

Agenda

Strathfield Local Planning Panel Meeting

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held via an online meeting platform (Zoom).

Thursday, 7 April 2022

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.

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TO: Strathfield Local Planning Panel Meeting - 7 April 2022
REPORT: SLPP – Report No. 7
SUBJECT: S8.2-DA2021.74- 33 NEWTON ROAD STRATHFIELD
 LOT 42 DP 8778
DA NO. S8.2-DA2021.74

SUMMARY

Proposal:	S8.2A Review Application for demolition of existing structures, retention of tennis court, construction of a two (2) storey dwelling house with basement level, in-ground swimming pool, front fence, detached outbuilding and associated landscaping.
Applicant:	Charbel Blu Print Design
Owner:	ES & MM Wai
Date of lodgement:	18 October 2021
Notification period:	21 October 2021 – 4 November 2021 Renotified 14 February 2022 - 28 February 2022
Submissions received:	Nil
Assessment officer:	J W Brown
Estimated cost of works:	\$2,364,483.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No
Flood affected:	No
Is a Clause 4.6 variation proposed?	N/A
RECOMMENDATION OF OFFICER:	APPROVAL



Figure 1: Aerial Image of the subject site

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)****EXECUTIVE SUMMARY****Proposal**

S8.2A review of DA2021/074 - demolition of existing structures, retention of tennis court, construction of a two (2) storey dwelling house with basement level, in-ground swimming pool, front fence, detached outbuilding and associated landscaping.

Site and Locality

The site is identified as 33 Newton Road Strathfield and has a legal description of Lot 42 in DP 8778. The site is a regular shaped parcel of land and is located northern side of Newton Road.

The site has a width of 20.115m, a depth of 70.56m and an overall site area of 1416m².

The locality surrounding the subject site contains a mixture of mix of single-storey and two (2) storey dwellings and a variety of architectural styles are apparent along the street.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 21 October 2021 – 4 November 2021, where no submissions were received.

The application again was renotified from the 14 February 2022 to the 28 February 2022, where no submissions were received.

Issues

- Driveway and street tree removal.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment Act 1979, Development Application 2021/74 is recommended for approval subject to suitable conditions of consent.

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

REPORT IN FULL

Proposal

Council has received an application for the S8.2 review of DA2021/074 – demolition of existing structures, retention of tennis court, construction of a two (2) storey dwelling house with basement level, in-ground swimming pool, front fence, detached outbuilding and associated landscaping.

Both the entry feature and attached carport have been removed from the proposal with the inclusion of an attach pergola replacing the carport. More specifically, the proposal includes;

Basement level:

- Five (5) spaces for car parking
- Gym
- Wine Cellar
- Bathroom
- Cinema room
- Store, storage and pool pump equipment rooms
- A lift to access all floors

Ground floor level:

- Open planned kitchen living and dining room
- Walk-in pantry
- Entry foyer
- Piano and kids retreat room'
- Guest suite with ensuite
- Powder room
- Laundry

First floor level:

- Master Bedroom with ensuite, walk in wardrobe and balcony
- Two (2) bedrooms with ensuites
- One (1) bedroom with ensuite, walk in wardrobe and terrace
- Study
- Foyer with void
- Storage room

External works:

- Entry portico
- Attached pergola
- Swimming pool in between two Alfresco areas
- Existing tennis court with a new tennis house with bathroom

S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)

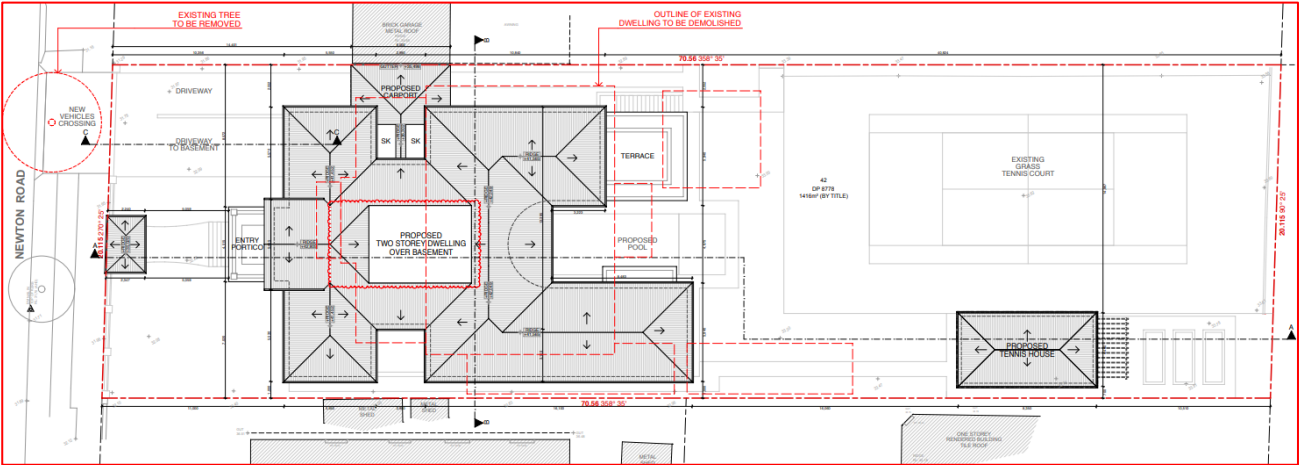


Figure 2: Refused site plan

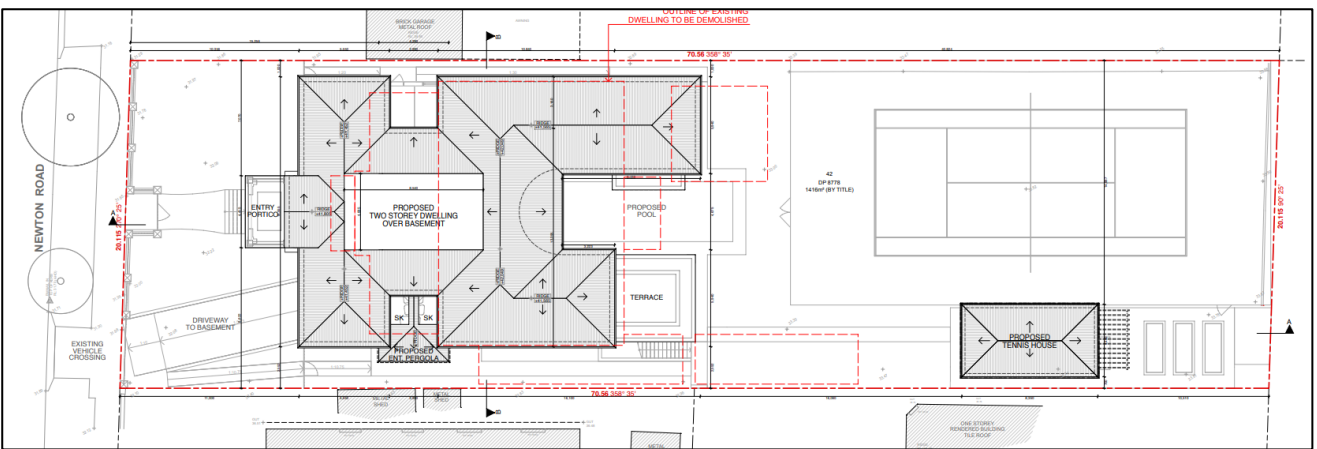


Figure 3: Final Section 8.2A Site Plan

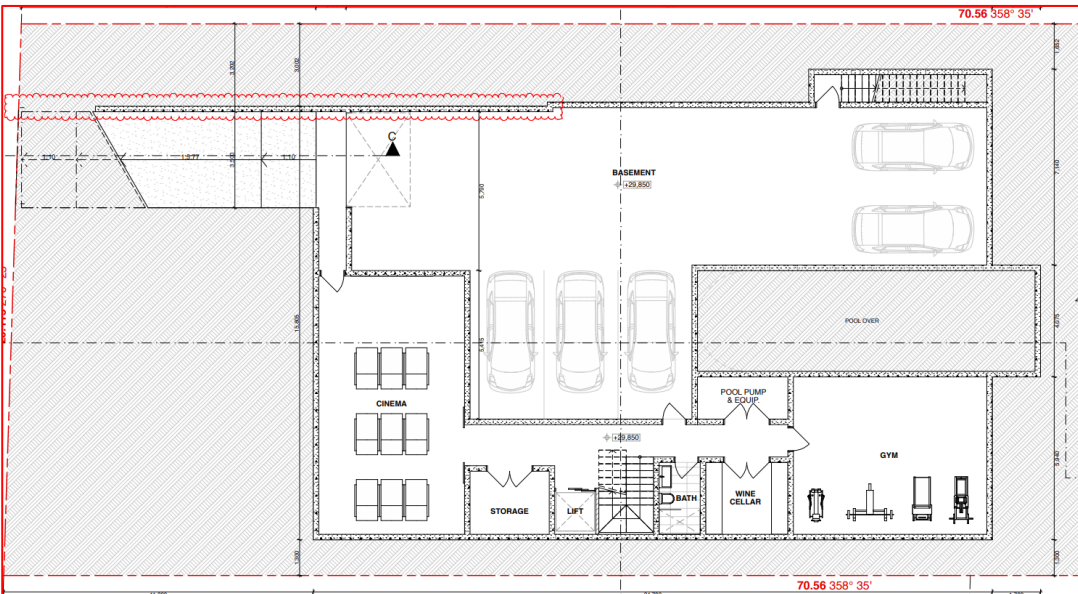


Figure 4: Refused Basement Plan

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LOT 42 DP 8778 (Cont'd)

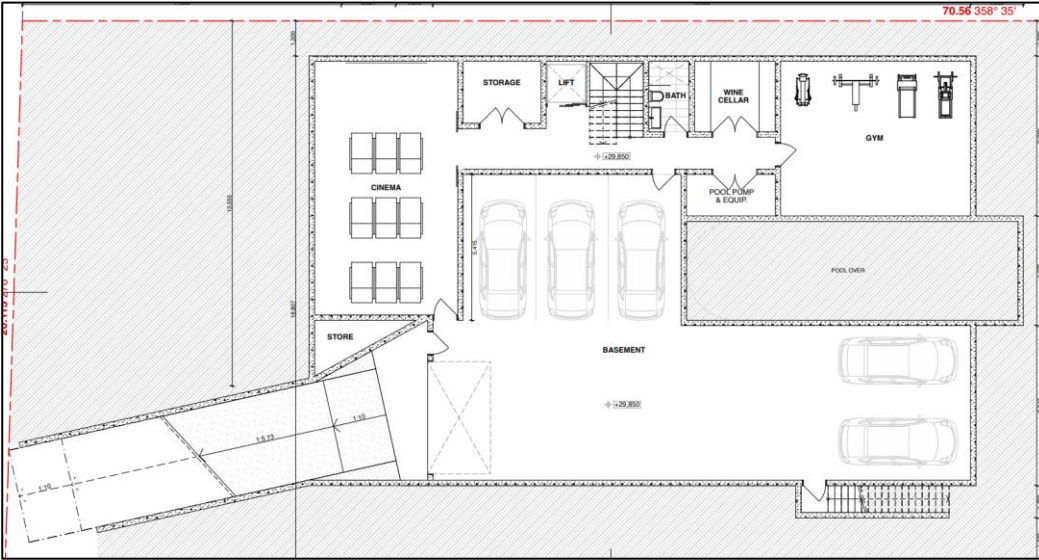


Figure 5: Final Section 8.2A basement plan

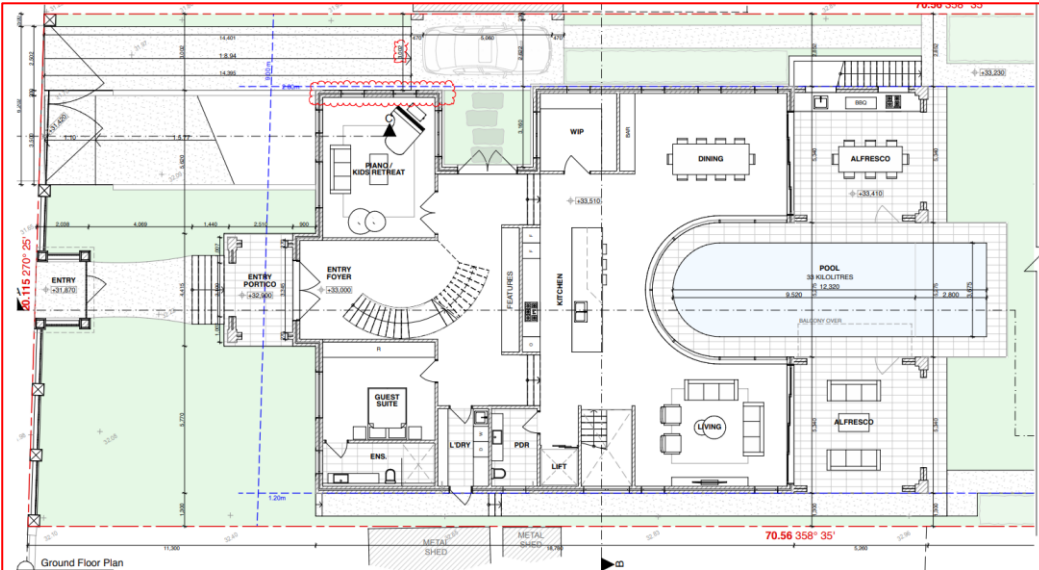


Figure 6: Refused ground floor plan

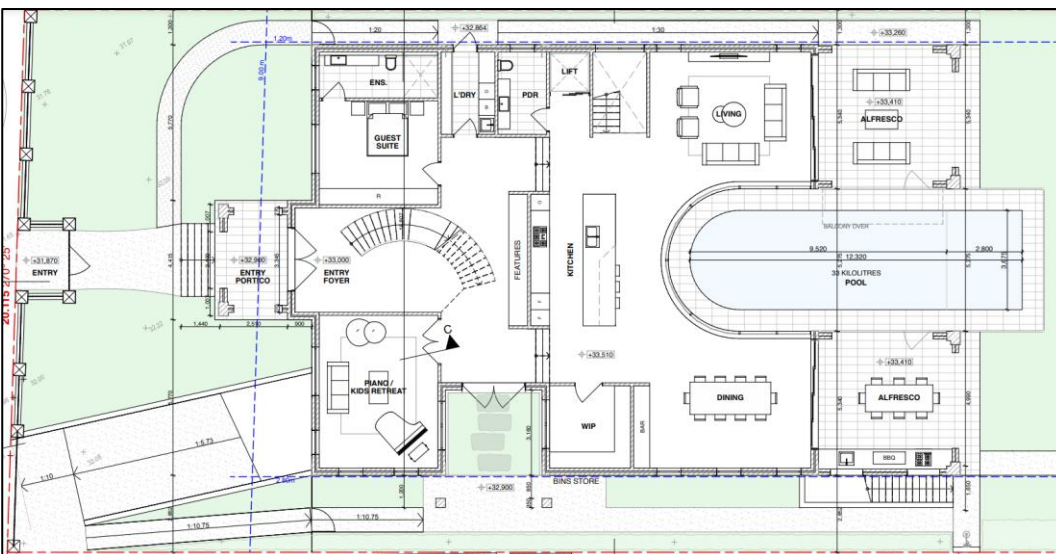


Figure 7: Final Section 8.2A ground floor plan

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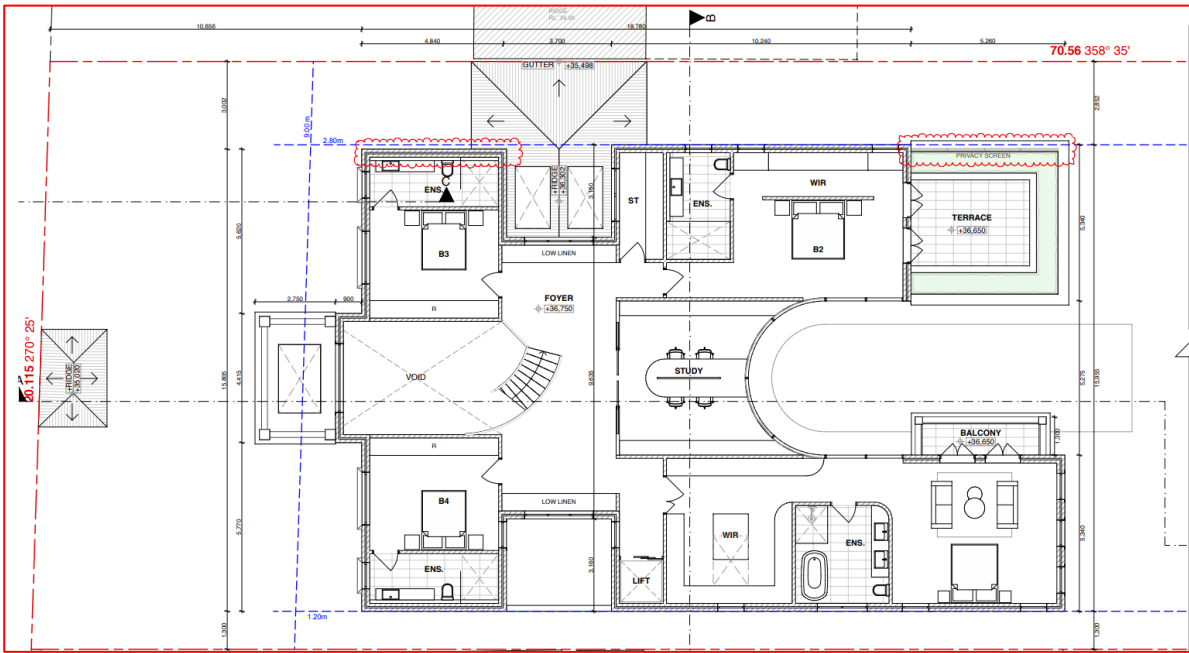


Figure 6: Refused first floor plan

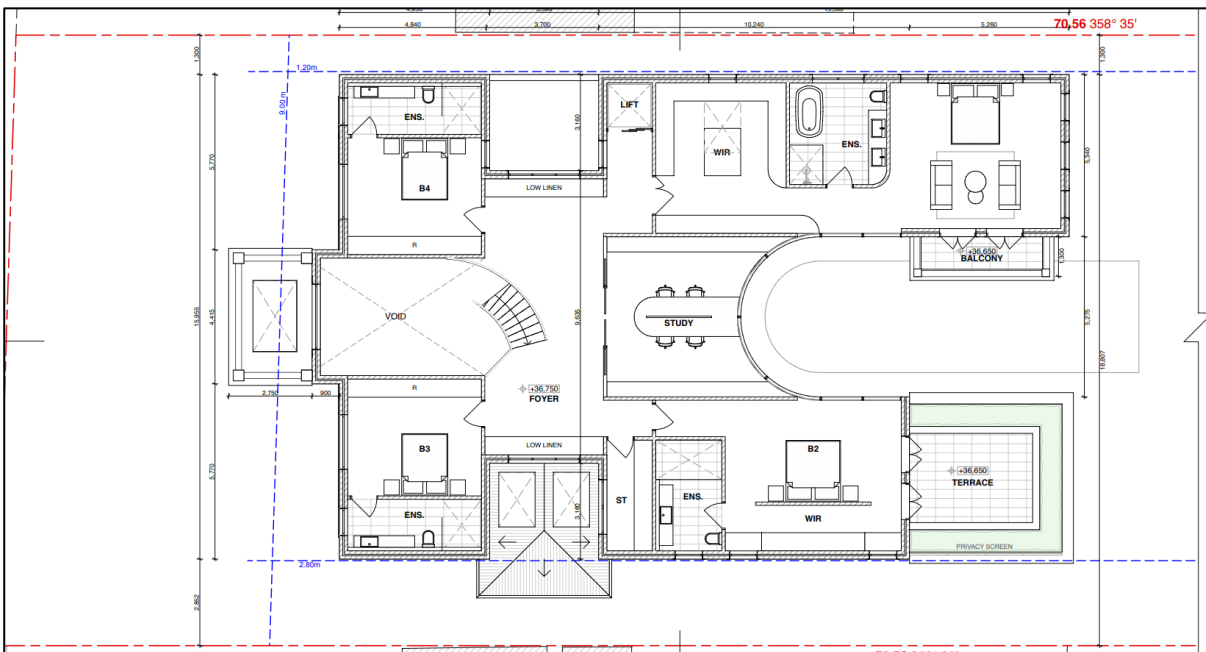


Figure 7: Final Section 8.2A first floor plan

S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)

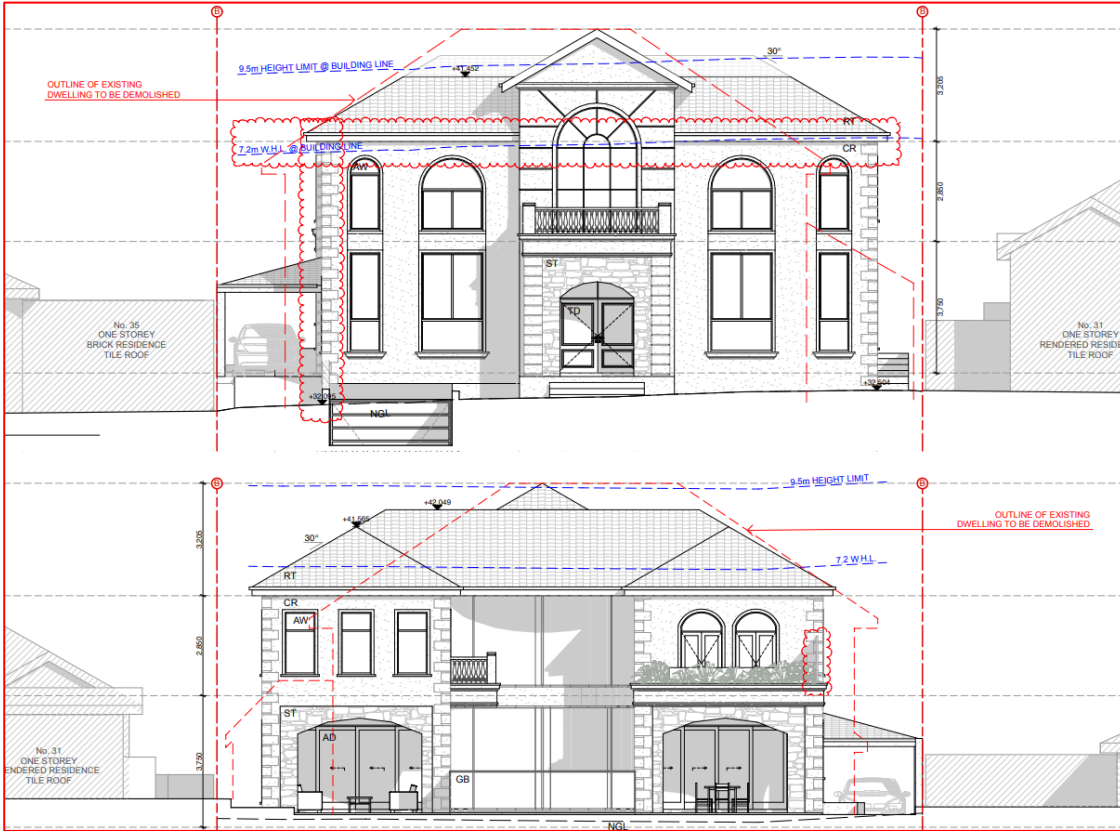


Figure 6: Refused South (top) and North (bottom) Elevations

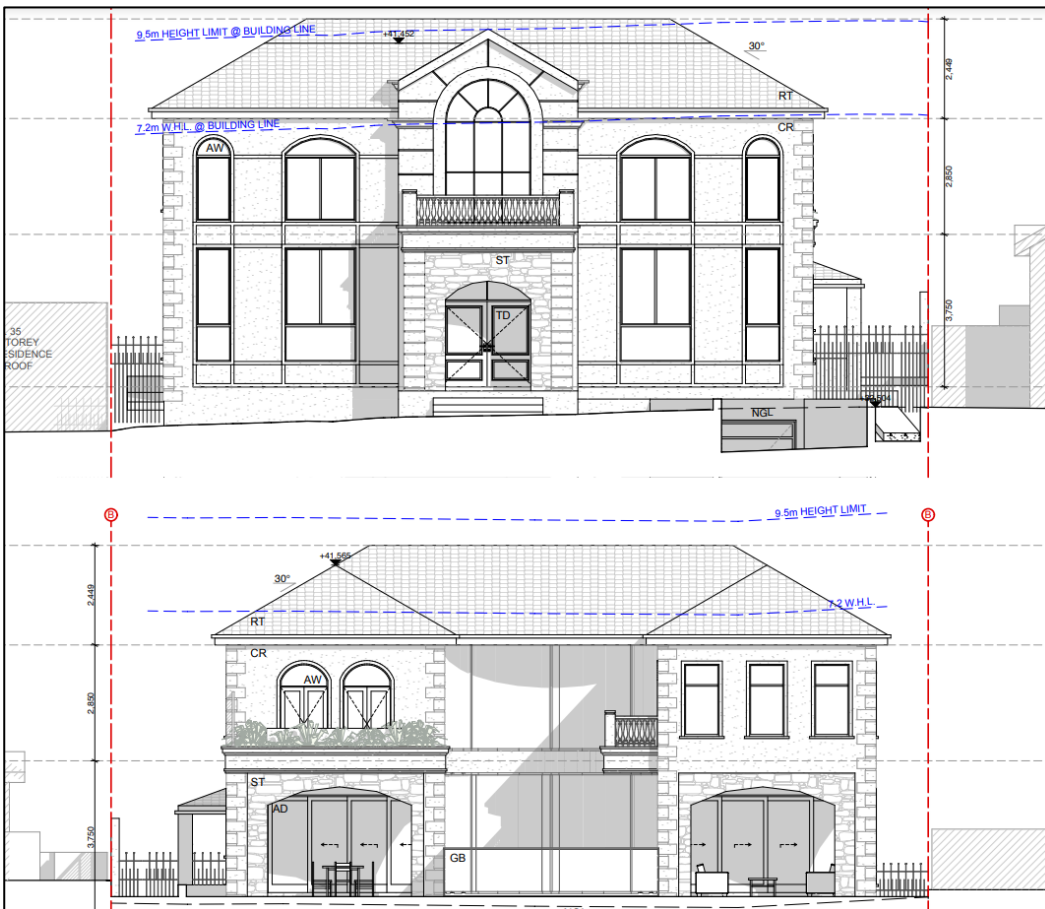


Figure 7: Final Section 8.2A South (top) and North (bottom) Elevations

S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)

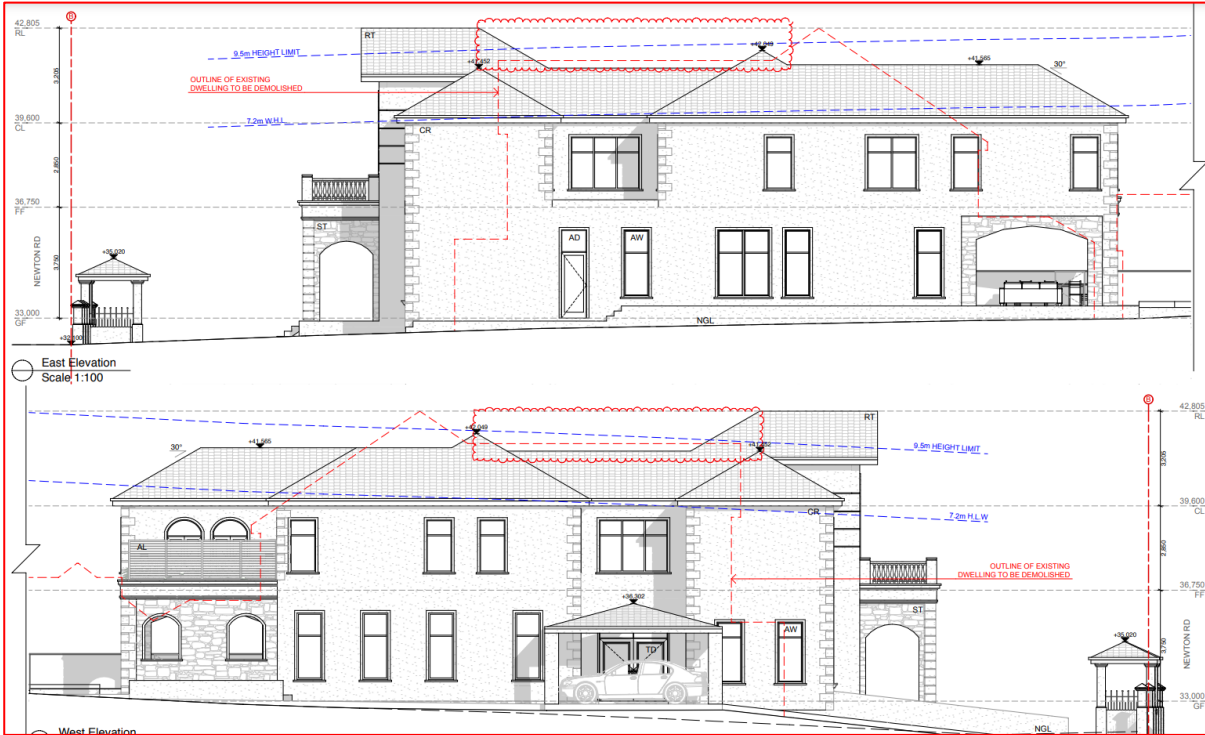


Figure 8: Refused East (top) and West (bottom) Elevations

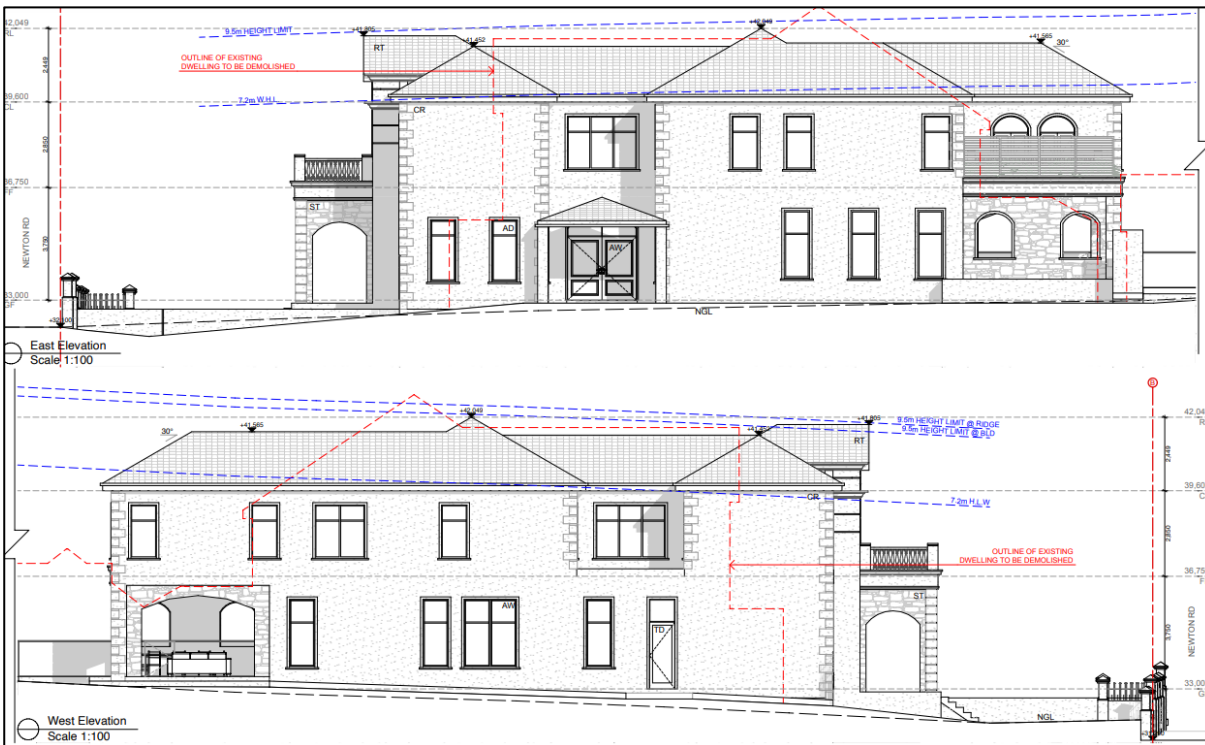


Figure 9: Final Section 8.2A East (top) and West (bottom) Elevations

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

The Site and Locality

The subject site is legally described as Lot 42 in DP8778 and commonly known as 33 Newton Road Strathfield. It is located off the northern side of Newton Road between Barker Street to the north; South Street to the east; Ada Avenue to the south; and Wilson Street to the west.

The site is rectangular in shape and has a frontage of 20.115m to the south, rear boundary of 20.115m to the north and side boundary lengths of 70.56m. The site slopes from north-east to south-west and has a cross-fall of 1-2 degrees. The site comprises an overall site area of 1,416m².

Existing development on the site comprises a two (2) storey dwelling house with detached garage/outbuilding, rear pergola and grass tennis court. Vehicular access is provided to the site via an existing driveway from Newton Road to an existing detached garage and carport located along the eastern boundary of the site.

The current streetscape is characterised by a mix of single-storey and two (2) storey dwellings of a variety of architectural styles apparent along the street. Hipped and pitched tiled roofs are prevalent, as well as exposed brick and concrete rendered buildings. A number of basement garages can be seen along Newton Road. Front fencing is predominantly low-set open construction masonry style with a variety of decorative metalwork.

The surrounding area is characterised by low-density residential detached housing and established street trees (predominantly Brushbox and Chinese Tallow).



Figure 10: Closer image of the site (Nearmaps 4 Oct 2021)

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LOT 42 DP 8778 (Cont'd)



Figure 11: Existing front fence and dwelling

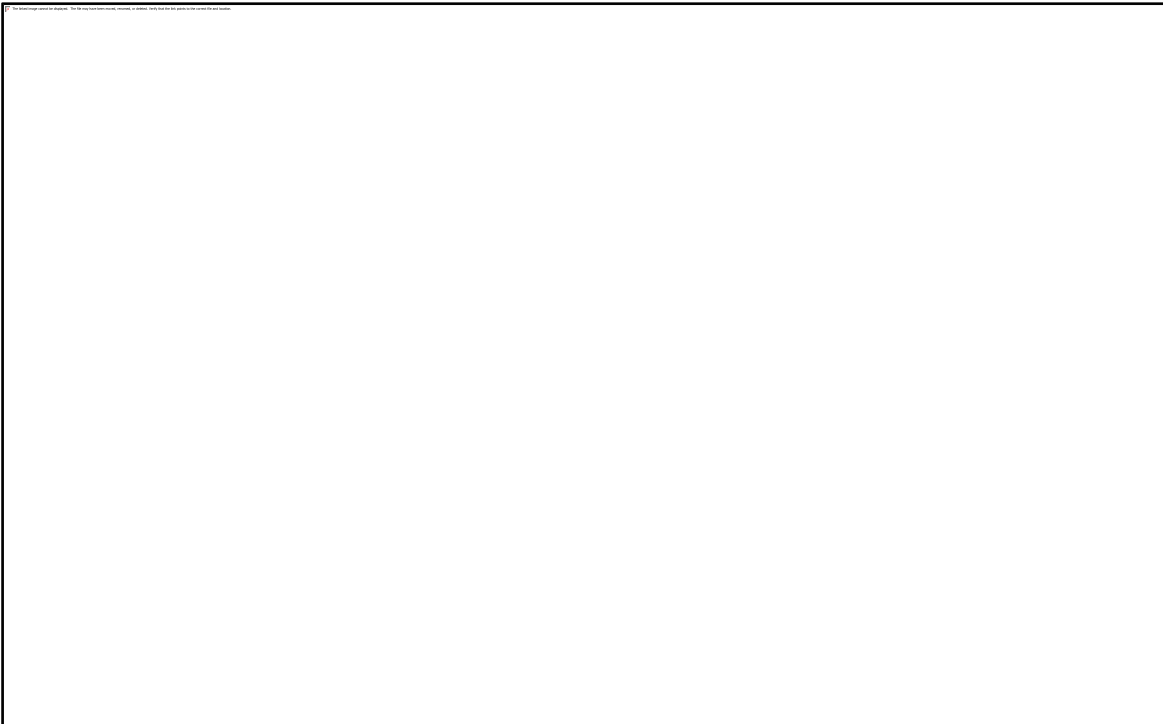


Figure 12: Facing the street with the two street trees (Left) Brushbox, (Right) Chinese Tallow

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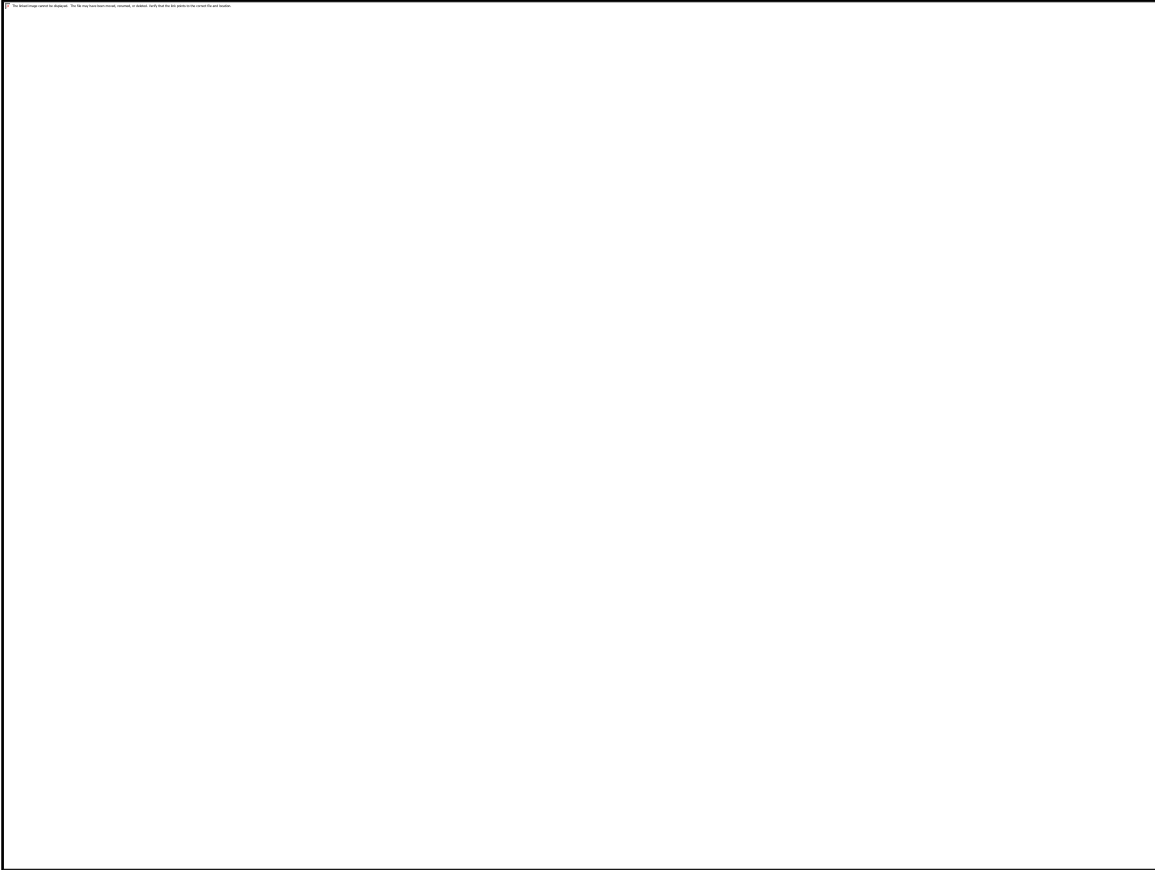


Figure 13: Front façade of existing dwelling

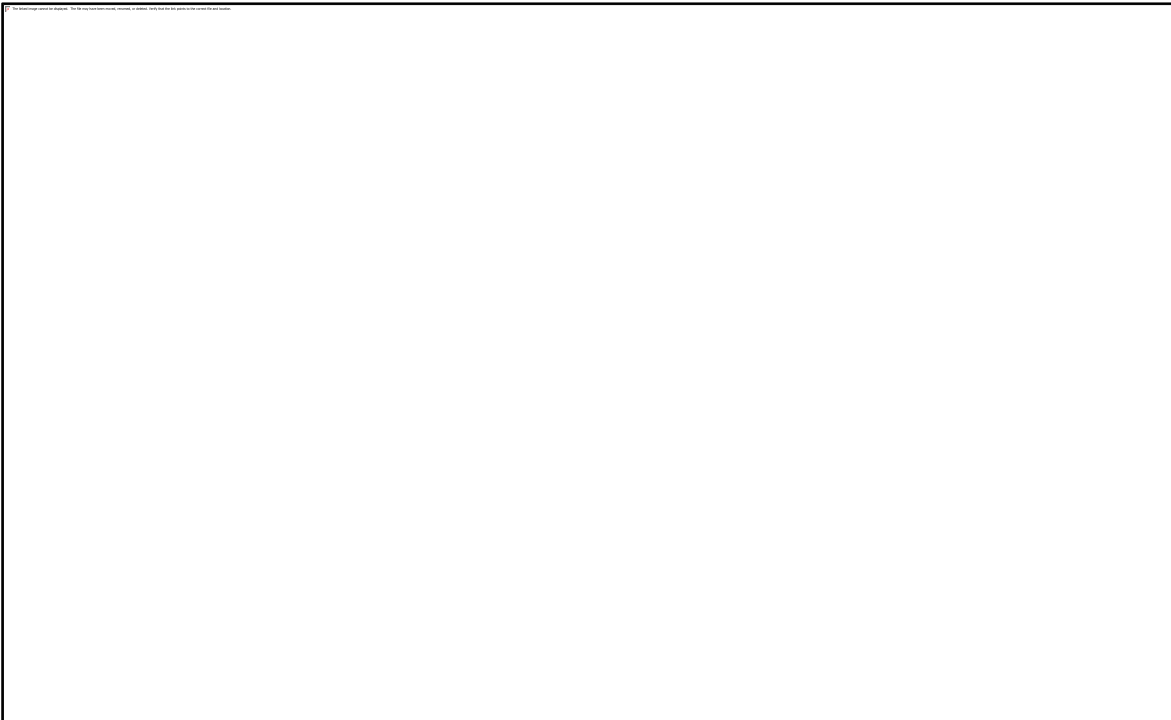


Figure 14: Rear façade of the dwelling

Background

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

13 April 2021	The original development application (DA2021/74) was lodged with Council.
4 August 2021	DA2021/74 was refused by Strathfield Local Planning Panel to grant consent for the demolition of existing structures, retention of tennis court, construction of a two (2) storey dwelling house with basement level, in-ground swimming pool, front fence and entry feature, attached carport, detached outbuilding and associated landscaping.
18 October 2021	The Subject S8.2 review of determination was lodged
21 October 2021	The application was publicly exhibited until 4 November 2021. Council received no submissions during this period.
9 December 2021	Council's Planner carried out site visit.
1 February 2021	Applicant provided updated architectural drawings.
14 February 2022	The application was renotified until 28 February 2021 due to the significant changes in the revised design.

Referrals – Internal and External

Development Engineers Comments:

The application was referred to Council's Development Engineer who offered no objection subject to the conditions of consent.

Manager of Traffic Comments:

The application was referred to Council's Manager of Traffic who offered no objection subject to the conditions of consent.

Tree Management Coordinator Comments:

The application was referred to Council's Tree Management Coordinator for comment. Concern was raised for the proposed new driveway crossing which would require the removal of the Council street tree (Sapium Sebiferm). The Tree Management Coordinator advised that the canopy cover for Newton Road is at 10-20% and Council is currently trying to increase canopy cover to 40% with recent street tree projects. The removal this street tree to accommodate the new driveway crossover will result in a loss in opportunity to provide a suitable location to support a fully-grown tree. The applicant provided an updated set of architectural plans flipping the design allowing for the use of the existing driveway opening therefore protecting the street tree. Council's Tree Management Coordinator after review of the revised plans offered no further objection subject to conditions of consent.

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 LOT 42 DP 8778 (Cont'd)

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
- (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy No 55 - Remediation of Land	Yes
State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY NO. 55 – REMEDIATION OF LAND (SEPP 55)

SEPP 55 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within SEPP55 are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (VEGETATION IN NON-RURAL AREAS) 2017

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 replaces the repealed provisions of clause 5.9 of SLEP 2012 relating to the preservation of trees and vegetation.

The intent of this SEPP is consistent with the objectives of the repealed Standard where the primary aims/objectives are related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal was referred to Council’s Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees, especially the street tree (Sapium Sebiferum). Relevant consent conditions will be imposed.

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LOT 42 DP 8778 (Cont'd)**

The aims and objectives outlined within the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	9.5m	Yes (non-compliant in original application)
4.4 Floor Space Ratio	0.50:1 (708m ²)	0.47:1 (665.2m ²)	Yes

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is not listed as a heritage item or located within a heritage conservation area. The site does not adjoin nor is in close proximity to a heritage item and as such, the provisions of this clause are not applicable.

Flood Planning

The proposed site has not been identified within the flood planning levels and as such, the provisions of this Clause are not applicable to the subject development.

Architectural roof features

The front façade has been reduced in height to be compliant with the height control meeting the objective of ensuring that the majority of the roof features are contained within the prescribed building height. The architectural feature is a decorative element that helps to shape the whole front façade of dwelling. Thus the proposals meets the requirements of the clause.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

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LOT 42 DP 8778 (Cont'd)**

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The extent of excavation has been limited to the footprint of the ground floor and rear alfresco above, and access to and from the basement. The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls and all ancillary works have been limited to what is required to provide access to and from the basement. The proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development.

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Heights:			
Floor to ceiling heights:	3.0m	3.5m	No
Height to underside of eaves:	7.2m	8.2m	No
Basement height above NGL:	1.0m	1m	Yes
Number of Storeys/Levels:	2	2	Yes
Setbacks:			
Front:	9m	9.7m	Yes
Side: West	1.2m (min)	1.3m	Yes
Side: East	1.2m (min)	1.6m	Yes
Combined Side Setback:	4.023m (20%)	2.9m	No
Rear:	6m	35m	Yes
Landscaping			
Landscaping/Deepsoil Provisions:	45% (637.2m ²)	50% (709.9)	Yes

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LOT 42 DP 8778 (Cont'd)**

Fencing			
Height (overall/piers):	1.5m (maximum)	1.8m	No
Solid Component:	0.7m	0.7m	Yes
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	Achieved	Yes
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3.7m	No
Vehicular Crossing:	1	1	Yes
Driveway setback – side:	0.5m	3m	Yes
No. of Parking Spaces:	2	5	Yes
Basement:			
Basement protrusion:	Less than 1.0m	1m	Yes
Basement ramp/driveway	3.5m	3.5m	Yes
Internal height:	2.2m	2.3m	Yes
Ancillary Development			
OUTBUILDINGS			
Area:	40m ²	26m ²	Yes
Height:	3.5m	4.15m	No
Side/Rear setback:	0.5m	900mm	Yes
SWIMMING POOL			
Side/Rear Setback	1.0m	>1m	Yes
TENNIS COURTS			
Side setback	1.0m (min) 3.0 (adj. habitable)	600mm (existing) 5.5m	Acceptable Yes
Finished Surface Level	Less than 0.75m	0.62m	Yes

Building Envelope

The proposed development satisfies the objectives and controls within the development control plan relevant to:

- Building Scale, height and floor space ratio
- Rhythm of Built Elements in the Streetscape,
- Fenestration and External Materials, and
- Street Edge

The reduction in height from the original development application to be compliant with the SLEP 2012 has reduced the overall bulk and scale of the design. The ceiling to roof height has been reduced significantly; this in turn has brought the roofline down to an appropriate height and reduces the scale of internal features such as voids.

The combined side setback does not meet the requirements of the SCDCP 2005. This is considered acceptable in these circumstances as each individual side achieves a setback greater than the 1.2m requirement in the SCDCP 2005. The area of non-compliance is contained to the pergola with the remainder of the dwelling achieving a compliant combined setback. The intent of this control is to achieve appropriate visual separation between dwellings. The proposal achieves a

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

2.5m setback to the remaining portion of the eastern elevation Thus the reduced combined setback is appropriate in these circumstances,

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. The development is considered to enhance the existing streetscape, adequate areas for deep soil planting have been provided and can accommodate large canopy trees and where possible trees have been retained and protected.

Fencing

The proposed front fencing satisfies the relevant objectives and most of the controls within SCDCP 2005. It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences. Both the piers and palisade protrude beyond the 1.5m requirement. The decorative element and evenly spaced piers in conjunction with the open form palisade is unlikely to have impact on sight lines. The neighbouring properties have similar styles and fencing heights, which will enable the proposed fence to remain in keeping with streetscape. Thus, this non-compliance is acceptable in these circumstances.

Solar Access

Given the orientation of the site, solar access to windows of habitable rooms and to at least 50% of the private open space is achieved or maintained for a minimum period of 3 hours between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDCP 2005.

Privacy

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005, in that adequate privacy is maintained between adjoining properties and any potential overlooking is minimised. Windows are offset from adjoining dwellings where required, they are screened, obscured or off low active use rooms so as not to negatively impact on adjoining properties. Balconies are either screened, setback or are of limited size so as to not impact on the amenity or privacy of the adjoining dwellings whilst providing good amenity to the occupant of the dwelling. The first floor terrace shall be reduced in depth to limit the use of the area and the potential to impact on amenity and privacy. A design change condition will be added into the consent for less trafficable area and more landscaping.

Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. The basement has been kept to less than 1m above natural ground level, has been designed so that vehicles can enter and exit in a forward direction and maintains a minimum internal height of 2.2m.

The basement does extend beyond the ground floor footprint into the rear alfresco areas. As the basement is still within the building setbacks and does not reduce the landscaped area. It is therefore unlikely to have further impact on the natural drainage of the site as and the setbacks mitigate any disturbance to neighbouring properties.

