-  PROPOSED PLANTING (Refer plant schedule)
-  TURF AREA (Refer specification)
-  GARDEN: ON STRUCTURE
-  GARDEN: DEEP SOIL
-  BUILDING OUTLINE
-  PAVING TYPE 1 (Concrete)
-  PAVING TYPE 2 (Natural Stone Paving)
-  PAVING TYPE 3 (Natural Stone Paving)



LARGE EUCALYPT BUFFER PLANTING IN DEEP SOIL

SITEDSIGN + STUDIOS
 creating places to live in and enjoy

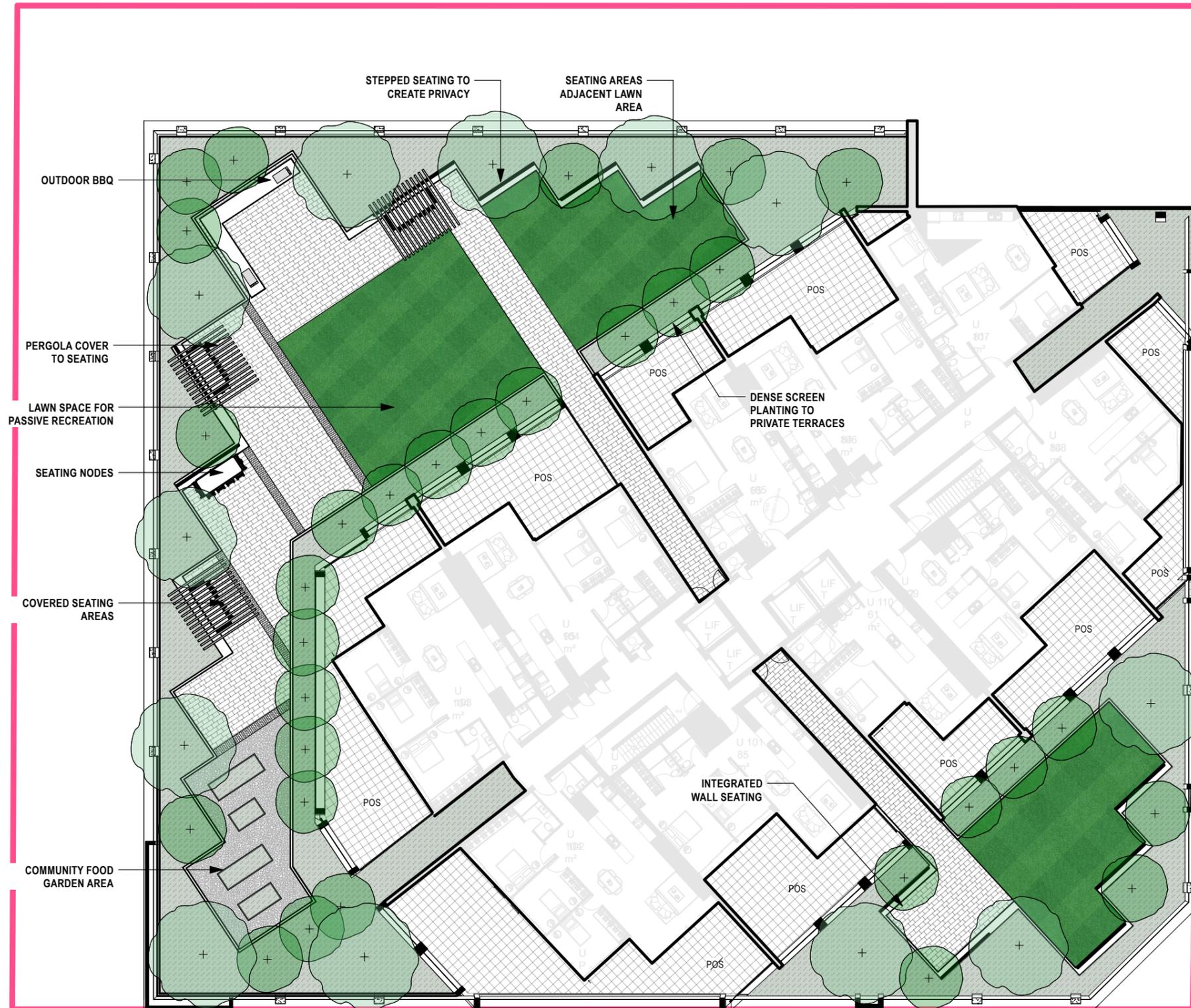
SYDNEY SOUTH STUDIO
 29 Marshall Road
 KIRRAWEE NSW 2232
 m 0417 342 440
 p 1300 22 44 55
 johnny@sdstudios.com.au
 www.sdstudios.com.au