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The driveway width at the boundary extends to 3.7m, this is appropriate in these circumstances as the ramp from the basement diagonally traverses the front setback to the boundary. This is to maintain the existing road opening and to protect the street trees. Therefore, this larger driveway width at the boundary is satisfactory in these circumstances.

Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SDCDP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduced site disturbance. Existing trees and shrubs have been retained where possible and ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SDCDP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SDCDP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURESOutbuildings

The proposed outbuilding results in a building height of 4.15m which exceeds the maximum permitted 3.5m building height requirements by 650mm. This non-compliance is supportable as the non-compliance is a result of the pitched roof form proposed. This enables the outbuilding to achieve a more articulated built form that reduces its apparent bulk and scale as well as integrates nicely with the pitched roof of the dwelling. The outbuilding achieves a compliant 900mm from the side boundary, which will provide appropriate visual separation from the adjoining property.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls within the SDCDP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen planting if required. The pool pump equipment is within the basement and unlikely to impact neighbouring properties through visual or noise impacts. The pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the swimming pools act and relevant standards.

Tennis Courts

The proposed development satisfies the relevant objectives and controls of the SDCDP 2005 as it is ancillary to the dwelling and will be used for residential purposes. The tennis court is existing and is already adequately setback to the boundaries. The height of fencing and any lighting will be appropriately conditioned.

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LOT 42 DP 8778 (Cont'd)

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the original application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard *AS2601–1991: The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. The site was re-notified, due to updated plans being submitted showing the entire design being flipped. No submissions were received at the time of writing this report.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

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LOT 42 DP 8778 (Cont'd)**

That Development Application No. S8.2-DA2021.74 for S8.2 Review Application for demolition of existing structures, retention of tennis court, construction of a two (2) storey dwelling house with basement level, in-ground swimming pool, front fence, detached outbuilding and associated landscaping at 33 Newton Road Strathfield be **APPROVED**, subject to the following conditions:

1. **Approved Plans & Documentation**

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site & Roof Plan	DA 01	11/02/22	E	Blu Print Designs
Demolition & Erosion Sediment Control Plan	DA 02	11/02/22	E	Blu Print Designs
Basement Level	DA04	11/02/22	E	Blu Print Designs
Ground Floor – Street	DA05	11/02/22	E	Blu Print Designs
Ground Floor – Rear	DA06	11/02/22	E	Blu Print Designs
First Floor	DA07	11/02/22	E	Blu Print Designs
Roof Plan	DA08	11/02/22	E	Blu Print Designs
Perspective & Fence Elevations	DA09	11/02/22	E	Blu Print Designs
South & North Elevations	DA10	11/02/22	E	Blu Print Designs
East & West Elevations - Street	DA11	11/02/22	E	Blu Print Designs
East & West Elevations - Rear	DA12	11/02/22	E	Blu Print Designs
Sections A - Street	DA13	11/02/22	E	Blu Print Designs

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Sections A - Rear	DA14	11/02/22	E	Blu Print Designs
Sections B & C	DA15	11/02/22	E	Blu Print Designs
Stormwater Drainage Details	2193 – S1/4	8/02/22	E	John Romanous & Associates
Stormwater Drainage Details	2193 – S2/4	8/02/22	E	John Romanous & Associates
Stormwater Drainage Details	2193 – S3/4	8/02/22	E	John Romanous & Associates
Stormwater Drainage Details	2193 – S4/4	8/02/22	E	John Romanous & Associates
Landscape Planting Plan	L01/2-K25409	2/02/22	C	Michael Siu
Landscape Planting Plan	L02/2-K25409	2/02/22	C	Michael Siu
Document	Reference No.	Date	Revision	Prepared by
Materials and Finishes Schedule	N/A	N/A	N/A	Blu Print Designs
Waste Management Plan	N/A	20/01/21	N/A	Blu Print Designs
Arboricultural Impact Assessment		12/10/21		Tree and Landscape Consultants (TALC)

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

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LOT 42 DP 8778 (Cont'd)**

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

4. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

5. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$8,275.00
Security Damage Deposit	\$18,000.00
Tree Bond	\$13,200.00

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Administration Fee for Damage Deposit	\$130.00
Tree Bond Administration Fee	\$130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$ 23,644.83

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

The Section 7.11 contribution (s94) is imposed to ensure that the development makes adequate provision for the demand it generates for public amenities and public services within the area.

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

6. **Damage Deposit – Major Works**

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a security damage deposit for the cost of making good any damage caused to any Council property as a result of the development: \$18,000.00
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00

**S8.2-DA2021.74- 33 Newton Road Strathfield
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- (c) Submit to Council, before the commencement of work, a dilapidation report of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will review the dilapidation report and the Works-As-Executed Drawings (if applicable) and inspect the public works.

The damage deposit will be refunded in full upon completion of work where no damage occurs and where Council is satisfied with the completion of works. Alternatively, the damage deposit will be forfeited or partly refunded based on the damage incurred.

7. Tree Bond

A tree bond (Tree 1 – Lophostemon confertus & Tree 2 – Sapium sebiferum/ street trees) of \$20,300 and an administration fee of \$130 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

8. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1183871S_02 must be implemented on the plans lodged with the application for the Construction Certificate.

9. Low Reflectivity Roof

Roofing materials must be low glare and reflectivity. Details of finished external materials including colours and texture must be provided to the Certifying Authority.

10. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

11. Stormwater System

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

12. Pump-Out System Design for Stormwater Disposal

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

- (a) The pump system shall consist of two pumps, connected in parallel, with each pump being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;
- (b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- (c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

13. Compliance with Swimming Pool Act 1992

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

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14. Structural Details

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the PCA.

15. Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
- (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) the swimming pool must not be used for commercial or professional purposes;
- (d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

16. Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

17. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Terrace	The first floor terrace is to be reduced to 1m by 2m and all other areas are to be a non-trafficable area with landscaping.
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18. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Lophostemon confertus	Street tree located front of 33 Newton Road	4.8 metres
4	Sapium sebiferum	Street tree located front of 33 Newton Road	3.4 metres

Details of the trees to be retained must be included on the Construction Certificate plans.

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General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Excavation works near tree to be retained

- (h) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (i) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (j) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

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LOT 42 DP 8778 (Cont'd)

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

19. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

20. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

21. Registered Surveyors Report - During Development Work

A report must be submitted to the PCA at each of the following applicable stages of construction:

- (a) Set out before commencing excavation.
- (b) Floor slabs or foundation wall, before formwork or commencing brickwork.
- (c) Completion of Foundation Walls - Before any construction of flooring, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans.
- (d) Completion of Floor Slab Formwork - Before pouring of concrete/walls construction, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans. In multi-storey buildings a further survey must be provided at each subsequent storey.
- (e) Completion of any Pool Formwork - Before concreting of pool shell, detailing the location of the pool relative to the adjacent boundaries and its height relative to the datum shown on the approved plans.
- (f) Completion of any Roof Framing - Before roof covered detailing eaves/gutter setback from boundaries.
- (g) Completion of all Work - Detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A final Check Survey must indicate the reduced level of the main ridge.

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Work must not proceed beyond each stage until the PCA is satisfied that the height and location of the building is proceeding in accordance with the approved plans.

22. Utility Arrangements

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicant's expense.

DURING CONSTRUCTION**23. Hours of Construction for Demolition and Building Work**

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

24. Obstruction of Road or Footpath

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

25. Swimming Pools – Filling with Water

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the PCA.

26. Waste Management Facility

All materials removed from the site as a result of demolition, site clearing, site preparation and, or excavation shall be disposed of at a suitable Waste Management Facility. No vegetation, article, building material, waste or the like shall be ignited or burnt.

Copies of all receipts for the disposal, or processing of all such materials shall be submitted to the PCA and Council, where Council is not the Principal Certifying Authority.

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LOT 42 DP 8778 (Cont'd)**

27. Excavation Works Near Tree to be Retained

Excavation around the tree/s to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not be adversely affected.

Where the Tree Protection Zone of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

28. BASIX Certificate

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

29. BASIX Compliance Certificate

A Compliance Certificate must be provided to the PCA regarding the implementation of all energy efficiency measures as detailed in the approved BASIX Certificate before any Occupation Certificate is issued.

30. Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

31. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

32. Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications.

The work must be completed before the issue of an Occupation Certificate.

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33. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

34. Swimming Pools – Resuscitation Notice

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

35. Private Swimming Pools & Spas – Pump Noise

The swimming pool/spa pump and associated equipment must be located so that the noise emitted does not exceed 5dB(A) above the background level. If this cannot be achieved, a ventilated and sound-proofed enclosure must enclose the pump to achieve the required noise levels.

Swimming pool is to be installed with a timer that limits the recirculation and filtration systems operation such that it does not emit noise that can be heard within a habitable room in any other residential premises (regardless of whether any door or window to that room is open):

- (a) before 8 am or after 8 pm on any Sunday or public holiday, or
- (b) before 7 am or after 8 pm on any other day.

36. Greywater System

In order to conserve and re-use water, Council encourages all developments for new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

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37. Entering & Exiting of Vehicles

All vehicles shall enter and exit the premises in a forward direction.

**OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING &
ASSESSMENT ACT 1979**

38. Requirement for a Construction Certificate

The erection of a building must not commence until a Construction Certificate has been issued.

39. Appointment of a PCA

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

40. Notification of Critical Stage Inspections

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

41. Notice of Commencement

The applicant must give at least two days notice to the Council and the PCA of their intention to commence the erection of a building.

42. Critical Stage Inspections

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

43. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out.

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44. **Occupation Certificate**

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

45. **Clause 75 – BASIX Commitments**

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

46. **Clause 69 – Building Code of Australia & Home Building Act 1989**

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

47. **Clause 71 – Home Building Act 1989**

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

ADVISORY NOTES

1. **Review of Determination**

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

2. **Appeal Rights**

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

3. Lapsing of Consent

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

4. Access to NSW Legislations (Acts, Regulations and Planning Instruments)

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

5. Long Service Levy

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

6. Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (DA 2021/74) and reference this condition number (Advisory note 6.)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

7. Site Safety Fencing

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

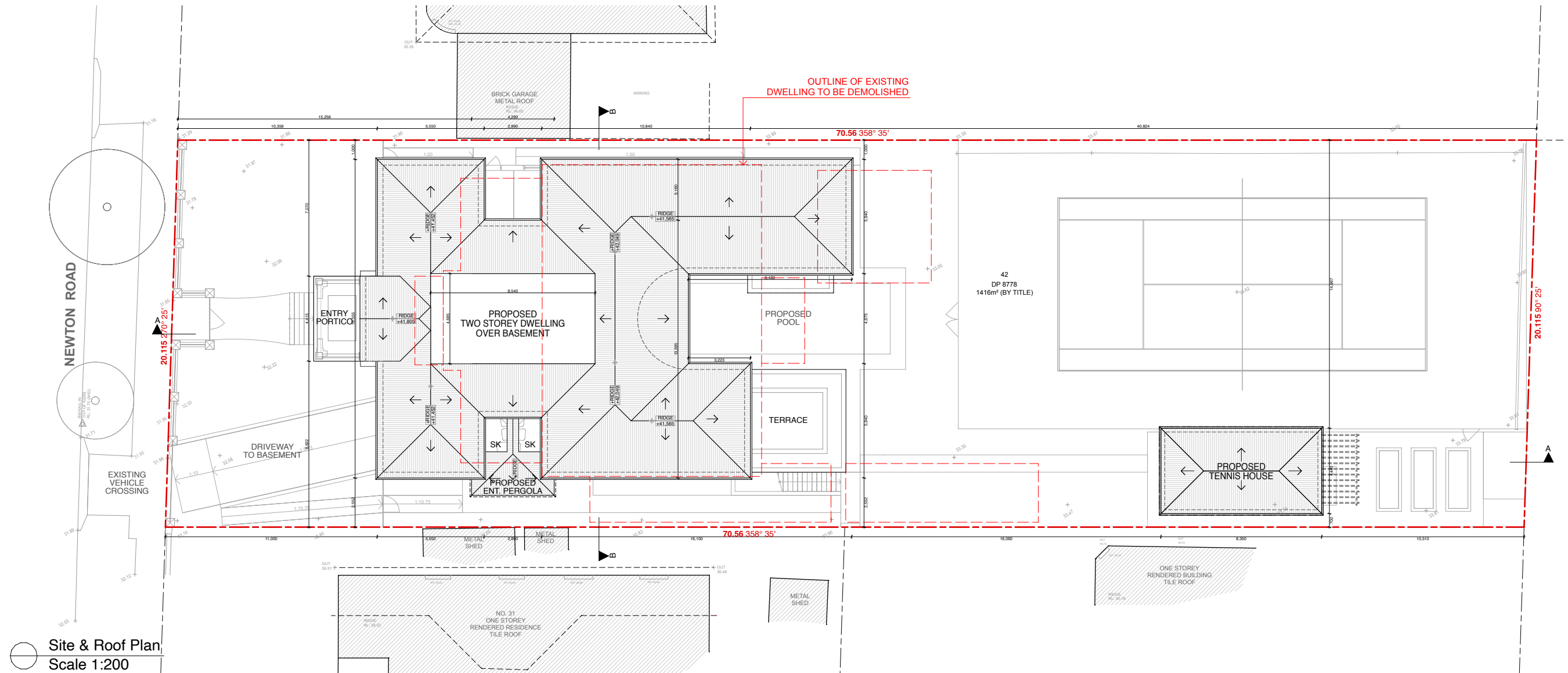
**S8.2-DA2021.74- 33 Newton Road Strathfield
LOT 42 DP 8778 (Cont'd)**

8. Electricity Supply

This development may need a connection to the Ausgrid network which may require the network to be extended or its capacity augmented. You are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services) for further details and information on lodging your application to connect to the network.

ATTACHMENTS

1. [↓](#) Final 33 Newton Rd, Strathfield - Architectural Drawings
2. [↓](#) Final 33 Newton Rd, Strathfield - Landscape Plans
3. [↓](#) Final 33 Newton Rd, Strathfield - Stormwater Plans

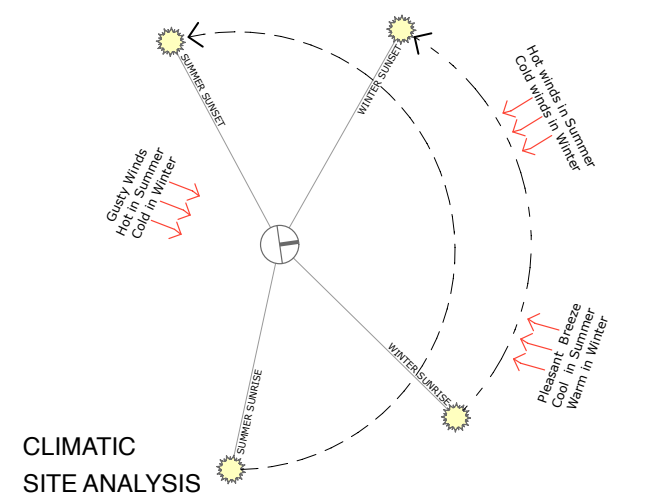


Site & Roof Plan
Scale 1:200

PROPERTY DETAILS	
Property Address	33 Newton Rd, Strathfield
Title Reference	42/-/DP8778
Site Area	1416 m ²
STRATHFIELD MUNICIPAL COUNCIL	
LOCAL ENVIRONMENTAL PLAN INFORMATION	
Land Zoning	R2 - Low Density Residential
Height	J - 9.5 m
FSR	NA
Min. Lot Size	K - 560 m ²
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Acid Sulfate Soils	CLASS 5
Airport Noise	NA



33 Newton Rd, Strathfield - Location Plan



CLIMATIC SITE ANALYSIS

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.
THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.
THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PARTY. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.
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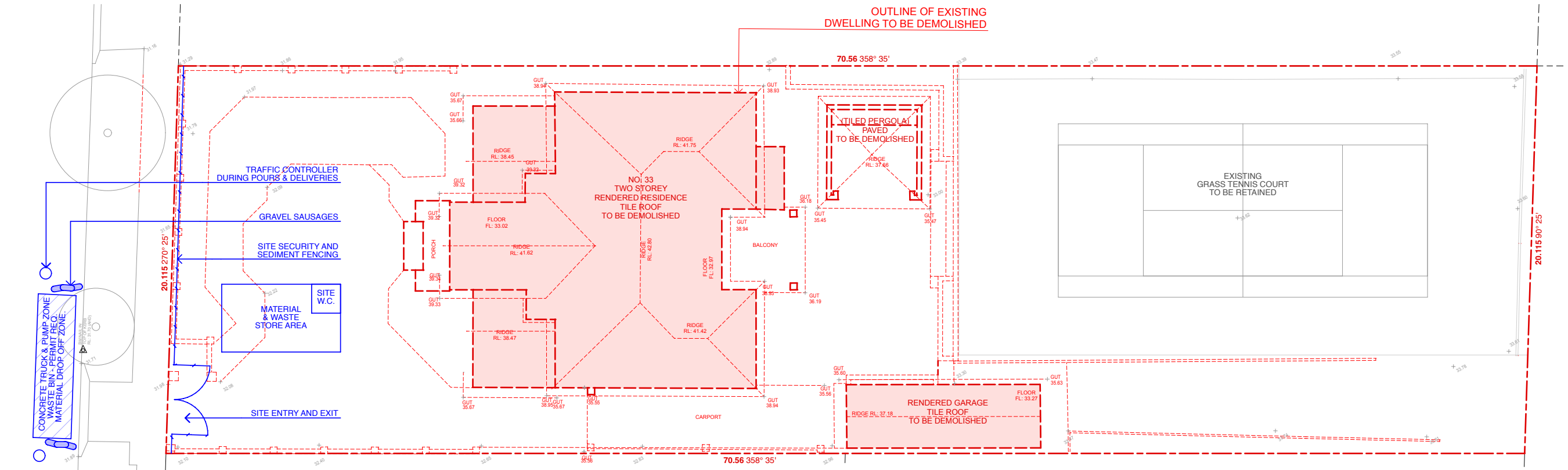
Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022



Title:	Site & Roof Plan
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:200 @ A3

DA.01

E



Demolition & Erosion Sediment Control Plan
Scale 1:200

SITE WORKS NOTES

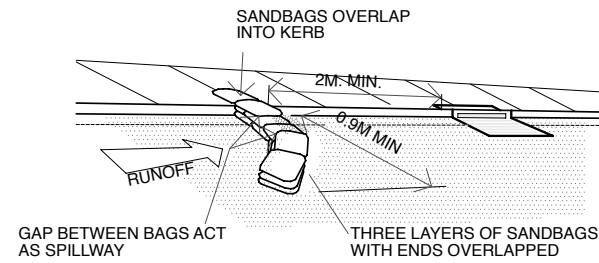
- DATUM: REFER SURVEY NOTES
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER/SUPERINTENDENT.
- STRIP ALL TOPSOIL FROM CONSTRUCTION AREA AND STOCKPILE ON SITE TO BE LATER SPREAD OR REMOVED FROM SITE AS DIRECTED BY THE SUPERINTENDENT.
- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ALL SERVICES TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND OR AN APPROVED GRANULAR MATERIAL AND COMPACTED TO A MINIMUM 98% STANDARD DENSITY, IN ACCORDANCE WITH AS1289 5.1.1.
- PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDING AND ALL CONCRETE OR UNIT PAVEMENTS.
- ASPHALTIC CONCRETE SHALL CONFORM TO RTA FORM 612.
- ALL BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 (UNBOUND), RTA FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASE COURSE MATERIAL PLACED.
- ALL SUB BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 AND COMPACTED TO A MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1.
- ALL LINE MARKING TO AS1742.
- WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED OUT BY OTHERS, (ADJUSTMENT SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

SURVEY NOTES

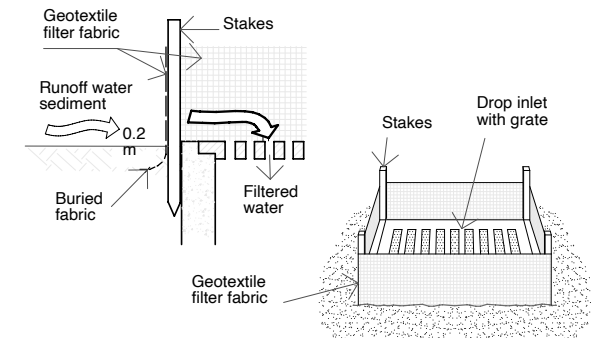
THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY C.V FORSHAW CONSULTING LAND AND ENGINEERING SURVEYORS, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. ARCH MEDIA SOLUTIONS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OF ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

EROSION AND SEDIMENT CONTROL NOTES

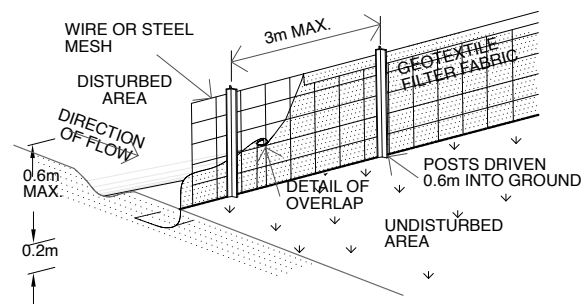
- ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL EDITION, AUGUST 1998.
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.



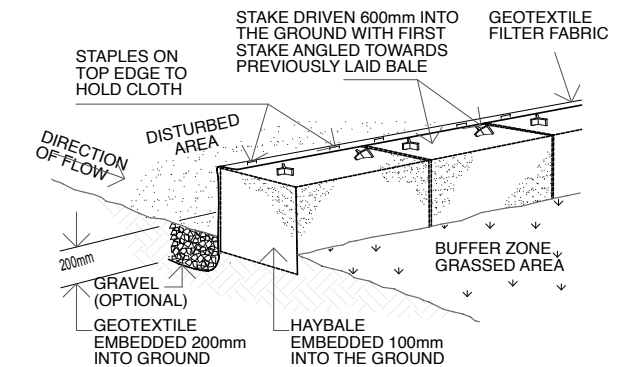
SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE



GEOTEXTILE FILTER FABRIC SURROUND



SEDIMENT FENCE



STRAW BALE AND GEOTEXTILE SEDIMENT FILTER

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
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Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022

Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048
M - 0410 504 589 • F - 9517 9652
info@bluprintdesigns.com.au • www.bluprintdesigns.com.au

Title:	Demolition & Erosion Sediment Control Plan
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:200 @ A3

DA.02

E

BASIX NOTES

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:		✓	✓
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 65.7 kilolitres.	✓	✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1183871S Monday, 15 March 2021 page 3/8

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction			
	Area		
floor - concrete slab on ground	130.0 square metres		
floor - suspended floor/rope subfloor	29.0 square metres		
floor - suspended floor above garage	All or part of floor area		

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1183871S Monday, 15 March 2021 page 5/8

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric resistance		✓	✓
The applicant must install a timer for the swimming pool pump in the development.		✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 4.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1183871S Monday, 15 March 2021 page 7/8

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must have a pool cover.		✓	✓
The swimming pool must be outdoors.	✓	✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1183871S Monday, 15 March 2021 page 4/8

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 6 of the bedrooms / study; dedicated		✓	✓
• at least 3 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_15_1 Certificate No.: 1183871S Monday, 15 March 2021 page 6/8

NatHERS Specs Summary:

- Floor slabs:
 - Concrete.
 - Exterior walls:
 - Cavity brick – with aircell insulation (R1.24). Or, masonry wall system of R1.60 rating.
 - All external wall materials modelled with default medium colour finishes.
 - Glazing:
 - Low solar gain Low-E glass, with aluminium framing:
 - To northern curtain walls (wrap around fixed glazing overlooking pool).
 - to living & dining northern sliding doors.
 - Type A (U-Value: 5.6, SHGC: 0.41).
 - Type B (U-Value: 5.6, SHGC: 0.36).
 - Single clear glass, with aluminium framing:
 - Modelled to remainder.
 - Type A (U-Value: 6.7, SHGC: 0.57).
 - Type B (U-Value: 6.7, SHGC: 0.70).

U-Value & SHGC are combined glass and frame figures.
 - Ceiling:
 - R2.5 ceiling insulation to gym ceiling to area of concrete roof (to outside air).
 - R3.5 ceiling insulation to all ceilings to tiled roof.
 - Modelled with sealed: LED downlights & wet area exhaust fans.
 - Roof:
 - Tiled roof with foil under, modelled with default medium colour finishes, and as unventilated.
- Please refer to NatHERS individual certificates for further details.

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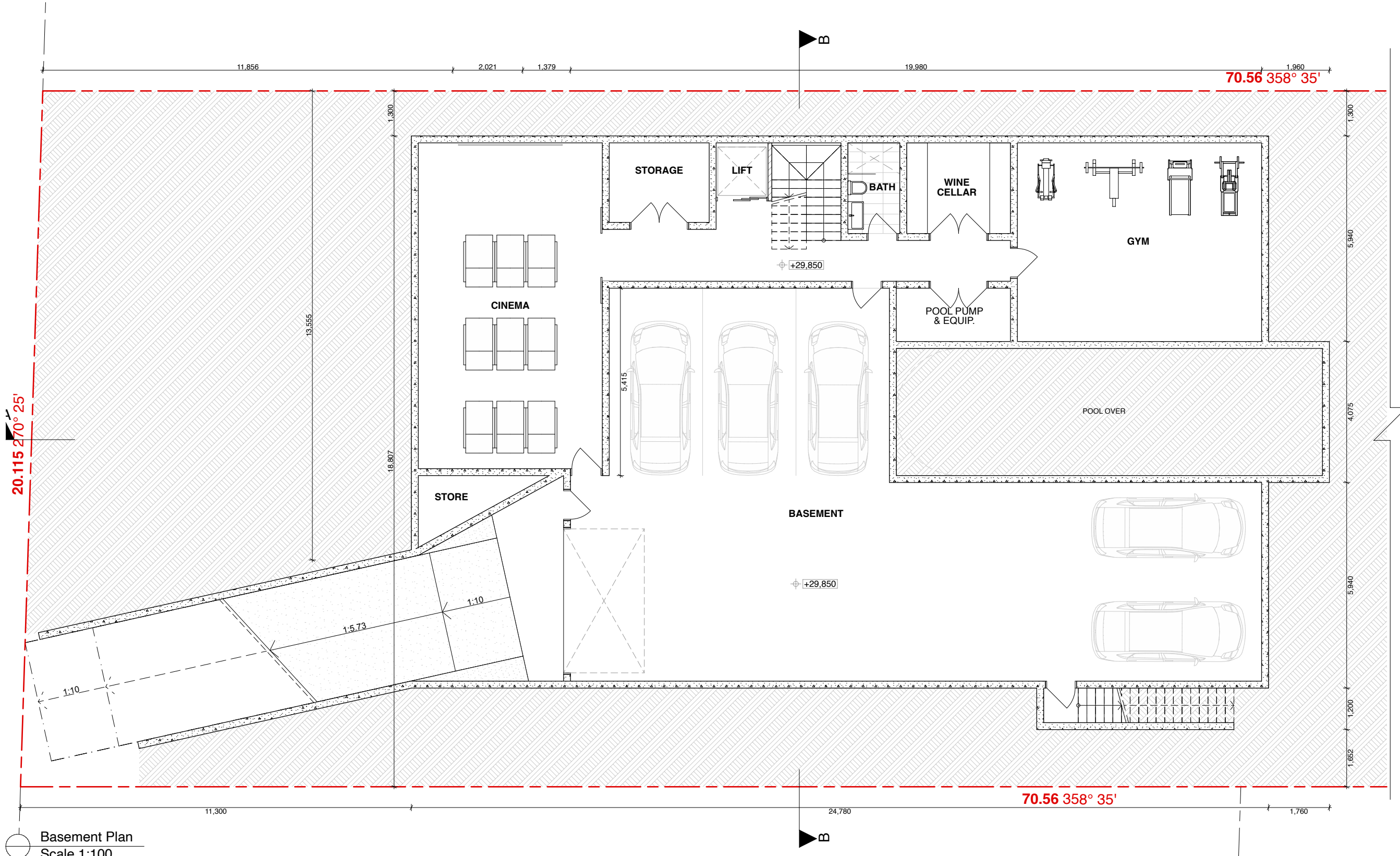
Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022



Title:	Basix Notes & NatHERS Specs
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	NTS

DA.03

E



Basement Plan
Scale 1:100

- | | | | |
|------------------------------|-------------------------|-----------------------|-----------------------|
| AS - ALUMINIUM ROOF SHEETING | AL - ALUMINIUM | AD - ALUMINIUM DOOR | GB - GLASS BALUSTRADE |
| CT - CONCRETE ROOF TILE | AC - ALUMINIUM CLADDING | AW - ALUMINIUM WINDOW | SB - STEEL BALUSTRADE |
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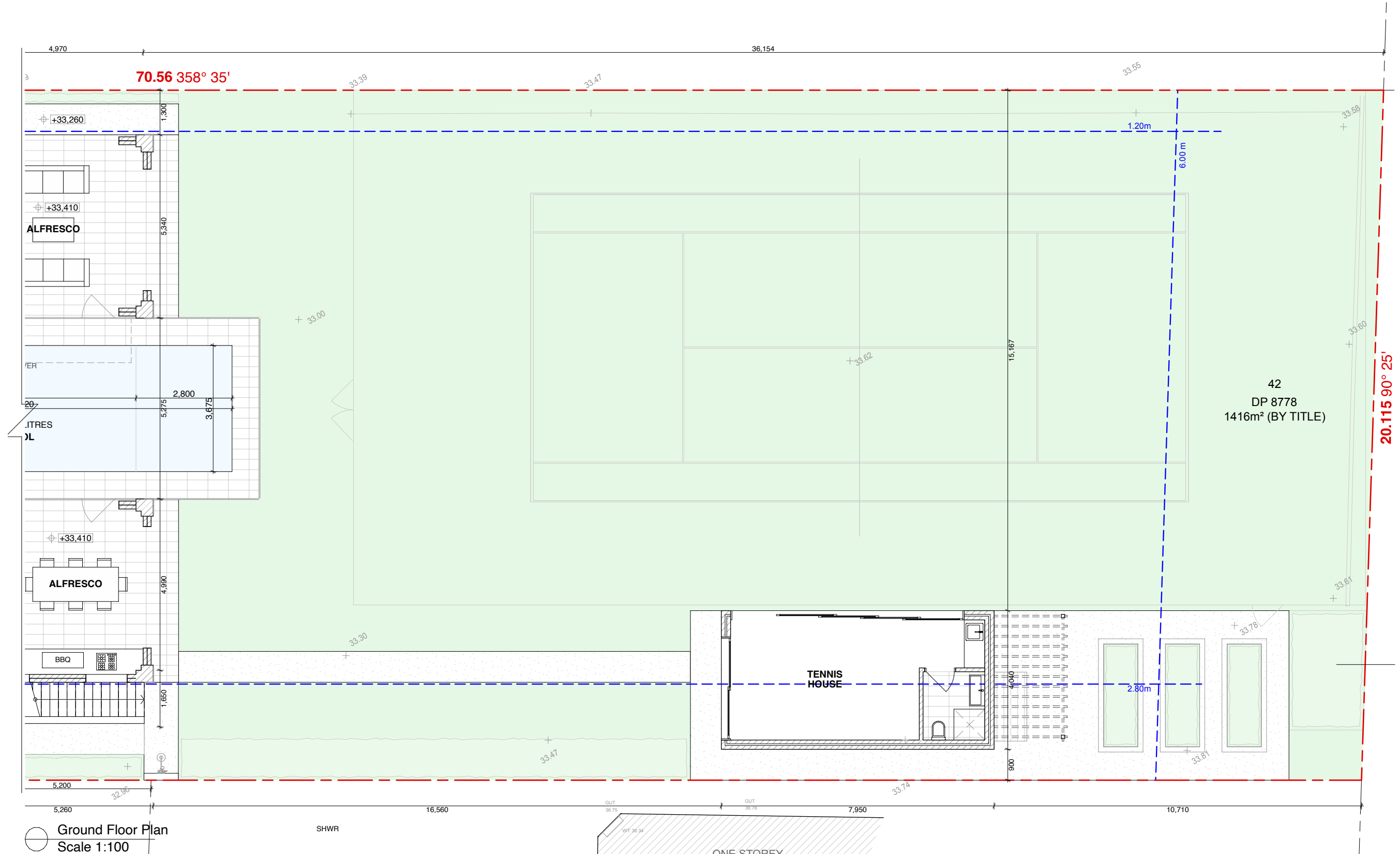
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Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048
M - 0410 504 589 • F - 9517 9652
info@bluprintdesigns.com.au • www.bluprintdesigns.com.au

Title:	Basement Level
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.04

E



Ground Floor Plan
Scale 1:100

- | | | | |
|------------------------------|-------------------------|-----------------------|-----------------------|
| AS - ALUMINIUM ROOF SHEETING | AL - ALUMINIUM | AD - ALUMINIUM DOOR | GB - GLASS BALUSTRADE |
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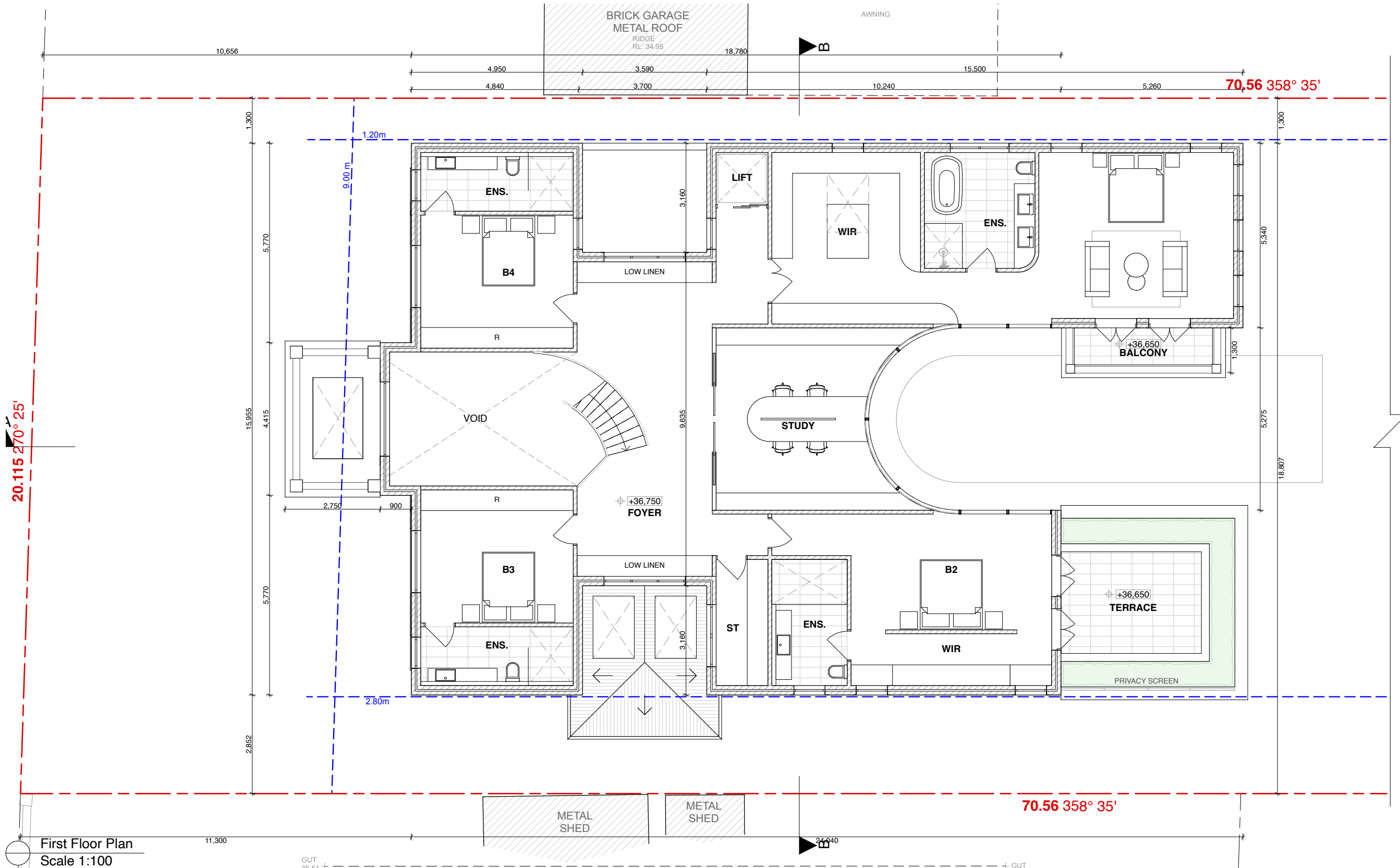
Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022

Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048
M + 6110 504 589 • F + 6117 9652
info@bluprintdesigns.com.au • www.bluprintdesigns.com.au

Title:	Ground Floor - Rear
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.06

E



First Floor Plan
Scale 1:100

- | | | | |
|------------------------------|-------------------------|-----------------------|-----------------------|
| AS - ALUMINIUM ROOF SHEETING | AL - ALUMINIUM | AD - ALUMINIUM DOOR | GB - GLASS BALUSTRADE |
| CT - CONCRETE ROOF TILE | AC - ALUMINIUM CLADDING | AW - ALUMINIUM WINDOW | SB - STEEL BALUSTRADE |
| RT - ROOF TILE | FC - FIBRE CEMENT | TD - TIMBER DOOR | S - SMOKE DETECTOR |
| BW - FACE BRICK WORK | TC - TIMBER CLADDING | TW - TIMBER WINDOW | W - NEW WINDOW |
| CR - CEMENT RENDER | SC - STONE CLADDING | FW - FIXED WINDOW | D - NEW DOOR |

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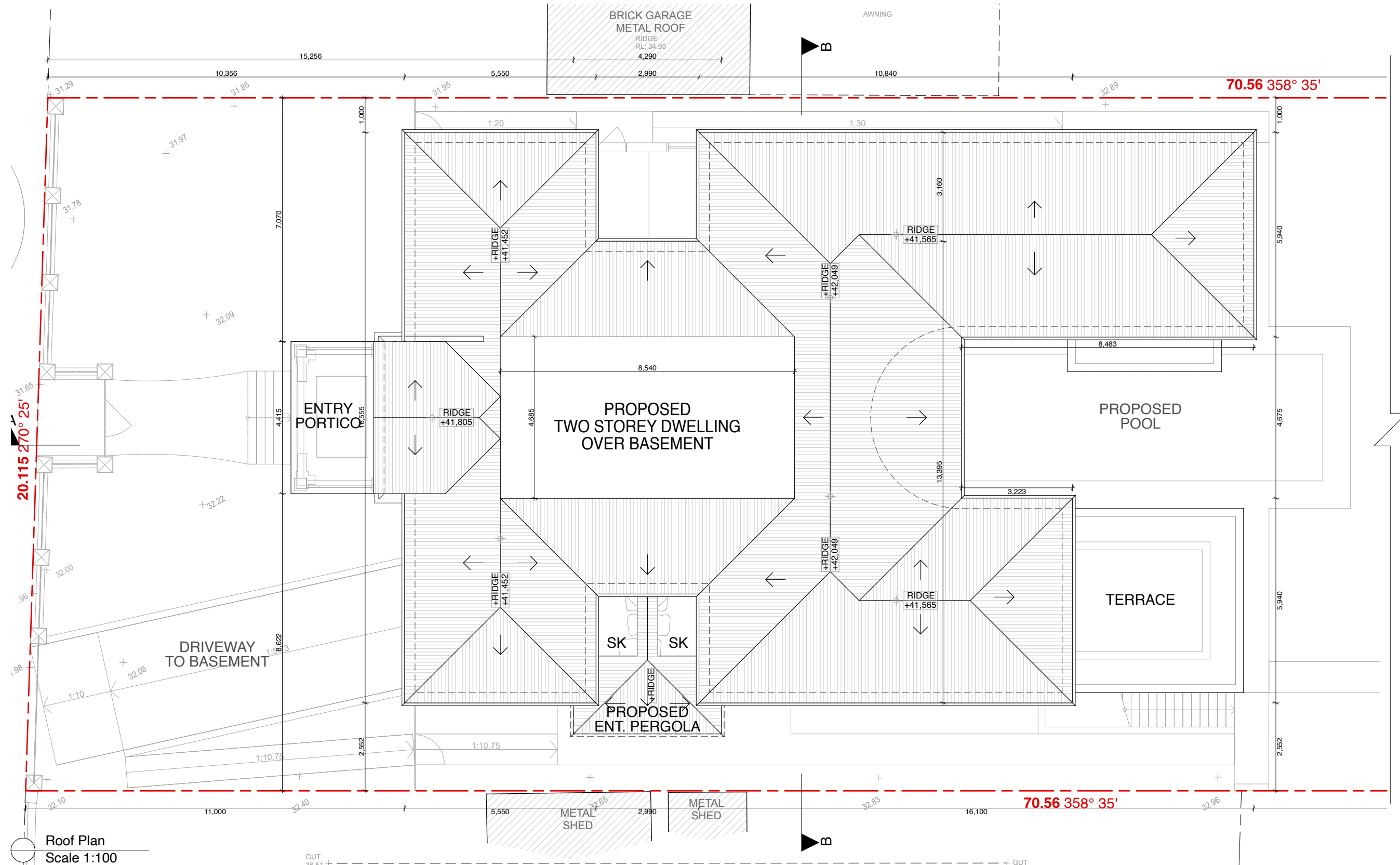
Issue	Description	Date
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C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022

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Title:	First Floor
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.07

E



Roof Plan
Scale 1:100

- | | | | |
|------------------------------|-------------------------|-----------------------|-----------------------|
| AS - ALUMINIUM ROOF SHEETING | AL - ALUMINIUM | AD - ALUMINIUM DOOR | GB - GLASS BALUSTRADE |
| CT - CONCRETE ROOF TILE | AC - ALUMINIUM CLADDING | AW - ALUMINIUM WINDOW | SB - STEEL BALUSTRADE |
| RT - ROOF TILE | FC - FIBRE CEMENT | TD - TIMBER DOOR | S - SMOKE DETECTOR |
| BW - FACE BRICK WORK | TC - TIMBER CLADDING | TW - TIMBER WINDOW | W - NEW WINDOW |
| CR - CEMENT RENDER | SC - STONE CLADDING | FW - FIXED WINDOW | D - NEW DOOR |

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Issue	Description	Date
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Title:	Roof Plan
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.08

E



South Elevation - Newton Road Fence
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

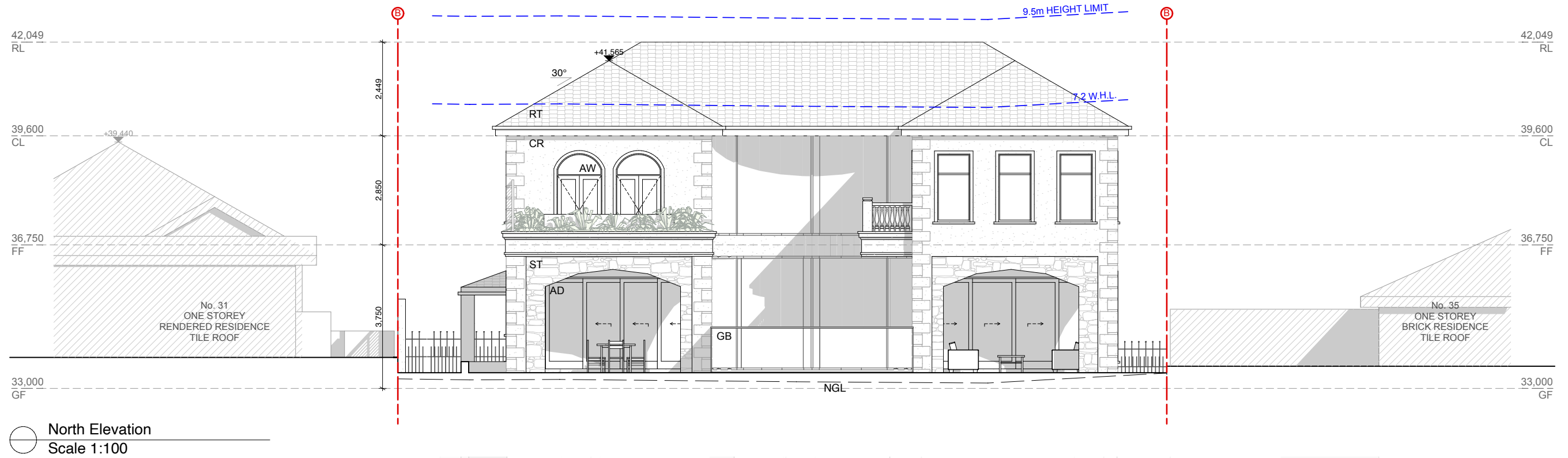
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Issue	Description	Date
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C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022

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M - 0410 504 589 • C - 9517 9652
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Title:	Perspective & Fence Elevations
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.09
E



- AS - ALUMINIUM ROOF SHEETING AL - ALUMINIUM AD - ALUMINIUM DOOR GB - GLASS BALUSTRADE
- CT - CONCRETE ROOF TILE AC - ALUMINIUM CLADDING AW - ALUMINIUM WINDOW SB - STEEL BALUSTRADE
- RT - ROOF TILE FC - FIBRE CEMENT TD - TIMBER DOOR S - SMOKE DETECTOR
- BW - FACE BRICK WORK TC - TIMBER CLADDING TW - TIMBER WINDOW W - NEW WINDOW
- CR - CEMENT RENDER SC - STONE CLADDING FW - FIXED WINDOW D - NEW DOOR

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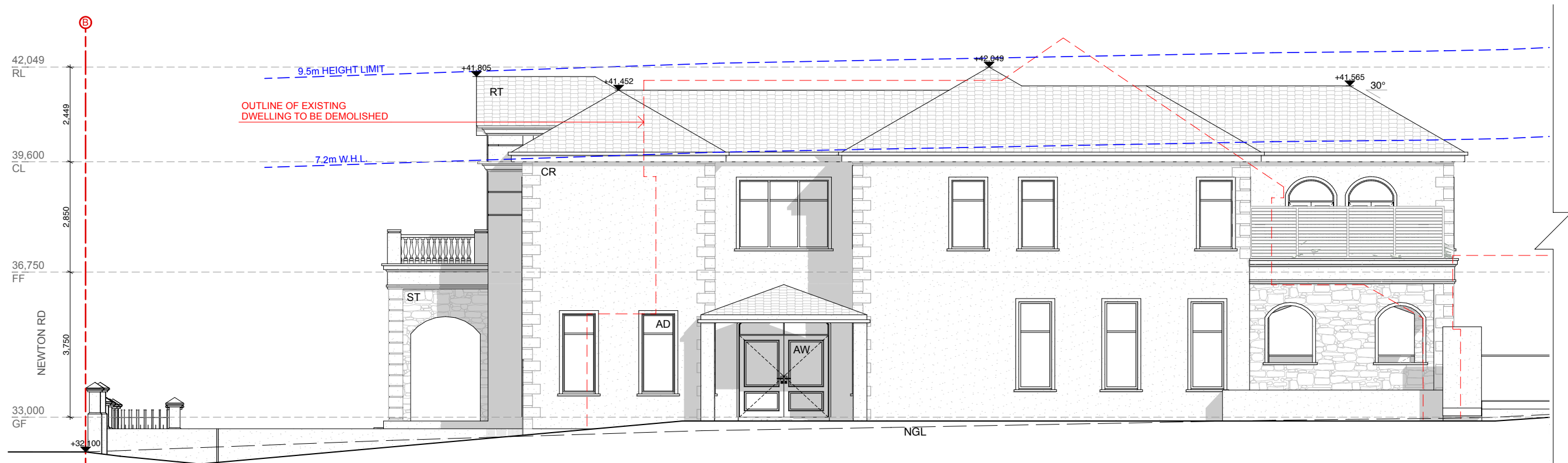
Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022



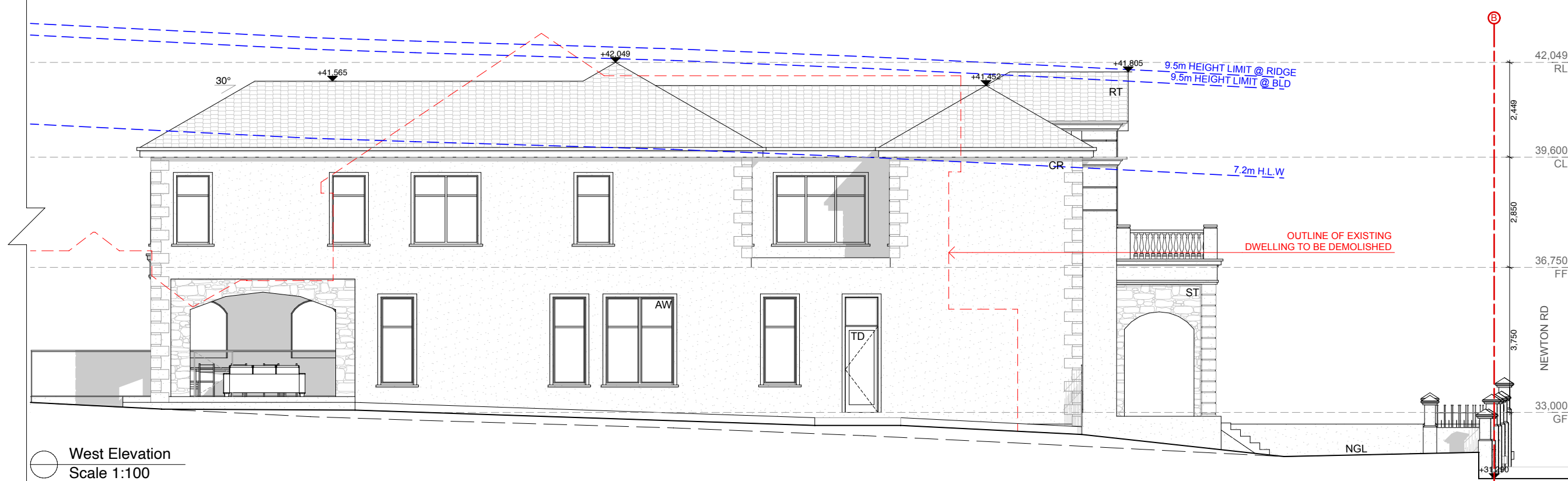
Title:	South & North Elevations
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.10

E



East Elevation
Scale 1:100



West Elevation
Scale 1:100

- | | | | |
|------------------------------|-------------------------|-----------------------|-----------------------|
| AS - ALUMINIUM ROOF SHEETING | AL - ALUMINIUM | AD - ALUMINIUM DOOR | GB - GLASS BALUSTRADE |
| CT - CONCRETE ROOF TILE | AC - ALUMINIUM CLADDING | AW - ALUMINIUM WINDOW | SB - STEEL BALUSTRADE |
| RT - ROOF TILE | FC - FIBRE CEMENT | TD - TIMBER DOOR | S - SMOKE DETECTOR |
| BW - FACE BRICK WORK | TC - TIMBER CLADDING | TW - TIMBER WINDOW | W - NEW WINDOW |
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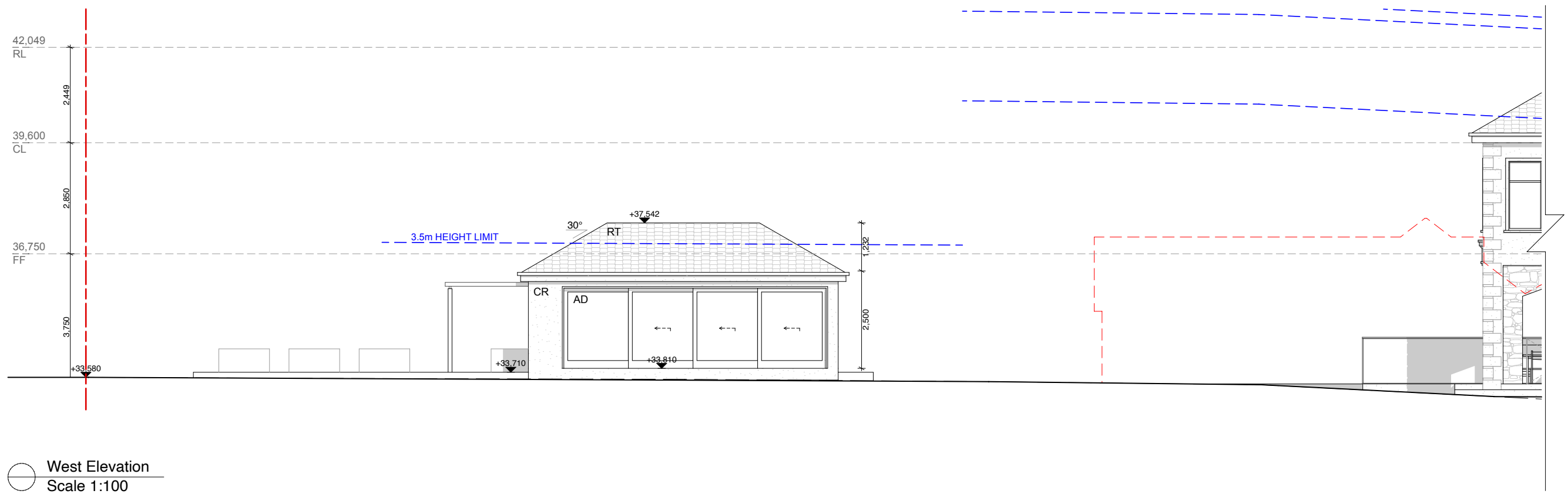
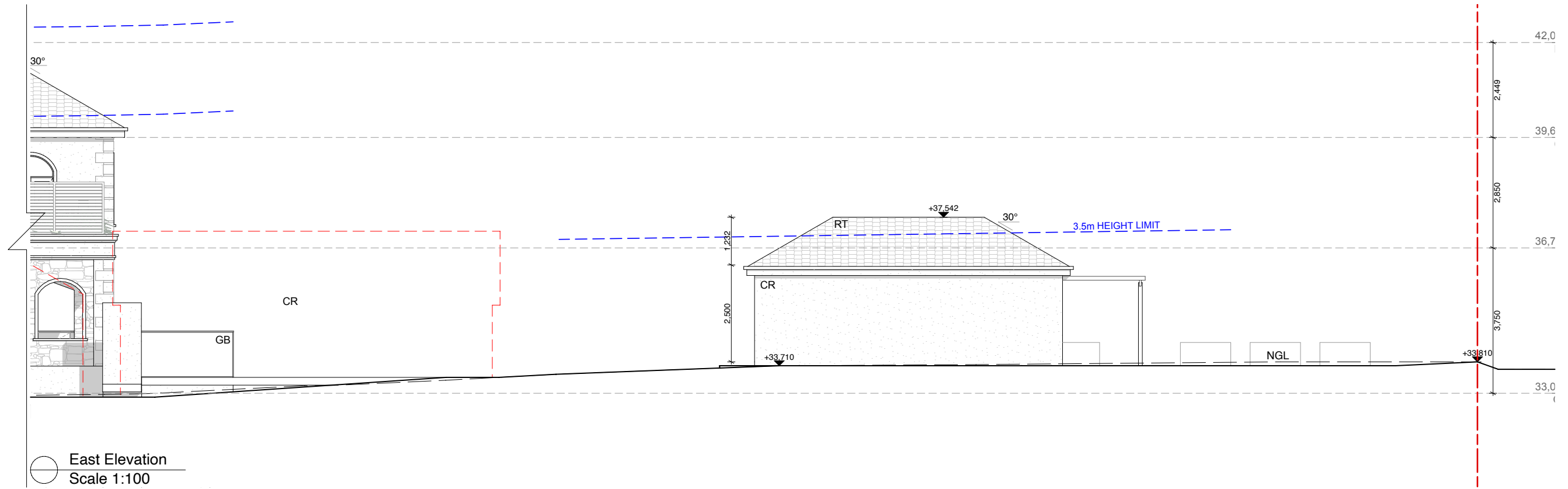
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Title:	East & West Elevations - Street
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.11

E



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

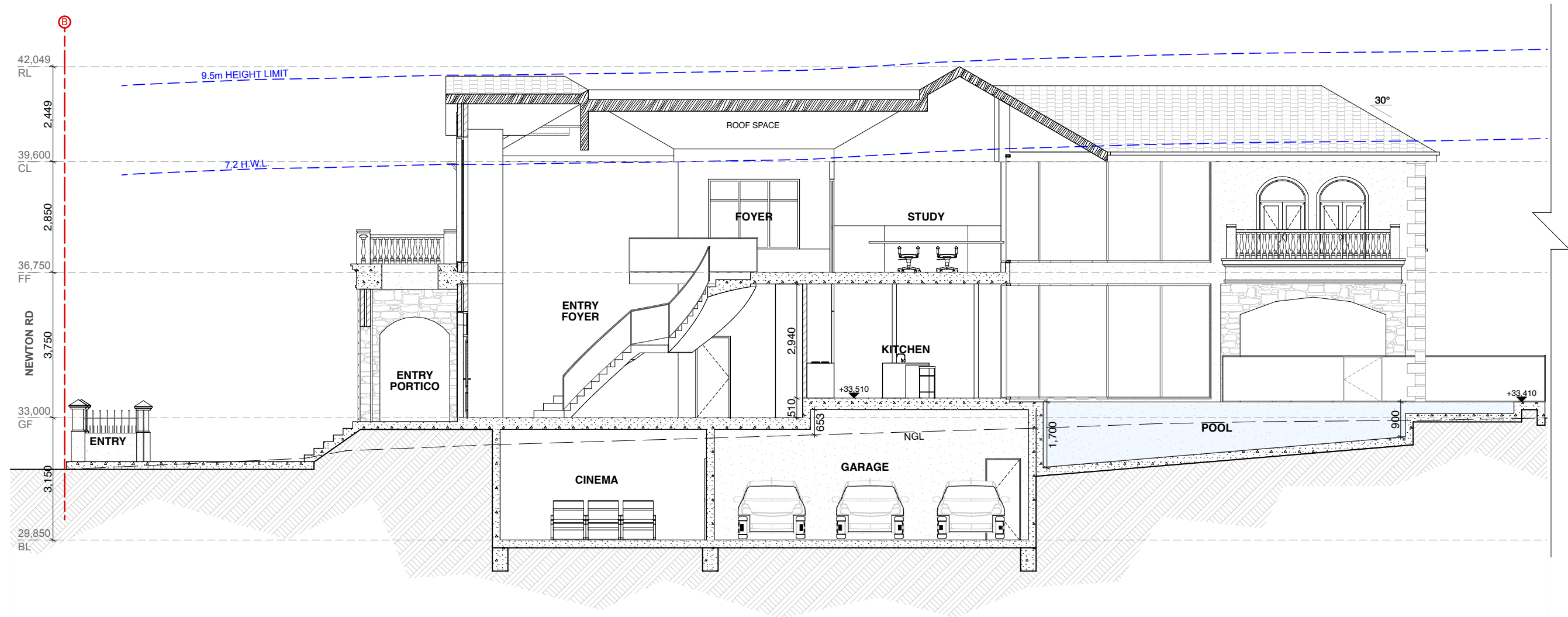
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Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022



Title:	East & West Elevations - Rear
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.12
E



Section A
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

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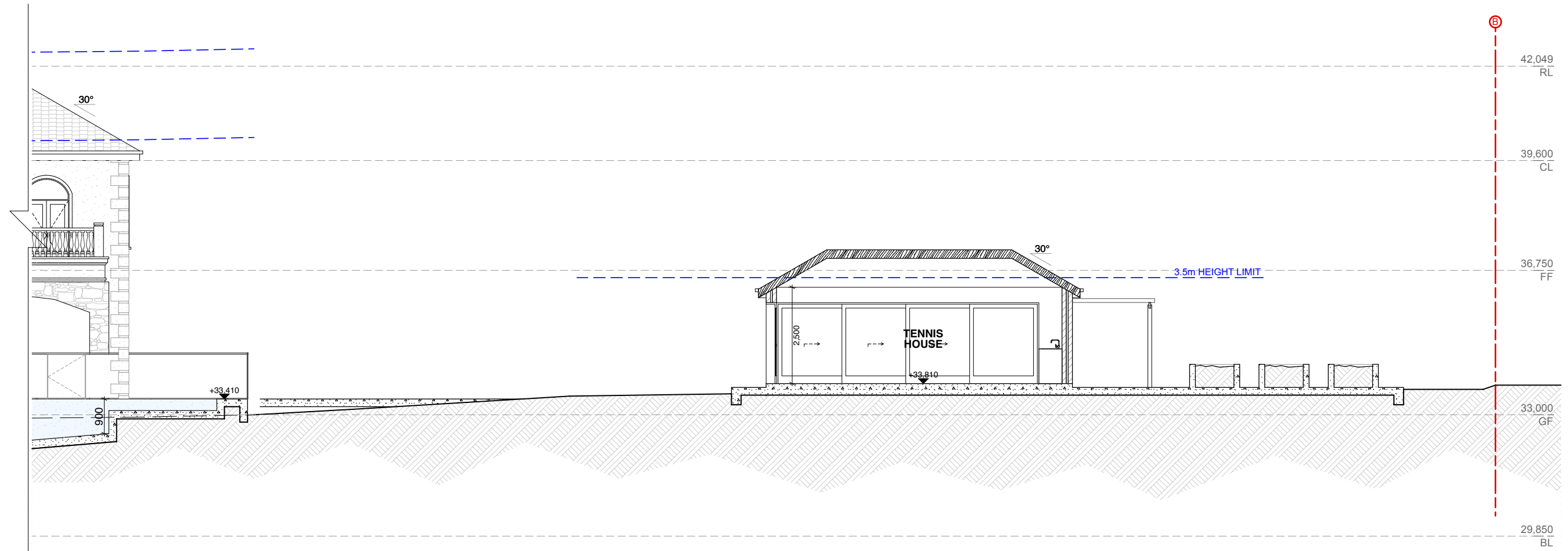
Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
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Title:	Sections A - Street
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.13

E



Section A
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

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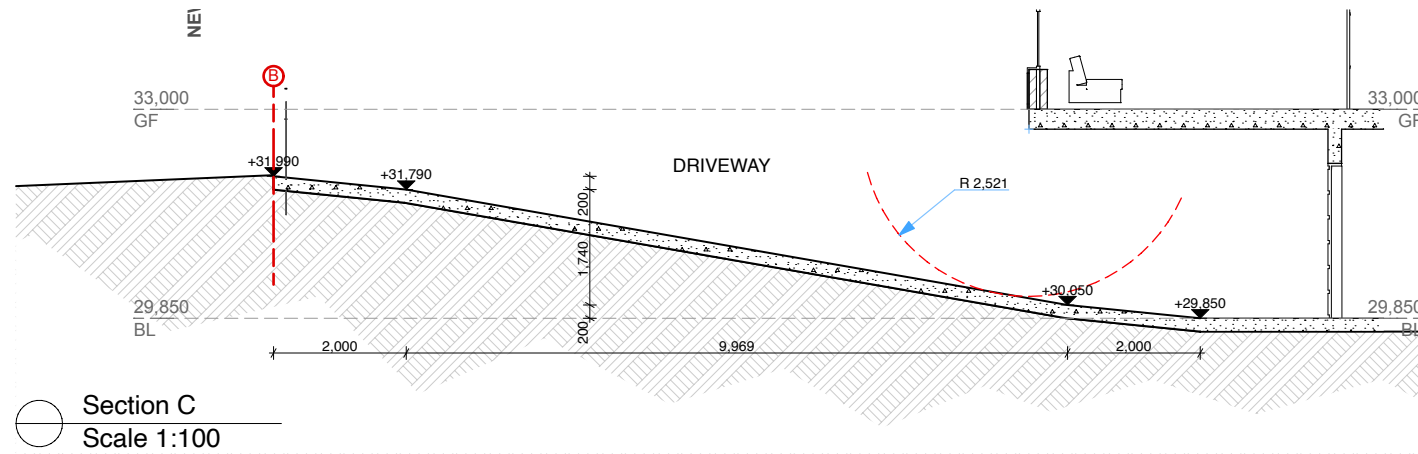
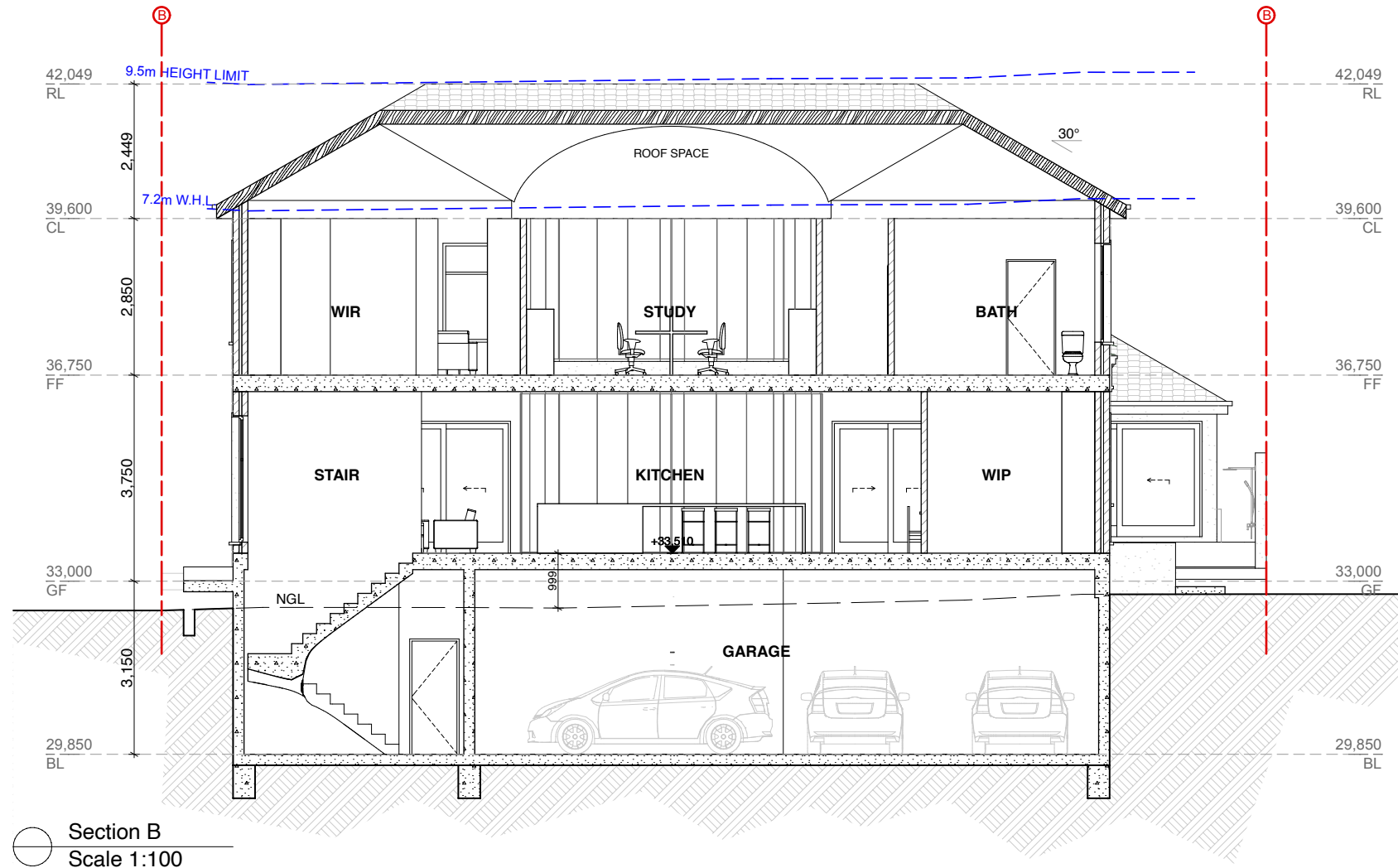
Issue	Description	Date
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Title:	Sections A - Rear
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.14

E



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

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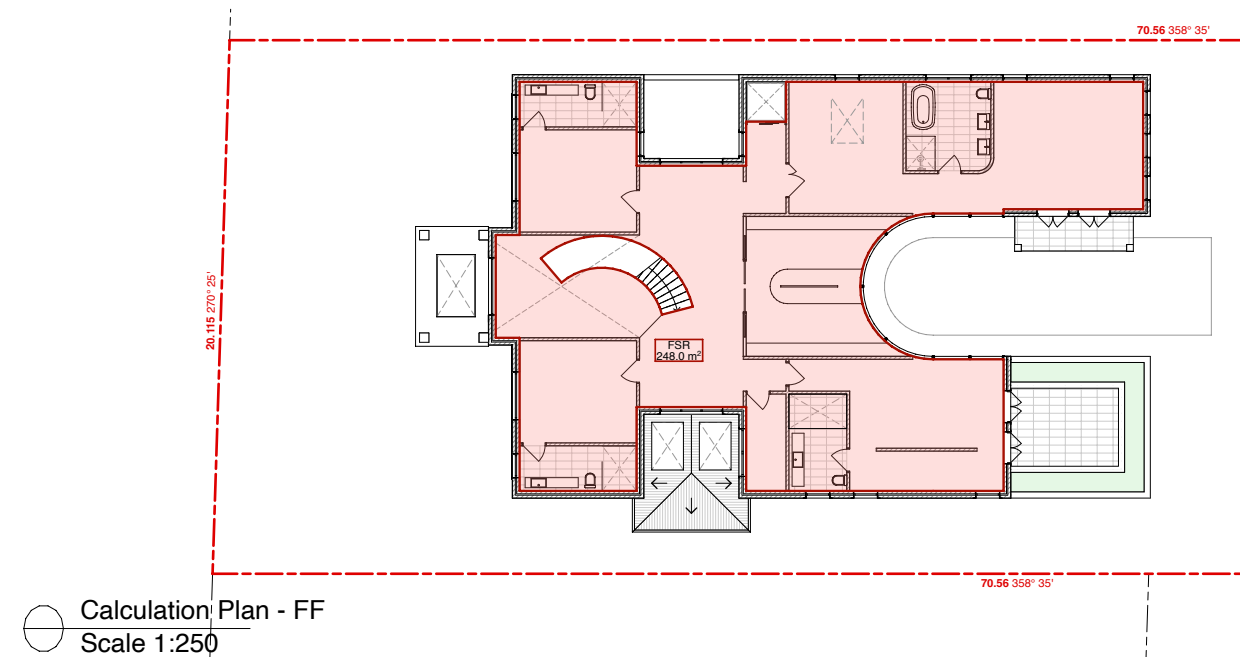
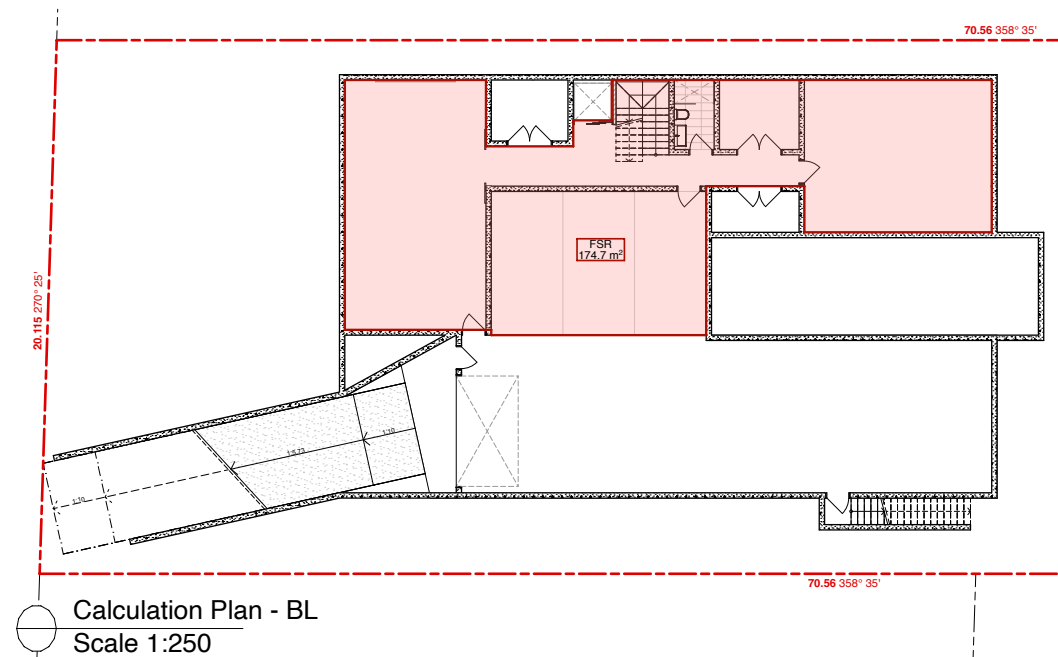
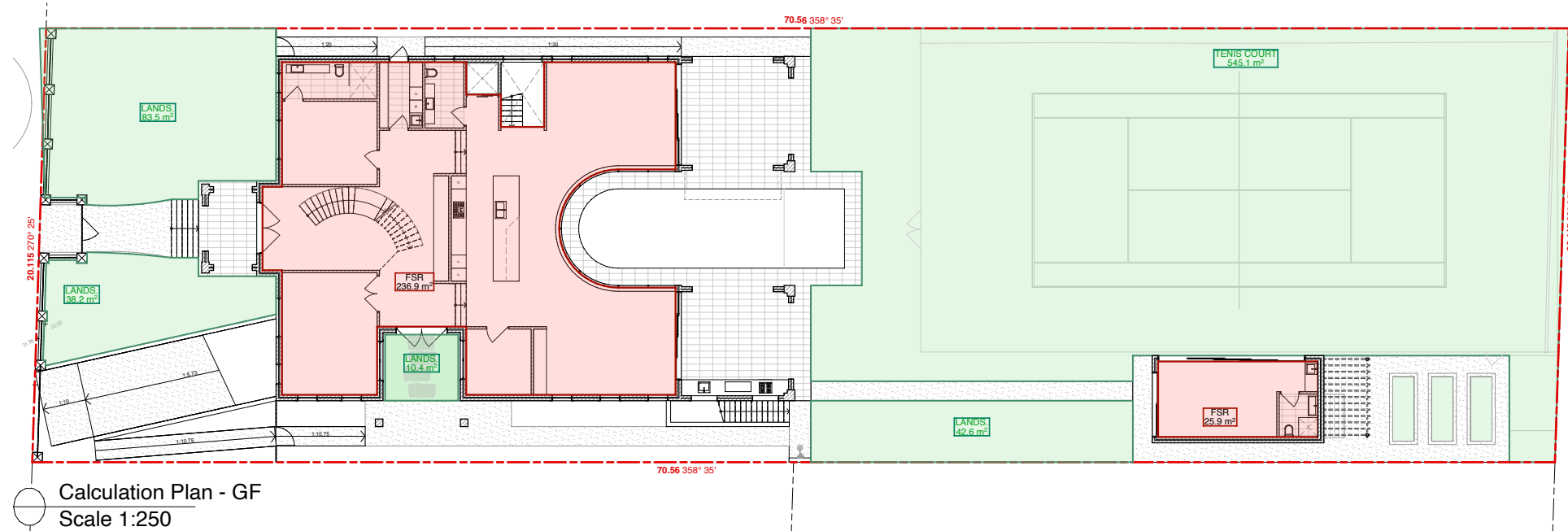
Title:	Sections B & C
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA.15

E

SITE AREA = 1416.0m²

	PROPOSED	REQ. / PERM.	
■ FSR	685.5	708.0 m ²	@min 1.5 WIDE
■ LANDSCAPE	759.8	637.2 m ²	



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CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

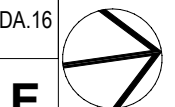
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info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Calculation Plans
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:250 @ A3

DA.16



E



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

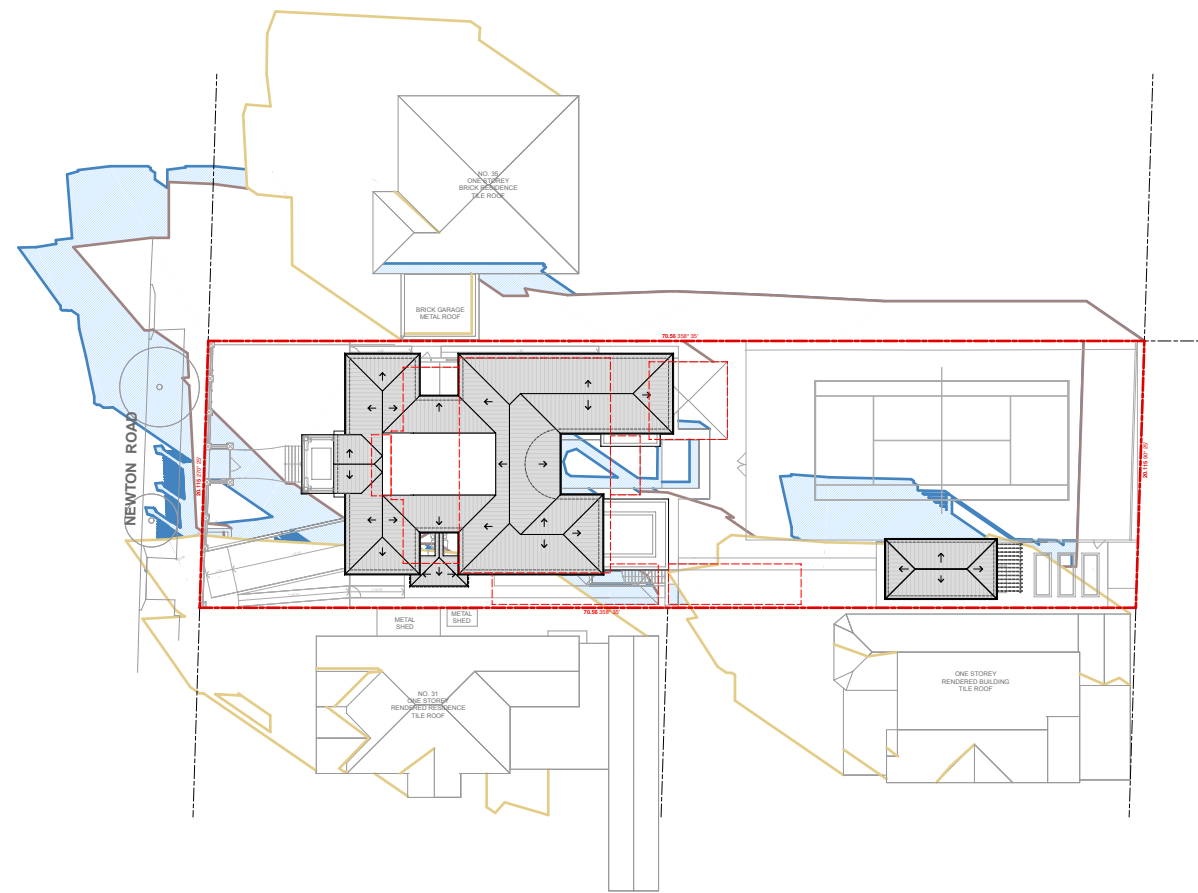
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Issue	Description	Date
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022
E	Site Plan & Demolition Plan Update	11 - 02 - 2022

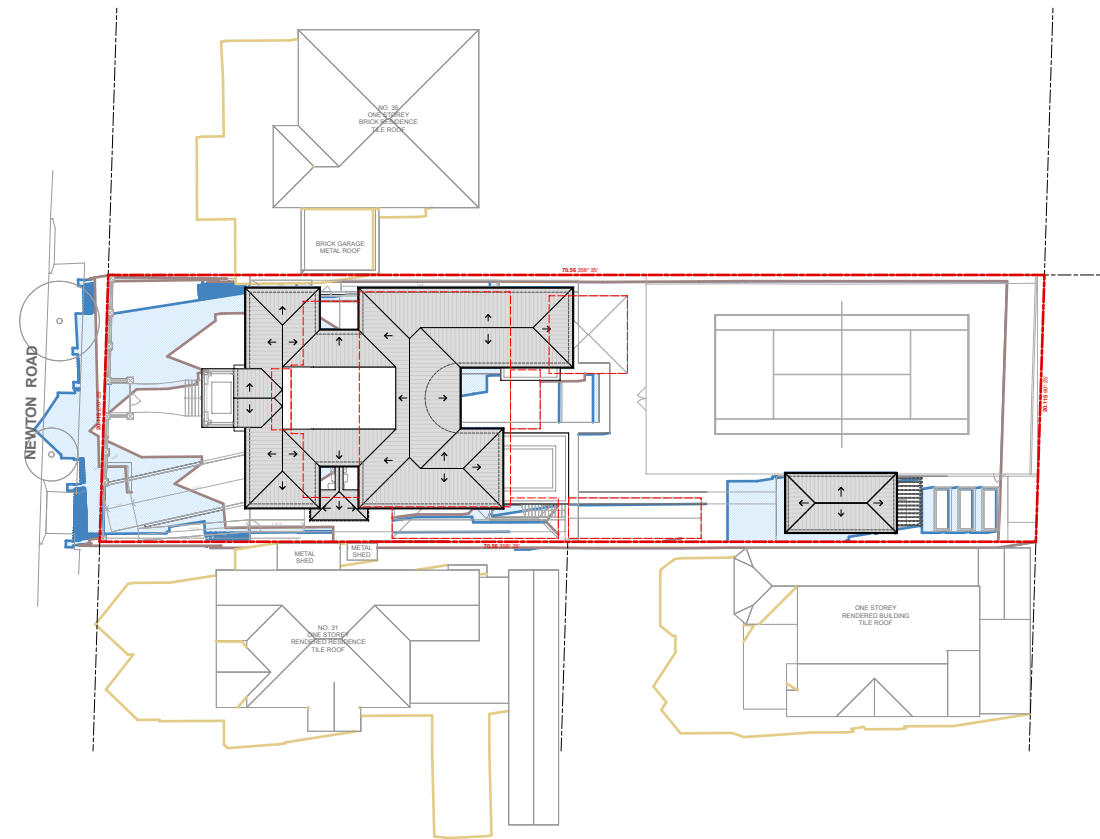
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 M - 0410 504 589 • O - 9517 9652
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Title:	Height Limit Plane
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	-

DA.17
E

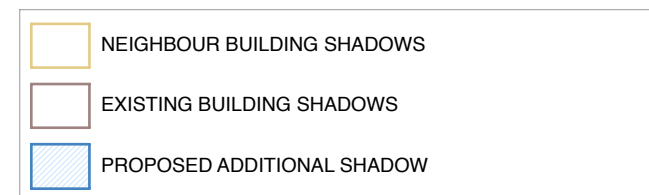


Shadow Diagrams - June 21st - 09:00



Shadow Diagrams - June 21st - 12:00

SHADOW DIAGRAM LEGEND



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

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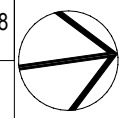
Issue	Description	Date
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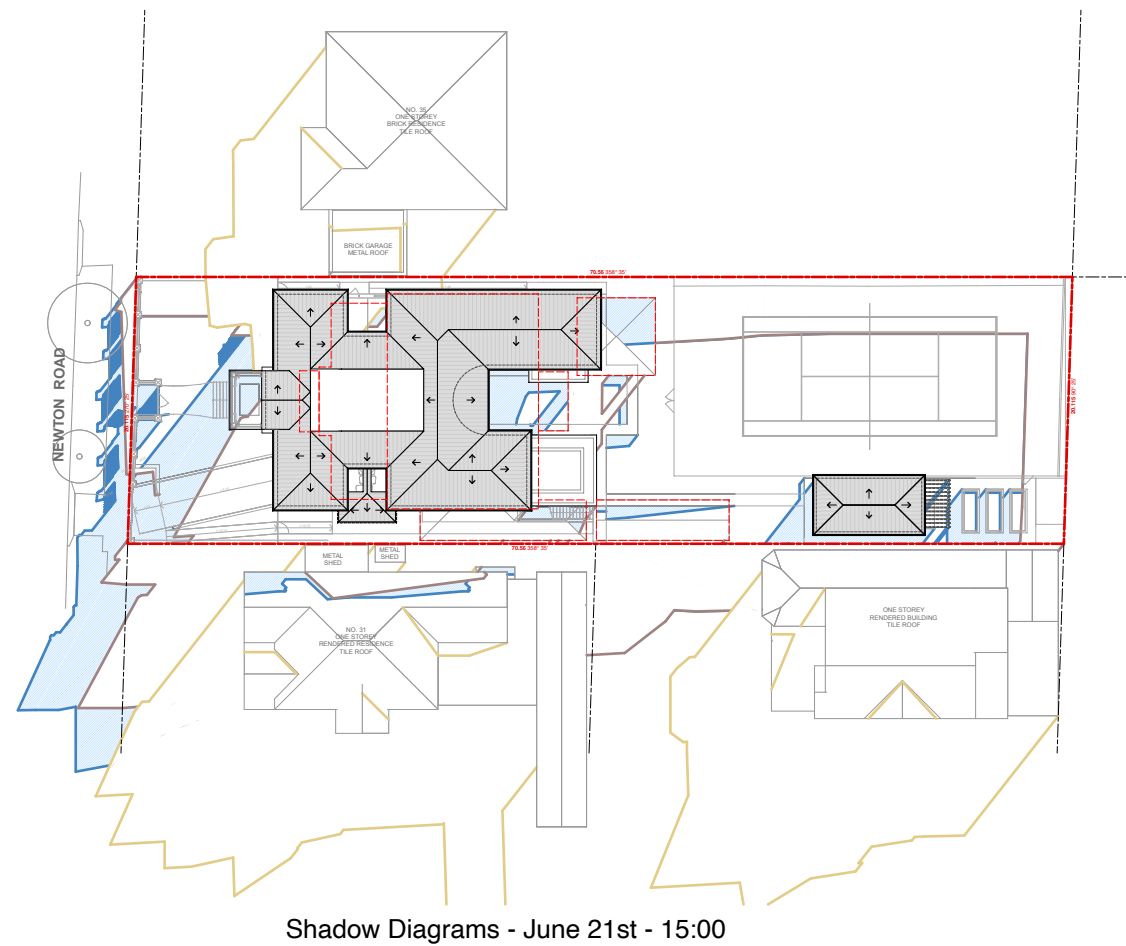


Title:	Shadows Diagrams June 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:500 @ A3

DA.18

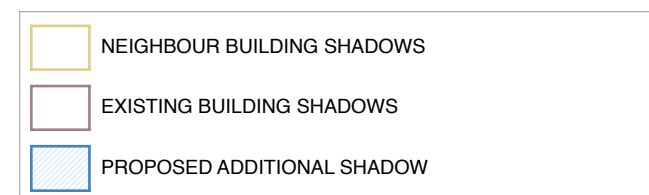
E





Shadow Diagrams - June 21st - 15:00

SHADOW DIAGRAM LEGEND



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
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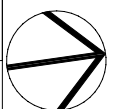
Issue	Description	Date
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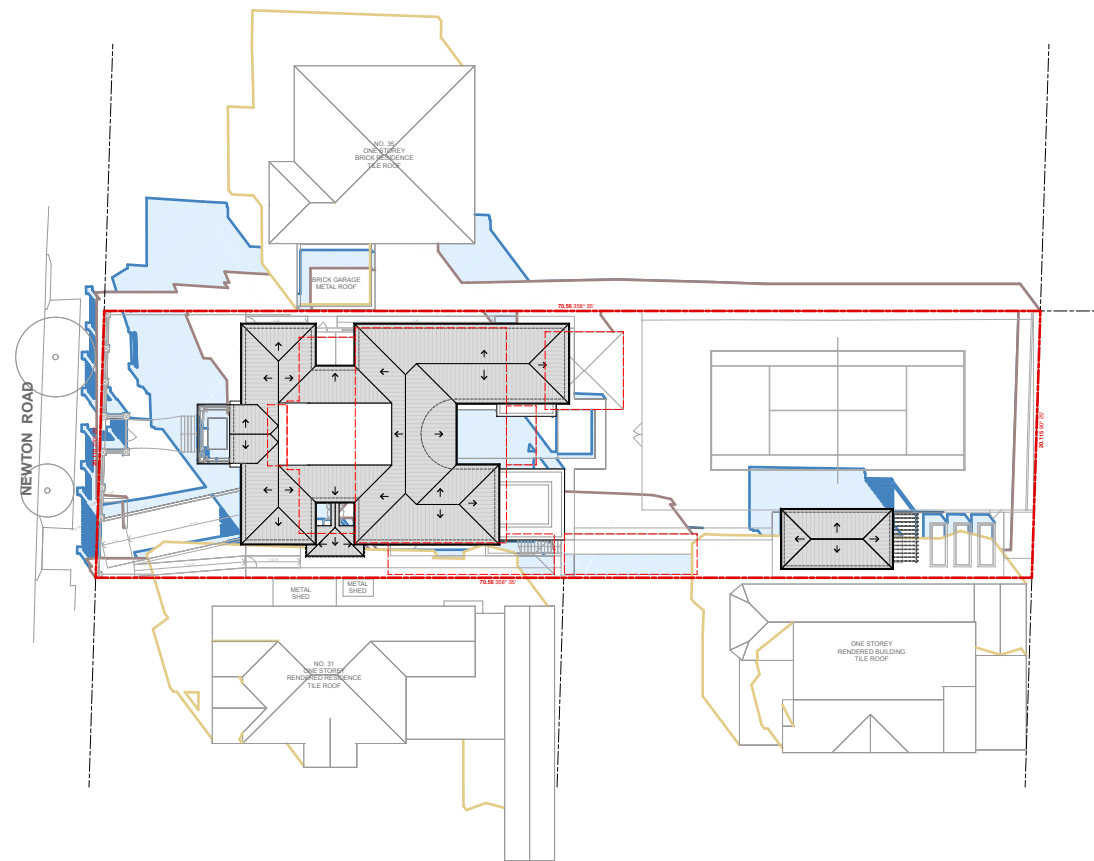


Title:	Shadows Diagrams June 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:500 @ A3

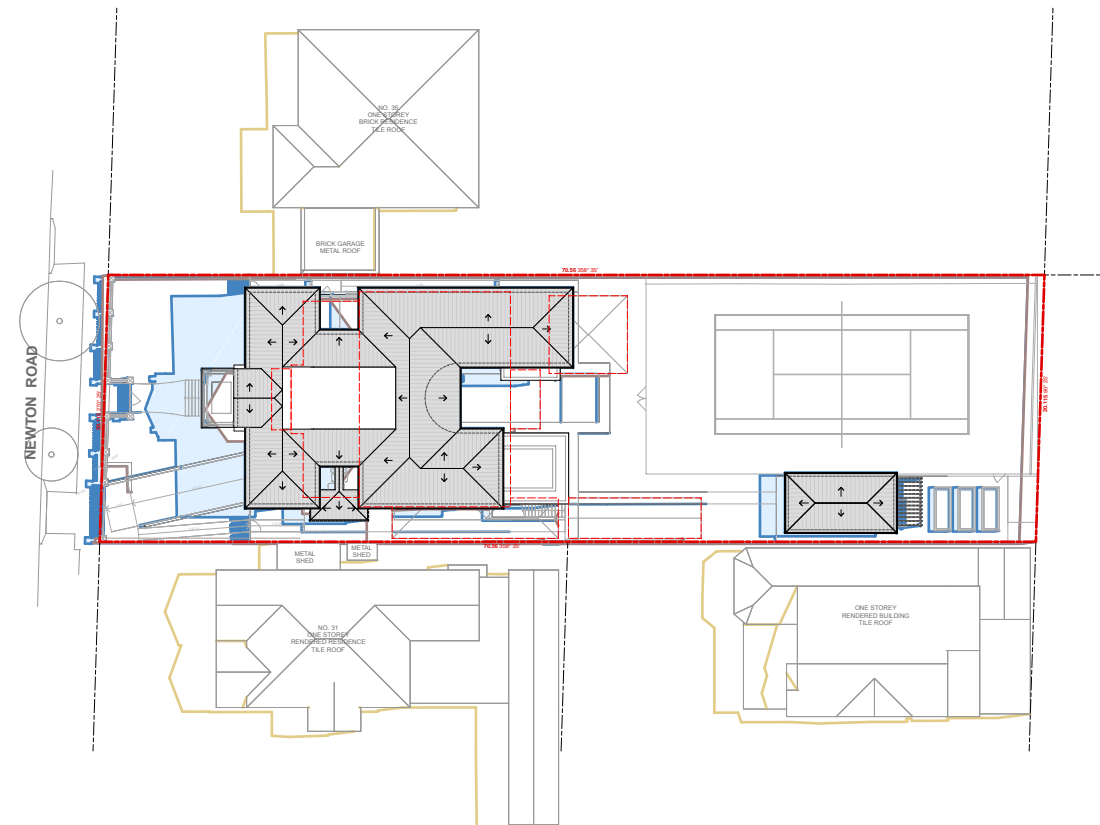
DA.19

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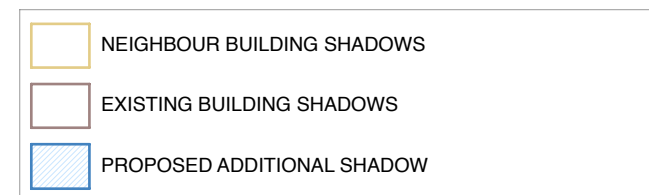


Shadow Diagrams - March 21st - 09:00



Shadow Diagrams - March 21st - 12:00

SHADOW DIAGRAM LEGEND



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
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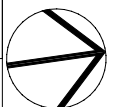
Issue	Description	Date
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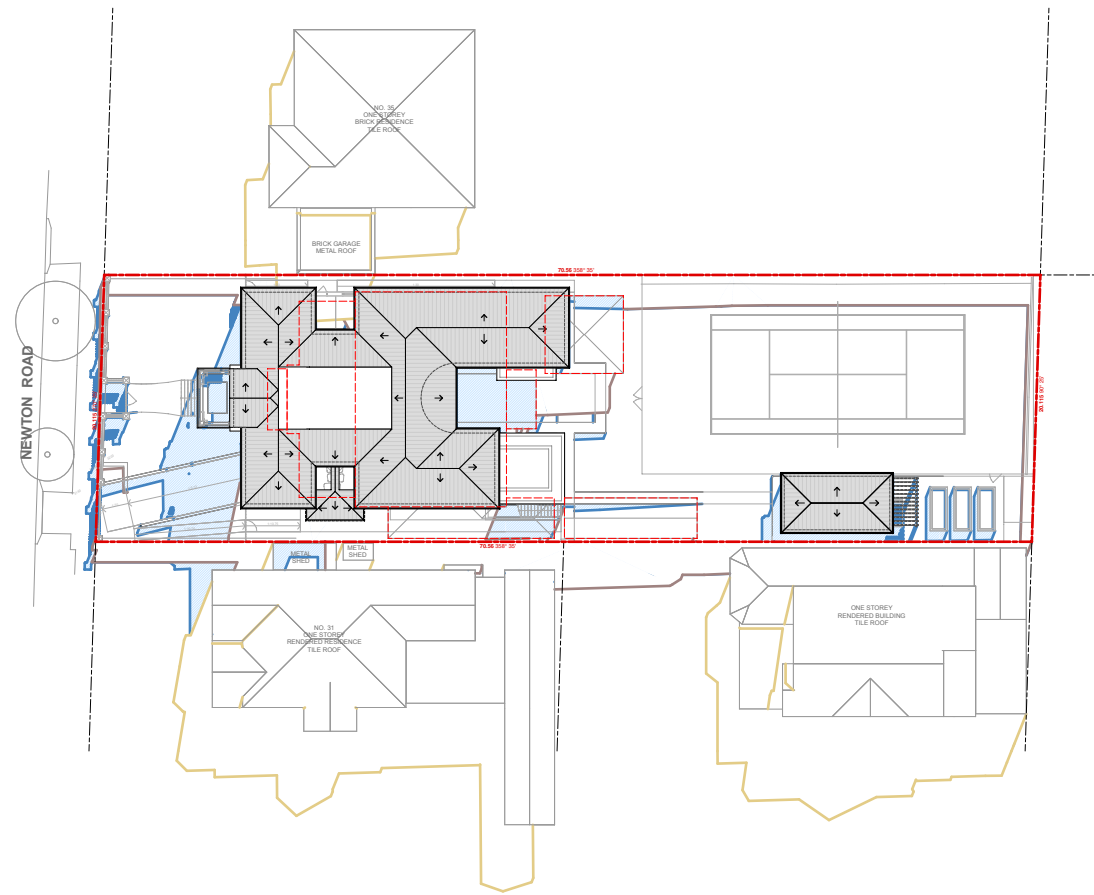
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Title:	Shadows Diagrams March 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:500 @ A3

DA.20

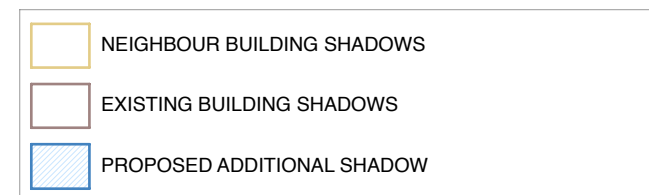
E





Shadow Diagrams - March 21st - 15:00

SHADOW DIAGRAM LEGEND



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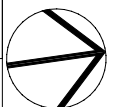
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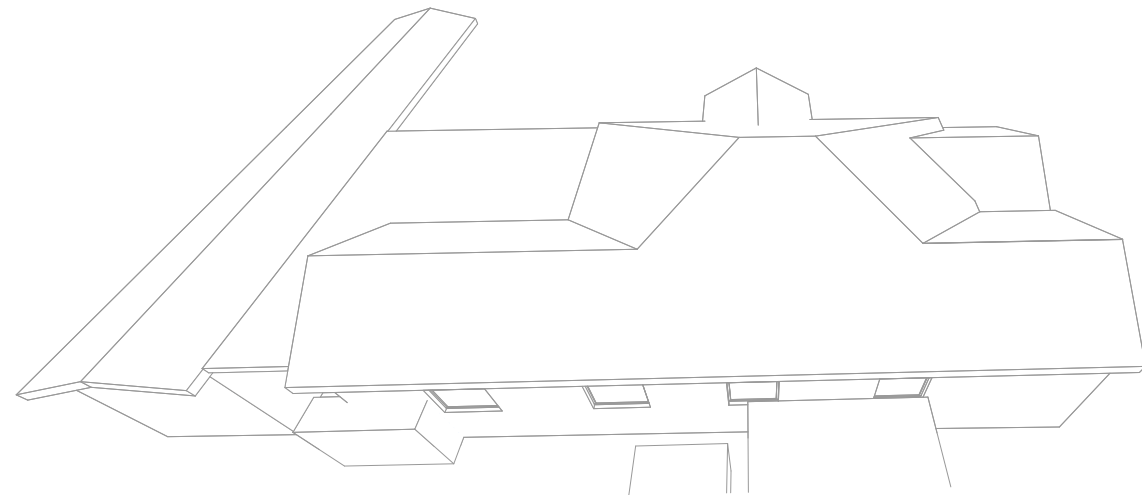
Title:	Shadows Diagrams March 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:500 @ A3