Project	LANDSCAPE WORKS	
Address	330-332 PARRAMATTA RD, HOMEBUSH	Date 21/12/2021
Drawing Title	GROUND FLOOR	Scale 1:250@A3



ISSUE	DATE	COMMENT
B	21/12/21	FOR SUBMISSION
A	14/9/21	DRAFT FOR COMMENT

Page
L-02 B



LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  PROPOSED TREES (Refer plant schedule)
-  PROPOSED PLANTING (Refer plant schedule)
-  TURF AREA (Refer specification)
-  GARDEN: ON STRUCTURE
-  GARDEN: DEEP SOIL
-  BUILDING OUTLINE
-  PAVING TYPE 1 (Concrete)
-  PAVING TYPE 2 (Natural Stone Paving)
-  PAVING TYPE 3 (Natural Stone Paving)



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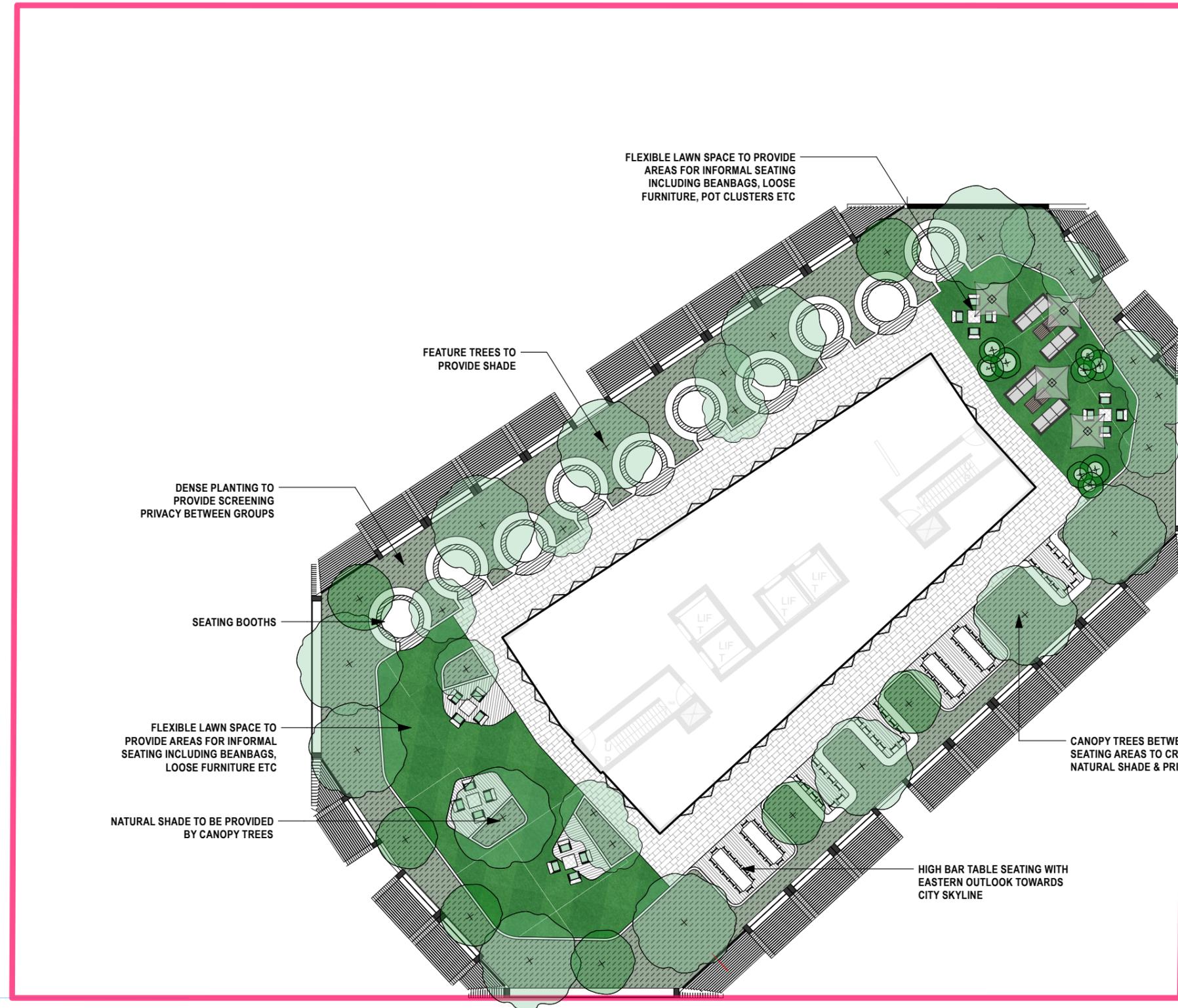
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Address	330-332 PARRAMATTA RD, HOMEBUSH	Date 21/12/2021
Drawing Title	LEVEL 1	Scale 1:250@A3