DA.21

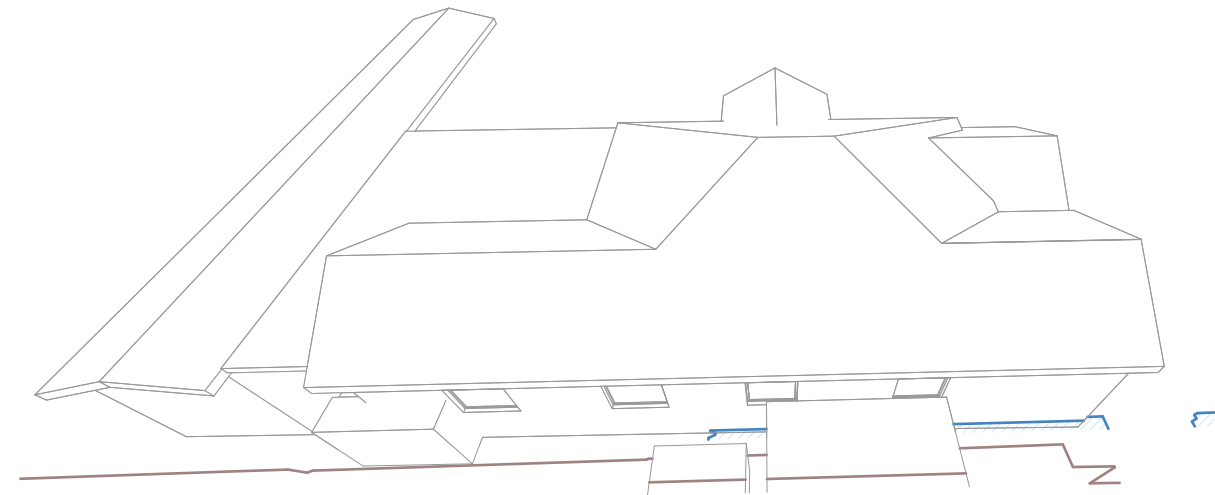
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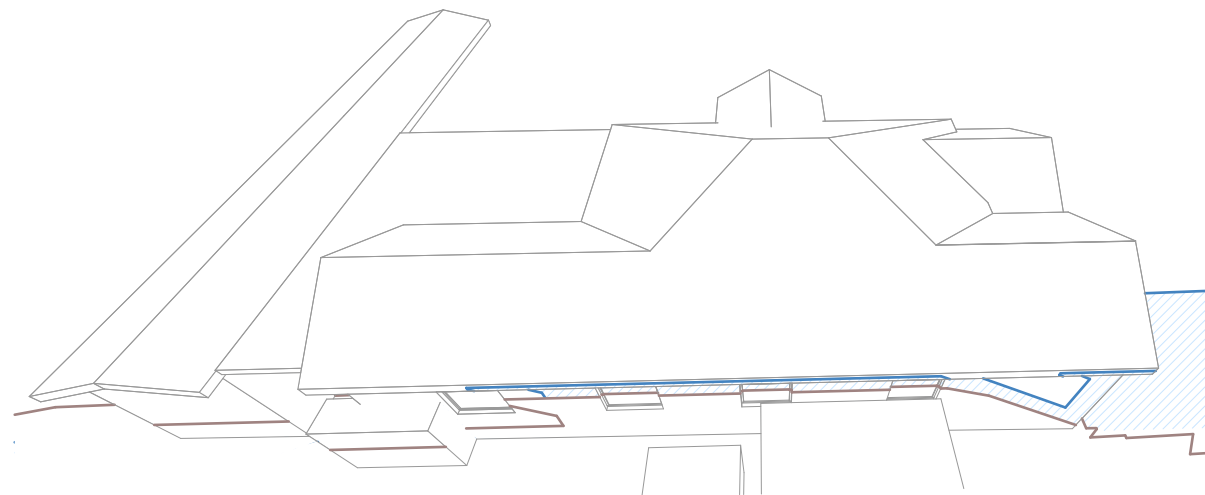
N°31 NEWTON RD. - SIDE ELEVATION SHADOW DIAGRAMS



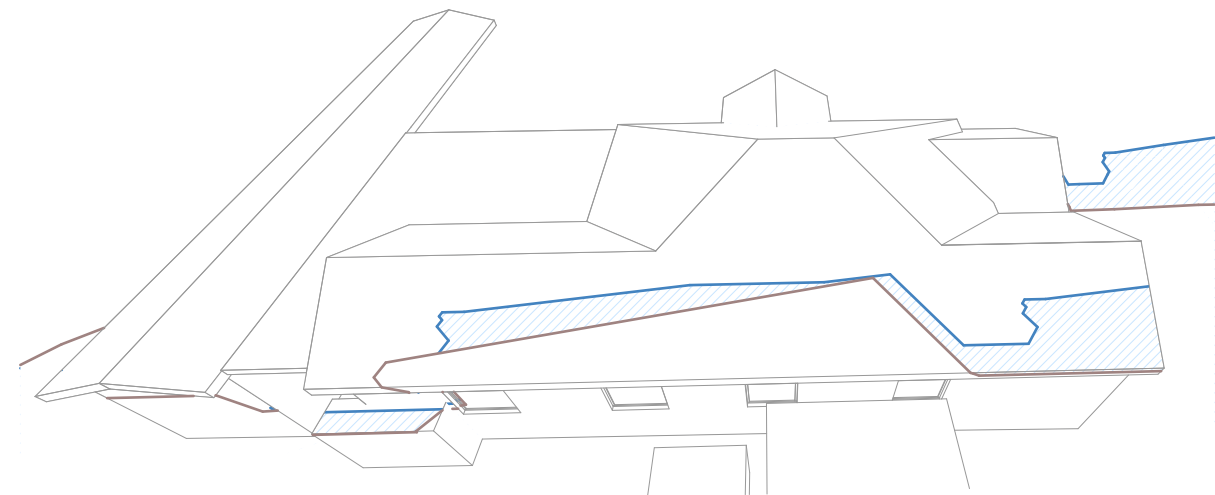
Side Elevation Shadow Diagram - June 21st - 12:00



Side Elevation Shadow Diagram - June 21st - 13:00





Side Elevation Shadow Diagram - June 21st - 14:00



Side Elevation Shadow Diagram - June 21st - 15:00

SHADOW DIAGRAM LEGEND

	EXISTING BUILDING SHADOWS
	PROPOSED ADDITIONAL SHADOW

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
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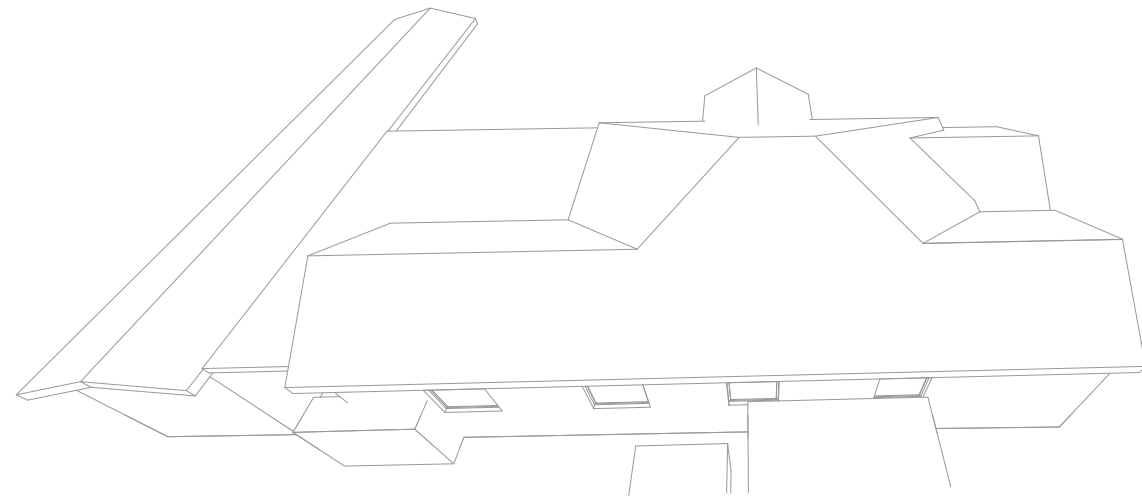
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Title:	N°31 Newton Rd - Shadows June 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	-

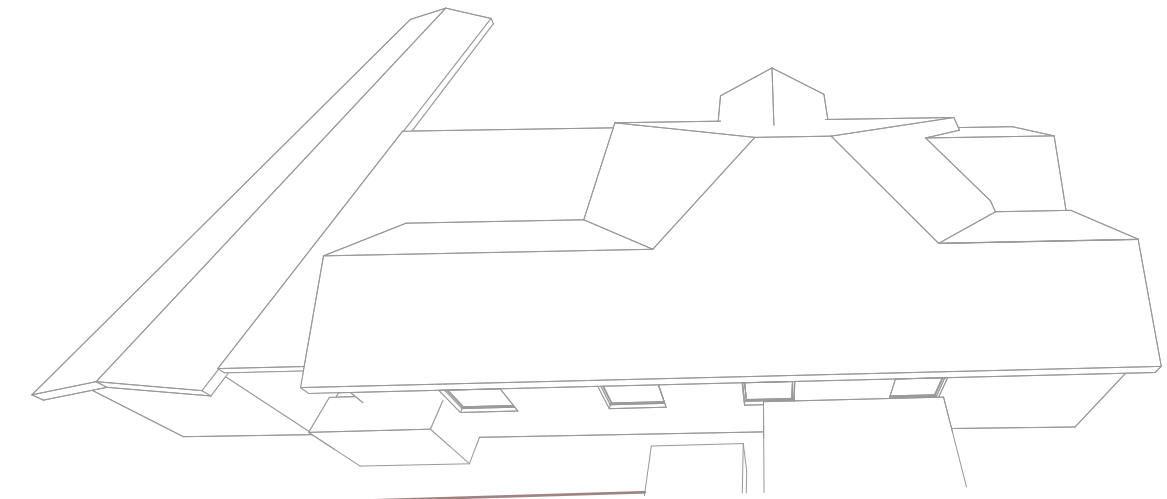
DA.22

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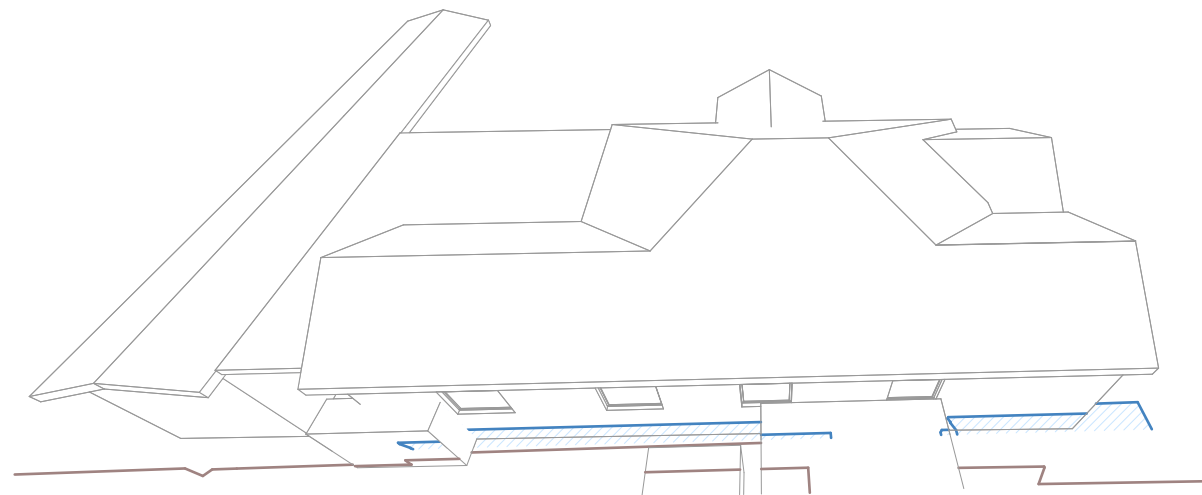
N°31 NEWTON RD. - SIDE ELEVATION SHADOW DIAGRAMS



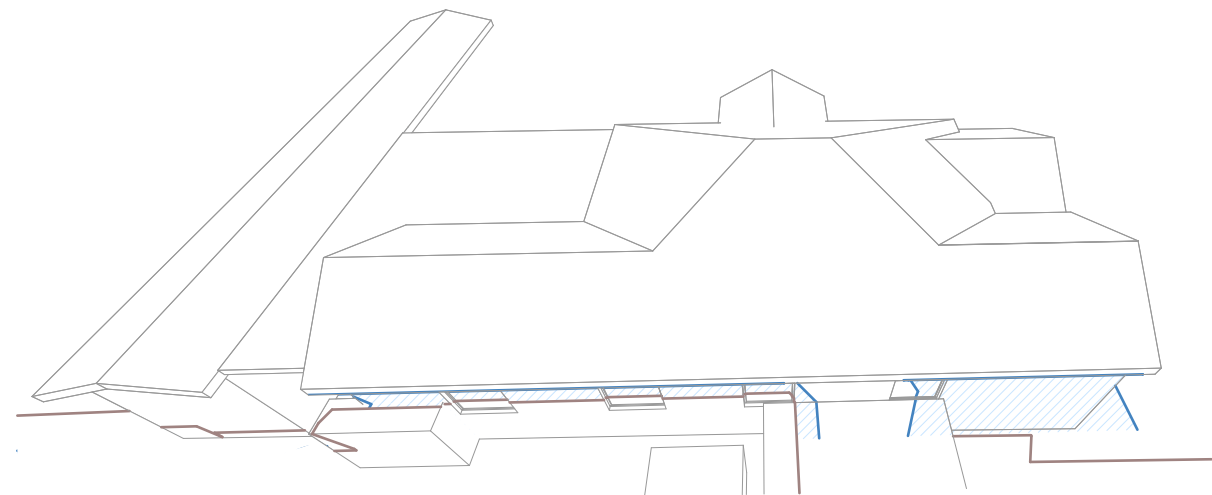
Side Elevation Shadow Diagram - March 21st - 12:00



Side Elevation Shadow Diagram - March 21st - 13:00



Side Elevation Shadow Diagram - March 21st - 14:00



Side Elevation Shadow Diagram - March 21st - 15:00

SHADOW DIAGRAM LEGEND

	EXISTING BUILDING SHADOWS
	PROPOSED ADDITIONAL SHADOW

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Title:	N°31 Newton Rd - Shadows March 21st
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	-

DA.23
E

NOTES AND SPECIFICATIONS

EXCAVATIONS

Prior to carrying out any excavations, the contractor is to confirm locations of all services. Services pits and lids are not to be covered by any material. Trim and grade area to form a smooth even finish to required falls.

GARDEN BED / MULCH

The topsoil to all deep soil garden bed areas shall be four (4) parts site topsoil to one (1) part organic compost thoroughly blended together prior to placing into position. Where the site topsoil is considered not suitable, an imported topsoil blend meeting the requirements of AS4419-1998 shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas to be 300mm (min). At the completion of all planting operations apply a 75mm layer of mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form "watering dish". Mulch used shall be Pine Bark Nuggets as supplied by ANL or similar. All proposed planting is subject to suitable topsoil depths on site. Where there is insufficient depth due to presence of bedrock or other structures, the proposed planting is to be modified to suit in accordance with instructions from landscape architect.

TURF / GARDEN EDGING

Turf used for this site shall be Sir Walter Buffalo or similar soft leaf variety. Unless specified otherwise, turf shall be laid over 150mm topsoil and finished flush with adjacent surfaces. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand. All garden edging as denoted by 'GE' on the plan is to be constructed as per detail.

PLANT MATERIAL

All plant material are to be healthy nursery stock, free from disease, injury, insects all weed or roots of weeds. No plant is to be installed which has not been hardened off or is otherwise inferior in quality. All plants are to be thoroughly soaked 1 hour prior to planting.

EXISTING TREES TO BE RETAINED

The existing trees indicated for retention shall be protected for the duration of the construction period. Install a 1.8m high temporary protective fence (TPF) to the locations as indicated on the plan. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do not attach stays, guys and the like to a tree which is to be retained. Where it is absolutely necessary to prune tree roots / limbs contractor to ensure all Council approvals have been obtained. All tree work is to be carried out by a qualified and insured arborist. Where an arborist report has been prepared for the existing tree on site; The landscape plan shall be read in conjunction with this report. All trees identified for retention shall be protected and managed in accordance recommendations of this report. These recommendations will take precedence over any measures outline in the landscape plan.

MAINTENANCE / ON GOING CARE

Maintain all landscape areas to ensure plant health and occupant safety for period of 12 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the following activities: Mowing and edging lawn areas, fertilizing all plant material, pruning, watering, replacing failed planting, treating for pests and diseases, topping up of mulch areas and weeding garden beds as required. On completion of the initial 12 month period, all maintenance responsibilities shall be handed over to building management / property owner for on-going care. Note: All trees will require ongoing annual observation and maintenance by qualified arborist to ensure occupant safety, tree health and to avoid damage to surrounding structures and property.

DISCREPANCIES

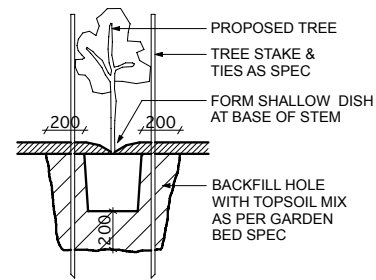
Should there be any discrepancies on the drawings with existing site conditions; contractor is to notify the landscape architect prior to proceeding with the works

PLANT SCHEDULE

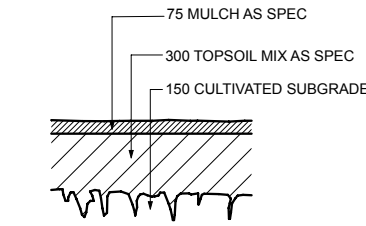
Code	Name	Pot Size	Mt Size	Qty
DLR	Dianella Little Rev	200mm	0.3m	30No.
DSF	Dichondra 'Silver Falls'	120mm	Ground Cover	30No.
LM	Liriope muscari	120mm	0.5m	38No.
MTB	Magnolia 'Teddy Bear'	100Litre	6.0m	1No.
NGS	Nandina 'Gulf Stream'	300mm	0.6m	8No.
PT	Phormium tenax	300mm	2.0m	6No.
PX	Philodendron Xandadu	200mm	0.5m	8No.
RSM	Raphiolepis 'Snow Maiden'	300mm	Trim 1.2m	30No.
TJ	Trachelospermum jasminoides	200mm	Climber / G Cover	55No.
TL	Tristaniopsis laurina	100Litre	6.0m	1No.
VO	Viburnum odoratissimum	300mm	Trim to 2.0m	42No.

33 Newton St Strathfield

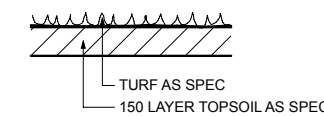
7 February 2022



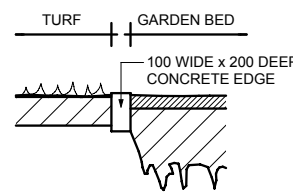
A TREE PLANTING DETAIL NTS



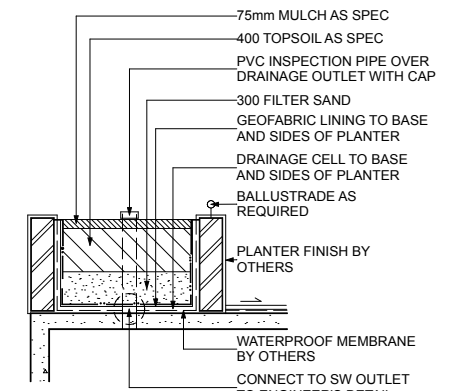
B GARDEN BED NTS



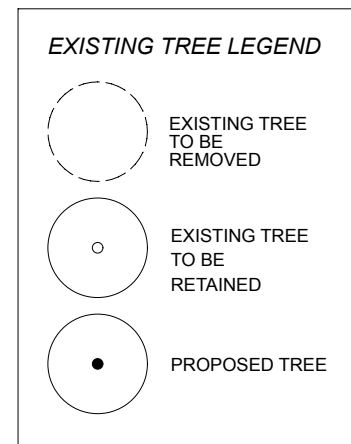
C TURFING DETAIL NTS



D GARDEN EDGE NTS



E PLANTER BOX NTS



SURFACE TREATMENT LEGEND

STF	Synthetic Turf
TF	Turf
SGE	Steel Garden Edge (to detail)
GE	Garden Edge (to detail)
CL	Clothes Lines (to client requirements)
CB/TP	Colorbond / Timber Paling (1.8 high)
T	Tile (to client requirements)
RWT	Rainwater Tank (to Engineers Specifications)
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal/gunmetal)
TPF	Temporary Protection Fence (1.8m chainmesh)
GVL	Gravel Surface / Path (Nepean River Pebble)
TD	Timber Deck
CP	Concrete Path
B	Bench Seat
BT	Table / Seating

Rev C Modifications to Arch 2 Feb 2022
 Rev B SB 2 Review 22 Sept 2021
 Rev A RFI 28 June 2021

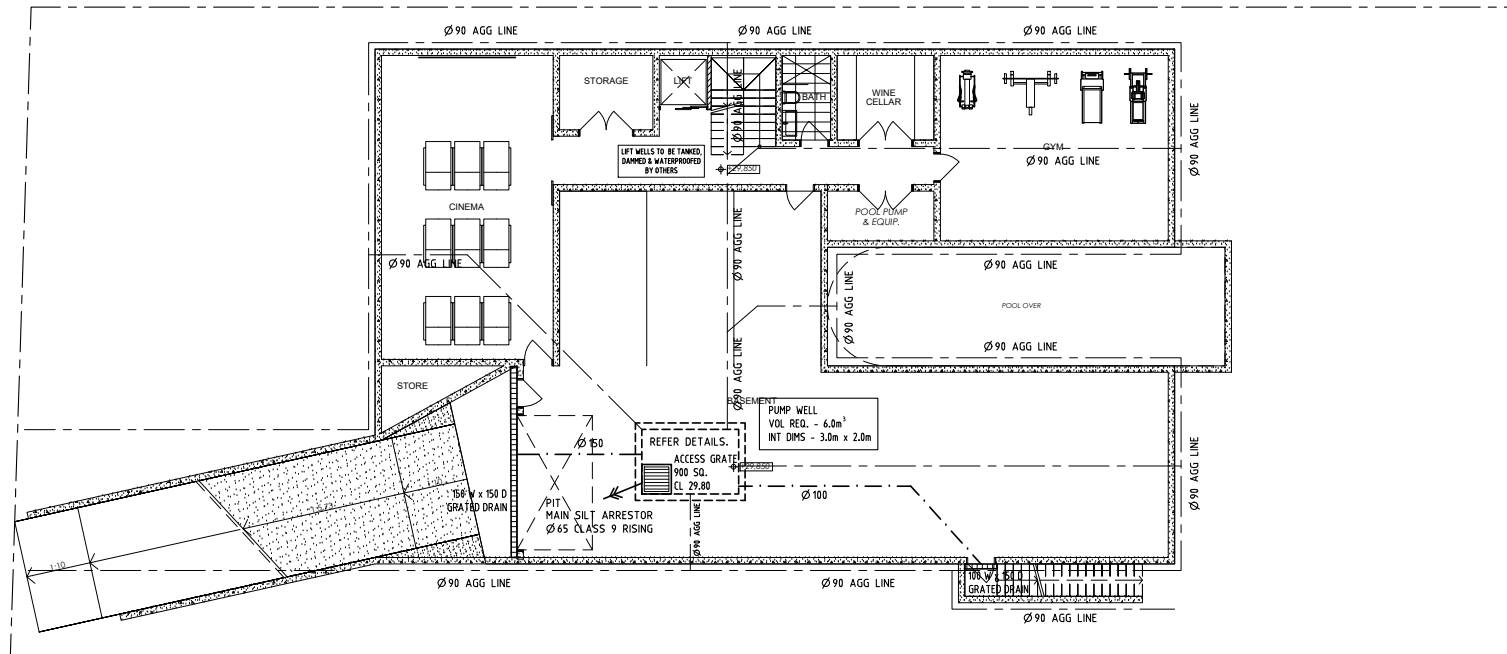
Michael Siu
 Landscape Architects
 michael@msla.com.au
 02 9557 9833 | 0417 280 249

Details Notes Schedule 2of 2

Proposed Residence
 33 Newton St Strathfield

1:200@A3 Dwg: L02/2- K25409 3 March 2021

ABN 15 086 982 158 Copyright 2022 M.SIU



GENERAL NOTES:

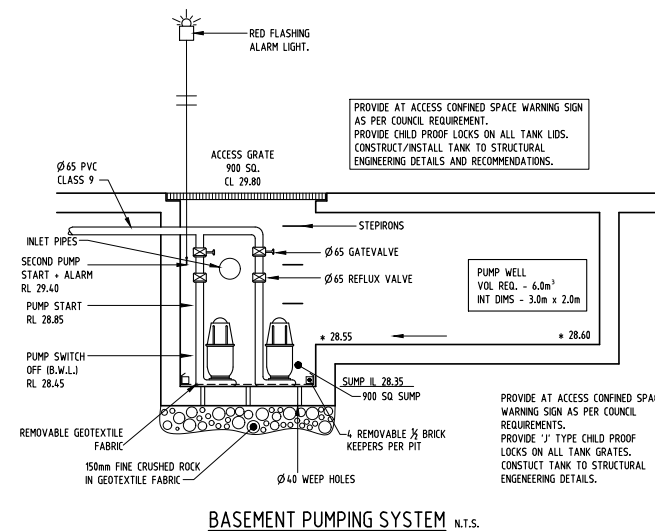
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- OSD ON-SITE DETENTION
- TWL TOP WATER LEVEL
- BWL BOTTOM WATER LEVEL
- TW TOP OF WALL
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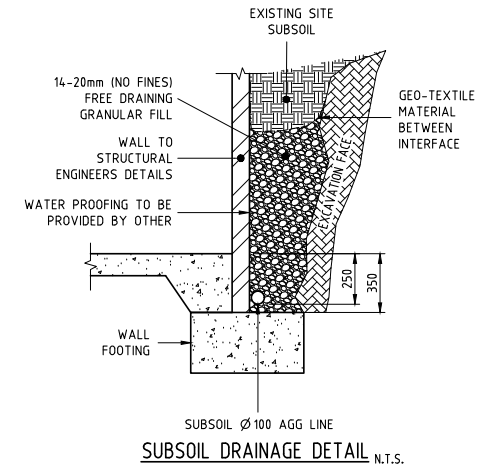
BASEMENT DRAINAGE PLAN SCALE - 1:100

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BASEMENT PUMPING WELL

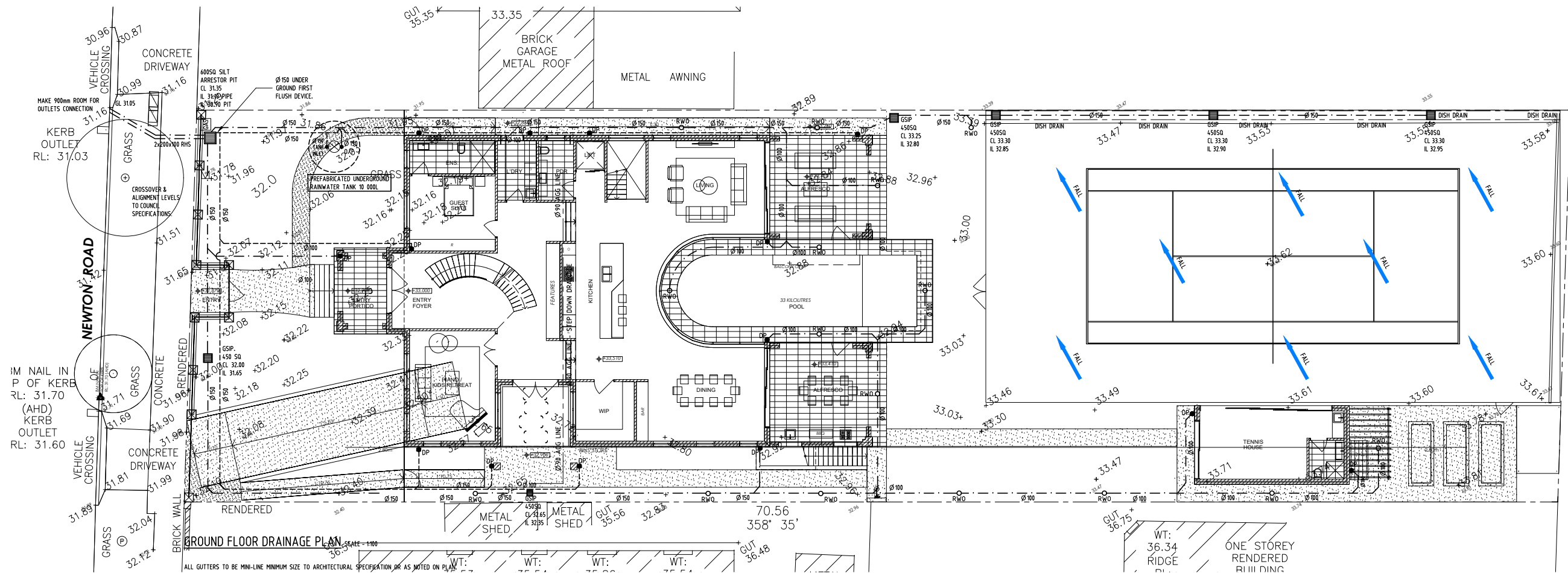
Provide two centrifugal drainage SUMP pumps with single phase electric motor capable of discharging 2.0L/s each against a total head of 14.0m l. Class 1 Zone 2 certified pumps for hazardous areas is required. Switching shall provide for alternative operation of the pumps, high level switch ON/OFF, 2nd pump, and a red light alarm placed prominently in the pump box activated by high level switch ON.



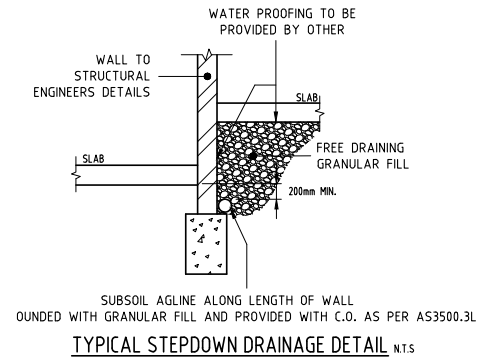
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		JOHN ROMANOUS & ASSOCIATES PTY. LTD. CONSULTING CIVIL & STRUCTURAL ENGINEERS ACN 054 595 005 SUITE 2D / 322 KINGSGROVE RD, KINGSGROVE NSW 2208 Ph (02) 83 87 68 26	
PROPOSED DEVELOPMENT AT: 33 NEWTOWN ROAD, STRATHFIELD.			
STORMWATER DRAINAGE DETAILS			
DRAWN	CHECKED	SCALE	DATUM
JDR	D.ROMANOUS A.E., M.ELAUST.	AS SHOWN @A1	A.H.D.
DRAWING No.			REV.
2193 - S1/4			E



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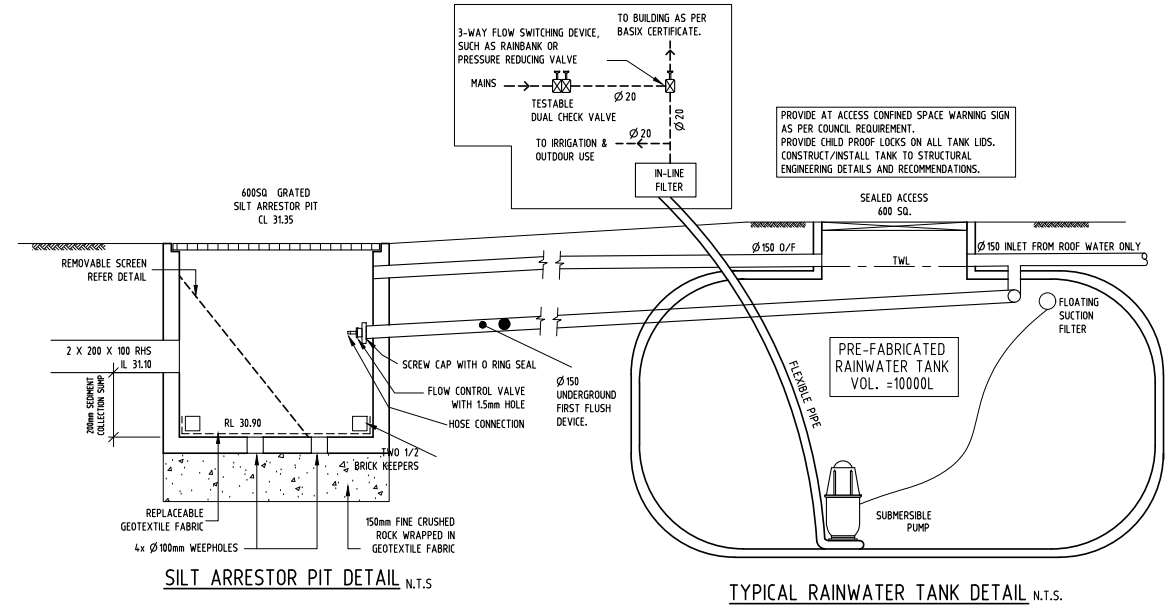
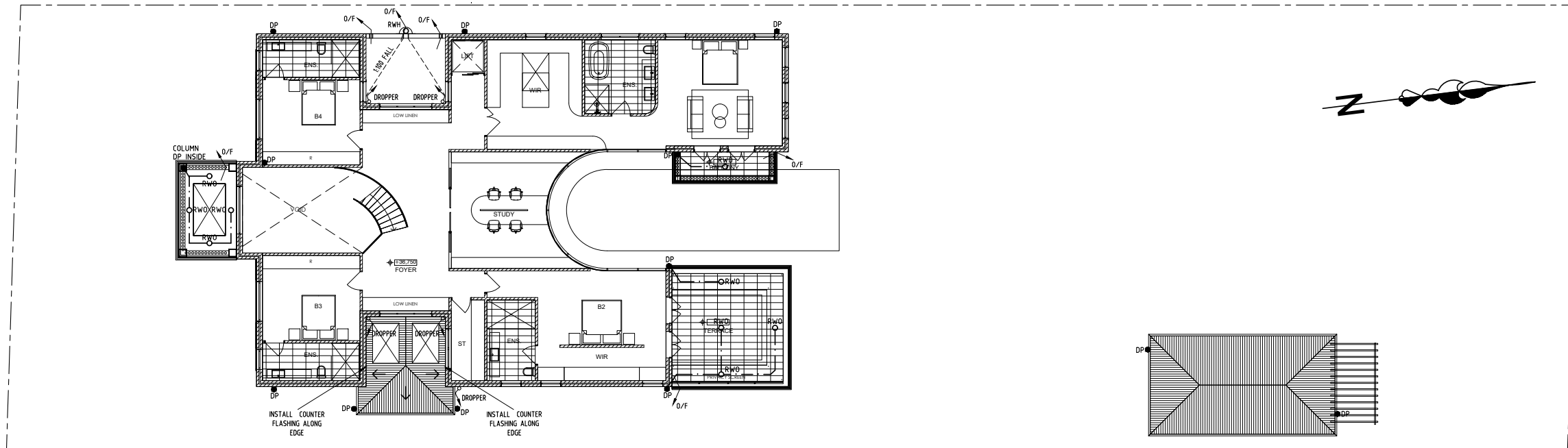
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PROPOSED DEVELOPMENT AT:
33 NEWTOWN ROAD, STRATHFIELD.

STORMWATER DRAINAGE DETAILS



RAINWATER RE-USE NOTES

PROVIDE SIGN IN PROMINENT LOCATION AT FRONT OF PROPERTY NOTING "RAINWATER IN USE".

MARK TANK OUTLETS "NON-POTABLE WATER"

RECYCLED RAINWATER TO SERVICE BUILDING AS PER THE BASIX CERTIFICATE.

OVER FLOW FROM RAINWATER TANK TO BE CONNECTED TO STORMWATER SYSTEM.

RAINWATER SUPPLY PIPE WORK ABOVE GROUND MUST BE LABELLED ALONG THEIR LENGTH WITH A PERMANENT MARKING STATING "RAINWATER" EVERY 500mm OR LESS. BELOW GROUND RAINWATER SUPPLY PIPE WORK MUST HAVE IDENTIFICATION TAPE AT LEAST 75mm WIDE AND MARKED "RAINWATER" ON THE RAINWATER SUPPLY PIPE AND FASTENED TO THE PIPE AT NOT MORE THAN 3m INTERVALS.

SYDNEY WATER BACKFLOW PREVENTION DEPARTMENT MUST BE CONTACTED REGARDING RECYCLED WATER ON THIS BUILDING AND FOR THE BACKFLOW PREVENTION REQUIREMENTS AND TOP-UP SYSTEM.

APPROPRIATE WATER METER MUST BE OBTAINED FROM SYDNEY WATER TAKING INTO ACCOUNT RAINWATER RE-USE.

ANY GARDEN OR CARWASH TAPS CONNECTED TO RECYCLED SYSTEM MUST BE LOCATED 15m MIN. ABOVE THE SURFACE OR PROVIDE WITH REMOVABLE HANDLE.

EVERY FIXTURE SERVED FROM THE RECYCLED WATER SUPPLY MUST BE CLEARLY LABELLED "RAINWATER" REFER TO SIGNAGE.

FOR PERIOD OF LOW WATER LEVEL IN THE RAIN WATER TANK A CONNECTION TO THE WATER MAIN IS NEEDED AND TO BE PROVIDED IN ACCORDANCE WITH THE SYDNEY WATER REQUIREMENTS.

PUMPS AND FILTERS ON OUTLETS FROM RECYCLED SYSTEM TO BE SUPPLIED BY OTHERS AS MAY BE REQUIRED.

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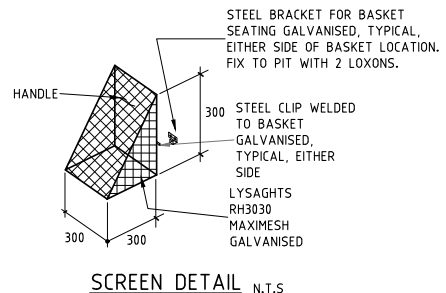
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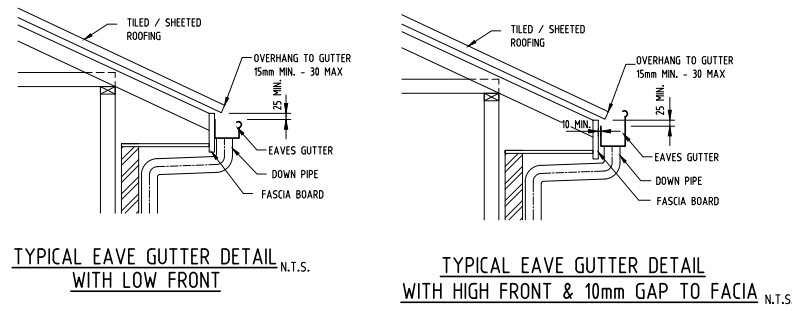
SIGNAGE FOR RAINWATER TANKS AND OUTLETS

-DIMENSIONS: 80mm X 60mm
 -BACKGROUND COLOUR SHOULD BE YELLOW.
 -TEXT IS WHITE ON A BLACK BACKGROUND;
 -TAP SYMBOL IS BLACK.

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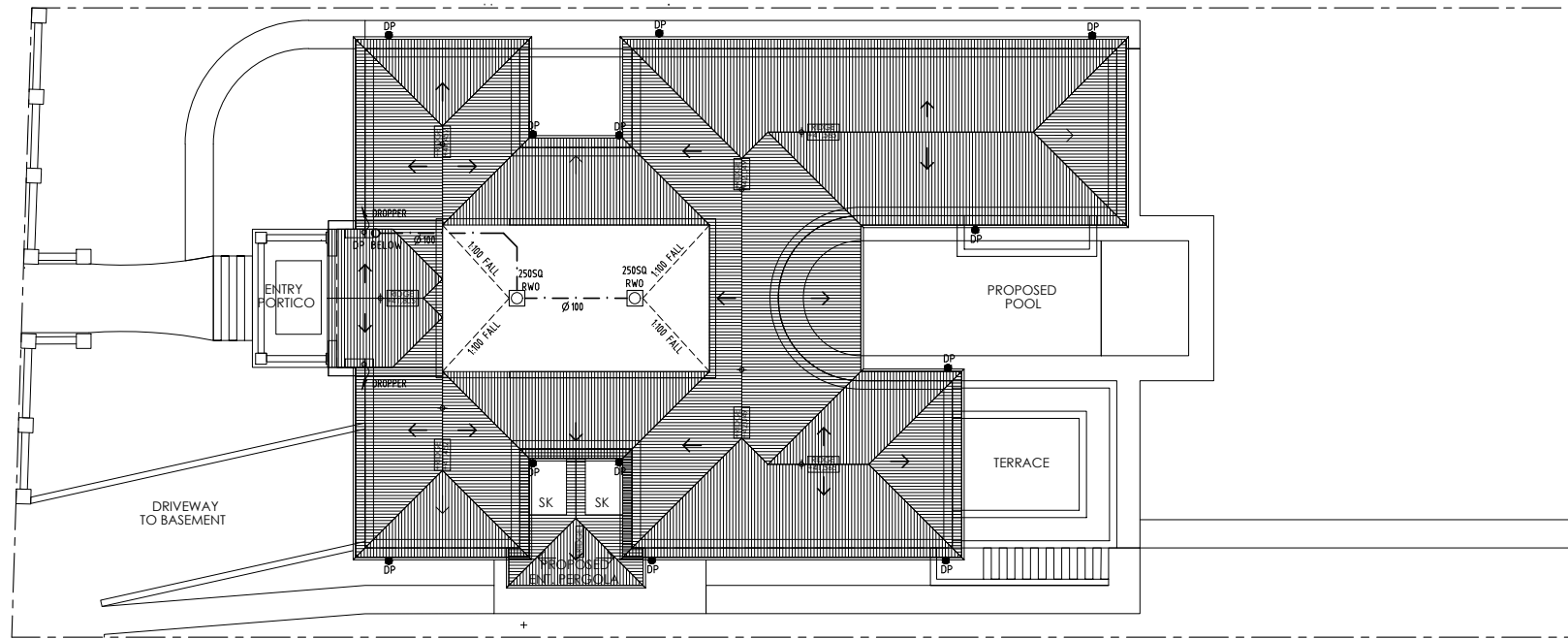


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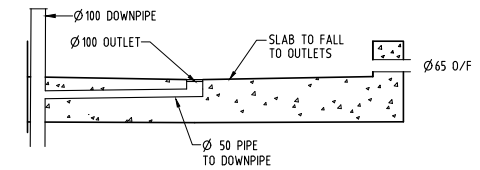
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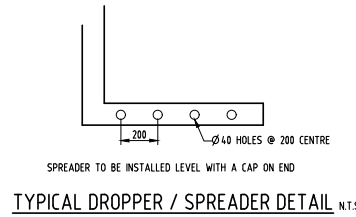


ROOF DRAINAGE PLAN SCALE - 1/100

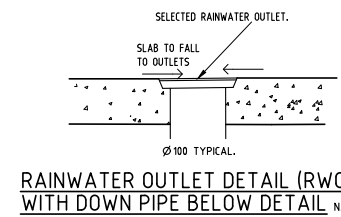
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BALCONY OUTLET DETAIL N.T.S.



TYPICAL DROPPER / SPREADER DETAIL N.T.S.



RAINWATER OUTLET DETAIL (RWO) WITH DOWN PIPE BELOW DETAIL N.T.S.

NOT FOR CONSTRUCTION

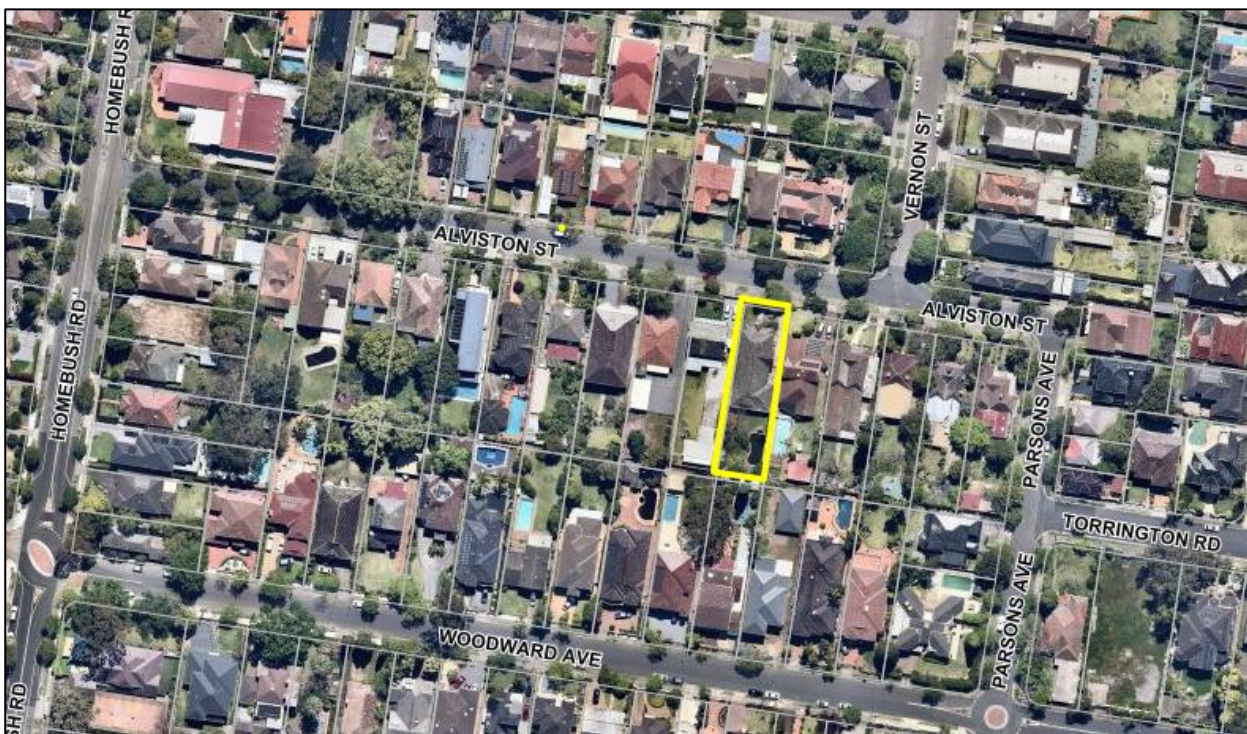
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TO: Strathfield Local Planning Panel Meeting - 7 April 2022
REPORT: SLPP – Report No. 8
SUBJECT: DA2021.280- 12 ALVISTON STREET STRATHFIELD
 LOT 14 SEC 5 DP 538
DA NO. DA2021.280

SUMMARY

Proposal:	Demolition of existing structures, removal of six (6) trees and construction of a two (2) storey dwelling house, in-ground swimming pool, detached studio with cabana and associated landscaping works.
Applicant:	Planning Approvals
Owner:	Preeti Raghavan and Sameer Viswanathan
Date of lodgement:	1 November 2021
Notification period:	4 November 2021 to 18 November 2021
Submissions received:	Four (4) written submissions received
Assessment officer:	L Fanayan
Estimated cost of works:	\$1,420,000.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No
Flood affected:	No
Is a Clause 4.6 variation proposed?	No
RECOMMENDATION OF OFFICER:	APPROVAL



**DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)**

Development consent is being sought for the demolition of existing structures, removal of six (6) trees and construction of a two (2) storey dwelling house, in-ground swimming pool, detached studio with cabana and associated landscaping works.

Site and Locality

The site is identified as 12 Alviston Street Strathfield and has a legal description of Lot 14, Sec 5 in DP 538. The site is a regular shaped parcel of land and is located between Parsons Avenue and Homebush Road.

The site has a width of 15.24m, a depth of 54.865m and an overall site area of 834.7m².

The locality surrounding the subject site contains a mixture of low density residential. Architectural styles vary with single and double storey dwellings with pitched roofing and brick and rendered façades. Some modern style examples exist along the street.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 4 November 2021 to 18 November 2021, where four (4) submissions were received raising the following concerns;

- Removal of trees,
- Privacy to adjoining property, and
- Contribution to heritage value of Strathfield.

Issues

- Void space
- Landscaped area

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment Act 1979, Development Application 2021/280 is recommended for approval subject to suitable conditions of consent.

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

REPORT IN FULL

Proposal

Council has received an application for the demolition of existing structures, removal of six (6) trees and construction of a two (2) storey dwelling house, in-ground swimming pool, detached studio with cabana and associated landscaping works. More specifically, the proposal includes;

Demolition of existing structures including dwelling house and in ground swimming pool

Construction of a new dwelling house including:

Ground floor level:

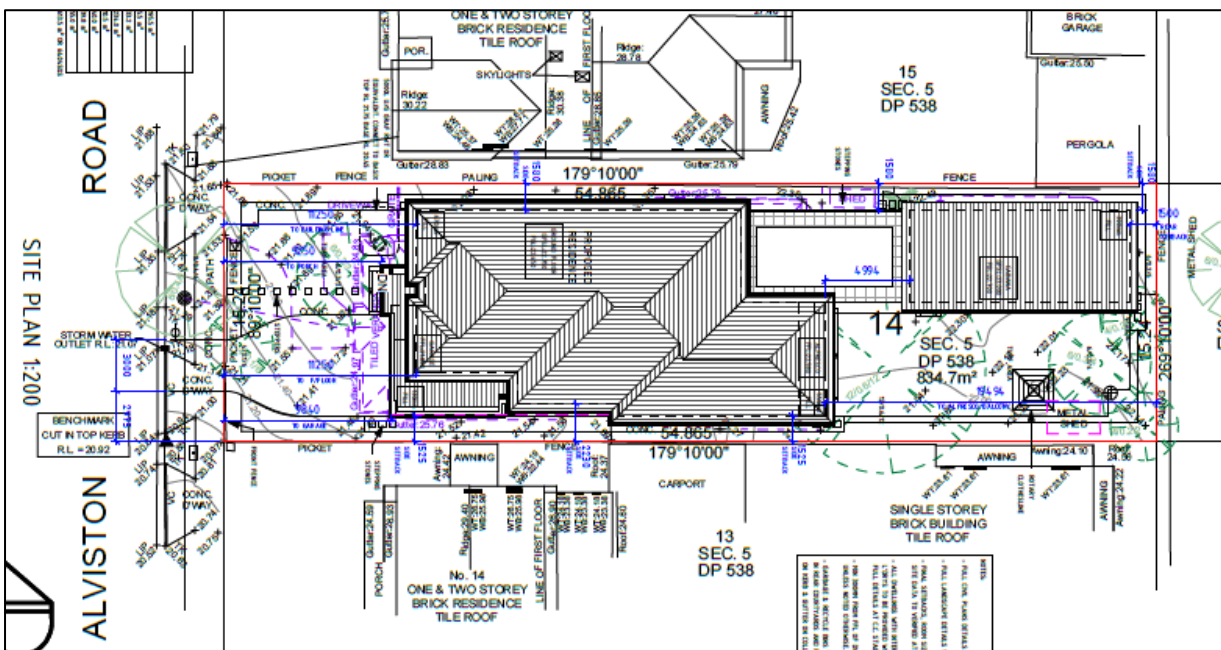
- Double car garage with mud room;
- Guest bedroom with ensuite
- Laundry;
- Study;
- Music room;
- Living room'
- Dining room;
- Kitchen with butler's pantry; and
- Detached Studio outbuilding for games and gym with a toilet.