ISSUE	DATE	COMMENT
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A	14/9/21	DRAFT FOR COMMENT

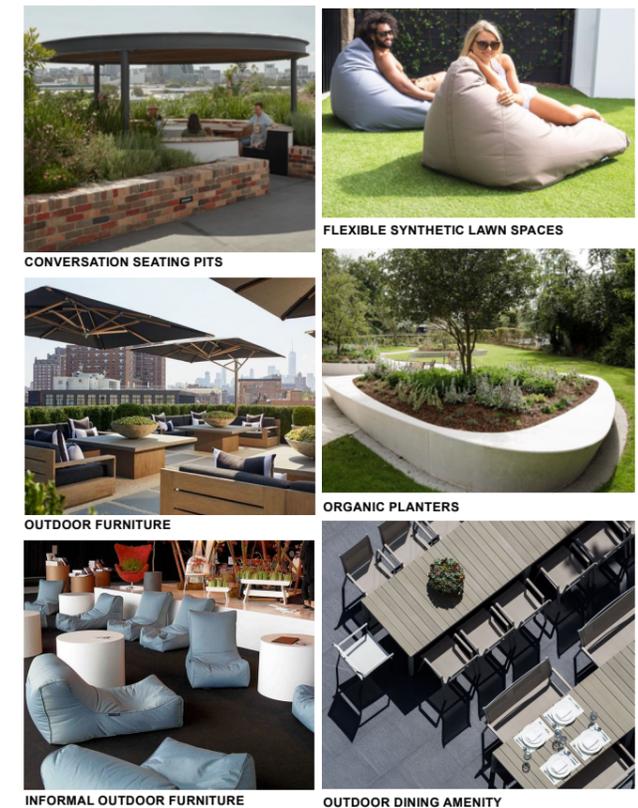
REVISIONS

Page
L-03 B



LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  PROPOSED TREES (Refer plant schedule)
-  PROPOSED PLANTING (Refer plant schedule)
-  TURF AREA (Refer specification)
-  GARDEN: ON STRUCTURE
-  GARDEN: DEEP SOIL
-  BUILDING OUTLINE
-  PAVING TYPE 1 (Concrete)
-  PAVING TYPE 2 (Natural Stone Paving)
-  PAVING TYPE 3 (Natural Stone Paving)



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 johnny@sdstudios.com.au
 www.sdstudios.com.au

Project	LANDSCAPE WORKS	
Address	330-332 PARRAMATTA RD, HOMEBUSH	Date 21/12/2021
Drawing Title	ROOFTOP	Scale 1:250@A3



ISSUE	DATE	COMMENT
B	21/12/21	FOR SUBMISSION
A	14/9/21	DRAFT FOR COMMENT
REVISIONS		

Page
L-04 B



Cupaniopsis anarcardioides



Plumeria acutifolia



Magnolia 'Little Gem'



Dracaena draco



Lagerstroemia indica 'Natchez'



Angophora costata



Angophora floribunda



Elaeocarpus reticulatus



Xanthorrhoea media



Alcantarea imperialis Rubra



Agave geminiflora



Doryanthes excelsa



Zamia furfuracea



Casuarina 'Green Wave'



Westringia mundi



Dichondra 'Silverfalls'



Crassula 'Bluebird'



Crassula 'Max Cook'



Carissa 'Desert Star'



Kalanchoe 'Silver Spoons'



Leucophyta brownii nana



Raphiolepis 'Oriental Pearl'



Viburnum odoratissimum 'Emerald Lustre'



Philodendron Xanadu



Pittosporum 'Miss Muffet'



Senecio mandraliscae



Lomandra 'Tanika'



Casuarina 'Cousin It'



Poa labillardieri 'Eskdale'



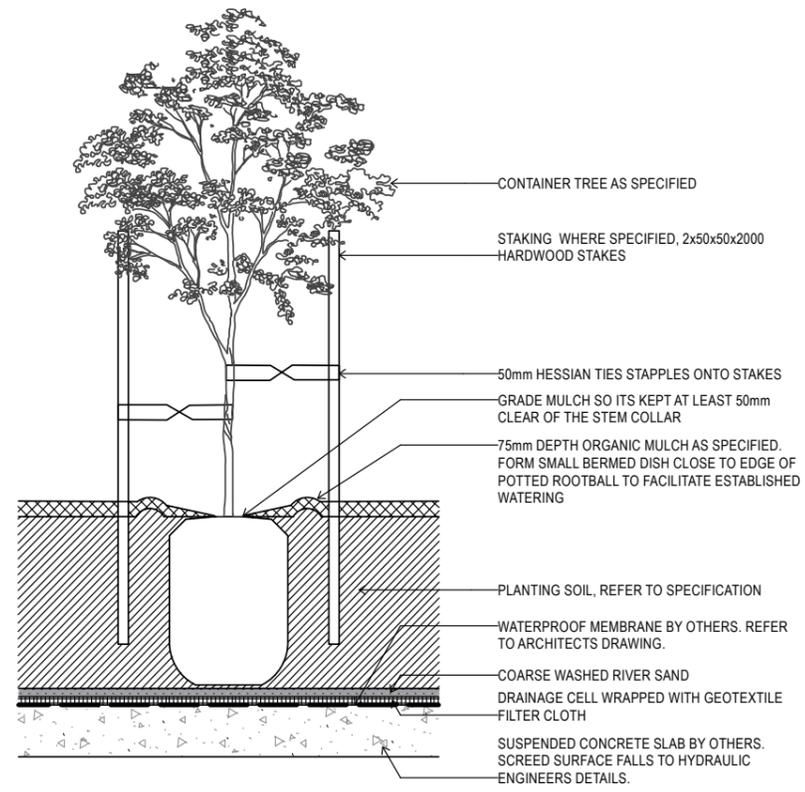
Trachelospermum asiaticum



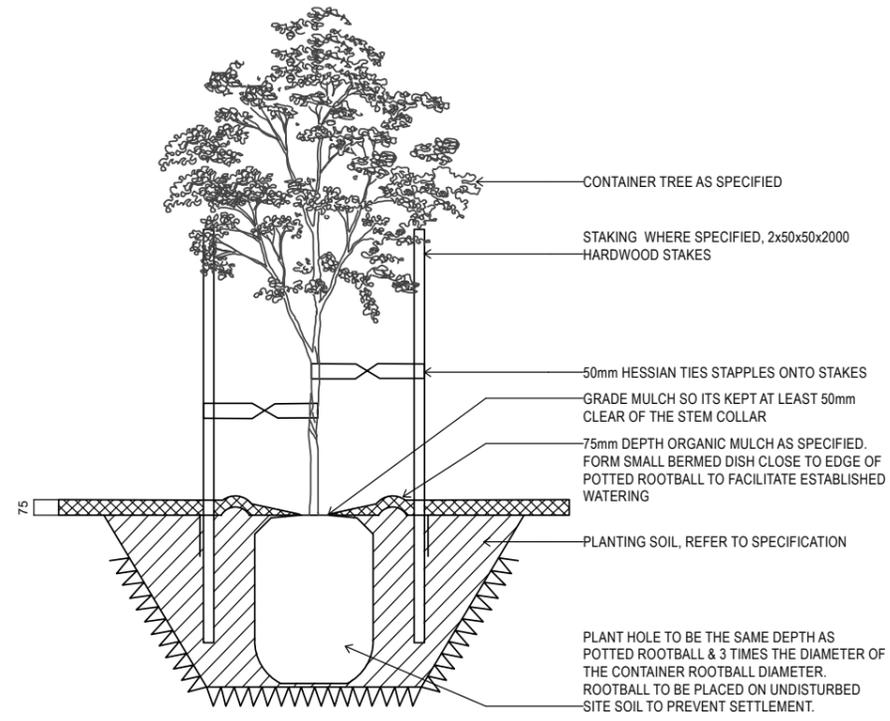
Lomandra confertifolia 'Little Pal'



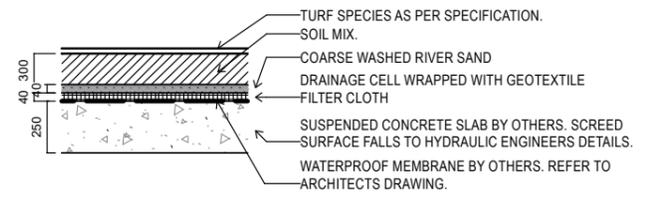
Liriope 'Evergreen Giant'