First floor level:

- Lounge area;
- Two (20 bedrooms with ensuite and walk in robes;
- One bedroom with ensuite; and
- Master bedroom with ensuite and walk in robe.

External works:

- Cabana;
- Alfresco dining;
- Pool; and
- Associated landscape works.



DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

Figure 2: Site plan.

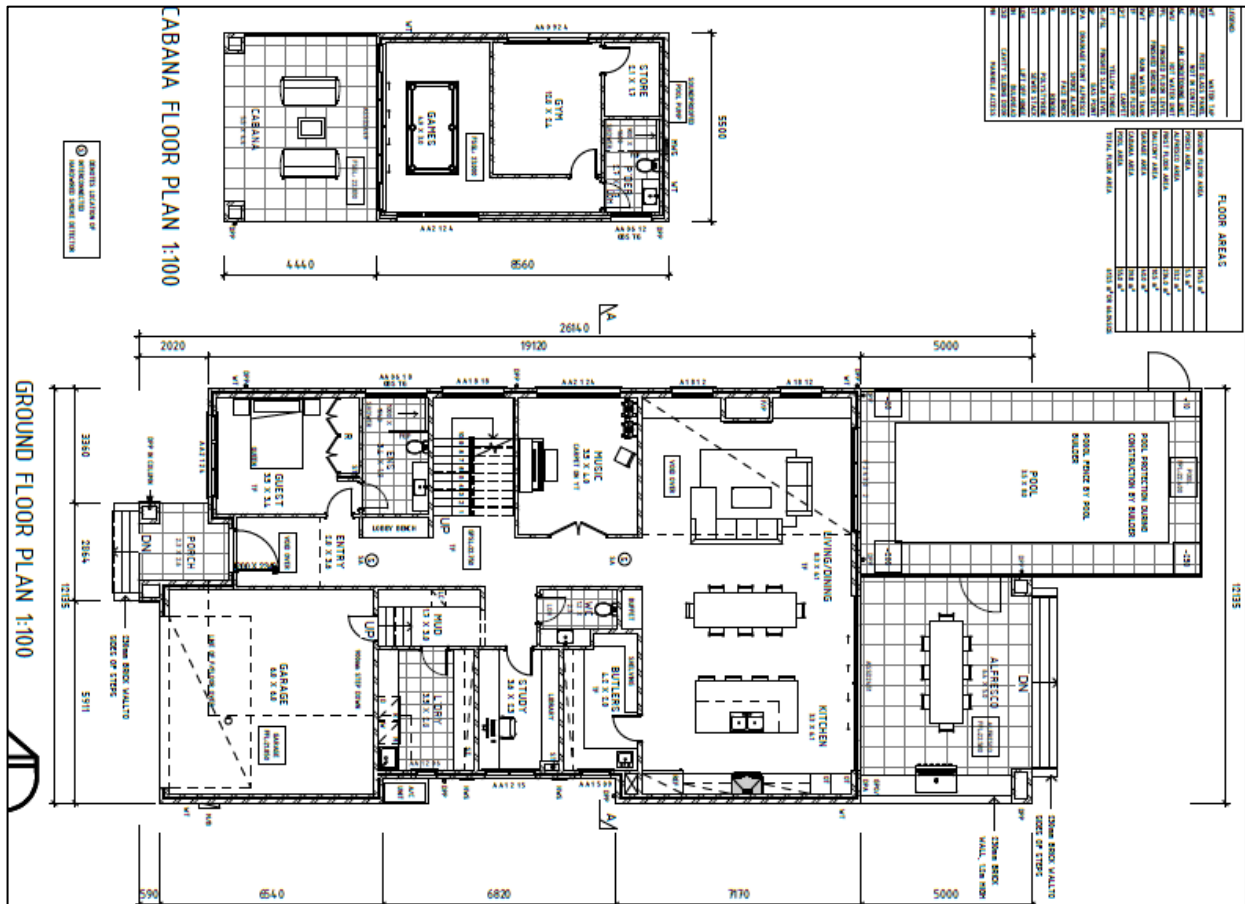


Figure 3: Ground floor and cabana floor plan.

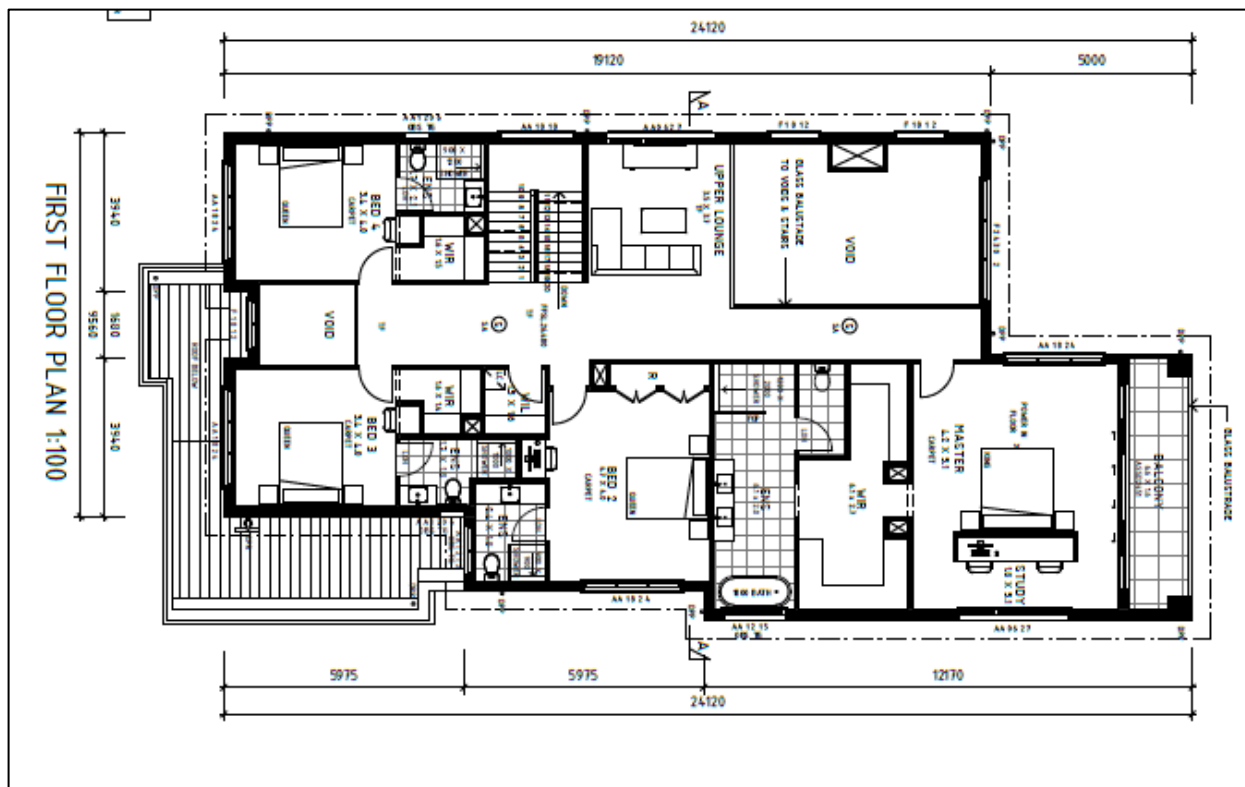


Figure 4: First floor plan.

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

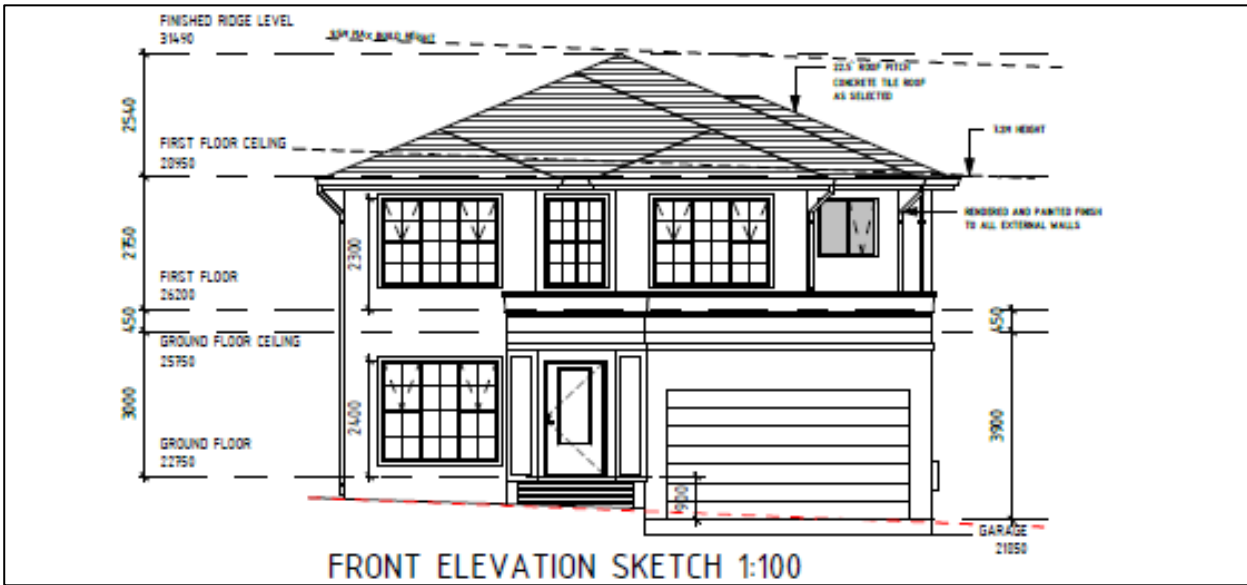


Figure 5: Front Elevation Plan.

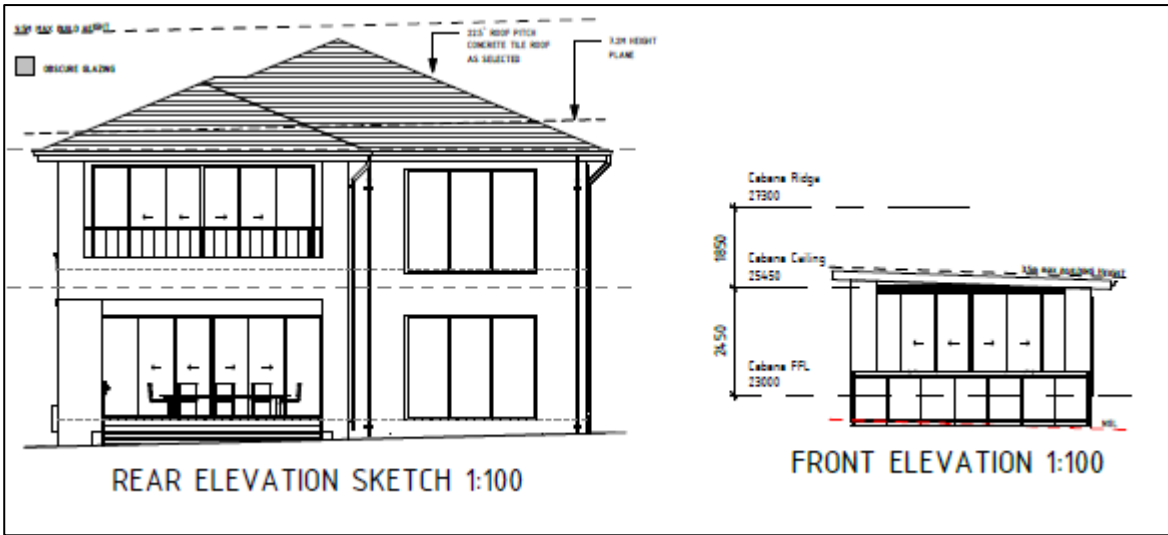


Figure 6: Rear elevation of dwelling and front elevation of cabana.

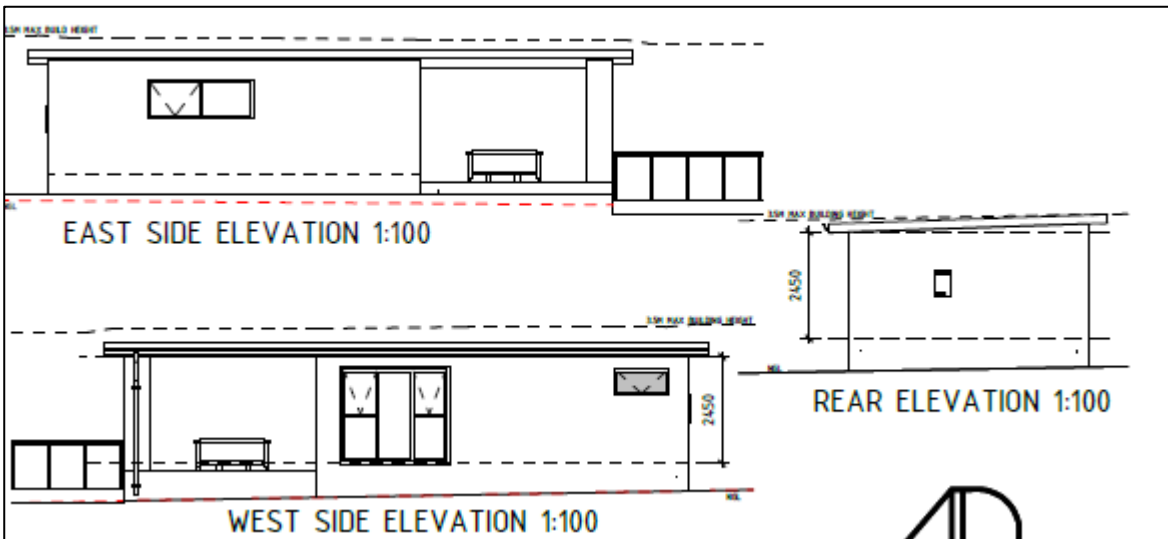


Figure 7: Detached studio & cabana elevation plans

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 LOT 14 SEC 5 DP 538 (Cont'd)

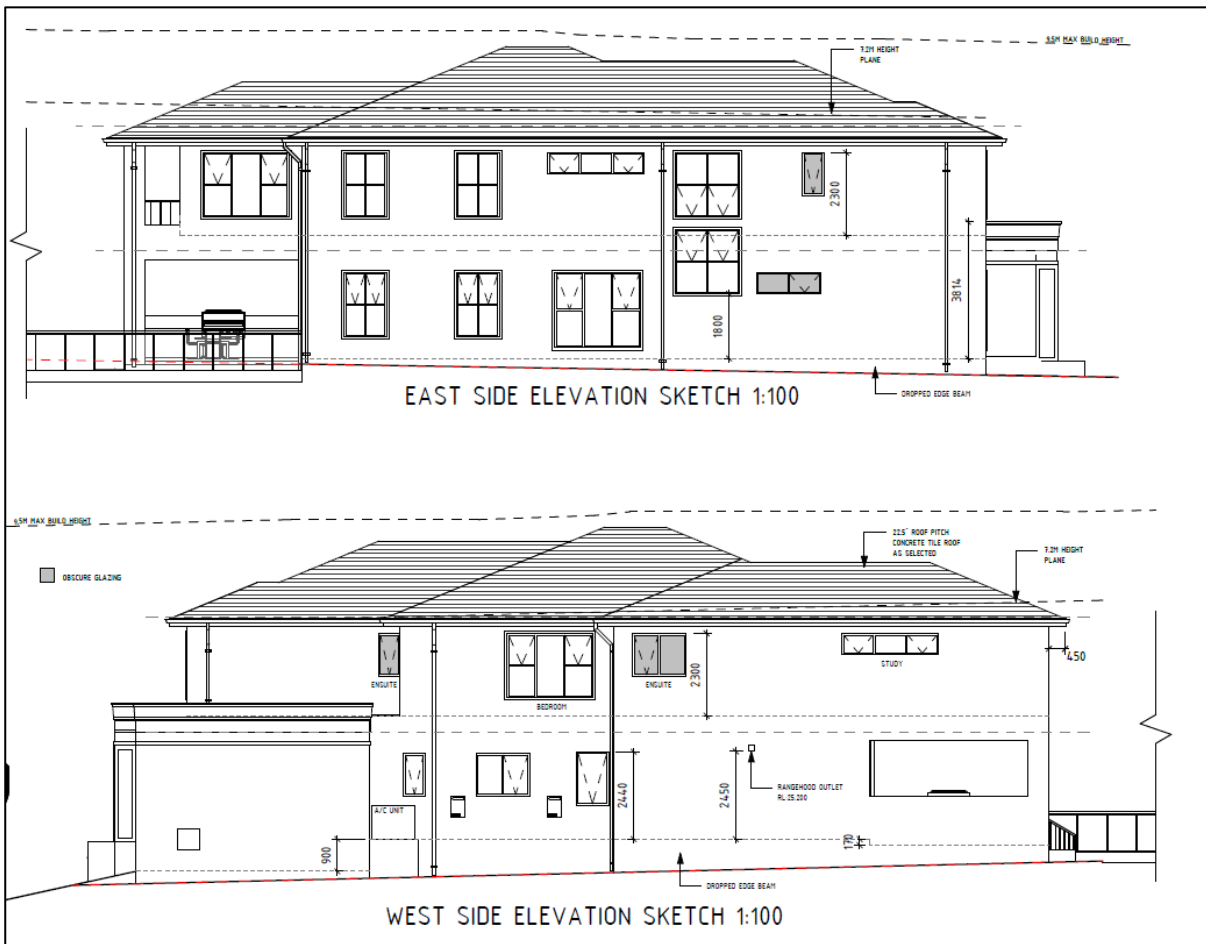


Figure 8: East and west elevation plan

The Site and Locality

The subject site is legally described as Lot 14, Sec 5 in DP 538 and commonly known as 12 Alviston Street Strathfield. It is located off the south side of Alviston Road between Homebush Road and Parsons Ave.

The site is rectangular in shape and has a frontage width of 15.24m to the north, rear boundary width of 15.24m to the south, an average depth of 54.87m and a total site area of 834.7m².

The site slopes from south-east to south-west and has a cross-fall of 1m across the length of the site.

The site is occupied by a dwelling and in-ground swimming pool. Vehicular access is provided to the site via an existing driveway to an existing parking area located eastern side of the property.

The current streetscape is characterised by a mixture of low density residential development. Architectural styles vary with single and double storey dwellings with pitched roofing with brick and rendered façades. Some modern style examples exist along the street.

DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)



Figure 9: Front view of 12 Alviston Street.



Figure 10: View of western-adjointing neighbouring property at 14 Alviston Street.

DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)



Figure 11: View of eastern-adjointing neighbouring property at 10 Alviston Street.



Figure 12: View across the street facing North.

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)



Figure 13: View of the streetscape looking west.

Background

- 1 November 2021** The subject application was lodged.
- 4 November 2021** The application was notified as per Council's Community Participation Plan, with the final date for public submissions being 18 November 2021. Four submissions were submitted during this period.
- 4 November 2021** A site visit was undertaken by Assessing Officer.
- 18 November 2021** A deferral letter was sent to the applicant raising the following issues:
- Landscaping; and
 - Bulk and Scale.
- 9 December 2021** The applicant provided additional information to address the issues raised in the letter.

Referrals – Internal and External

Stormwater

Council's Development Engineer provided the following advice:

"An assessment has been made based on the flooding characteristics and topography of the site, the proposed stormwater system and the finished floor levels of the development. Subject site has natural fall to the front hence enabling the applicant to submit a compliant design. The site discharges to the street kerb and gutter by gravity pipe means via boundary pit. From engineering perspective, concept plan is feasible and there are no objections raised."

**DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)**

Accordingly, Council's Developer Engineer offered no objections to the proposal subject to the imposition of conditions. Further, a condition will be imposed that includes the proposed flood report.

Trees

Council's Tree Management Officers provided the following advice:

- i) *Proposed tree removal accepted. One (1) of the three (3) replacement trees should be planted at the front of the property.*

Accordingly, Council's Tree Management Officer offered no objections to the proposal subject to the imposition of conditions.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
(i) any environmental planning instrument,

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> Chapter 2 – Vegetation in non-rural areas Chapter 10 – Sydney Harbour Catchment 	Yes Yes
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> Chapter 4 – Remediation of land 	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in non-rural areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

**DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)**

There are six (6) trees on the subject site that are proposed to be removed. These are comprised of:

Front yard

- 1 x *Pyrus ussuriensis* (Tree 2)
- 1 x *Plumeria rubra* (Tree 3)

Rear yard

- 1 x *Jacaranda mimosifolia* (Tree 4);
- 1 x *Robinia pseudoacacia* "Frisia" (Tree 5);
- 1 x *Murraya paniculata* (Tree 6); and
- 1 x *Archontophoenix cunninghamiana* (Tree 8)

Tree 1 (*Tristanopsis collina*) and Tree 7 (*Juniperus sabina*) are to be retained in situ, within a neighbouring property and on the road reserve.

The proposal was referred to Council's Tree Management Officer for comment. No objections are raised to the removal of six (6) trees on the site to accommodate the proposed development subject to replacement planting of three (3) new trees on the site. Specifically, one (1) tree is to be planted in the front yard. The retention of Tree 1 and Tree 7 is supported. Suitable conditions of consent have been recommended ensuring compliance with these requirements.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Chapter 10 – Sydney harbour Catchment

All stormwater from the proposed development as modified can be treated in accordance with Council's Stormwater Management Code and would satisfy the relevant planning principles of Chapter 10 - Sydney Harbour Catchment

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021**Chapter 4 – Remediation of land**

Chapter 4 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

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 LOT 14 SEC 5 DP 538 (Cont'd)

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	9.4m	Compliant
4.4 Floor Space Ratio	0.55:1 (459.1m ²)	0.52:1 (434m ²)	Compliant

The amended proposal features a compliant floor space ratio (FSR) which has been calculated in accordance with the definition of "Gross floor area" under the SLEP 2012. Accordingly, the garage and void areas have not been included.

Concern for the large void area above the living room which results in additional and unnecessary bulk to the development. It was therefore suggested in the submitted Request for Additional Information Letter that the master bedroom utilise this void space so to reduce the bulk and overall scale of the building. The amended plans have failed to address this matter and have retained the original proposal with the same void spaces. Remediation of the bulk is sought through design change conditions that have been outlined and discussed below.

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is not listed as a heritage item or located within a Heritage Conservation Area. The site does not adjoin a heritage item and as such, the provisions of this clause are not applicable. The proposed development however is opposite heritage item *I211* at 23 Vernon Street and in close proximity to the Vernon Street Conservation Area under *Schedule 5 of the SLEP, 2012*. It is considered that this proposal will not adversely impact the Vernon Street Conservation area and opposite heritage item at 23 Vernon Street.

Flood Planning

The subject site has been identified as being at or below the flood planning level. The proposed finished floor level of habitable rooms is 0.5m above the 100 year flood level of RL 22.25. The application has been reviewed by Council's Engineer who has advised that subject to suitable conditions, the development is considered compatible with the flood hazard of the land, will not result in significant adverse effects on flood behaviour or environment and is not likely to result in unsustainable social and economic loss. The proposed development is considered to satisfy the objectives of this clause.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

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 LOT 14 SEC 5 DP 538 (Cont'd)

Earthworks

The proposal does not include any significant excavation or basement works. Any excavation for footings or levelling of the site is considered to be minor and will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council’s stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Floor Space Ratio:	0.55:1	0.52:1	Compliant
Heights: Building height: Floor to ceiling heights:	9.5m 3.0m	9.4m 6.2m	Compliant No – See comments below
Height to underside of eaves: Number of Storeys/Levels:	7.2m 2	7.1m 2	Compliant Compliant
Setbacks: Front: Side: Side: Combined Side Setback: Rear:	9m 1.2m (min) 1.2m (min) 3.048m (20%) 6m	9.84m 1.58m (East) 1.525m (West) 3.105m 19.494m	Compliant Compliant Compliant Compliant Compliant
Landscaping			
Landscaping/Deep soil Provisions:	45% (375.6m ²)	45.1% (376.5m ²)	Compliant
Fencing			
Height (overall/piers): Solid Component:	1.5m (maximum) 0.7m	0.9m 0.0m	Compliant Compliant
Solar Access			

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

POS or habitable windows	3hrs to habitable windows and to 50% of POS	Min. 3hrs provided	Compliant
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Compliant
Vehicular Crossing:	1	1	
Driveway setback – side:	0.5m	1.5m	
No. of Parking Spaces:	2	2	
Ancillary Development			
OUTBUILDINGS			
Area:	40m ²	39.9m ²	Compliant
Height:	3.5m	3.5m	Compliant
Side/Rear setback:	0.5m	1.5m (rear) 1.58 (eastern side)	Compliant
SWIMMING POOL			
Side/Rear Setback	1.0m	1.58m	Compliant

Building Envelope

Subject to relevant conditions the proposed development satisfies the objectives and controls within the development control plan relevant to:

- Building Scale, height and floor space ratio
- Rhythm of Built Elements in the Streetscape,
- Fenestration and External Materials, and
- Street Edge

Void Spaces, Bulk, Scale and Amenity

The void above the formal living room provides minimal additional solar amenity and limited additional solar access with the majority of the glazing to the void facing south. The void will receive some eastern sun for part of the day. It was identified in the Request for Further Information Letter that this void results in the projection of bedroom 1 out over the rear alfresco area thus creating additional and unnecessary bulk particularly along the western side boundary of the site. The master bedroom could easily be accommodated within this void space so to reduce the bulk and scale of the dwelling and remove the need to extend beyond the ground floor footprint below.

The Applicant did not make any changes to reduce bulk and scale and was relying upon a Development Approval from 2014 on a separate site to claim a precedence. Council considers all applications on its merits. Precedence is no cause for a variation in this regard.

Council does not consider there to be reasonable merit to support a void of this size. It is evident that a large portion of the second level western elevation contributes to unnecessary bulk of the dwelling. The consequence of the excessive void area is that it pushes habitable spaces to the western elevation. This is particularly evident where the master bedroom further extends the wall on the western elevation to exacerbate the lack of articulation.

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 LOT 14 SEC 5 DP 538 (Cont'd)

Therefore it will be conditioned that design changes are made prior to a Construction Certificate. The condition shall read:

*Prior to the issue of a Construction Certificate, amended plans are to be submitted to and approved by Council which details the following:
 The void area is to be deleted and master bedroom reconfigured to utilise this space and more closely align with the ground floor building footprint so that the master bedroom does not protrude over the alfresco area.*

The void above the entry way is accepted as it is contained to a small portion of the front entrance. It is acknowledged that the floor to ceiling height in this area would be 6.2m and is accepted due to the function of a void. To ensure that the void space above the entry way remains a void an ongoing condition will be included in the consent.

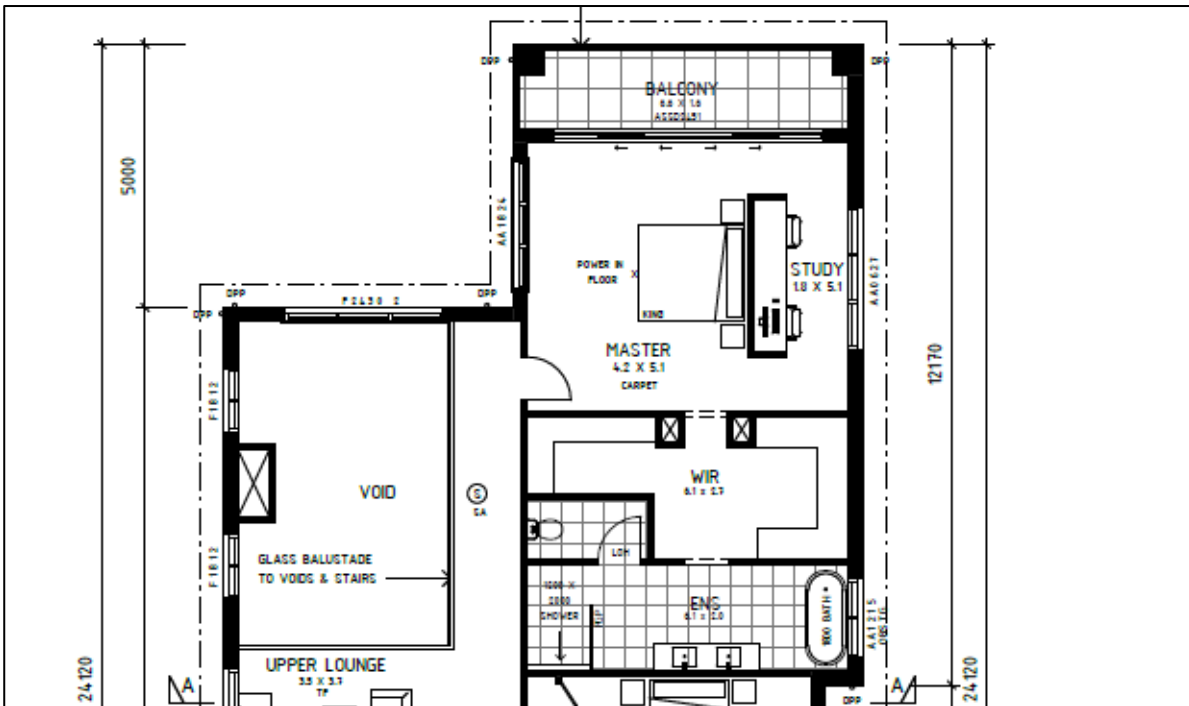


Figure 14: Master bedroom location and void spaces above living room.

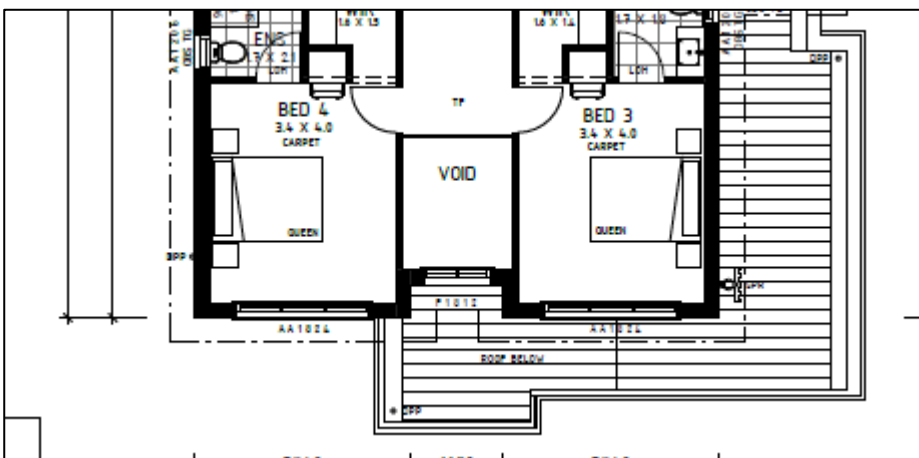


Figure 15: Void above foyer/entry

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LOT 14 SEC 5 DP 538 (Cont'd)**

Subject to the above condition, on balance, the general massing, scale and presentation of the development is considered appropriate and corresponds to site size. The appearance of the architectural design has included a mixture of materials and modulation and recessing of components throughout the development to mitigate bulk and scale whilst providing visual interest that is visible to the street frontage. The overall aesthetic and bulk of the final conditioned scheme is considered compatible and consistent within the streetscape and thus, an acceptable outcome for the site.

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. The development is considered to enhance the existing streetscape, adequate areas for deep soil planting have been provided and can accommodate large canopy trees and where possible trees have been retained and protected.

The proposed landscape plan includes two (2) canopy trees. It has been conditioned as recommended by Council's Tree Management Officer, that three (3) canopy trees, two (2) in the back yard and one (1) in the front are to be provided.

Fencing

The proposed front and side fencing satisfies the relevant objectives and controls within SCDCP 2005. It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

Solar Access

Given the orientation of the site, solar access to windows of habitable rooms and to at least 50% of the private open space is achieved or maintained for a minimum period of 3 hours between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDCP 2005.

Privacy

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005, in that adequate privacy is maintained between adjoining properties and any potential overlooking is minimised. Windows are offset from adjoining dwellings where required, they are screened, obscured or off low active use rooms so as not to negatively impact on adjoining properties. Balconies are either screened, setback or of limited size so as to not impact on the amenity or privacy of the adjoining dwellings whilst providing good amenity to the occupant of the dwelling. Specifically the ground floor laundry window aligns with the adjoining neighbour's property. The laundry window of the proposed development is to have opaque glass to mitigate any privacy impacts. This will be imposed by way of conditions.

Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions.

The subject site currently has 2 vehicle access crossovers, only one has a driveway into the property. A condition will be imposed to reinstate the kerb and road reserve to the existing eastern crossover that will not be used as the driveway.

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Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduced site disturbance. Existing trees and shrubs have been retained where possible and ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURES

Outbuildings

The proposed development satisfies the relevant objectives and controls the SCDCP 2005 complying with the height, setbacks and floor space controls.

A condition will be imposed to ensure it is not used as a separate domicile.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen panting if required. The pool pump equipment has been located in a sound proof enclosure and the pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the swimming pools act and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

PART O – Tree Management (SCDCP 2005)

The proposal was referred to Council's Tree Management Officer, no objections are raised to the removal of six (6) trees on the site and the retention and protection of two (2) trees adjacent to the site, subject to replacement planting of three (3) trees; one (1) of which is to be in the front yard. Relevant consent conditions will be imposed. It is considered that this plan adequately address Part O and considered satisfactory.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

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The requirements of Australian Standard *AS2601–1991: The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) *the suitability of the site for the development,*

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) *any submissions made in accordance with this Act or the regulations,*

In accordance with the provisions of Council's Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. There were four (4) submissions were received raising the following concerns:

1. Opposition to tree removal

This concern was raised by two separate submitters. The proposal includes the removal of six (6) trees and replacement planting of two (2) canopy trees. Council's Tree Management Officer supports the removal of the six (6) trees, however a condition has been imposed to ensure 3 (three) replacement canopy trees are planted. The landscape plan also includes approximately ninety (90) individual smaller trees of the Lilly Pilly variety. On balance the landscape area is enhanced and is deemed an appropriate outcome for the site which will assist in softening the built form.

2. Privacy toward 14 Alviston Street

Bathrooms on the western elevation: both bathroom windows will be entirely obscured to mitigate from any overlooking or privacy concerns. This is deemed an appropriate solution and no further changes required.

Bed 3 balcony: the balcony has a privacy screen that is deemed sufficient in mitigating against any overlooking effects towards 14 Alviston Street. Further the balcony is deemed low-usage coming off the main bedroom. This proposed is deemed appropriate and no further changes are required.

3. Kitchen Range hood outlet

Occupant at 14 Alviston Street raised concern for the location of the kitchen range hood outlet which is in close proximity to their carport. The proposed outlet is proposed to be located at a height of RL25.20 AHD with the height of the carport roof measuring RL24.37 AHD according to the submitted survey plan. Accordingly, the outlet will sit above the carport roof and unlikely to adversely affect adjoining neighbours.

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LOT 14 SEC 5 DP 538 (Cont'd)

4. **Contribution to heritage value of the area**

The subject site is not a heritage item nor is it in within the heritage conservation area. There are no heritage planning controls that relate to restrictions on developing this property, regardless of being within proximity to heritage items and conservation area. It is considered that this proposal does not impact negatively on the Vernon Street Conservation area nor does it detract from the heritage item, opposite at 23 Vernon Street.

Heritage items and Conservation Areas have gone through the comprehensive Local Environmental Plan process and 12 Alviston Street has been omitted. This proposed is deemed appropriate and no further changes are required in this regard.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Based on the Cost of Works of \$1,420,000.00 and in accordance with Council's s7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows;

Local Amenity Improvement Levy	\$14,200.00
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Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the Environmental Planning and Assessment Act 1979, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/280 should be approved subject to conditions.

Signed:



**L Fanayan
Planner**

Date: 17 March 2022

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;
- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed and concurred with.



Signed:
L Gibson
Senior Planner

Date: 23 March 2022

That Development Application No. DA2021.280 for Demolition of existing structures, removal of six (6) trees and construction of a two (2) storey dwelling house, in-ground swimming pool, detached studio with cabana and associated landscaping works at 12 Alviston Street Strathfield be **APPROVED**, subject to the following conditions:

DEVELOPMENT DETAILS

1. **Approved Plans & Documentation**

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Plan	J1594 Page 2 of 13	15 October 2021	C	Atria Designs
Site Management	J1594 Page 3a of 13	15 October 2021	C	Atria Designs
Sediment Control	J1594 Page 3b of 13	15 October 2021	C	Atria Designs
Ground Floor Plan	J1594 Page 4 of 13	15 October 2021	C	Atria Designs

DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)

First Floor Plan and Driveway Profile	J1594 Page 5 of 13	15 October 2021	C	Atria Designs
Roof Plan	J1594 Page 6 of 13	15 October 2021	C	Atria Designs
Elevations	J1594 Page 7 of 13	15 October 2021	C	Atria Designs
East and West Elevations	J1594 Page 8 of 13	15 October 2021	C	Atria Designs
Section	J1594 Page 10 of 13	15 October 2021	C	Atria Designs
Demolition Plan	J1594 Page 12 of 13	15 October 2021	C	Atria Designs
Stormwater Plans	200318 – CO1 to 200318 – CO2	30 August 2021	A	Development Engineering Solutions
Landscape Plans	LPDA 22 – 96/1 to LPDA 22 – 96/3	18 October 2021	C	Conzept Landscape Architects
Front Fence Plan	LPDA 22 – 96/4	18 October 2021	C	Conzept Landscape Architects
Schedule Colours and Finishes	12 Alviston Street Strathfield NSW	-	-	Horizon Homes
Description	Reference No.	Date	Revision	Prepared by
Waste Management Plan	-	21 October 2021	-	Jeremy Moy
Flood Study Report	12 Alviston St, STRATHFIELD NSW	September 2021	-	Development Engineering Solutions
Arborist Report	7545	20 September 2021	-	Redgum Horticultural

DA2021.280- 12 Alviston Street Strathfield
 LOT 14 SEC 5 DP 538 (Cont'd)

BASIX Certificate	1236679S_03	2 September 2021	-	Frys Energywise
Survey Plan	21194	29 March 2021	A	Richard Hogan & Co. Surveying and Development Consultants

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

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These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

4. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

5. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

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Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://longservice.force.com/bci/s/levy-calculator	\$ 4,970.00
Security Damage Deposit	\$ 15,000.00
Administration Fee for Damage Deposit	\$ 130.00
Tree Bond	\$ 10,150.00
Administration Fee for Tree Bond	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Indirect (Section 7.12) Contributions	\$ 14,200.00

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution (s94A) has been levied on the subject development pursuant to the Strathfield Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

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6. **Damage Deposit – Minor Works**

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$15,000.00
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

7. **Tree Bond**

A tree bond of \$ 10,150.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

8. **Site Management Plan**

Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

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9. **Required Design Changes**

The following changes are required to be made and shown on the Construction Certificate plans:

Amendments made in red on approved plans	Prior to the issue of a Construction Certificate, amended plans are to be submitted to and approved by Council which details the following: <ul style="list-style-type: none"> - The void area is to be deleted and master bedroom reconfigured to utilise this space and more closely align with the ground floor building footprint so that the master bedroom does not protrude over the alfresco area
Laundry Glass	Amended plans are to show the ground floor laundry window as having opaque glass.

10. **BASIX Commitments**

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1236679S_03 must be implemented on the plans lodged with the application for the Construction Certificate.

11. **Erosion & Sedimentation Control**

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004](#).

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

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12. **Stormwater System**

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

13. **Driveway Surface Waters**

For driveways on private property sloping to the street and greater than 10 metres in length, drainage control devices such as humps or grated surface inlet pits shall be installed at the front boundary in order to control excess stormwater flowing across Council's footpath.

14. **Compliance with Flood Study**

The development shall be designed to conform to the recommendations and conclusions of the submitted flood study report prepared by Development Engineering Solutions dated September 2021.

This shall include, but not be limited to, any recommendations for the following:

- (a) Minimum floor levels
- (b) Fencing
- (c) Site regrading
- (d) Overland flow path construction

Evidence from professional engineer that specialises in hydraulic engineering that all design requirements have been adhered to shall be submitted with the Construction Certificate application.

15. **Stormwater Drainage Plan Details**

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

16. **Compliance with Swimming Pool Act 1992**

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

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17. Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
- (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) the swimming pool must not be used for commercial or professional purposes;
- (d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

18. Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

19. Compliance with Submitted Arborist Report

The recommendations outlined in the Arborist's Report titled ***Arboricultural Impact Assessment & Tree Management Plan*** prepared by ***Red Gum Horticultural dated 20 September 2021*** must be implemented throughout the relevant stages of construction. Details of tree protection measures to be implemented must be detailed and lodged with the Construction Certificate application for approval and shall be in accordance with Section 4 - *Australian Standard AS 4970-2009: Protection of trees on development sites*.

The tree/s to be protected are listed in the table below.

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Tristaniopsis sp	Street tree located front of 12 Alviston Street	4.8 metres
7	Juniperus sabina	Neighbouring tree located 13 Woodward Avenue	2.4 metres

20. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Tristaniopsis sp	Street tree located front of 12 Alviston Street	4.8 metres

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7	Juniperus sabina	Neighbouring tree located 13 Woodward Avenue	2.4 metres
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Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Excavation works near tree to be retained

- (h) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (i) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (j) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

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21. Tree Removal & Replacement

Tree removal

Permission is granted for the removal of the following trees:

Tree No.	Tree species	Number of trees	Location
2	Pyrrus ussuriensis	1	12 Alviston Street Strathfield
3	Plumeria rubra	1	12 Alviston Street Strathfield
4	Jacaranda mimosifolia	1	12 Alviston Street Strathfield
5	Robinea pseudoacacia	1	12 Alviston Street Strathfield
6	Murraya paniculata	1	12 Alviston Street Strathfield
8	Archontophoenix cunninghamiana	1	12 Alviston Street Strathfield

General Tree Removal Requirements

All tree removal shall be carried out by a certified Tree Surgeon/Arborist to ensure that removal is undertaken in a safe manner and complies with the AS 4373-2007 - Pruning of Amenity Trees and Amenity Tree Industry Code of Practice (Safework NSW, August 1998).

Tree Replacement

All trees permitted to be removed by this consent shall be replaced [by three (3) trees] by species selected from Council's Recommended Tree List and must have a minimum mature height of 10 metres.

Replacement trees shall be a minimum 50 litre container size. Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

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A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)**22. Demolition & Asbestos**

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

23. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

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24. **Demolition Work Involving Asbestos Removal**

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

25. **Dial Before You Dig**

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

DURING CONSTRUCTION

26. **Hours of Construction for Demolition and Building Work**

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence

27. **Ground Levels and Retaining Walls**

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

28. **Obstruction of Road or Footpath**

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

29. **Swimming Pools – Filling with Water**

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the PCA.

30. **Excavation Works Near Tree to be Retained**

Excavation around the tree/s to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not be adversely affected.

Where the Tree Protection Zone of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major

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roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.

31. Tree Removal on Private Land

The trees identified as 'to be removed/pruned' on the approved plans or by conditions of this consent shall be removed in accordance with *AS4373 -2007* and the *Amenity Tree Industry Code of Practice* (SafeWork NSW, August 1998).

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE**32. BASIX Certificate**

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

33. Completion of Landscape Works

The approved landscape works have identified that the side setback area between the dwelling and boundary be nominated as landscaped area to ensure compliance with the minimum landscape area requirements. In this regard, this area shall be maintained as landscaped area and can only be used for growing plants, grasses and trees and cannot include any building, structure or hard paving (including rainwater tanks, air-conditioning units of ground mounted hot water systems).

34. Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

35. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

36. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

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Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

37. Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications.

The work must be completed before the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

38. Maintenance of Landscaping

All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

39. Swimming Pools – Resuscitation Notice

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

40. Private Swimming Pools & Spas – Pump Noise

The swimming pool/spa pump and associated equipment must be located so that the noise emitted does not exceed 5dB(A) above the background level. If this cannot be achieved, a ventilated and sound-proofed enclosure must enclose the pump to achieve the required noise levels.

Swimming pool is to be installed with a timer that limits the recirculation and filtration systems operation such that it does not emit noise that can be heard within a habitable room in any other residential premises (regardless of whether any door or window to that room is open):

- (a) before 8 am or after 8 pm on any Sunday or public holiday, or
- (b) before 7 am or after 8 pm on any other day.

41. Void Space (First Floor)

The first floor void spaces above the foyer/entry way must be retained for so long as the dwelling house is utilised.

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42. **Greywater System**

In order to conserve and re-use water, Council encourages all developments for new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

43. **Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

44. **Appointment of a PCA**

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

45. **Notification of Critical Stage Inspections**

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

46. **Critical Stage Inspections**

The last critical stage inspection must be undertaken by the PCA. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the [Environmental Planning and Assessment Regulation 2000](#).

47. **Notice to be Given Prior to Critical Stage Inspections**

The principal contractor for a building site, or the owner-builder, must notify the PCA at least 48 hours before each required inspection needs to be carried out

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48. **Occupation Certificate**

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

49. **Clause 75 – BASIX Commitments**

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

50. **Clause 69 – Building Code of Australia & Home Building Act 1989**

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

51. **Clause 70 – Erection of Signs**

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

52. **Clause 71 – Home Building Act 1989**

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

ADVISORY NOTES

i. **Review of Determination**

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

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ii. **Appeal Rights**

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. **Lapsing of Consent**

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. **Access to NSW Legislations (Acts, Regulations and Planning Instruments)**

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

v. **Long Service Levy**

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

vi. **Disability Discrimination Act**

This application has been assessed in accordance with the [Environmental Planning and Assessment Act 1979](#). No guarantee is given that the proposal complies with the [Disability Discrimination Act 1992](#). The applicant is responsible to ensure compliance with this and other anti-discrimination legislation. The [Disability Discrimination Act 1992](#) covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which refers to AS1428.1-Design for Access and Mobility.

vii. **Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993**

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (eg. Year/DA 2021/280) and reference this condition number (e.g. Condition 23)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved,

**DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)**

all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

viii. Site Safety Fencing

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

ix. Register your Swimming Pool

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

x. Noise

Council will generally enforce noise related conditions in accordance with the *Noise Guide for Local Government* (<http://www.environment.nsw.gov.au/noise/nglg.htm>) and the *Industrial Noise Guidelines* (<http://www.environment.nsw.gov.au/noise/industrial.htm>) published by the Department of Environment and Conservation. Other state government authorities also regulate the [Protection of the Environment Operations Act 1997](#).