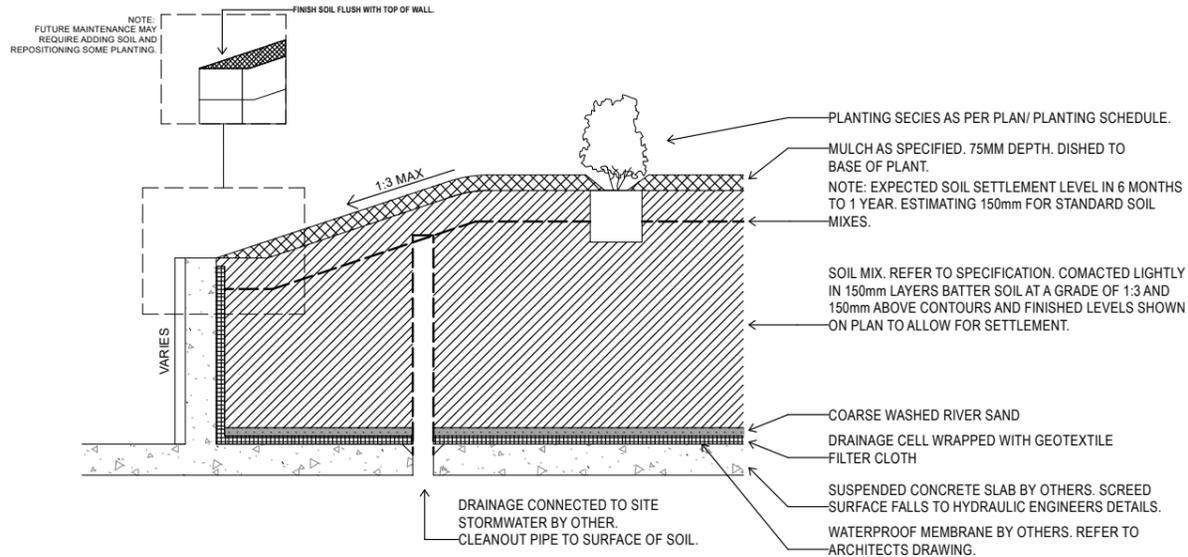
DETAIL: TYPICAL TREE PLANTING ON STRUCTURE
1:30 @ A3



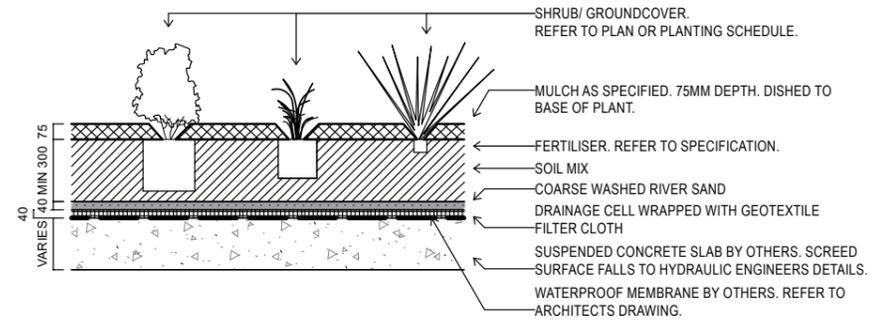
DETAIL: TYPICAL TREE PLANTING ON GRADE
1:30 @ A3



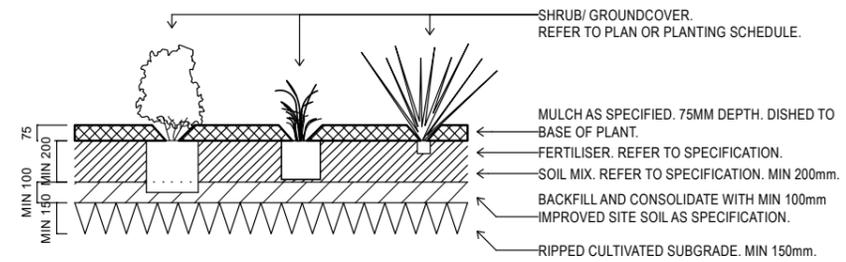
DETAIL: TURF ON EVEN GRADE STRUCTURE
1:30 @ A3



DETAIL: TYPICAL TREE PLANTING ON SLAB
1:30 @ A3



DETAIL: TYPICAL SHRUB PLANTING ON STRUCTURE
1:30 @ A3



DETAIL: TYPICAL SHRUB PLANTING ON GRADE
1:30 @ A3