Useful links relating to Noise:

- (a) Community Justice Centres—free mediation service provided by the NSW Government (www.cjc.nsw.gov.au).
- (b) Department of Environment and Conservation NSW, Noise Policy Section web page (www.environment.nsw.gov.au/noise).
- (c) New South Wales Government Legislation home page for access to all NSW legislation, including the *Protection of the Environment Operations Act 1997* and the Protection of the Environment Noise Control Regulation 2000 (www.legislation.nsw.gov.au).
- (d) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au/index.php).
- (e) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au).
- (f) Department of Gaming and Racing - (www.dgr.nsw.gov.au).

xi. Australia Post – Letter Box Size and Location

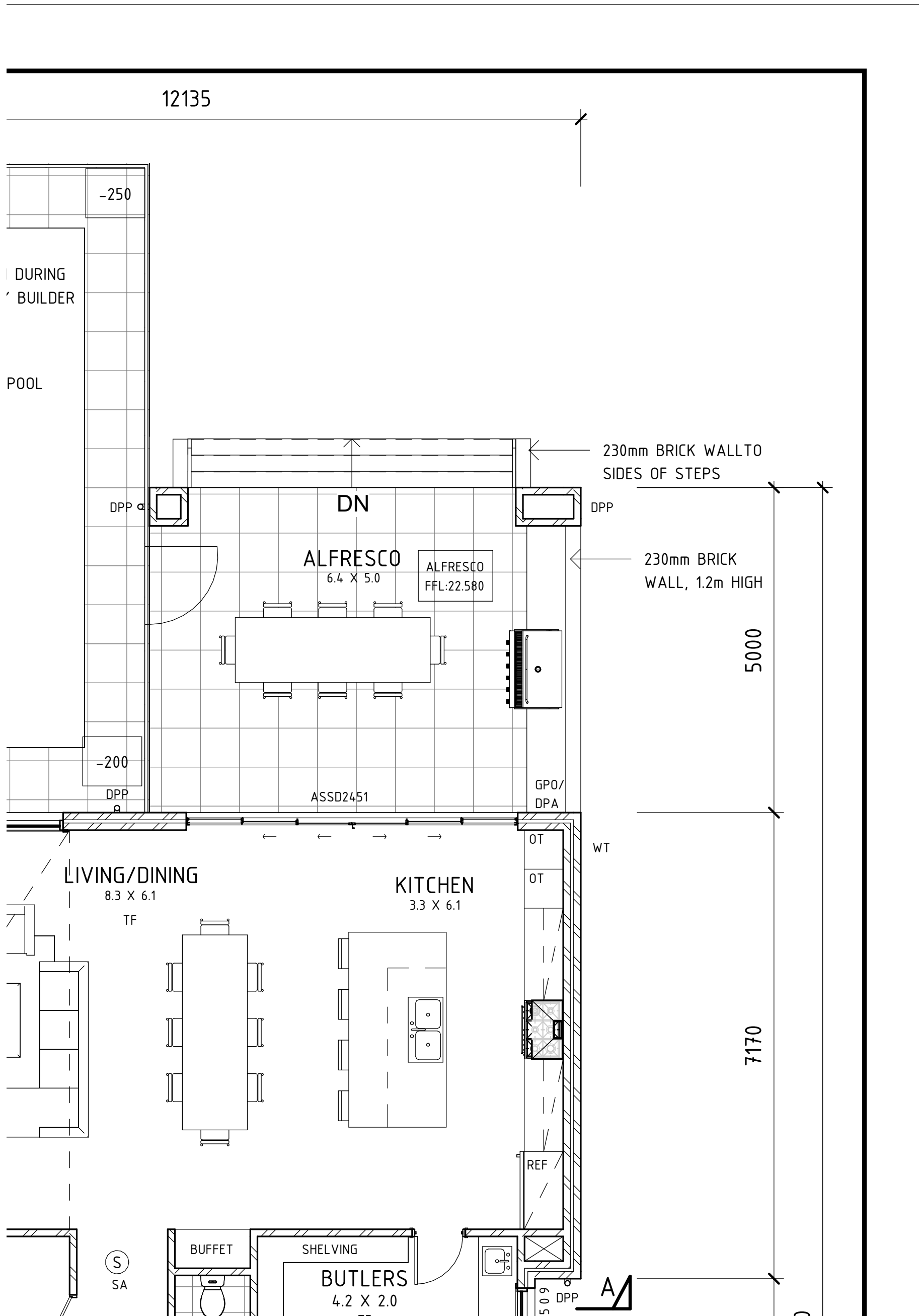
The size and location of letterboxes servicing the development are to comply with the requirements and standard of Australia Post (see attached link: https://auspost.com.au/content/dam/auspost_corp/media/documents/Appendix-02.pdf)

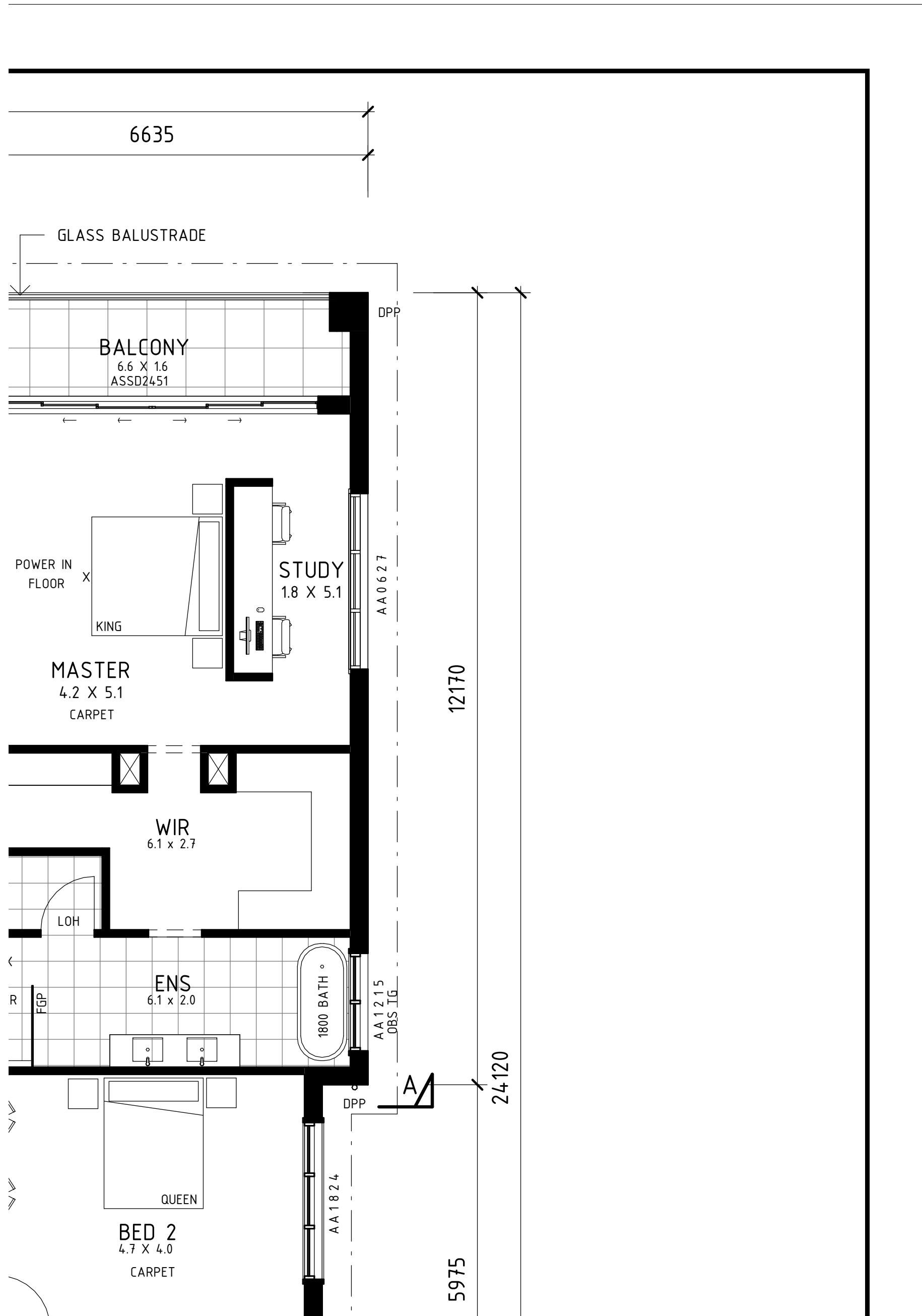
DA2021.280- 12 Alviston Street Strathfield
LOT 14 SEC 5 DP 538 (Cont'd)

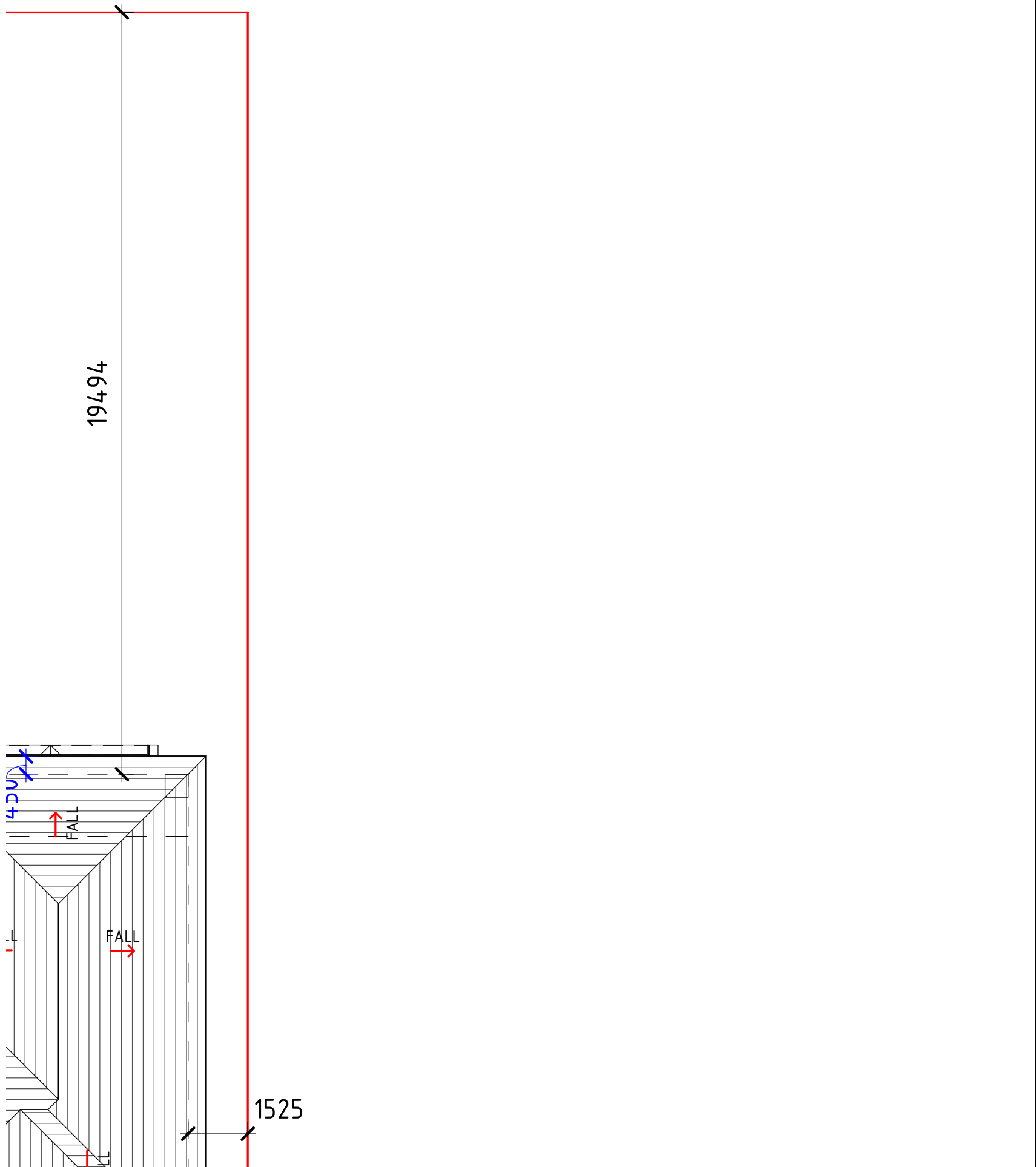
ATTACHMENTS

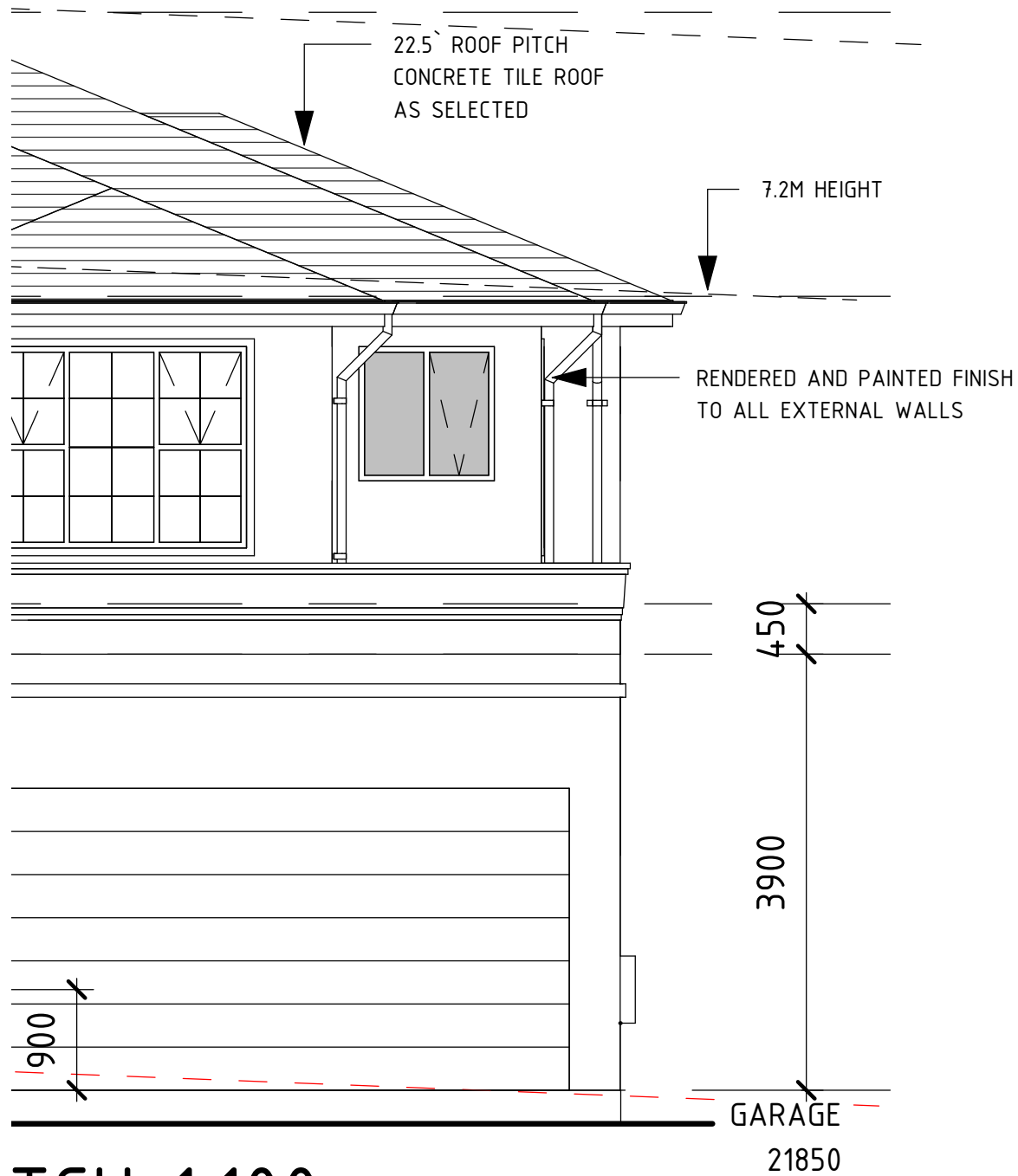
1. [↓](#) DA2021.280 - 1st Amended Plans - 12 Alviston Street Strathfield
2. [↓](#) DA2021.280 - 1st Amended Landscape Plan -12 Alviston Street Strathfield





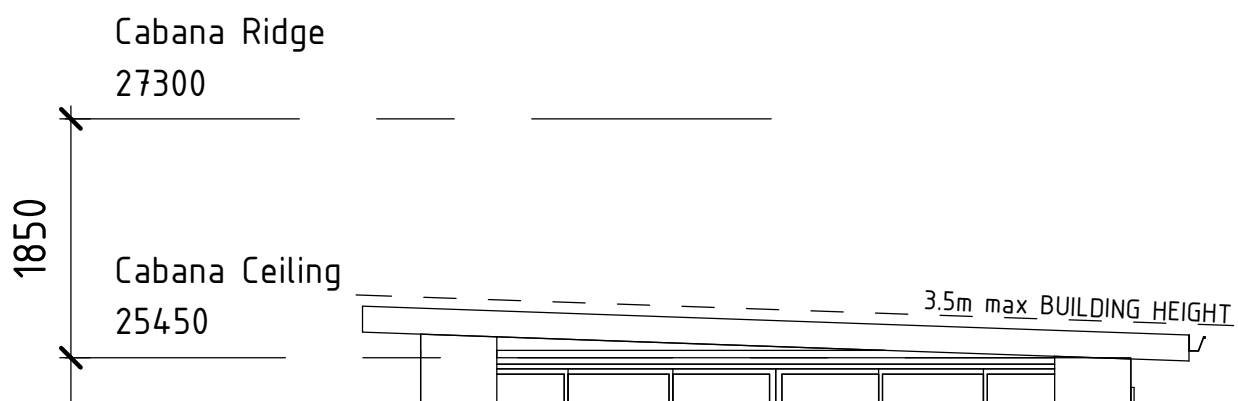


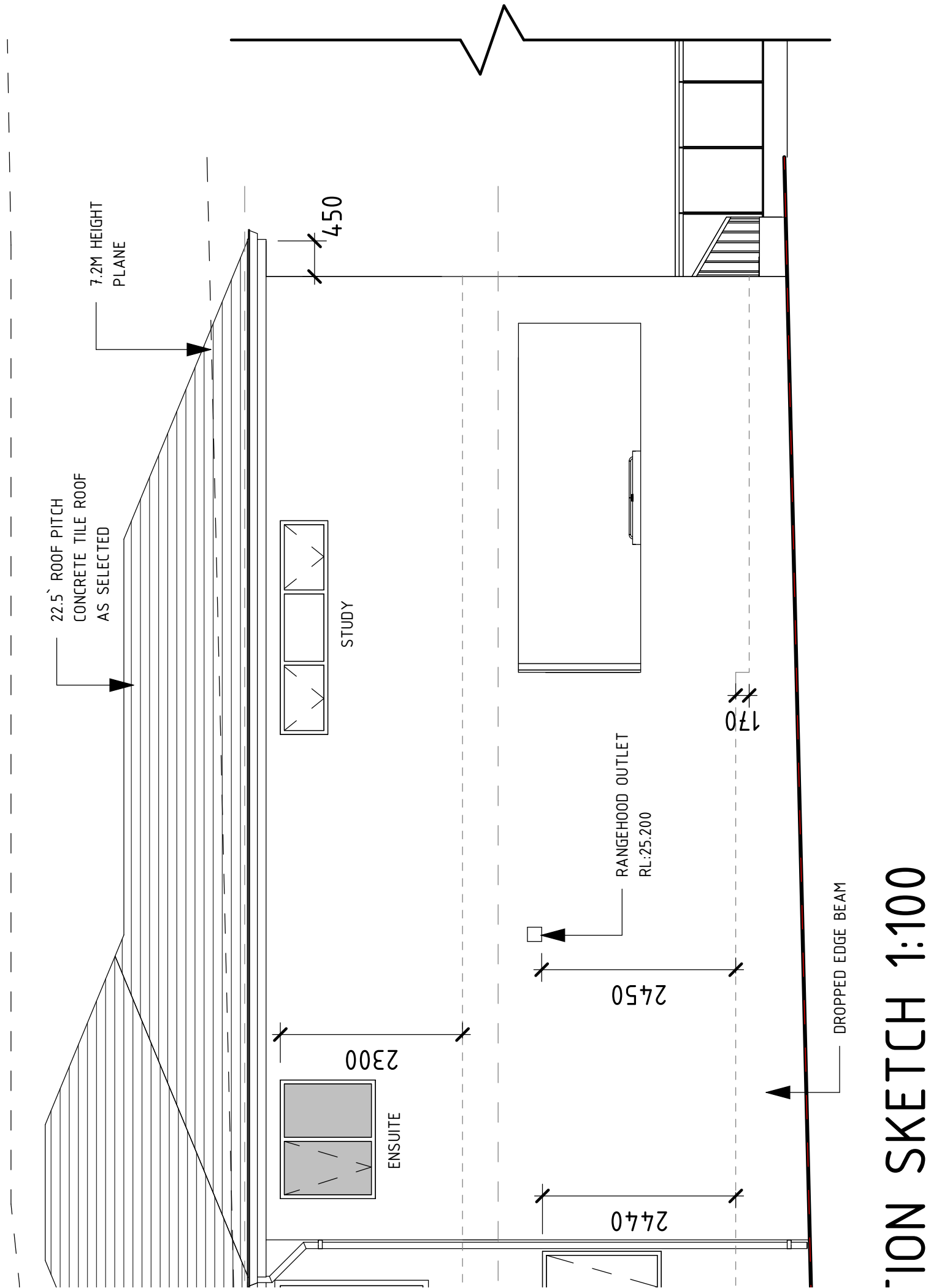




TCH 1:100

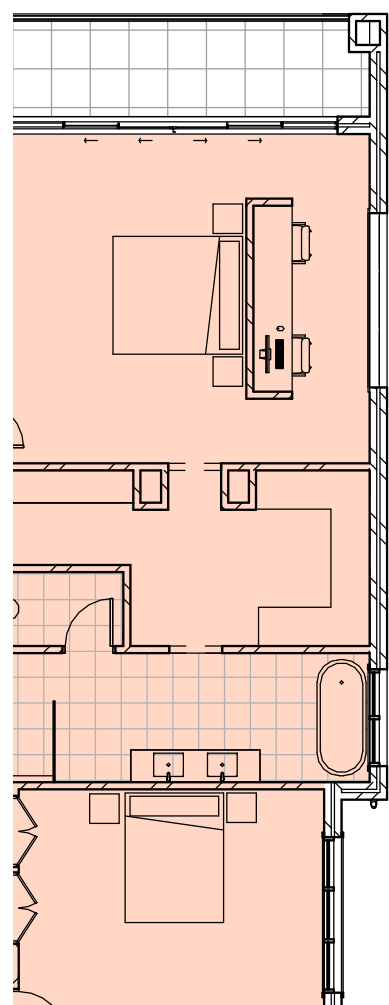
.2M HEIGHT
LANE





STRATHFIELD CITY COUNCIL

34.7m ²		REQUIRED	PROVIDED	COMPLIES
<	TO BUILDING...	9250mm	11250mm	Y
		6000mm	19494mm	Y
	LHS	1525mm	1580mm	Y
	RHS	1525mm	1525mm	Y
		9500mm	9470mm	Y
	TOTAL AREA	45% OR 375.6SQM	45.1% OR 376.7SQM	Y
	FRONT YARD	50% OR 70.5SQM	62.4% OR 88.0SQM	Y
	REAR YARD	50% OR 191.5SQM	50% OR 217.2SQM	Y
		15% or 83.6m ²	36% OR 300.4m ²	Y
		0.5:1 OR 417.35m ²	0.48:1 OR 398m ²	Y
	CUT	NO MAX	-	Y
	FILL	1000mm	1230mm	N



FLOOR AREAS	
GROUND FLOOR AREA	195.5 m ²
PORCH AREA	5.5 m ²
ALFRESCO AREA	33.2 m ²
FIRST FLOOR AREA	234.0 m ²
BALCONY AREA	10.5 m ²
GARAGE AREA	40.0 m ²
CABANA AREA	39.8 m ²
POOL AREA	55.0 m ²
TOTAL FLOOR AREA	613.5 m ² OR 66.04SQS

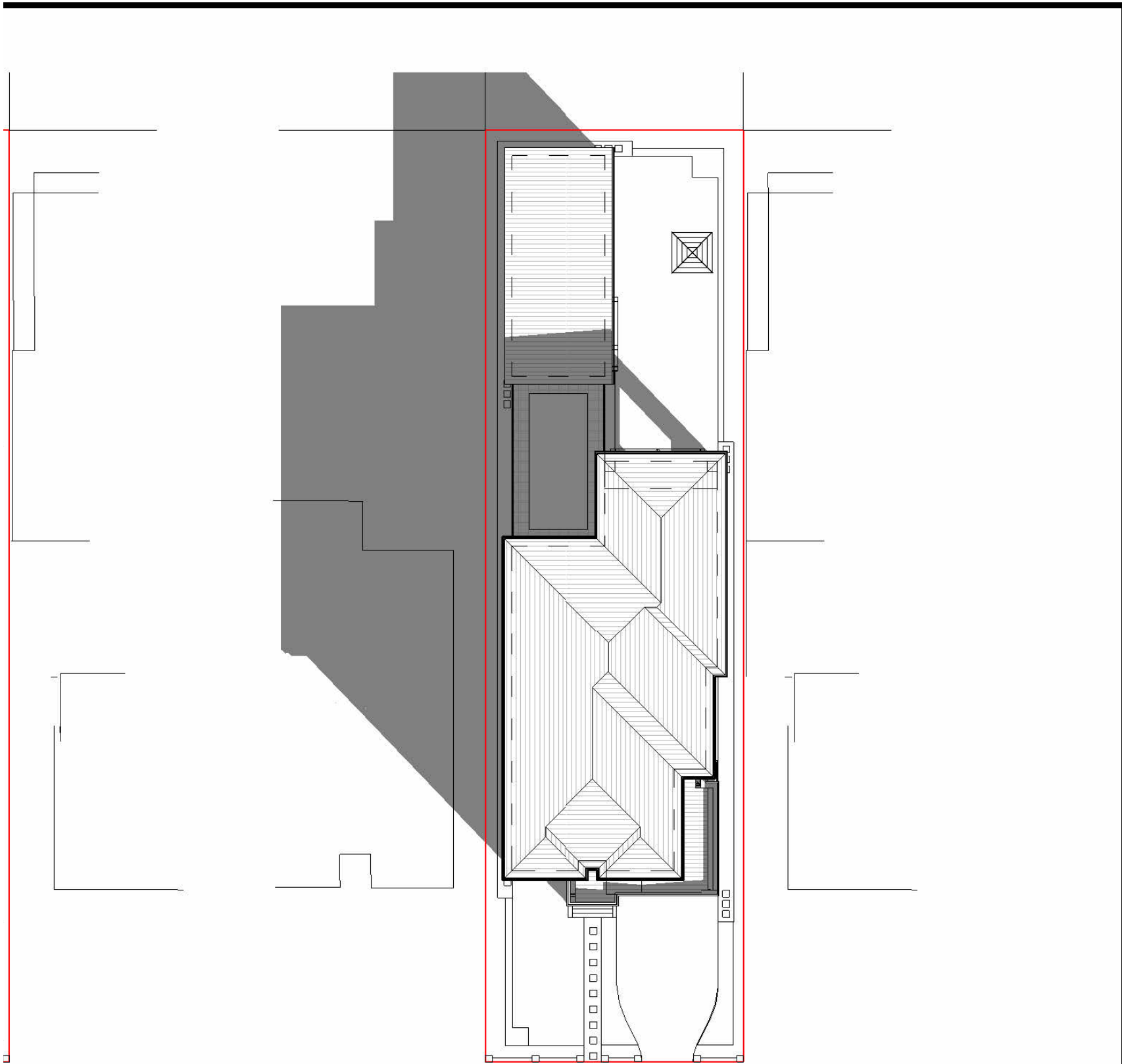


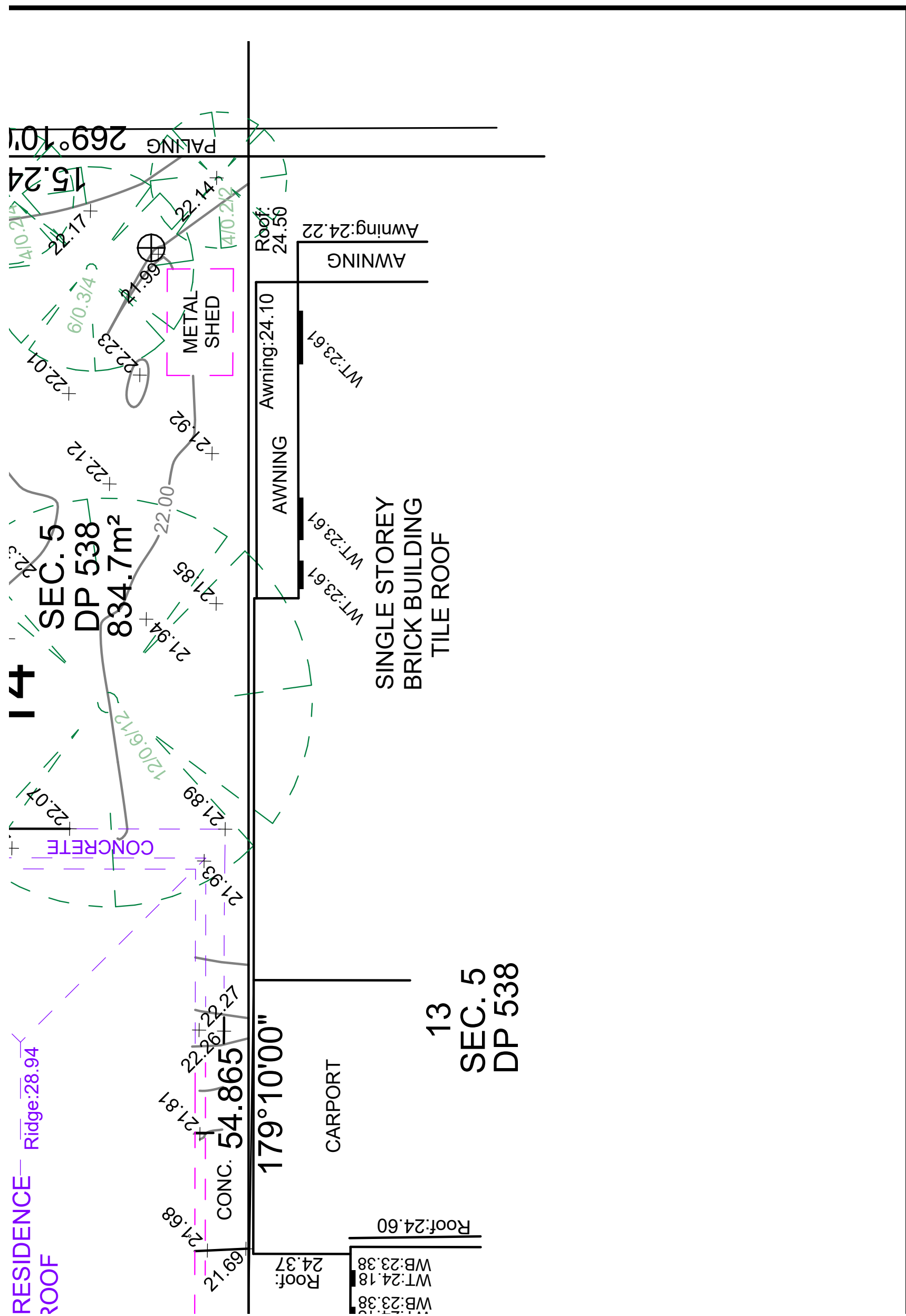
DIAGRAM 3PM SHADOW DIAGRAM
MID WINTER JUNE 21st SHADOWS

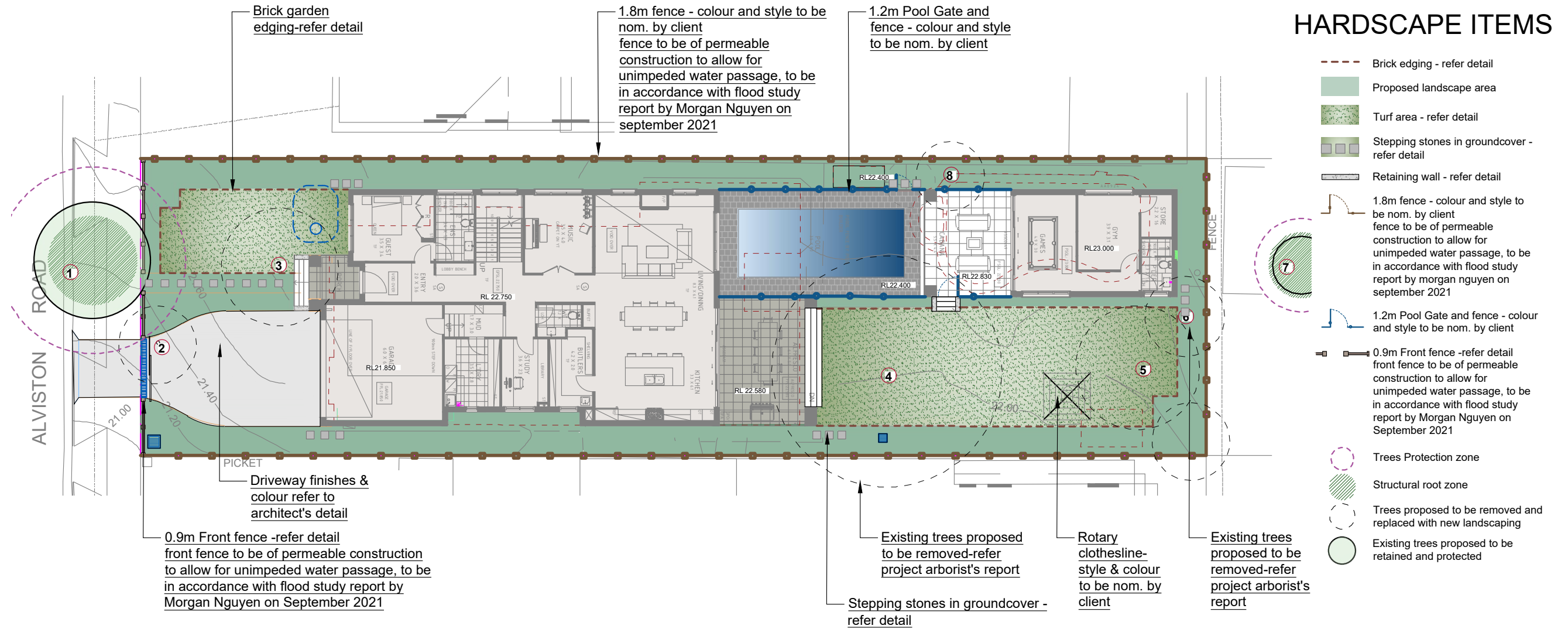
9.5M MAX BUILDING
HEIGHT

COMMITMENTS



Suburb Strathfield	Post Code 2135	State NSW
d	Insulation Internal Walls R2.0	
1st Floor		
	Insulation Sarking	
NATHERS Certificate		
ze	Roof Area to Tank 100% of Roof	
ets ar	Basin Taps 4 Star	Kitchen Taps 4 Star
	Submitting Data Results	





LOCATION PLAN
Scale: NTS



TREE SURVEY

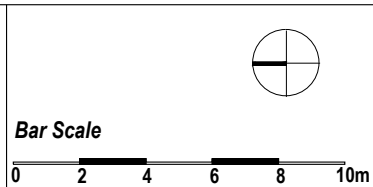
Existing Trees based on Arborists Report by Redgum Horticultural prepared on 20/09/2021

No.#	Species	Size (Ht x Sp)	Condition	Action
1	Tristanopsis collina	5x6	Good	Retain & Protect
2	Pyrus ussuriensis	7x2	Good	Remove
3	Plumeria rubra	4x4	Good	Remove
4	Jacaranda mimosifolia	12x10	Good	Remove
5	Robinia pseudoacacia	6x3	Fair	Remove
6	Murraya paniculata	4x4	Good	Remove
7	Juniperus sabina	6x3	Good	Retain & Protect
8	Archontophoenix	8x4	Good	Remove

DRAWING SCHEDULE

SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	C
/2	LANDSCAPE PLAN	C
/3	DETAILS	C
/4	DETAILS	C
/5	SPECIFICATION	C

General Notes:
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REV	DATE	NOTATION/AMENDMENT
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B	27.09.2021	Issued for DA
C	18.10.2021	Co-ordinated with planner's comments

COUNCIL	STRATHFIELD
CLIENT	Sameer Viswanathan & Preeti Raghavan
ARCHITECT	Horizon Homes
STATUS / ISSUE	DA - ISSUE C



TITLE: **HARDSCAPE PLAN**
PROPOSED RESIDENTIAL DEVELOPMENT
12 ALVISTON STREET STRATHFIELD

DWG.No:	LPDA 22 - 96 / 1
SCALE:	1:200 @ A3
DATE:	OCT 2021
DRAWN:	K.Z
CHECKED:	R.F

LEGEND & SCHEDULE

NOTES:
 1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
 5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES

Botanical Name: *Hymenosporum flavum*
Common Name: Native Frangipani (Native)
Pot size: 75Lt
Mature H x S: 8m x 5m
Qty Required: 1

Botanical Name: *Pyrus calleryana 'Bradford'*
Common Name: Ornamental Pear (Exotic)
Pot size: 200Lt
Mature H x S: 10m x 5m
Qty Required: 1

SHRUBS AND HEDGES

Botanical Name: *Rhaphiolepis indica 'Snow Maiden'*
Common Name: Indian Hawthorn (Exotic)
Pot size: 200mm
Mature H x S: 0.75-1m x 0.5m
Qty Required: 28

Botanical Name: *Thryptomene saxicola*
Common Name: Rock Thryptomene (Native)
Pot size: 200mm
Mature H x S: 0.5m x 1m
Qty Required: 4

Botanical Name: *Syzygium australe 'Pinnacle'*
Common Name: Pinnacle Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 6-8m x 1-1.5m
Qty Required: 56

Botanical Name: *Acmena smithii 'Hedge Master'*
Common Name: Lilly Pilly (Native)
Pot size: 300mm
Mature H x S: 1.5m x 1m
Qty Required: 11

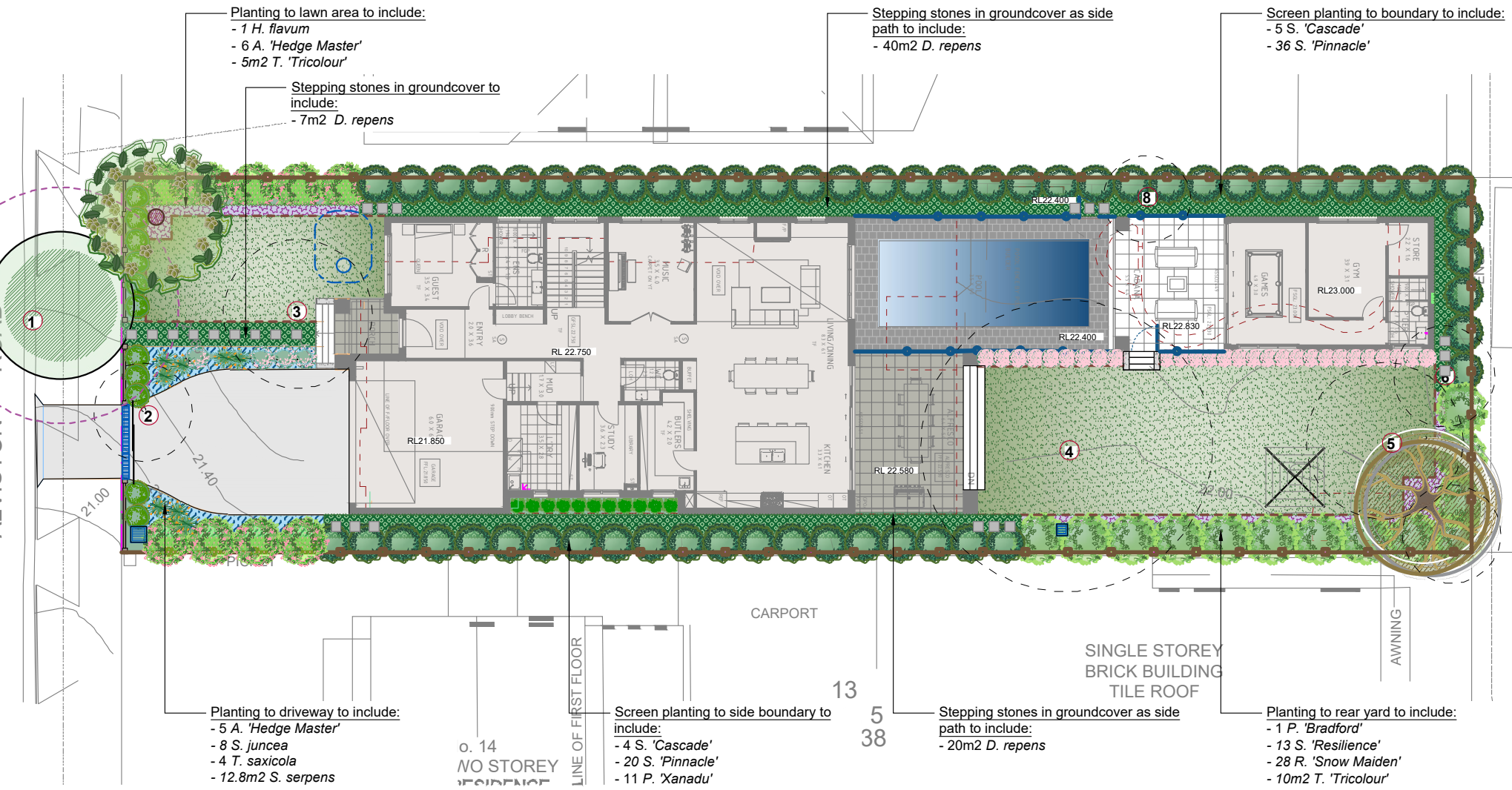
Botanical Name: *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 13

Botanical Name: *Syzygium 'Cascade'*
Common Name: Cascade Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 2.5m x 1.8m
Qty Required: 9

ACCENT PLANTS

Botanical Name: *Strelitzia juncea*
Common Name: Rush-leaved Strelitzia (Exotic)
Pot size: 200mm
Mature H x S: 1.5m x 1m
Qty Required: 8

Botanical Name: *Philodendron 'Xanadu'*
Common Name: Xanadu Plant (Exotic)
Pot size: 200mm
Mature H x S: 0.7m x 0.7m
Qty Required: 11



SAMPLE IMAGES

Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme. Where possible, pits and linework should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas. Where pits and linework occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. Landscape contractors shall not alter the form of swales designed to direct overland flow.

An automated commercial grade irrigation system shall be professionally installed to all garden areas, including raised planters, upper floor planters and gardens in natural ground. The system shall be designed and installed in line with the irrigation performance specification, by a licenced contractor or landscaper. The licenced contractor shall prepare an 'as built' plan of the system to the superintendent for strata records, for future maintenance.

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

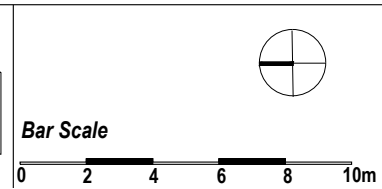
This plan has been prepared with reference to **Strathfield** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site

one-drip rated native plants (*acceptable for BASIX planting*).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

DA approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

General Notes:
 Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF plans may vary slightly in scale from that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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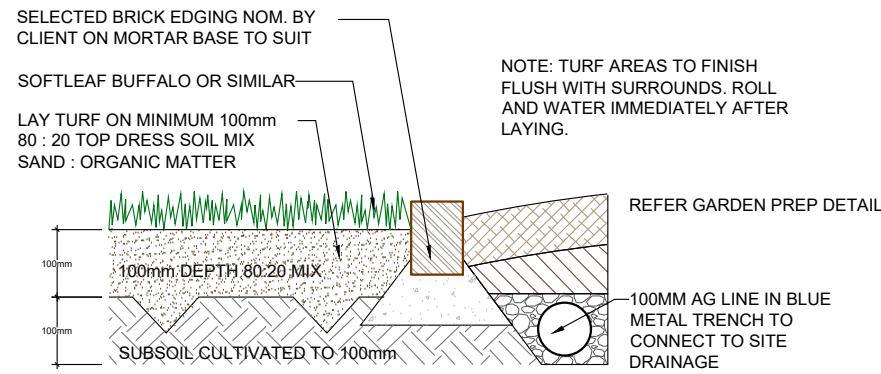


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C	18.10.2021	Co-ordinated with planner's comments

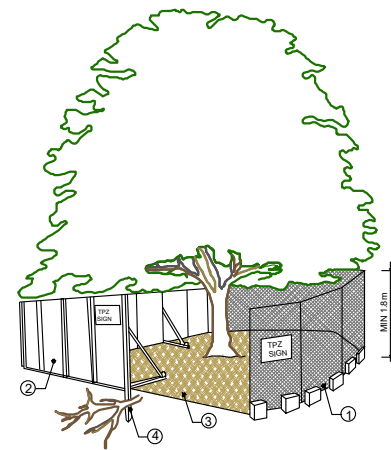
COUNCIL	STRATHFIELD
CLIENT	Sameer Viswanathan & Preeti Raghavan
ARCHITECT	Horizon Homes
STATUS / ISSUE	DA - ISSUED



TITLE:	LANDSCAPE PLAN
DWG No:	LPDA 22 - 96 / 2
SCALE:	1:200 @ A3
DATE:	OCT 2021
DRAWN:	K.Z
CHECKED:	R.F



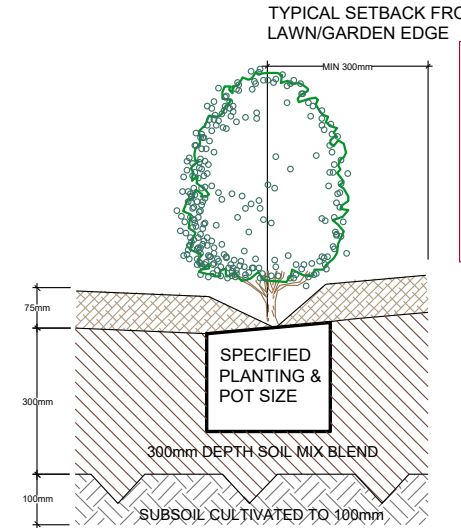
TYPICAL TURF AND BRICK EDGE DETAIL
SCALE: 1:10



1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS
5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF AMENITY TREES

PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

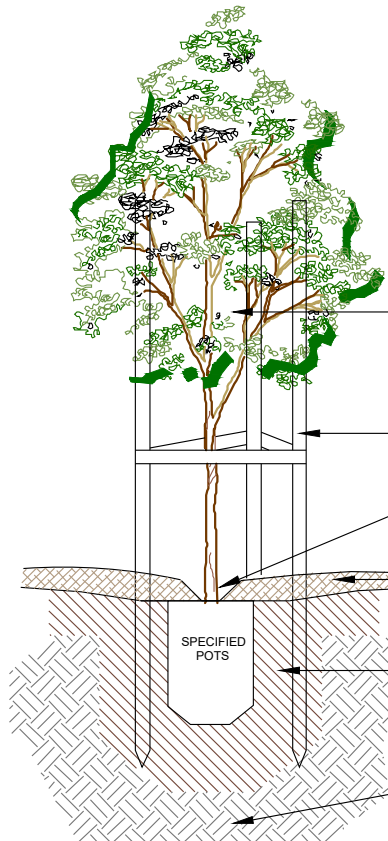
TREE PROTECTION ZONE
N.T.S



NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED.
NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

75mm DEPTH "FOREST FINE" MULCH OR EQUIVALENT
SOIL MIX:
50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL
SCALE 1:10

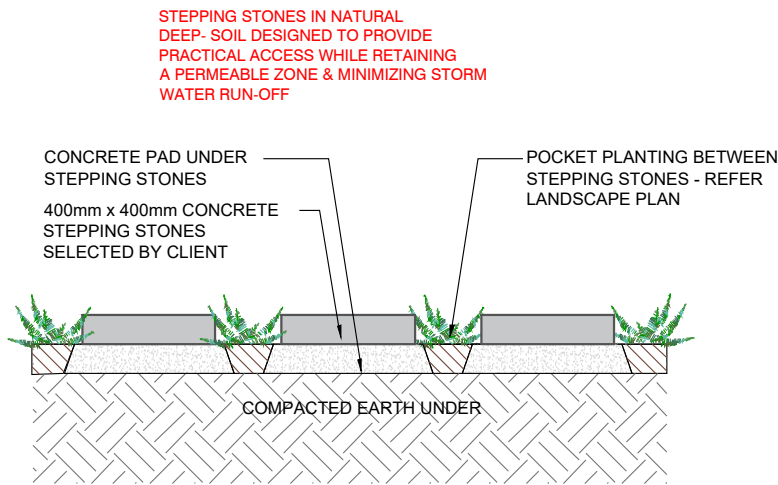


NOTE: DRIP IRRIGATION MAY BE REQUIRED AS NOMINATED BY CLIENT & DESIGNED BY LICENCED CONTRACTOR.
PLANT STOCK SHALL BE SOURCED FROM GROWERS CONFORMING TO AS2303:2019. 'TREE STOCK FOR LANDSCAPE USE'.
THOROUGHLY WATER IN ALL NEWLY PLANTED STOCK IMMEDIATELY AFTER PLANTING.

- QUALITY OF PLANT TO BE APPROVED BY PROJECT MANAGER OR LANDSCAPE ARCHITECT
- PROVIDE 3 HARDWOOD STAKES 1.8m X 50mm X 50mm FOR ALL TREES. USE 50mm HESSIAN TIES TO SECURE LOWER TRUNK TO STAKES
- PROVIDE SLIGHT DEPRESSION TO ALLOW FOR EFFECTIVE WATERING
- 75mm 'FOREST FINE' MULCH OR EQUAL
- BACKFILL HOLE WITH CLEAN, TESTED SITE TOP-SOIL BLEND OR IMPORTED SOIL MIX APPROVED BY LANDSCAPE ARCHITECT
- CULTIVATE/ RIP SUBGRADE

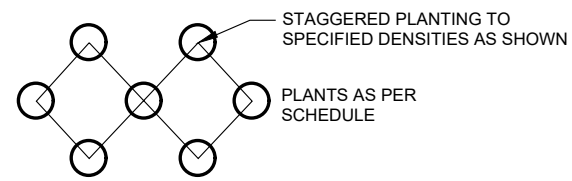
TREE PLANTING DETAIL
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)

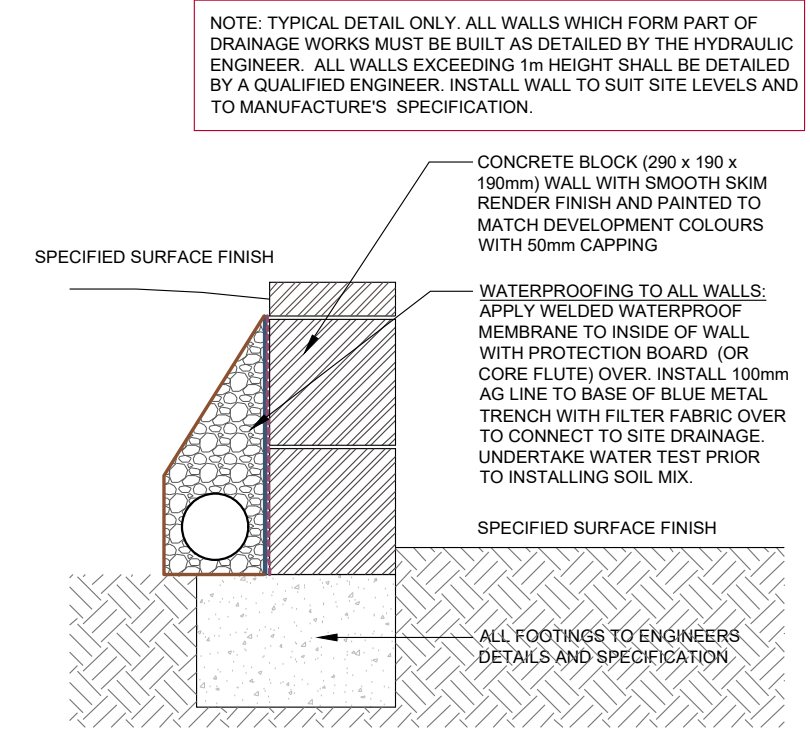


STEPPING STONES IN NATURAL DEEP- SOIL DESIGNED TO PROVIDE PRACTICAL ACCESS WHILE RETAINING A PERMEABLE ZONE & MINIMIZING STORM WATER RUN-OFF

STEPPING STONES IN GROUNDCOVER PLANTING
SCALE 1:10



MASS PLANTING SETOUT
N.T.S



NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.

TYPICAL RETAINING WALL DETAIL
SCALE 1:10

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www.dialbeforeyoudig.com.au
DIAL 1100 BEFORE YOU DIG

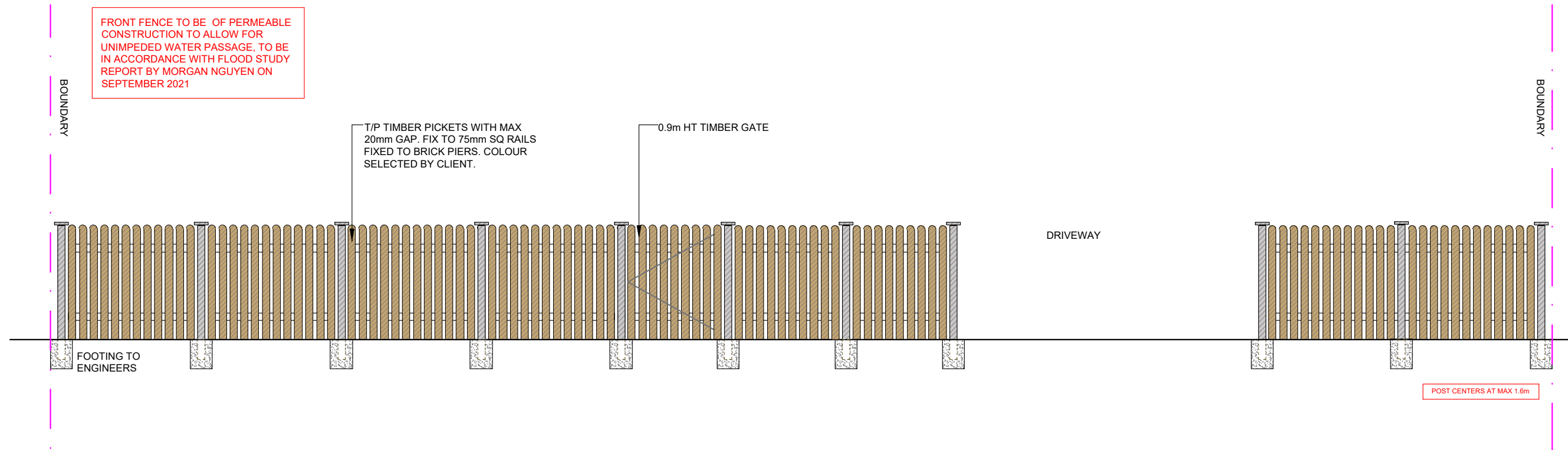
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ARCHITECT	Horizon Homes
STATUS / ISSUE	DA - ISSUE C

Conzept
Landscape Architects
www.conzept.net.au
enquiries@conzept.net.au
Phone: 9922 5312
Suite 101, 506 Miller St
CAMMERAY NSW 2062

TITLE: DETAILS
PROPOSED RESIDENTIAL DEVELOPMENT
12 ALVISTON STREET STRATHFIELD

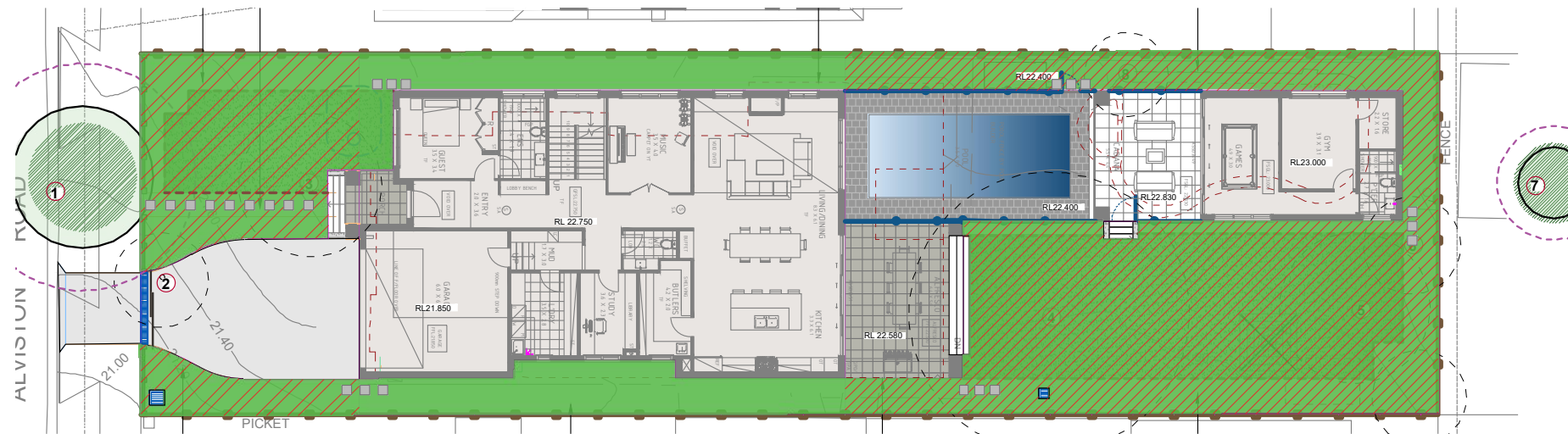
DWG No:	LPDA 22 - 96 / 3
SCALE:	AS SHOWN @ A3
DATE:	OCT 2021
DRAWN:	K.Z
CHECKED:	R.F



0.9m HT TIMBER PICKET FENCE DETAIL
SCALE 1:20

LANDSCAPE CALCULATIONS

- SITE AREA:** 834.7m²
- REQUIRED LANDSCAPE AREA:** 375.6m² (45%)
- PROPOSED LANDSCAPE AREA:** 376.7m² (45.1%)
- REQUIRED LANDSCAPE AREA WITHIN FRONTYARD:** 70.5m² (50%)
- PROPOSED LANDSCAPE AREA WITHIN FRONTYARD:** 88.0m² (62.4%)
- REQUIRED LANDSCAPE AREA WITHIN REARYARD:** 191.5m² (50%)
- PROPOSED LANDSCAPE AREA WITHIN REARYARD:** 217.2m² (56.7%)



General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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REV	DATE	NOTATION/AMENDMENT
A	03.09.2021	Preliminary plan prepared for review
B	27.09.2021	Issued for DA
C	18.10.2021	Co-ordinated with planner's comments

COUNCIL	STRATHFIELD
CLIENT	Sameer Viswanathan & Preeti Raghavan
ARCHITECT	Horizon Homes
STATUS / ISSUE	DA - ISSUE C

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DETAILS
PROPOSED RESIDENTIAL DEVELOPMENT
12 ALVISTON STREET STRATHFIELD

DWG No:	LPDA 22 - 96 / 4
SCALE:	AS SHOWN @ A3
DATE:	OCT 2021
DRAWN:	K.Z
CHECKED:	R.F

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

- The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.
- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.
- All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention.
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix complies with AS 4454-2012 Composts, soil conditioners and mulches. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported soil. All mixes are to comply with AS4419-2003 Soils for Landscaping and garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing

All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

- Mass Planting Beds - 300mm below existing levels with specified imported soil mix.
- Turf areas - 100mm below finished surface level.

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.
 - Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm
- Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
- Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.
- Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2019 Tree stock for landscape use. Certification that trees have been grown to AS2303:2018 guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303:2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch for general planter bed shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm screenings or similar.

e) Turfing

Moistener soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Brick Edging

Where is required, the Contractor shall install brick edging as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

g) Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here. Existing Conditions such as street trees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

f) Drainage pit

Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme. where possible, pits and linework should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas. where pits and linework occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. Landscape contractors shall not alter the form of swales designed to direct overland flow.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

- Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be brought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 235.

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or building contractual arrangements.

An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas on terraces, over slabs and in Communal Open Spaces.

The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Strathfield Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.
- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

- Upon completion of installation, the system shall be tested, including:
 - Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
 - Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.
 - All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty:

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

- The consolidation and maintenance period shall be either
 - 6 months beginning from the approved completion of the specified construction work (Practical Completion)
 - as agreed to in the landscape contractors contractual obligations.
 - or as specified by Council in the Determination.
- A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

- Watering all planting and lawn areas / irrigation maintenance.
- Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance.
- Replacement of damaged, stolen or unhealthy plants.
- Make good areas of soil subsidence or erosion.
- Topping up of mulched areas.
- Spray / treatment for insect and disease control.
- Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter
- Adjusting ties to Stakes
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

General Notes:

Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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AILA Associate



REV	DATE	NOTATION/AMENDMENT
A	03.09.2021	Preliminary plan prepared for review
B	27.09.2021	Issued for DA
C	18.10.2021	Co-ordinated with planner's comments

COUNCIL	STRATHFIELD
CLIENT	Sameer Viswanathan & Preeti Raghavan
ARCHITECT	Horizon Homes
STATUS / ISSUE	DA - ISSUE C

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Phone: 9922 6312
Suite 101, 506 Miller St
CAMMERAY NSW 2062

TITLE:	SPECIFICATION	DWG.No:	LPDA 22 - 96 / 5
	PROPOSED RESIDENTIAL DEVELOPMENT	SCALE:	N/A
	12 ALVISTON STREET STRATHFIELD	DATE:	OCT 2021
DRAWN:	K.Z	CHECKED:	R.F

TO: Strathfield Local Planning Panel Meeting - 7 April 2022
REPORT: SLPP – Report No. 9
SUBJECT: DA2021.225- 149 HOMEBUSH ROAD STRATHFIELD
 LOT 37 DP 7796
DA NO. DA2021.225

SUMMARY

Proposal:	Demolition of existing structures and construction of a two (2) storey dwelling house with basement, outbuilding, in-ground swimming pool, front fencing and associated landscaping works.
Applicant:	Platform Five Design Pty Ltd
Owner:	B Sakr
Date of lodgement:	7 September 2021
Notification period:	13 September 2021 to 27 September 2021
Submissions received:	Four (4)
Assessment officer:	G I Choice
Estimated cost of works:	\$1,654,371.64
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No <ul style="list-style-type: none"> • Adjacent to 151 Homebush Rd – I162: “Kiameron” - Californian bungalow • Within the vicinity of 160 Homebush Rd – I163: “Swanwick” – Federation house
Flood affected:	No
RECOMMENDATION OF OFFICER:	APPROVAL

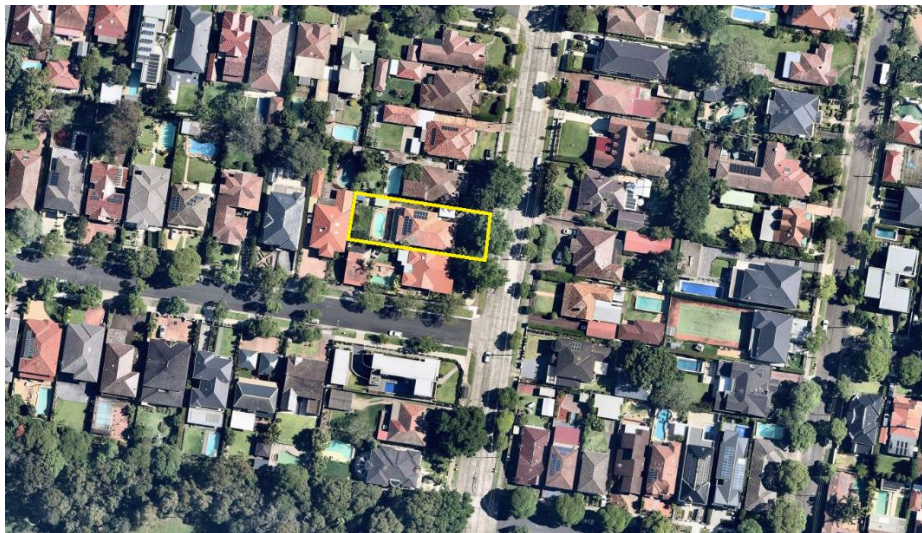


Figure 1: Subject site aerial photography (highlighted in yellow)

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, outbuilding, in-ground swimming pool, front fencing and associated landscaping works.

Site and Locality

The subject site is legally described as Lot: 37 DP: 7796 and commonly known as 149 Homebush Road, Strathfield. It is located on the western side of Homebush Road between Birnam Grove to the north and Gelling Avenue to the south.

The site is rectangular in shape with an area of 817.6m².

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 13 September 2021 to 27 September 2021, where four submissions were received raising the following concerns:

- Introduction of a two-storey dwelling to the block
- Insufficient information
- Visual impacts to the Heritage dwelling at 151 Homebush Road
- Impacts of overshadowing to 151 Homebush heritage house
- Discrepancy of proposed basement level
- Protection of *washingtonia robusta* tree

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning & Assessment Act 1979*, Development Application 2021/225 is recommended for approval subject to suitable conditions of consent.

DA2021.225- 149 Homebush Road Strathfield
 Lot 37 DP 7796 (Cont'd)

REPORT IN FULL

Proposal

Council has received an application for the demolition of existing structures and construction of a two-storey dwelling house with basement, outbuilding, in-ground swimming pool, front fencing and associated landscaping works. More specifically, the proposal includes:

Basement Level

- Two parking spaces,
- Pool and equipment room,
- Storage and plant room, and
- External access stairs.

Ground Floor Level

- Formal living,
- Office,
- Guest bedroom with en suite,
- Powder room/WC,
- Prayer room,
- Laundry room,
- Open-plan living and kitchen area with attached butler’s pantry,
- Dining room, and
- Alfresco.

First Floor Level

- Four bedrooms with en suite each, two with attached balcony, and
- Rumpus room.

External Works

- New in-ground swimming pool, and
- Detached cabana.

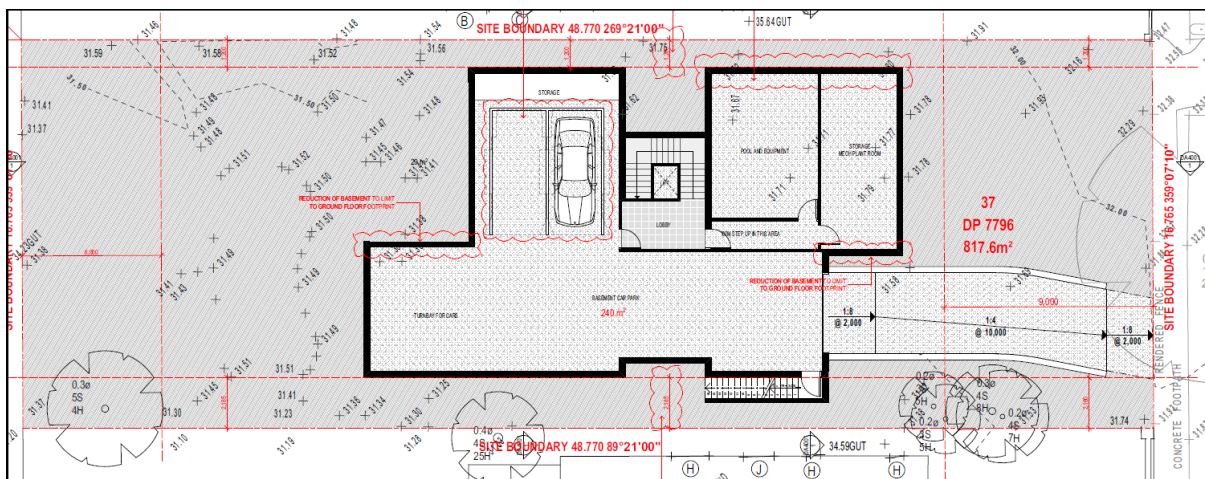


Figure 2: Proposed basement plan

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

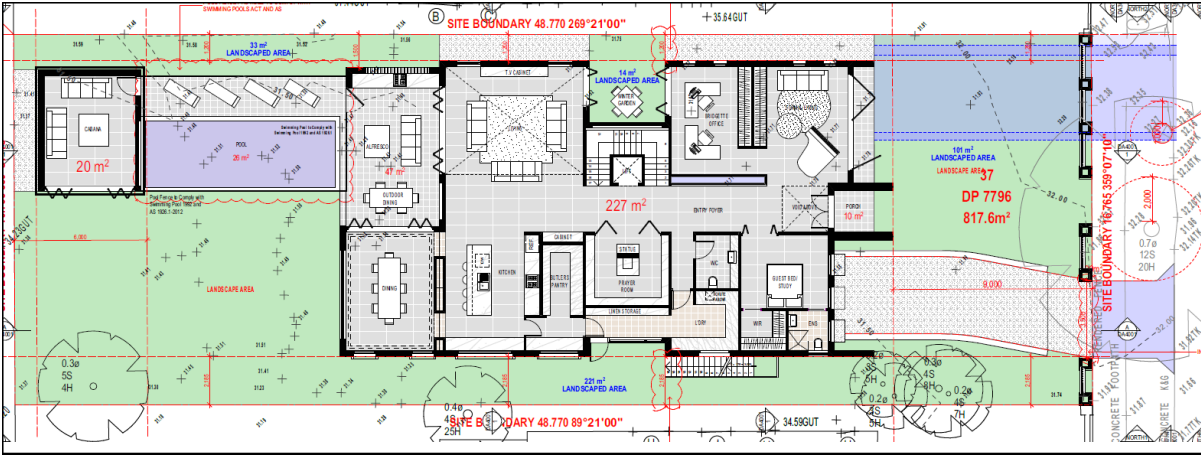


Figure 3: Proposed ground floor plan

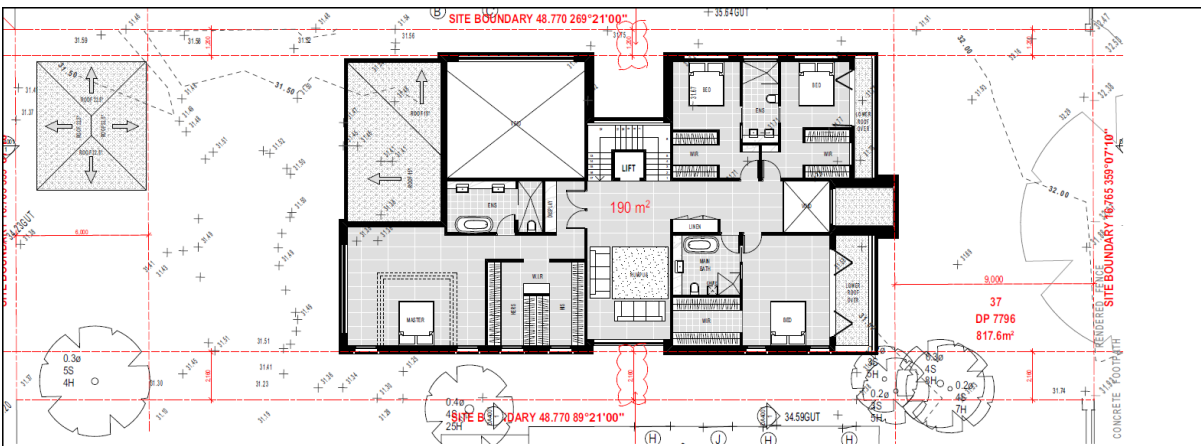


Figure 4: Proposed first floor plan

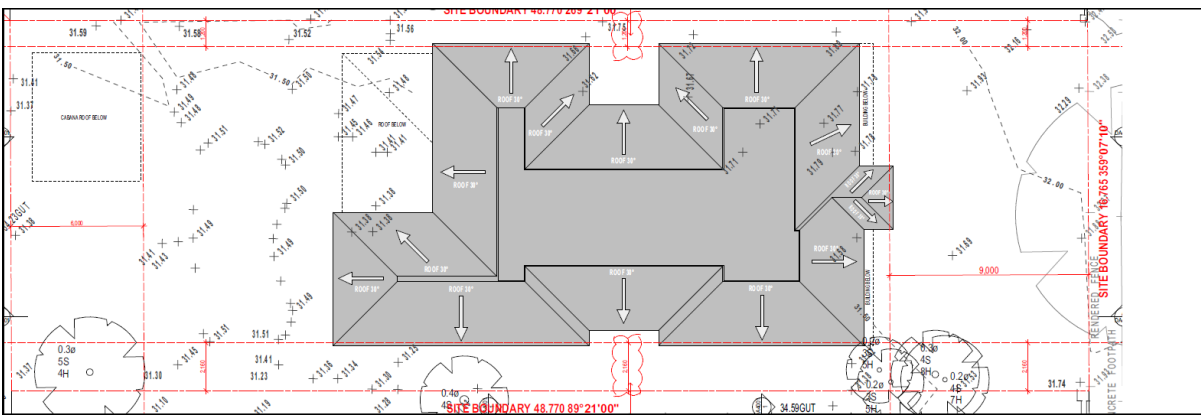


Figure 5: Proposed roof plan

DA2021.225- 149 Homebush Road Strathfield
 Lot 37 DP 7796 (Cont'd)

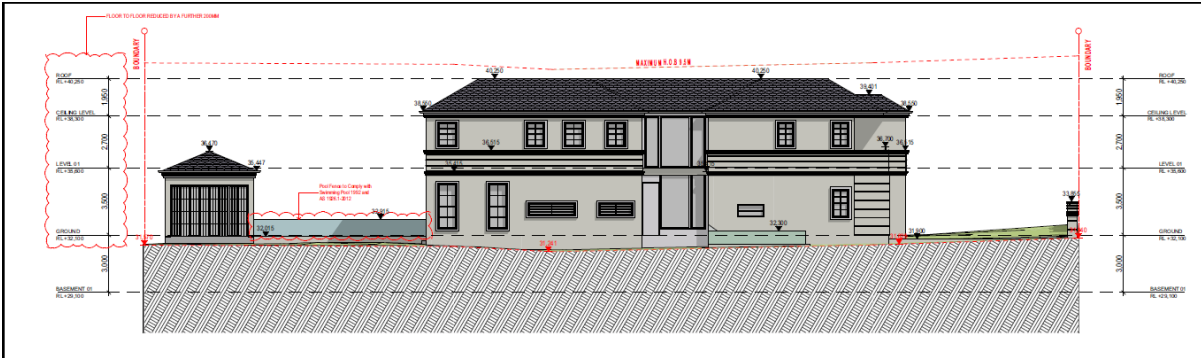


Figure 6: Proposed south elevation

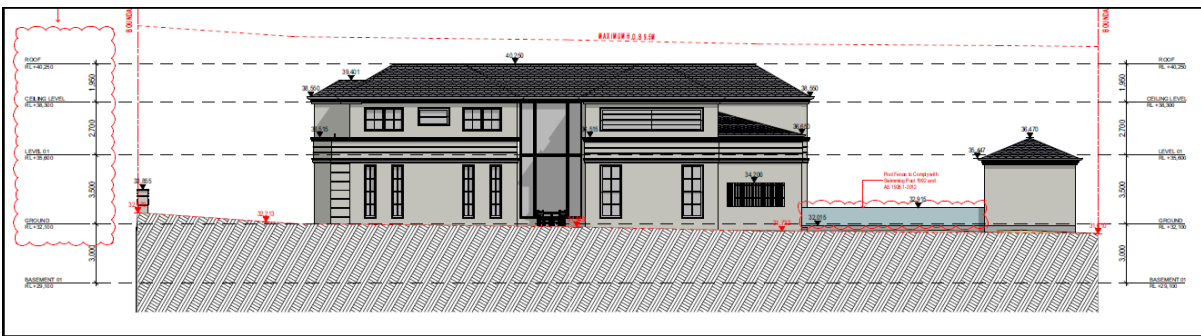


Figure 7: Proposed north elevation

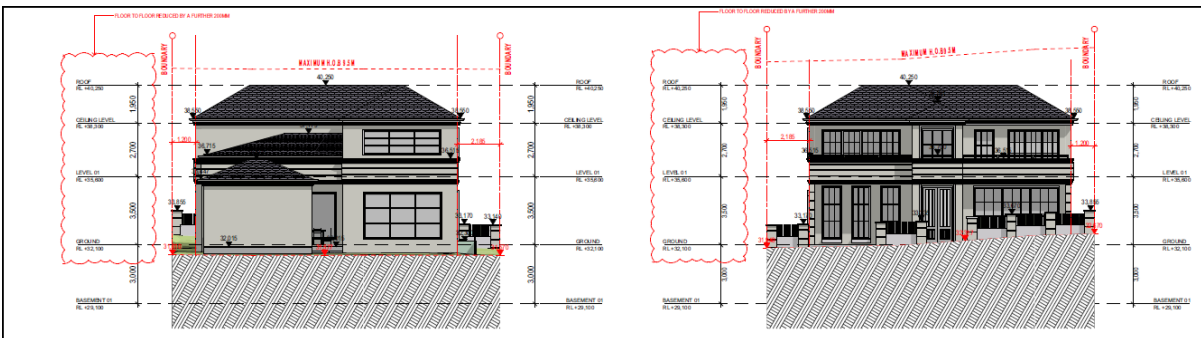


Figure 8: Proposed west (left) and east (right) elevations

The Site and Locality

The subject site is legally described as Lot: 37 DP: 7796 and commonly known as 149 Homebush Road, Strathfield. It is located on the western side of Homebush Road between Birnam Grove to the north; Gelling Avenue to the south and Chalmers Road to the west.

The site is rectangular in shape and has front and rear boundary widths of 16.765m, side boundary depths of 48.77m and an area of 817.6m². The site is relatively flat.

Existing development on the site comprises a single-storey brick dwelling with terracotta tile roof, detached single space carport, in-ground swimming pool, detached patio and garden shed. Vehicular access is provided to the site via an existing driveway from Homebush Road located on the northern boundary of the site.

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

Existing development on the adjoining property at 147 Homebush Road comprises a single-storey brick dwelling with a split-level rear extension, attached carport, rear detached garage and swimming pool. Existing development on the adjoining property at 151 Homebush Road comprises the single-storey dwelling identified as the heritage item (Item 162: "Kiameron" - Californian bungalow – under Schedule 5 of the SLEP 2012) as well as a rear detached brick garage/outbuilding (accessed from Gelling Avenue) and swimming pool. The site is also adjacent the local heritage Item 163 - Swanwick – Federation house at 160 Homebush Road.

Adjoining the site to the south is a heritage-listed property – 151 Homebush Road, identified in the SLEP 2012 as "Kiameron" (I162), a Californian bungalow. Across the road from the site to the east is 160 Homebush Road, which contains "Swanwick" (I163), a Federation house that is considered as locally significant.

The streetscape is characterised by adequately setback single to two-storey dwelling houses with front fencing and abundant front garden. It is noted that predominantly, houses along Homebush Road has a pitched roof design.

The surrounding area is characterised by low-density residential development.

Background

- | | |
|-------------------|---|
| 7 September 2021 | The subject Development Application 2021/225 was lodged via the NSW Planning Portal. |
| 13 September 2021 | The application was put on public exhibition until 27 September 2021. Council received four submissions during this period. Details of the submissions are discussed in the body of the report. |
| 20 September 2021 | Site photos were requested from the applicant.

Site photos were received from the applicant. |
| 13 October 2021 | Council issued a request for further information letter (RFI) to the Applicant which identified the following issues: <ul style="list-style-type: none"> i. Heritage <ul style="list-style-type: none"> – The overall building height, bulk, scale and massing of the proposed dwelling posed significant visual impacts and overshadowing to the heritage item at 151 Homebush Road. – The proposed driveway relocation and basement entrance posed significant visual impacts to the adjoining heritage item. The existing driveway was advised to be retained – The submitted Geotechnical Report prepared by GCA was for 19 South Street, Strathfield and was not relevant to the subject site. |

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- An amended front fence was to be reduced to a height of 1.2m to achieve a more appropriate appearance with infill sections to be of a closer height to the adjoining fence at 151 Homebush Road.

ii. Floor Space Ratio and Density

- Excess basement floor area was to be removed to comply with the maximum 0.55:1 FSR standard for the site.
- A revised swept path analysis was required.
- The basement floor plan was to be reduced so that the entire basement area was limited to and contained within the footprint of the dwelling at ground level.

iii. Building design, Streetscape and Neighbour Amenity

- An amended dwelling design was to reduce the building footprint to comply minimum setbacks, increase landscaped area and reduce impacts of bulk and overshadowing.
- The large first floor void was to be removed to reduce unnecessary bulk and massing, and reduce overshadowing.
- Floor to ceiling heights were to be reduced to three (3) metres to reduce the overall bulk of the dwelling.
- The internal driveway width shall was to be reduced to 3.5m.

27 October 2021	Council requested an arborist report following an assessment by Council's Tree Management Coordinator.
3 November 2021	A request for extension by the Applicant was made and granted until 19 November 2021.
19 November 2011	Additional plans, traffic report and arborist report were submitted by the Applicant via NSW Planning Portal. Amended plans included a reduction of the basement area, increased side setbacks, reduced driveway width and increased landscaping.
1 February 2022	Council requested an amended stormwater drainage plan to support the amended dwelling design.
8 February 2022	Council issued a reminder request for an updated geotechnical report.
16 February 2022	Council received structural adequacy and geotechnical comments received from Applicant via the NSW Planning Portal.

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There is a number of outstanding issues with the development that will be discussed elsewhere in this report. It is considered, however, that sufficient information has been provided to complete a full and thorough assessment of the proposal.

*NOTE: Due to NSW government Health Order following the COVID-19 outbreak in greater Sydney, the Assessing Officer was unable to attend the site immediately and subsequently relies on a thorough suite of on-site photographic evidence provided by the Applicant/Client, streetscape analysis by the Assessing Officer, Council's geographic information systems data and other available information relating to the existing site conditions. The site has not undergone significant changes since this date.

Referrals – Internal

Heritage

The original design proposal was referred to Council's Specialist Heritage Planner whom provided the following recommendations for amendments:

'The roof at the rear of the property can be reduced without compromising the design. The ceiling to floor height for each level should be reduced. This will reduce the impact when viewing the heritage item from Gelling and Homebush Roads. At the moment it will dominate the view and impact on the setting of the heritage item...'

Increase the setback from the south side boundary. To allow for the reduction of overshadowing...

Use the existing driveway rather than a new driveway crossing. This will protect the street trees and limit the impact on the setting of the heritage item....'

Reduce the basement. The basement is 3m in height and excessive. The excavation next to an important local heritage item needs to be limited to avoid any unnecessary damage...

Lower the fence height to 1.2m. The heritage item has a low fence and the height of the new fence should better relate to this. The lowering of the fence by 30cm will help to achieve this by allowing the infill sections to be of a closer height to the adjoining fence...

Please provide the correct Geo-tech report'

The abovementioned comments and additional heritage assessment is further discussed elsewhere in this report.

Stormwater

The proposed development was referred to Council's Development Engineer who offered no objections subject to the imposition of relevant conditions of consent.

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Traffic

The proposed development was referred to Council's Traffic Manager who has assessed the amended basement plan and offered no objections, subject to the imposition of conditions of consent.

Tree Management

The proposed development was referred to Council's Tree Management Coordinator who raised no objections to the amended plans subject to conditions of consent, which include an amended stormwater drainage plan to ensure the retention and protection of the neighbouring *washingtonia robusta* (Mexican Fan Palm) at 151 Homebush Road.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) *Matters for consideration – general*

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *the provision of:*
(i) *any environmental planning instrument,*

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> • Chapter 2 – Vegetation in non-rural areas • Chapter 10 – Sydney Harbour Catchment 	Yes Yes
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> • Chapter 4 – Remediation of land 	Yes
State Environmental Planning Policy (Transport and Infrastructure) 2021 <ul style="list-style-type: none"> • Chapter 2 - Infrastructure 	Yes

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STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in non-rural areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposed development as modified does not result in the removal or loss of any trees or vegetation subject to the provision of this SEPP. The proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

The aims and objectives outlined within the SEPP are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of land

Chapter 4 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

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Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	Maximum 9.5m	9m	Yes
4.4 Floor Space Ratio	0.55:1 (449.7m ²)	0.55:1 (447.3m ²)	Yes Site area 817.6m ²

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is located adjoining a local heritage Item 162 – Kiameron Californian bungalow — (151 Homebush Road) (also known as Lyndom) and within the vicinity of local heritage Item 163 - Swanwick – Federation house at 160 Homebush Road. The application was referred to Council's Heritage Officer who (following a preliminary assessment of the proposal) recommended a number of amendments to the proposed development design in order to lessen the visual and amenity impacts of the development on the adjoining heritage property at 151 Homebush Road.

The amended plans have been assessed and it is considered that the proposed works are satisfactory subject to appropriate conditions as part of the draft consent. It is considered that the proposed works, as amended and conditioned, satisfactorily address the provisions of this Clause.

Flood Planning

The proposed site has not been identified within the flood planning levels and as such, the provisions of this Clause are not applicable to the subject development.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and new swimming pool. The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls and all ancillary works have been limited to what is required to provide access to and from the basement. The extent of excavation, however, exceeds beyond the footprint of the ground floor to below the front porch entrance. A reduction of the storage room and pool and equipment rooms is possible without compromising on the manoeuvrability for vehicles entering and exiting the basement. Therefore a condition is imposed requiring the

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abovementioned area to be reduced so that the basement is contained wholly within the ground floor footprint.

The proposed works are unlikely to disrupt or affect existing drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Heights:			
Floor to ceiling heights:	3.0m	Ground: 3.085m First: 2.7	No – see discussion
Height to underside of eaves:	7.2m	7.05m	Yes
Basement height above NGL:	1.0m	0.85m	Yes
Number of Storeys/Levels:	2	2	Yes
Setbacks:			
Front:	9m	9m	Yes
Side (north):	1.2m (min)	1.2m	Yes
Side (south):	1.2m (min)	Min 2.185m	Yes
Combined Side Setback:	3.35m (20%)	3.385m	Yes

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Rear:	6m	14.7m	Yes
Landscaping			
Landscaping/Deepsoil Provisions:	(817.6m ² x 45%) or 367.9m ²	369m ² or 45.1%	Yes
Fencing			
Height (overall/piers):	1.5m (maximum)	1.2m	Yes
Solid Component:	0.7m	0.6m	Yes
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	Achieved for subject site	Yes (STC) see discussion in <i>Solar Access</i> section of DCP discussion
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3.5m	No – to be conditioned
Vehicular Crossing:	1	1	Yes
Driveway setback – side:	0.5m	Min 2.2m	Yes
No. of Parking Spaces:	2	2	Yes
Basement:			
Basement protrusion:	Less than 1.0m	0.85m	Yes
Basement ramp/driveway	3.5m	3.5m	Yes
Internal height:	2.2m	2.8m	Yes
Ancillary Development			
OUTBUILDINGS			
Area:	40m ²	20m ²	Yes
Height:	3.5m	5.06m	No – see discussion
Side/Rear setback:	0.5m	Rear: 1m Side: Min. 1.5m	Yes Yes
SWIMMING POOL			
Side/Rear Setback	1.0m	Rear: 6m Side: Min 3.8m	Yes Yes

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Building Envelope

The proposed two-storey dwelling generally satisfies the objectives and controls within the development control plan relevant to:

- Building Scale, height and floor space ratio
- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge

Amended plans have increased the side setback to the south-western part of the dwelling house on the ground floor. The increase of setback provides additional relief to the adjoining property at 151 Homebush Road. The ground floor ceiling heights have been reduced to 3m with the exception of the rear separate dining room (3.085m) which is considered acceptable as it pertains to a small section at the rear of the dwelling.

The overall building height has been reduced by a further 200mm which lessens impacts of bulk and scale when viewed from Homebush Road.

The proposed dwelling has been shifted north to increase the southern side setback and the northern side setback has been reduced to a maximum 1.2m. The existing driveway has a zero side setback to the north and the proposed relocation of the driveway will prevent the relocation of the existing power pole on the public verge located south of the existing driveway. On balance, this is considered to be a reasonable and acceptable outcome given the existing street trees will be retained and protected.



Figure 9: Proposed streetscape plan

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDPC 2005. The development is considered to enhance the existing streetscape, adequate areas for deep soil planting have been provided and can accommodate large canopy trees and where possible trees have been retained and protected.

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Fencing

The proposed front and side fencing satisfies the relevant objectives and controls within SCDPC 2005. It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

Solar Access

The subject allotment is east-west orientated with east being the front of the property and west being the rear of the property. Therefore any first floor addition or new two-storey dwelling will cast a shadow on the allotment located to the south at 151 Homebush Road (No.151). Shadow diagrams have been submitted (see **Figures 10 to 12**) which demonstrate that the adjoining southern property will receive more than three (3) hours of solar access to the primary open space daily.

Concerns were raised via written submission to Council regarding the impacts to internal solar access and neighbouring amenity for occupants at the southern adjoining property of 151 Homebush Road. Therefore, consideration has also been given to the Land and Environment Court planning principle on the impact on solar access of neighbours (*Parsonage v Ku-ring-gai (2004) NSWLEC 347*) and as amended by (*The Benevolent Society v Waverly Council (2010) NSWLEC 1082*) is addressed as follows:

- *The ease with which sunlight access can be protected is inversely proportional to the density of development. At low densities, there is a reasonable expectation that a dwelling and some of its open space will retain its existing sunlight. (However, even at low densities there are sites and buildings that are highly vulnerable to being overshadowed).*

The subdivision pattern along the western side return of Homebush Road is orientated east-west, with east-south-east being the front boundary and west-north-west being the rear boundary. The proposed development is considered to be contemporary in design, within the height control and rear boundary setbacks as required by SCDPC 2005. The locality is in a low density residential area. The proposed development casts a morning shadow to the rear yard of the adjoining southern property the southern property will be affected by the proposed development in terms of solar access loss to internal rooms on the north elevation 9am onwards. The private open space area at the rear of the site retains solar access from 11am to 3pm, which is accordance with Council's solar access requirements.

- *The amount of sunlight lost should be taken into account, as well as the amount of sunlight retained.*

The amount of existing sunlight comparative to the amount of sunlight retained has been taken into account. The shadow diagrams submitted with the application indicated in plan, that the proposed two-storey development would overshadow the adjoining property to the south from 9am onwards. The proposed development will result in further reduction in solar access, than is existing. Council recommended the deletion of the large first floor void and inward shift of the first floor plate to provide additional afternoon solar access to the rear living areas of No.151 while also creating greater articulation along the southern elevation of the proposed dwelling. This recommendation was ignored by the Applicant. It is considered that the overshadowing impacts created by the

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proposed development could be further reduced with an appropriate condition for the abovementioned required design change. Subject to this condition, the development would be within acceptable limits and the application should be supported.

- *Overshadowing arising out of poor design is not acceptable, even if it satisfies numerical guidelines. The poor quality of a proposal's design may be demonstrated by a more sensitive design that achieves the same amenity without substantial additional cost, while reducing the impact on neighbours.*

It is considered that the first floor design could be improved as mentioned elsewhere in this report. To avoid the bulk appearance of the first floor southern elevation a more staggered two-storey design which reduced the first floor void would reduce the bulk and massing of the southern wall and minimise impacts to solar and visual amenity for the adjoining 151 Homebush Road property.

- *For a window, door or glass wall to be assessed as being in sunlight, regard should be had not only to the proportion of the glazed area in sunlight but also to the size of the glazed area itself. Strict mathematical formulae are not always an appropriate measure of solar amenity. For larger glazed areas, adequate solar amenity in the built space behind may be achieved by the sun falling on comparatively modest proportions of the glazed area.*

As stated above, the subject allotment is east-west orientated. According to the occupants at 151 Homebush Road, the affected windows on the north wall include the kitchen, bathroom and lounge room. The windows of 151 Homebush Road are small to medium-sized windows. Photographic evidence (provided by the Applicant) shows a number of the windows to be open and sun-lit, indicating these rooms are of a higher traffic and internal amenity value. The submitted shadow diagrams clearly indicate that the private open space areas of the adjoining properties will have access to direct sunlight for the required period during the 9am to 3pm assessment period, however solar access to internal living spaces at No.151 will be significantly impacted as a result of the new two-storey dwelling.

- *Overshadowing by fences, roof overhangs and changes in level should be taken into consideration. Overshadowing by vegetation should be ignored, except that vegetation may be taken into account in a qualitative way, in particular dense hedges that appear like a solid fence.*

Overshadowing by fences, roof overhangs and changes in level have been taken into consideration. The site is not affected by any substantial trees, shrubs and or overgrown vegetation.

- *In areas undergoing change, the impact on what is likely to be built on adjoining sites should be considered as well as existing development.*

The area is a low-density residential area which is undergoing some change with new single and two-storey developments and will remain so. The existing dwelling at No. 151 is a heritage item and is unlikely to be redeveloped either by demolition and rebuilding, first floor additions or new two-storey dwellings.

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In summary and with consideration given to the orientation of the site, solar access to the windows of habitable rooms and to at least 50% of the private open space in the new two-storey dwelling is achieved or maintained for a minimum period of 3 hours between 9.00am-3:00pm at the winter solstice.

Solar access is also achieved or maintained to the private open space of the adjoining premises, however it is considered that an amended first floor design, as recommended by Council, could achieve a better outcome to minimise overshadowing to the internal habitable space of the adjoining southern property at 151 Homebush Road. An appropriate condition is imposed for the required design change that will reduce the large first floor void and shift the south-west corner of the first floor plate inward to allow additional afternoon solar access to the internal rooms at No.151.

The proposal is considered to generally satisfy the relevant objectives and controls of the SCDP 2005 subject to appropriate conditions of consent.

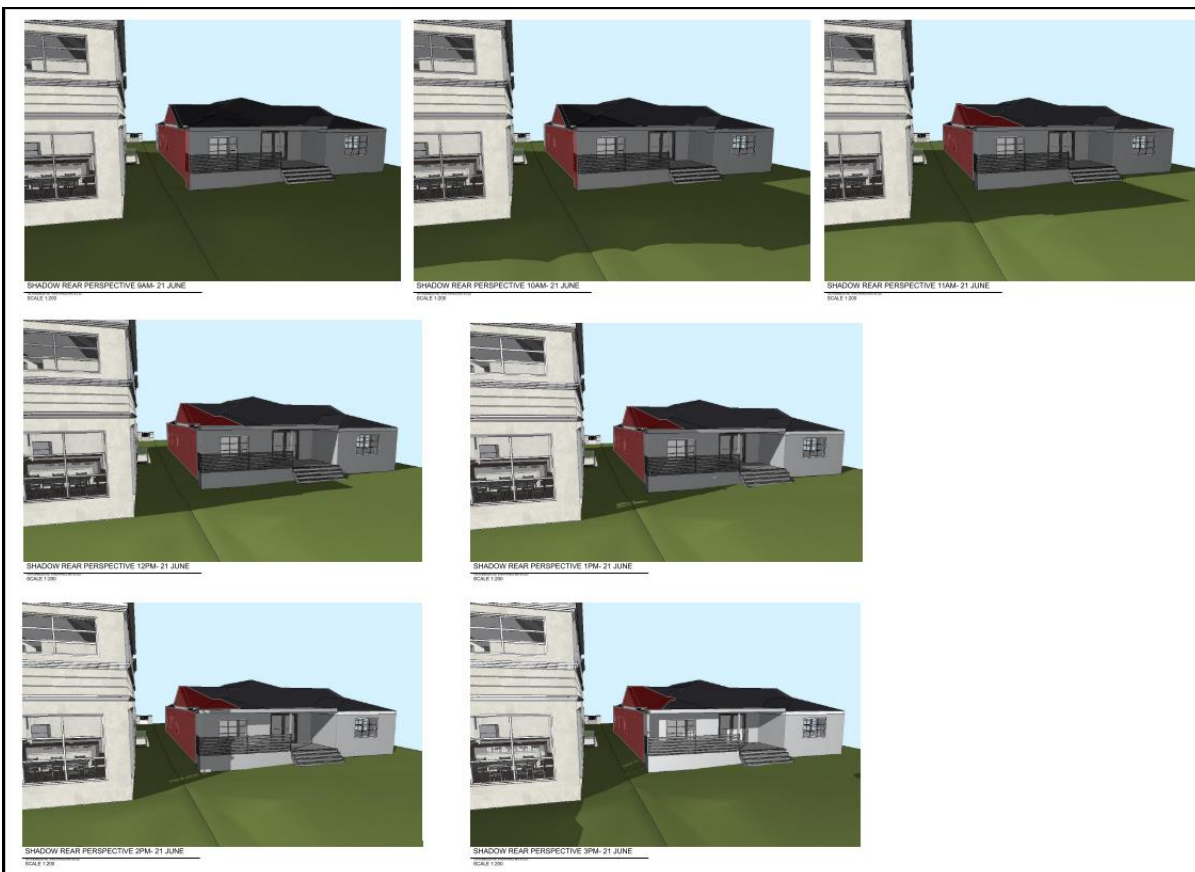


Figure 10: Proposed rear elevations shadow diagrams (9am to 3pm 21 June)

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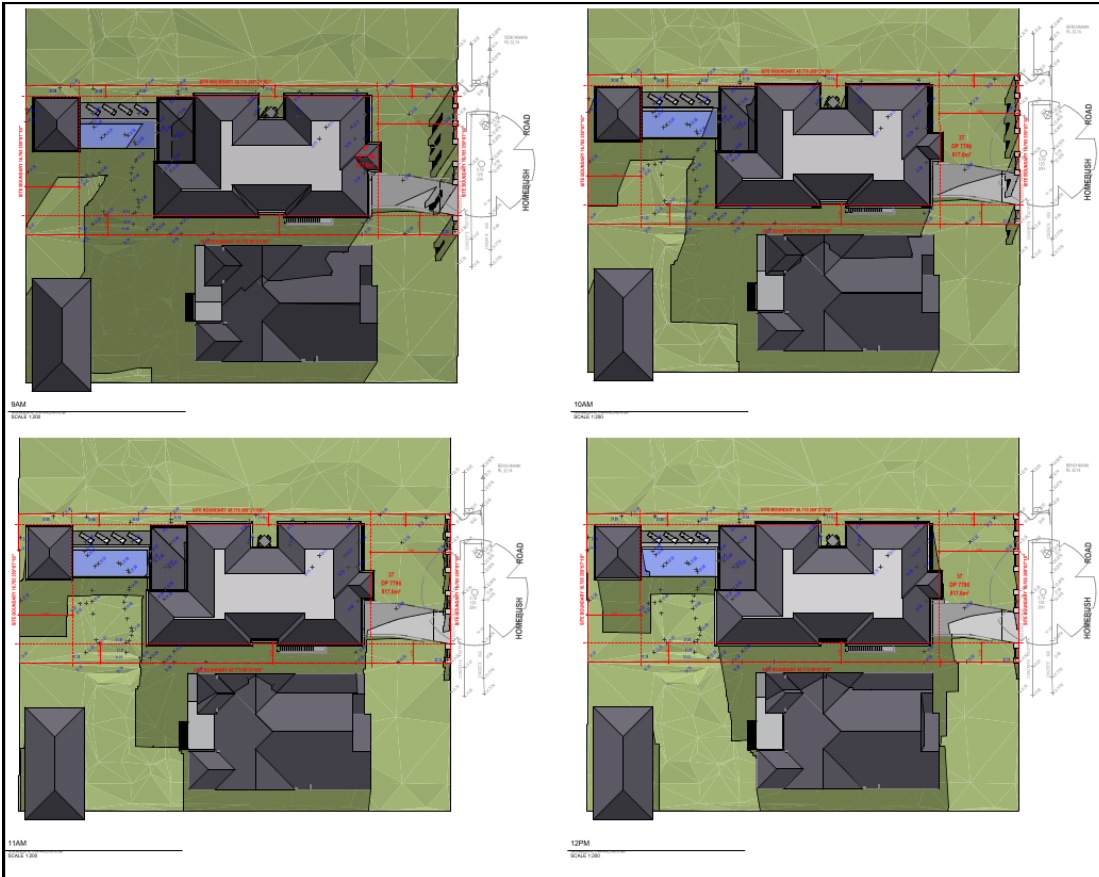


Figure 11: Proposed shadow diagrams (9am to 12pm June 21)

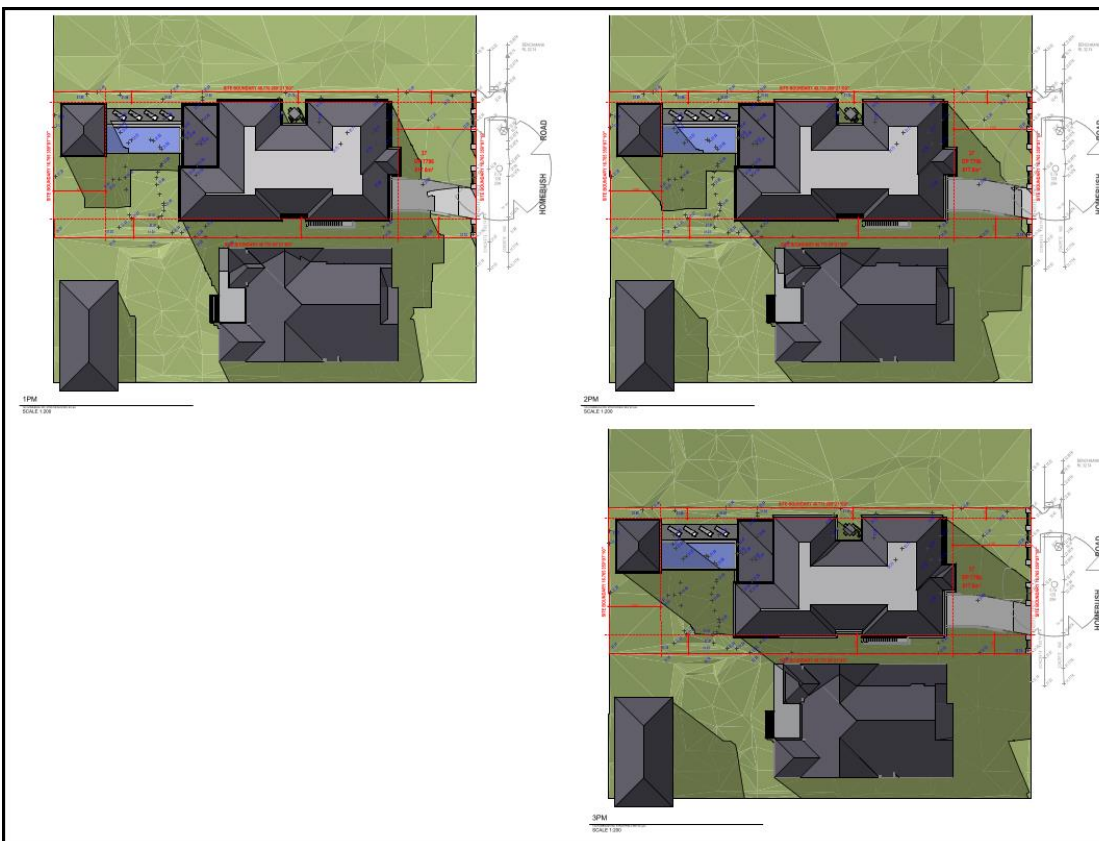


Figure 12: Proposed shadow diagrams (1pm to 3pm June 21)

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Figure 13: Common boundary of 149 (left) & 151 (right) Homebush Road

Privacy

The proposed development satisfies the relevant objectives and controls of the SCDP 2005, in that adequate privacy is maintained between adjoining properties and any potential overlooking is minimised. Windows are offset from adjoining dwellings where required, they are screened, obscured or off low active use rooms so as not to negatively impact on adjoining properties. First floor balconies face east to the street frontage and pose minimal impact on the amenity or privacy of the adjoining dwellings whilst providing good amenity to the occupant of the dwelling.

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Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. A condition is imposed requiring the driveway at property boundary to have the width reduced from 3.5m to 3m. The basement has been kept to less than 1m above natural ground level, and a reduction of basement area is required as part of the draft conditions of consent to ensure the basement does not extend beyond the ground floor above, has been designed so that vehicles can enter and exit in a forward direction and maintains a minimum internal height of 2.2m.

Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduced site disturbance. Existing trees and shrubs have been retained where possible and ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURES

Outbuildings

The proposed pool cabana is compliant with setbacks and floor space controls. The proposed cabana height of 5.06m does not comply with 3.5m. There is no reasonable justification for a structure of this type to be of such height and scale. Consideration is given to the pitched roof design of the cabana, which will achieve uniformity with the pitched roof design of the proposed dwelling house. Further, adequate side and rear setbacks for the cabana are provided. A condition is imposed restricting the cabana floor to ceiling height to a maximum of 2.1m; and the cabana height be restricted to a maximum 4m to allow for the pitched roof. The proposed cabana is acceptable subject to this condition.

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Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen panting if required. The pool pump equipment has been located in a sound proof enclosure and the pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the swimming pools act and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

PART O - Tree Management (SCDCP 2005)

The proposed development and submitted *Arboricultural Construction Impact Assessment & Preliminary Management Statement* prepared by Growing My Way (dated November 2021) has been assessed by Council's Tree Management Coordinator against the controls of Clause 4.2 of Part O of the SCDCP 2005. The subject arborist report identifies six (6) significant trees within the zone of influence of the proposed works. This includes two (2) *Platanus x hispanica* (London Plane tree) street trees and one (1) *Washingtonia robust* (Mexican Fan Palm) of heritage significance, located within the neighbouring property at 151 Homebush Road.

Council's Tree Management Coordinator has imposed several conditions to ensure the effective retention and protection of all trees identified within the said arborist report. Subject to these conditions, it is considered all significant trees have been considered when preparing and the proposed development supports the retention of trees on the subject sites.

PART P – Heritage (SCDCP 2005)

Part P of SCDCP 2005 aims to ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item and its setting. The subject site is located adjoining a local heritage Item 162 – Kiameron Californian bungalow — (151 Homebush Road) (also known as Lyndom). Lyndom is a well maintained example of an Inter-War California Bungalow featuring a triple gabled front and deep veranda. The setting of the house on a corner site makes it a notable element in the local streetscape. The primary street frontage of the heritage item is Gelling Street with a secondary frontage being Homebush Road. The heritage item is substantially screened from street view by established ornamental trees and shrubs (see **Figures 13 to 15**).

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Figure 13: Item 162 – Kiameron Californian bungalow Homebush Road frontage



Figure 14: Item 162 – Kiameron Californian bungalow corner frontage

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Figure 15: Item 162 – Kiameron Californian bungalow Gelling Avenue frontage



Figure 16: Adjoining northern streetscape 149 – 141 Homebush Road (left to right)



Figure 17: Existing dwelling 139 Homebush Road STRATHFIELD

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Figure 18: Existing dwelling at 153 Homebush Road



Figure 19: Adjacent northern streetscape 152 – 158 Homebush Road

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Figure 20: Adjacent streetscape 162 – 166 Homebush Road

The application was referred to Council’s Heritage Officer who (following a preliminary assessment of the proposal) recommended a number of amendments to the proposed development design in order to lessen the visual and amenity impacts of the development on the adjoining heritage property at 151 Homebush Road.

The proposed development comprises a two-storey Georgian style house with a basement and a solid fence (1.2m with a 0.6m solid component). The proposed dwelling and fence is to be rendered.

It is noted that the submitted Statement of Environmental Effects has not addressed Section 3 of Part - *Development in the Vicinity of Heritage Items*. This section of the DCP requires that the development is designed and sited in a manner which is sympathetic to the heritage items significance, settings and is compatible with heritage values (Section 3.3.1 – Objectives A, B and C). A compliance table is provided below which measures the final assessment comments of the Assessing Officer against the preliminary comments of Council’s Specialist Heritage Planner.

Objective	Prelim. Comments	Recommendation	Final Assessment
3.2 – Setting – 1) Development in the vicinity of a heritage item should not be of such bulk or height that it visually dominates or overshadows the heritage item.	The development greatly overshadows the heritage item. It is of a bulk and height that will impact the item	Increase setback from the south boundary and reduce the height. The roof height at the rear of the property could be reduced with the roof height remaining the same at the front of the property	<ul style="list-style-type: none"> The southern side setback has been increased to a consistent 2.185m and bulk has been shifted to the northern side of the lot. The roof height has been reduced by 200mm and required design changes are conditioned to reduce the bulk of the first floor

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			layout.
3.3 Scale	The scale is substantially greater than the adjoining heritage item. It does not comply with the objective or control (i).	The houses ceiling heights can be reduced by a 1m without compromising the design. Fence to be reduced to 1.2m to ensure that it is not a stark difference with the heritage fence.	<ul style="list-style-type: none"> • Ground floor ceiling heights have been reduced to a compliant 3m. Further reduction of building height would do little to reduce overshadowing along the common boundary with No.151. • The proposed front fence height has been reduced to 1.2m with solid section of 600mm.
3.4 – Siting (i) – Not impact on views (ii) – Not affect landscape elements	Close to boundary.	Affects landscaping and views of heritage item from both street frontages. Reduce the height	<ul style="list-style-type: none"> • The southern side setback has been increased. • The dwelling at No. 151 is substantially screened by ornamental trees (see Figures 13 to 15)
3.5 - Materials and Colours Avoid stark contrast (i)	Beige is suitable. A darker recessive colour on the southern side	Beige is suitable.	<ul style="list-style-type: none"> • No comment
3.6 Excavation – Not to compromise structural integrity of heritage item and not to detract from setting	Ramp currently next to heritage dwelling. Impact on heritage item as it faces the corner with two street frontages and will impact on the street trees which form part of the setting.	Not suitable. Relocate the ramp to where the current entry is. The basement is 265m2 this is excessive and likely to impact on the adjoining heritage item. The basement should be	<ul style="list-style-type: none"> • Street tree protection has been addressed. • The dwelling at No. 151 is substantially screened by ornamental trees (see Figures 13 to 15)

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Lot 37 DP 7796 (Cont'd)

		<p>reduced to minimise. A 3m height basement is also excessive and needs to be reduced to 2.1m The geotech report is for the wrong property – 19 South Street and therefore is not valid.</p>	<ul style="list-style-type: none"> • The basement floor area has been substantially reduced. • A geotechnical statement was submitted and accepted by Council Engineers. Appropriate conditions are imposed
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The submitted structural adequacy report prepared by Alpha Engineering and Development (dated 15 February 2022) has been assessed by Council's Civil Engineer who supports the proposed basement excavation subject to conditions requiring supervision by a suitably qualified geotechnical engineer during excavation and construction.

Several amendments have been made to the building design to address some of the visual impacts to the neighbouring heritage dwelling that were raised by Council's Heritage Advisor which result to a satisfactory design, subject to additional required design changes imposed as part of the draft conditions of consent (as discussed elsewhere in this report). The proposed dwelling is considered to be sympathetic to the significance of the heritage property and will not detrimentally impact the heritage items and their settings.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard *AS2601–1991: The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development, subject to the conditions of consent, is generally of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

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(c) the suitability of the site for the development,

It is considered that the proposed development (subject to conditions) will generally be of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of 14 days where adjoining property owners were notified in writing of the proposal and invited to comment. Four (4) submissions were received raising the following concerns:

1. Introduction of a two-storey dwelling to the block

Concerns the proposed development will disrupt the single-storey form of the immediate block (141- 151 Homebush Road) between Birnam Grove and Gelling Avenue.

Comment: It is noted that the row of houses in question are not part of a Heritage Conservation Area. The existing dwelling at 147 has a split level structure to the rear of the dwelling which can be seen in plain sight from Homebush Road. The properties at 139 and 153 Homebush Road (either side of the subject block) are two-storey dwellings, and two-storey dwellings can be seen adjacent the subject site in the immediate vicinity. The proposed dwelling complies with the maximum building height as per Clause 4.3 of the SLEP 2012 and subsequent changes are required as part of the draft conditions of consent.

2. Insufficient Statement of Environmental Effects

The SEE was criticised for not having adequately addressed relevant clauses of SLEP 2012 and SCDCP 2005 in relation to development near heritage items.

Comment: The SEE has not addressed Part P of the SCDCP 2005, however, as this report demonstrates, the proposal was referred to Council's Heritage Planner who made several recommendations for design changes. The abovementioned recommendations have guided the assessment, as demonstrated in this report, and several additional design changes are required as part of the draft conditions of consent.

3. Visual impacts to the Heritage dwelling at 151 Homebush Road

An objection was raised to the inappropriateness of the proposed dwelling design, materials and finishes. Concerns were raised over the proposed building height, side setbacks and materials and light render finish.

Comment: As shown in **Figures 13** to 125, the heritage item at 151 Homebush Road benefits when viewed from Homebush Road and Gelling Avenue is substantially screened by established ornamental planting of trees and shrubs. Increased setbacks have been incorporated to the southern boundary of the proposed development. Council's Specialist Heritage Planner has assessed the proposed materials and finishes and considers beige colour render to be acceptable.

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A condition is imposed requiring appropriate materials and finishes that are compatible with the subject heritage building.

4. Impacts of overshadowing to 151 Homebush heritage house

Concerns were raised over the loss of solar access to internal living areas at the neighbouring southern property at 151 Homebush Road. Specifically, the occupants at the adjoining property have identified the affected windows on the north wall including the kitchen, bathroom and lounge room.

Comment: A thorough assessment of impacts to solar access has been carried out as discussed elsewhere in this report. The proposed development ensures that a minimum three (3) hours of solar access is provided to the rear private open space at 151 Homebush Road; and additional design changes are required to achieve greater solar access to internal areas in the adjoining southern property.

5. Lack of heritage impact assessment and need for assessment by a qualified heritage advisor

Council's Specialist Heritage Planner has assessed the proposed development as discussed elsewhere in this report. A Heritage Impact Assessment was not provided by the Applicant, and Council's Heritage Planner did not request one following a preliminary assessment of the proposal. Notwithstanding, this report demonstrates that Council has considered the effect of the proposed development on the heritage significance of the item concerned as per Clause 5.10(4) of the SLEP 2012. The clause stipulates that a heritage management document may be required. In this instance, Council's Heritage Advisor did not require one to be provided.

6. Discrepancy of proposed basement level

A submission requested Natural Ground Level be measured from the northern boundary line of 151 Homebush Road to determine the proposed basement protrusion.

Comment: A measurement from the northern boundary of 151 Homebush Road would not be an accurate measure of NGL as the basement will be located more than 2m from the subject boundary.

7. Issues with submitted geotechnical report

Concerns were raised over the legitimacy of the geotechnical report as originally submitted. It was noted by Council and objectors that the said report was for a separate property at 19 South Street STRATHFIELD.

Comment: Applications involving excavation adjacent to a heritage item must demonstrate that the proposed excavation will not compromise the structural integrity of the heritage item and will not detract from its setting. A structural adequacy report has since been provided for the subject site and the report is considered acceptable by Council's Civil Engineer. Appropriate conditions regarding groundwater monitoring and geotechnical analysis are imposed as part for the draft conditions of consent.

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Lot 37 DP 7796 (Cont'd)

8. Protection of *washingtonia robusta* tree

Concern was raised over the *washingtonia robusta* tree is located on the adjoining southern boundary which is listed on Strathfield Council's Significant Tree Register.

Comment: An arborist report has been submitted and the proposed development is supported subject to appropriate tree protection and retention measures as discussed elsewhere in this report.

9. Request for dilapidation report

Concerns were raised over the lack of a dilapidation report as part of the subject Development Application's supplementary material.

Comment: A dilapidation report is generally required prior to any demolition or commencement of works (subject to approval). It is considered unnecessary and unreasonable to request such a document at the Development Application stage. A condition is imposed as part of the draft conditions of consent.

Mediation

The occupants at 151 Homebush Road have been contacted via phone and e-mail with a summary of the additional design amendments as well as further recommendations mad in this report. There are three (3) outstanding submissions at the time of this report including the occupants at the subject neighbouring property.

(e) *the public interest.*

Appropriate conditions are imposed requiring design changes to the proposed dwelling and outbuilding to achieve a proposed development that is generally of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

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Lot 37 DP 7796 (Cont'd)

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan.

Based on the Cost of Works of \$1,654,371.64 and in accordance with Council's s7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows;

Local Amenity Improvement Levy	\$16,543.72
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A discrepancy was discovered during the assessment of the subject development application with regard to contributions. The application was lodged through the NSW Planning Portal by the Applicant includes the following documents:

- a) Registered Quantity Surveyor's Detailed Cost Report prepared by Property & Building Assessments (dated 27 August 2021) which calculates the cost of the development at \$1,654,371.64; and
- b) Detailed Cost Estimate prepared by Platform Five Design (dated 21 July 2021) which calculates the cost of the development at \$825,000.00

The Applicant has nominated the Document (b) estimation of \$825,000.00 as the applicable figure for contributions fees and associated application fees, however Council has identified the document (a) estimation of \$1,654,371.64 as the applicable figure.

The abovementioned discrepancy includes a review of development application lodgement fees. The development costs of the proposed development are estimated at \$1,654,371.64 and the applicable Development Application Fees on this amount would be as follows:

- Development Application Fee \$ 3557.30
- Neighbour Notification Fee \$ 1227.19

The following amounts were paid when lodging the application:

- Development Application Fee \$ 2278.00
- Neighbour Notification Fee \$ 812.50

Subsequently, a condition is imposed as part of the draft conditions of consent requiring the reconciliatory payment of outstanding development application fee and neighbour notification fee as follows:

- Outstanding Development Application Fee \$ 1279.30
- Outstanding Neighbour Notification Fee \$ 414.69

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Lot 37 DP 7796 (Cont'd)

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the Environmental Planning and Assessment Act 1979, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/255 should be approved subject to the conditions of consent.



Signed:

G I Choice
Planner

Date: 21 March 2022

- I confirm that I have determined the abovementioned development application with the delegations assigned to my position;

- I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed and concurred with.



Signed:

P Santos
Senior Planner

Date: 24 March 2022

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

That Development Application No. DA2021.225 for Demolition of existing structures and construction of a two (2) storey dwelling house with basement, outbuilding, in-ground swimming pool, front fencing and associated landscaping works at 149 Homebush Road Strathfield be **APPROVED**, subject to the following conditions:

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Plan 20-059	DA1002	19 November 2021	E01	Platform 5 Design
Demolition Plan 20-059	DA1004	19 November 2021	E01	Platform 5 Design
Basement Plan 20-059	DA2001	19 November 2021	E01	Platform 5 Design
Ground Floor Plan 20-059	DA2002	19 November 2021	E01	Platform 5 Design
Level 01 20-059	DA2003	19 November 2021	E01	Platform 5 Design
Roof 20-059	DA2004	19 November 2021	E01	Platform 5 Design
Landscape Compliance Diagram	DA2906	19 November 2021	E01	Platform 5 Design
Schedule of Colors and Materials	DA2907	19 November 2021	E01	Platform 5 Design
Elevations	DA3001	19 November 2021	E01	Platform 5 Design
Streetscape	DA3002	19 November 2021	E01	Platform 5 Design

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 Lot 37 DP 7796 (Cont'd)

Sections	DA4001	19 November 2021	E01	Platform 5 Design
Stormwater Plans – General notes	A21092 - COVER	8 July 2021	B	Alpha
Sediment and Erosion Control Plan	A21092 – SW01	8 July 2021	B	Alpha
Basement Floor Drainage Plan	A21092 – SW02	8 July 2021	B	Alpha
Ground Floor Drainage Plan	A21092 – SW03	8 July 2021	B	Alpha
First Floor and Roof Drainage Plan	A21092 – SW04	8 July 2021	B	Alpha
OSD Sections and Details	A21092 – SW05	8 July 2021	B	Alpha
Stormwater Sections and Details	A21092 – SW06	8 July 2021	B	Alpha
Document	Reference No.	Date	Revision	Prepared by
Plan Showing Levels Details and Contours	2108577 DE-01	16 November 2021	A	Ensure Consulting Pty Ltd
BASIX Certificate	1222592S	6 August 2021	-	Dural Group Pty Ltd
Waste Management Plan	-	-	-	-
Arboriculture Construction Impact	-	November 2021	-	Growing My Way Tree Services

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Lot 37 DP 7796 (Cont'd)

Assessment & Preliminary Management Statement 149 Homebush Road STRATHFIELD				
Basement / Driveway Compliance Report	-	October 2021	-	Wongala Consulting Engineers
Structural Adequacy of Neighbouring Property's (151 Homebush Road, Strathfield) Heritage Elements Near Proposed Basement	-	15 February 2022	-	Alpha Engineering & Development

2. **Building Height**

The height of the building measured from Australian Height Datum (AHD) must not exceed Reduced Level (RL) 40.25 AHD to the roof ridge of the building.

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

3. **Section 138 Roads Act 1993 and Section 68 Local Government Act 1993**

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.

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Lot 37 DP 7796 (Cont'd)**

- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a “works zone”;
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council’s website www.strathfield.nsw.gov.au. For further information, please contact Council’s Customer Service Centre on (02) 9748 9999.

4. Vehicular Crossing - Minor Development

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council’s Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council’s Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council’s adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council’s specifications applicable at the time, prior to the issue of an Occupation Certificate.

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Lot 37 DP 7796 (Cont'd)

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

5. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

6. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://longservice.force.com/bci/s/levy-calculator	\$ 5790.00
Security Damage Deposit	\$ 15,000.00
Tree Bond	\$ 40,600.00

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Lot 37 DP 7796 (Cont'd)

Outstanding Development Application Fee	\$ 1279.30
Outstanding Neighbour Notification Fee	\$ 414.69
Administration Fee for Damage Deposit	\$ 130.00
Administration Fee for Tree Bond	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$ 16,543.72

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

A Section 7.12 contribution (s94A) has been levied on the subject development pursuant to the Strathfield Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council:

- Prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website

www.strathfield.nsw.gov.au.

7. Additional Development Application Fees

In accordance with Regulation 50(1)(c) and the table to Regulation 246 of the Environmental Planning and Assessment Act Council must charge a development application fee based on the estimated cost of works applied for.

The development costs of the approved development are estimated at \$1,654,371.64 and the

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Lot 37 DP 7796 (Cont'd)**

applicable Development Application Fees on this amount would be as follows:

- Development Application Fee \$ 3557.30
- Neighbour Notification Fee \$ 1227.19

The following amounts were paid when lodging the application:

- Development Application Fee \$ 2278.00
- Neighbour Notification Fee \$ 812.50

The difference shall be paid to Council prior to the issue of a Construction Certificate as follows:

- Outstanding Development Application Fee \$ 1279.30
- Outstanding Neighbour Notification Fee \$ 414.69

8. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

Amendments made in red on approved plans	All changes made in red on the approved plans shall be updated and shown on the Construction Certificate plans.
Basement Plan	The Basement Plan shall be amended to reduce the <i>Storage Mech Plant Room</i> and/or <i>Pool and Equipment</i> room so that the entire basement area is limited to and contained within the footprint of the dwelling at ground level. The amended basement plan shall be submitted to the Principle Certifying Authority for approval prior to the issue of any Construction Certificate. Note: External patios, courtyards, alfresco areas etc. are excluded from the dwelling footprint.
Dwelling Height	The maximum building height for the cabana must be reduced from the proposed RL 36.470 to RL 35.41 to the ridge of the roof; or RL 34.91 for a flat roof building.
Reduction of first floor rear void space	In order to reduce bulk and impacts of overshadowing to the adjoining property at 151 Homebush Road: (i) the large rear void space located in the north-west section of the first floor above the ground floor Living Area shall be reduced to an area no bigger than 12.5m ² ; and (ii) The Master bedroom and associated WIRs and <i>en suite</i> shall be shifted north to reduce bulk on the south-west section of the dwelling and

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Driveway width at property boundary	The vehicular entrance width must be reduced from the proposed 3.5 metres to 3 metres between the front boundary and the street. Any front fence or gate opening adjustments required as a result of this reduction must be illustrated on the plans lodged with the application for the Construction Certificate.
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9. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$15,000.00.
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

10. Tree Bond

A tree bond (Tree 1 & 2 – *Platnus x hispancia* / street trees) of \$40,600.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath. Alternative protection measures may be required based on the direction of the Supervising Arborist.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

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11. Site Management Plan Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

The site management measures are to be implemented prior to the commencement of any works including demolition and excavation. The site management measures are to be maintained throughout the works, to maintain reasonable levels of public health, safety and amenity. A copy of the Site Management Plan must be kept on site and is to be made available upon request.

12. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1222592S must be implemented on the plans lodged with the application for the Construction Certificate.

13. Low Reflectivity Roof

Roofing materials must be low glare and reflectivity. Details of finished external materials including colours and texture must be provided to the Certifying Authority.

14. Sites in The Vicinity of a Heritage Item

A protection strategy for the duration of the construction works, is to be submitted to and approved by Council's Engineer prior to the issue of the Construction Certificate. The Strategy is to detail how the proposed works will ensure that the buildings at 151 Homebush Road STRATHFIELD is to be suitably protected and stabilised during the construction process including from any construction waste, dust, damp, water runoff, vibration or structural disturbance or damage.

Additionally, the protection strategy is to include:

Details of temporary hydraulic drainage works to ensure that all water both in ground and above ground is channelled to the street and that no such water is channelled onto the adjacent property fabric or interiors.

- i. Construction debris on neighbouring properties, in drainage lines or in cavities between the boundary walls of the adjacent buildings, is to be removed progressively as the works progress.
- ii. (for sites requiring large scale excavation that is below the level of adjacent heritage items)
A geotechnical report detailing the investigation of the location and depth of footings of the adjacent buildings. This report should address details of lateral ground movement, advice of any additional boundary offsets that may be required as a result of the location of footings and on the suitability of structural engineer's proposals for underpinning or other support to adjacent footings.

15. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

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- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004.](#)

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

16. Pre-Construction Dilapidation Report – Private Land

A professional engineer specialising in structural or geotechnical engineering shall prepare a Pre-Construction Dilapidation Report detailing the current structural condition of adjoining premises including but not limited to:

- (a) All neighbouring properties likely to be affected by the excavation as determined by the consulting engineer.
- (b) The existing dwelling at 151 Homebush Road STRATHFIELD

The report shall be prepared at the expense of the applicant and submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

A copy of the pre-construction dilapidation report is to be provided to the adjoining properties (subject of the dilapidation report), a minimum of 5 working days prior to the commencement of work. Evidence confirming that a copy of the pre-construction dilapidation report was delivered to the adjoining properties must be provided to the PCA.

Should the owners of properties (or their agents) refuse access to carry out inspections, after being given reasonable written notice, this shall be reported to Council to obtain Council's agreement to complete the report without access. Reasonable notice is a request for access in no sooner than 14 days between 8.00am-6.00pm.

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17. On Site Detention

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

- (a) peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden,
- (b) at Annual Recurrence Intervals of 2 years, 10 years and 100 years.

The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

18. Pump-Out System Design for Stormwater Disposal

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

- (a) The pump system shall consist of two pumps, connected in parallel, with each pump being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;
- (b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- (c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

19. Stormwater Drainage Plan Details (Tree Protection)

The approved stormwater drainage plans shall be amended to include the retention and protection of the neighbouring palm tree at 151 Homebush Road STRATHFIELD on page ref A21092 – SW03. Annotations to the plan shall include the following:

- Australian Standard: AS4970-2009 : Protection of trees on development sites

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

- Section 4 : Tree Protection Measures
- 4.5.5: Installing underground services within TPZ.
- *All services should be routed outside the TPZ. If underground services must be routed within the TPZ. They should be installed by directional drilling or in manually excavated trenches*
- *The directional drilling bore should be a least 600mm deep. The project arborist should assess the likely impacts of boring and bore pits on retained trees*
- *For manual excavation of trenches the project arborist should advise on roots to be retained and should monitor the works. Manual excavations may include the use of pneumatic and hydraulic tools. Refer Clause 4.5.3 of AS4970.*

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

20. Compliance with Swimming Pool Act 1992

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

21. Swimming Pools – Use and Maintenance

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
- (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) the swimming pool must not be used for commercial or professional purposes;
- (d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

22. Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

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Lot 37 DP 7796 (Cont'd)

23. Landscape Plan

A detailed landscape plan, drawn to scale, by a qualified landscape architect or landscape designer, must be submitted prior to the issue of the Construction Certificate. The plan must include:

- (a) Minimum deep soil area of 367.9m² with at least 50% of this area behind the front building line.
- (b) Location of existing and proposed structures, services and existing trees;
- (c) Details of earthworks including mounding and retaining walls and planter boxes;
- (d) At least one (1) new canopy trees in the rear yard - to have a minimum mature height of 10m planted within a minimum 50 litre container;
- (e) Location of proposed plants and a plant schedule showing the plant symbol, botanical name/ common name; quantity; pot size/; and mature height x width.
- (f) Details of planting procedure and maintenance;
- (g) Landscape specification;
- (h) Details of drainage and watering systems;
- (i) Details of garden edging and turf; and
- (j) Any required fencing, retaining walls and other structures not shown on other approved architectural and engineering plans.

24. Landscape Plans

All landscape works shall be carried out in accordance with the approved landscape plans. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

25. Compliance with Submitted Arborist Report

The recommendations outlined in the Arborist's Report titled *Arboricultural Construction Impact Assessment & Preliminary Management Statement* prepared by Growing My Way (dated November 2021) must be implemented throughout the relevant stages of construction. Details of tree protection measures to be implemented must be detailed and lodged with the Construction Certificate application for approval and shall be in accordance with Section 4 - *Australian Standard AS 4970-2009: Protection of trees on development sites*.

The tree/s to be protected are listed in the table below.

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Platanus x hispanica	Street tree located front of 151 Home Bush Road	7.08 metres

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

2	Platanus x hispanica	Street tree located front of 149 Home Bush Road	6.72 metres
3	2 x Archontophoenix cunninhamii	149 Homebush Road	2.16 metres
4	2 x Howea foresteriana	149 Homebush Road	2.0 metres
5	Washingtonia robusta	151 Homebush Road	5.4 metres
6	Acer palmatum	149 Homebush Road	4.44 metres

26. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No.	Tree Species	Location of Tree	Tree Protection Zone (metres)
1	Platanus x hispanica	Street tree located front of 151 Home Bush Road	7.08 metres
2	Platanus x hispanica	Street tree located front of 149 Home Bush Road	6.72 metres
3	2 x Archontophoenix cunninhamii	149 Homebush Road	2.16 metres
4	2 x Howea foresteriana	149 Homebush Road	2.0 metres
5	Washingtonia robusta	151 Homebush Road	5.4 metres
6	Acer palmatum	149 Homebush Road	4.44 metres

Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Excavation works near tree to be retained

- (h) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (i) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (j) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

27. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the PCA prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

28. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

29. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

30. Utility Arrangements

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicant's expense.

DURING CONSTRUCTION

31. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

32. **Ground Levels and Retaining Walls**

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

33. **Construction Management Plan**

The owner/applicant is to ensure that the approved Construction Traffic management Plan is to be strictly complied with and kept on site at all times during construction works.

34. **Swimming Pools – Filling with Water**

The pool/spa shall not filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the PCA.

35. **Excavation Works Near Tree to be Retained**

Excavation around the tree/s to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not be adversely affected.

Where the Tree Protection Zone of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

36. **BASIX Certificate**

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

37. **BASIX Compliance Certificate**

A Compliance Certificate must be provided to the PCA regarding the implementation of all energy efficiency measures as detailed in the approved BASIX Certificate before any Occupation Certificate is issued.

38. **Post Construction Dilapidation Report – Private Land**

At the completion of the construction works, a suitably qualified person is to be engaged to prepare a post-construction dilapidation report. This report is to ascertain whether the construction works associated with the subject development created any structural damage to the following adjoining premises:

(a) All neighbouring buildings and property identified in the dilapidation condition prior to CC.

(b) The existing dwelling at 151 Homebush Road STRATHFIELD

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

The report is to be prepared at the expense of the applicant and submitted to the PCA prior to the issue of the Occupation Certificate. In ascertaining whether adverse structural damaged has occurred to the adjoining premises, the PCA, must compare the post-construction dilapidation report with the pre-construction dilapidation report required by conditions in this consent.

Evidence confirming that a copy of the post-construction dilapidation report was delivered to the adjoining properties subject of the dilapidation report must be provided to the PCA prior to the issue of any Occupation Certificate.

39. Restriction to User and Positive Covenant for On-Site Detention Facility

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, water sensitive urban design, surface flow path, finished pavement and ground levels etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and or 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

40. Maintenance Schedule – On-site Stormwater Management

A Maintenance Schedule for the proposed on-site stormwater management measures is to be prepared and submitted to Council. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

41. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

42. Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications.

The work must be completed before the issue of an Occupation Certificate.

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

43. **Stormwater Drainage Works – Works As Executed**

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

44. **Swimming Pools – Resuscitation Notice**

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

45. **Entering & Exiting of Vehicles**

All vehicles shall enter and exit the premises in a forward direction.

46. **Greywater System**

In order to conserve and re-use water, Council encourages all developments for new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

47. **Requirement for a Construction Certificate**

The erection of a building must not commence until a Construction Certificate has been issued.

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

48. **Appointment of a PCA**

The erection of a building must not commence until the applicant has:

- (a) appointed a PCA for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the PCA of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

49. **Notification of Critical Stage Inspections**

No later than two days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

50. **Notice of Commencement**

The applicant must give at least two days-notice to the Council and the PCA of their intention to commence the erection of a building.

51. **Occupation Certificate**

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

52. **Clause 75 – BASIX Commitments**

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)

53. **Clause 70 – Erection of Signs**

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the PCA and the Principal Contractor.

54. **Clause 71 – Home Building Act 1989**

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

ADVISORY NOTES

i. **Review of Determination**

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

ii. **Appeal Rights**

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. **Lapsing of Consent**

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. **Access to NSW Legislations (Acts, Regulations and Planning Instruments)**

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

v. **Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993**

To apply for approval under Section 138 of the [Roads Act 1993](#):

**DA2021.225- 149 Homebush Road Strathfield
Lot 37 DP 7796 (Cont'd)**

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (DA 2021/225) and reference this condition number (Advisory Note 5)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

vi. Site Safety Fencing

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

vii. Register your Swimming Pool

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

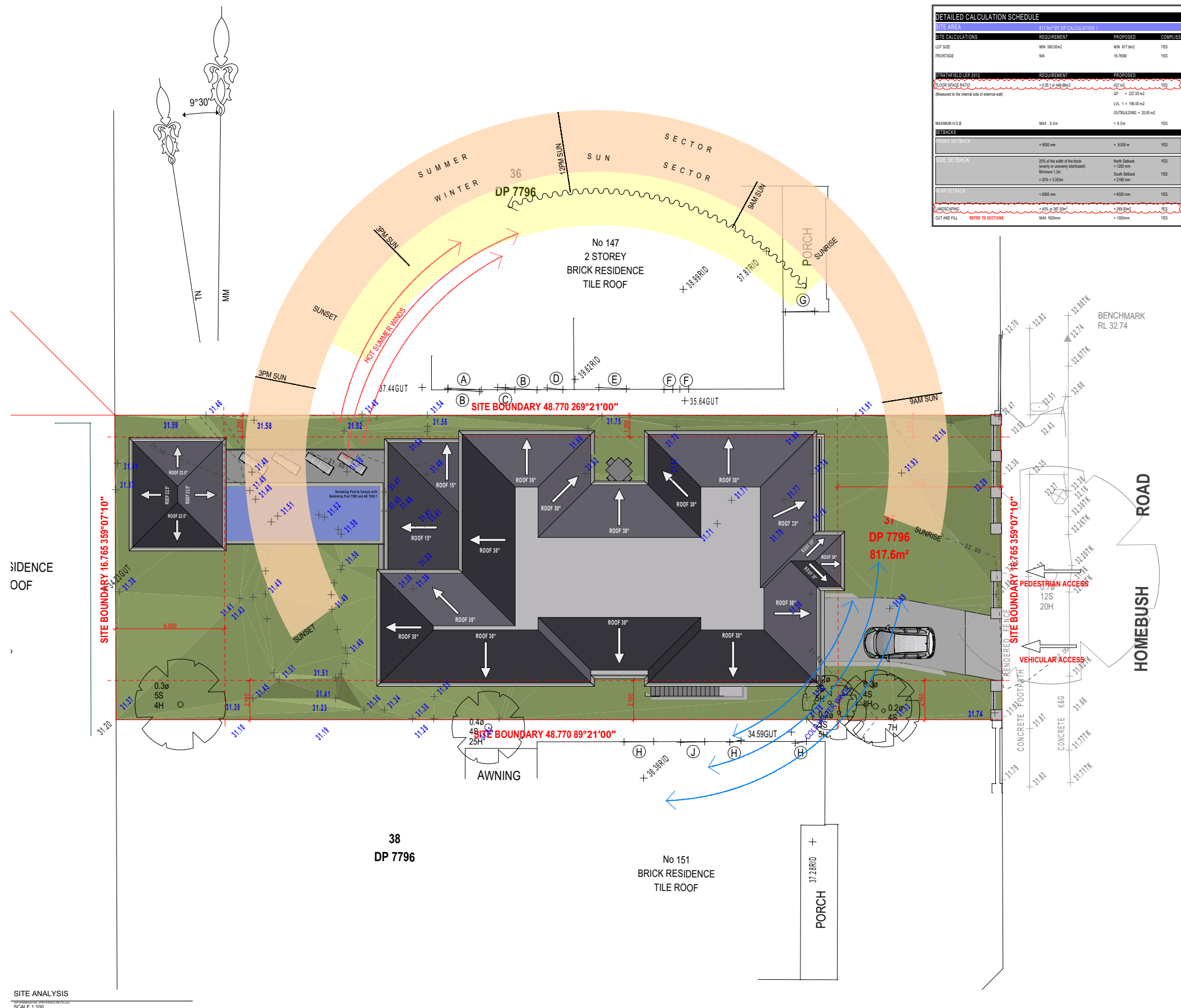
viii. Electricity Supply

This development may need a connection to the Ausgrid network which may require the network to be extended or its capacity augmented. You are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services) for further details and information on lodging your application to connect to the network.

ATTACHMENTS

1. [↓](#) DA 2021.225 - Amended Architectural Plans - 149 Homebush Road STRATHFIELD





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- LEGEND**
- 200MM DINCEL WALL
 - 250MM BRICK VENEER CONSTRUCTION
 - 270MM DOUBLE BRICK CONSTRUCTION
 - 110MM SINGLE BRICK CONSTRUCTION
 - 110MM STUD WALL
 - 200MM BLOCK WALL CONSTRUCTION
 - EX XXXX EXISTING NATURAL GROUND LEVELS
 - 30 SET DOWN IN BATHROOMS
 - ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
 - - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:**
- Written dimensions to take precedence over scale
 - Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 - Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 - All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 - All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 - Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 - Drainage walls are required to be engineer designed and certified where required.
 - All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 - All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 - All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 - Drainage to comply with appropriate soil classification described in Table 3.1.1.1.1 BCA Vol 2
 - Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 - Vehicle crossover to be constructed as per Council requirements.
 - Articulated joints in accordance with BCA 3.3.1.6 (V02)
 - Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
 - Provide cold water connection & gas to dishwasher space
 - Hotwater system to comply with A.S.2000
 - Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 - Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
 EMAIL: INFO@PLATFORMFIVE.COM.AU
 WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **SITE LOCATION & ANALYSIS** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA1001**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

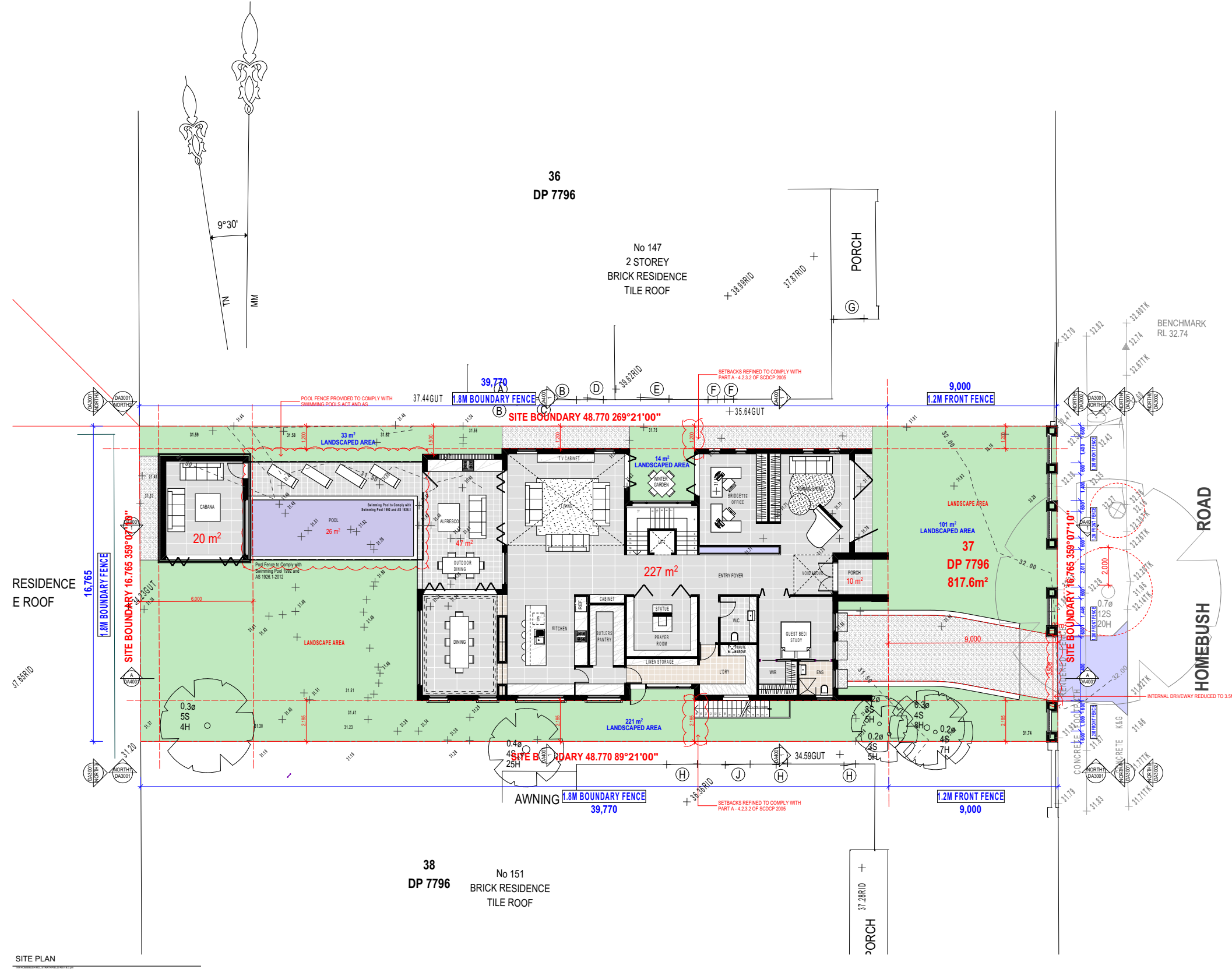


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 - 30 SET DOWN IN BATHROOMS
 - ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
 - - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:**
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gss to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



PLATFORM 5 DESIGN

SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: SITE PLAN	PROJECT NUMBER: 20-059		
DRAWING NUMBER: DA1002	DATE OF ISSUE: 19/11/2021		
SCALE: AS SHOWN	<table style="width: 100%; border: none;"> <tr> <td style="border: 1px solid black; padding: 2px;">E01</td> <td style="border: 1px solid black; padding: 2px;">N</td> </tr> </table>	E01	N
E01	N		

DEVELOPMENT APPLICATION

SITE PLAN
SCALE 1:100



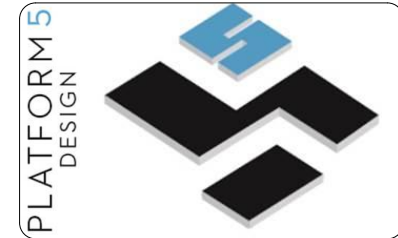
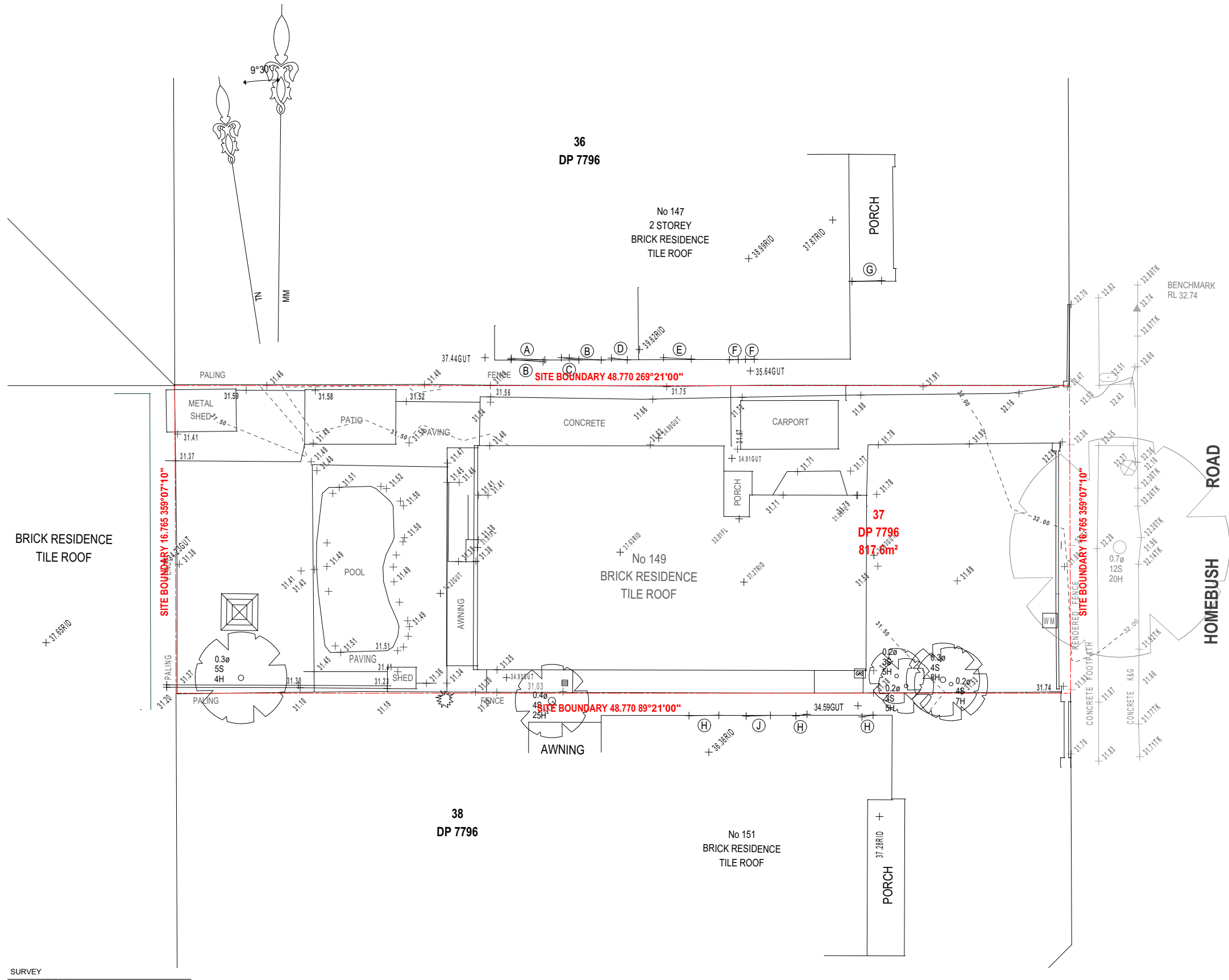
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



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149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

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C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: SURVEY PROJECT NUMBER: 20-059

DRAWING NUMBER: DA1003

DATE OF ISSUE: 19/11/2021 E01 N

SCALE: AS SHOWN

DEVELOPMENT APPLICATION

SURVEY
SCALE 1:100



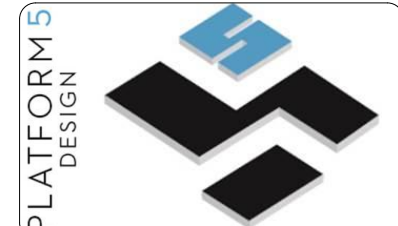
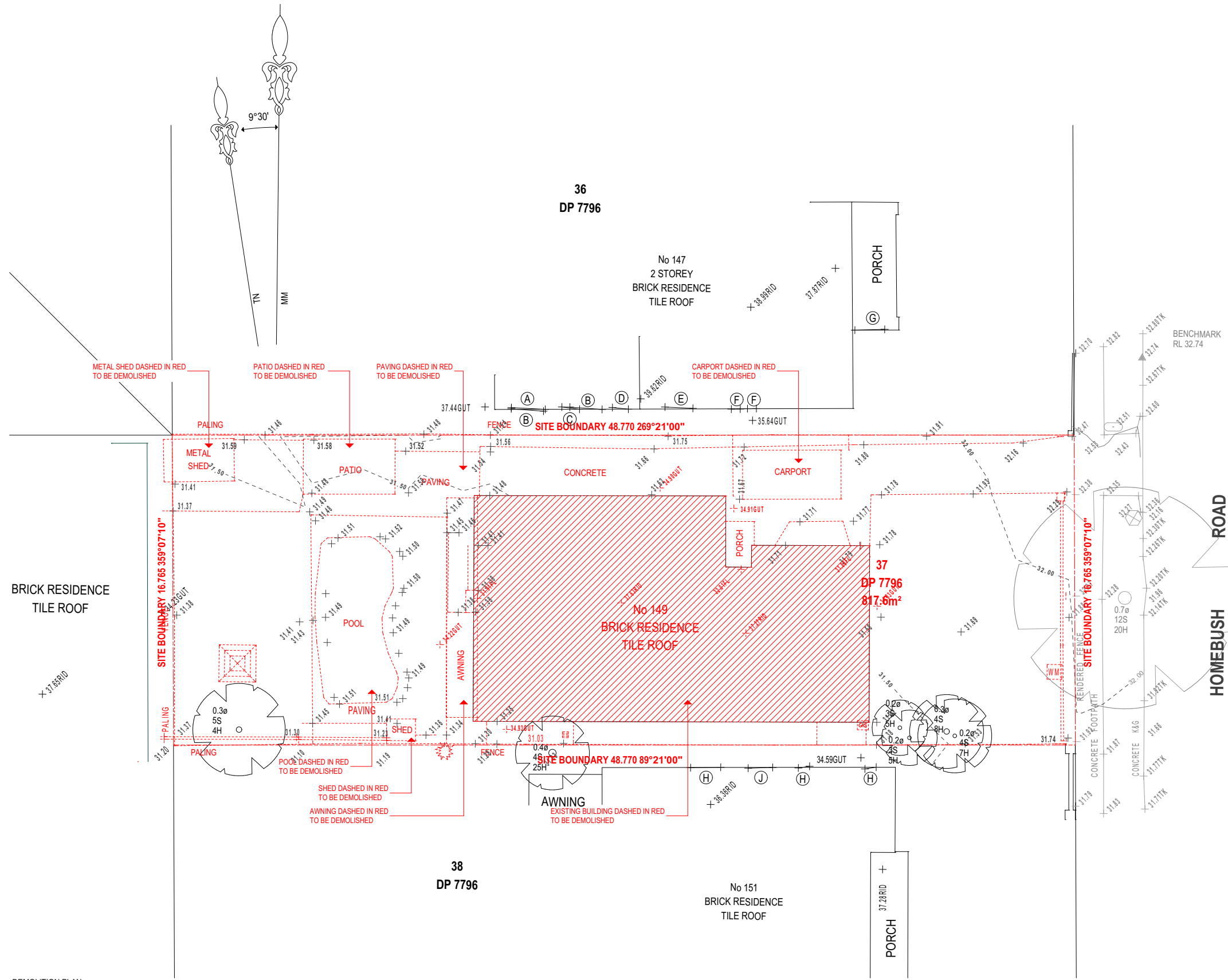
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
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 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Details to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (FG2)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA part of discharge to meet local authority requirement



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149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

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A01	ISSUE FOR REVIEW	06/01/2021
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D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **DEMOLITION PLAN** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA1004**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

DEMOLITION PLAN
SCALE 1:100



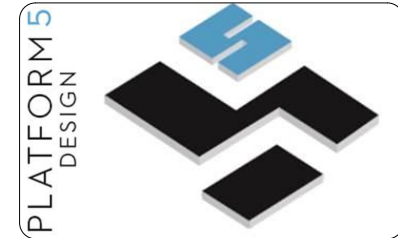
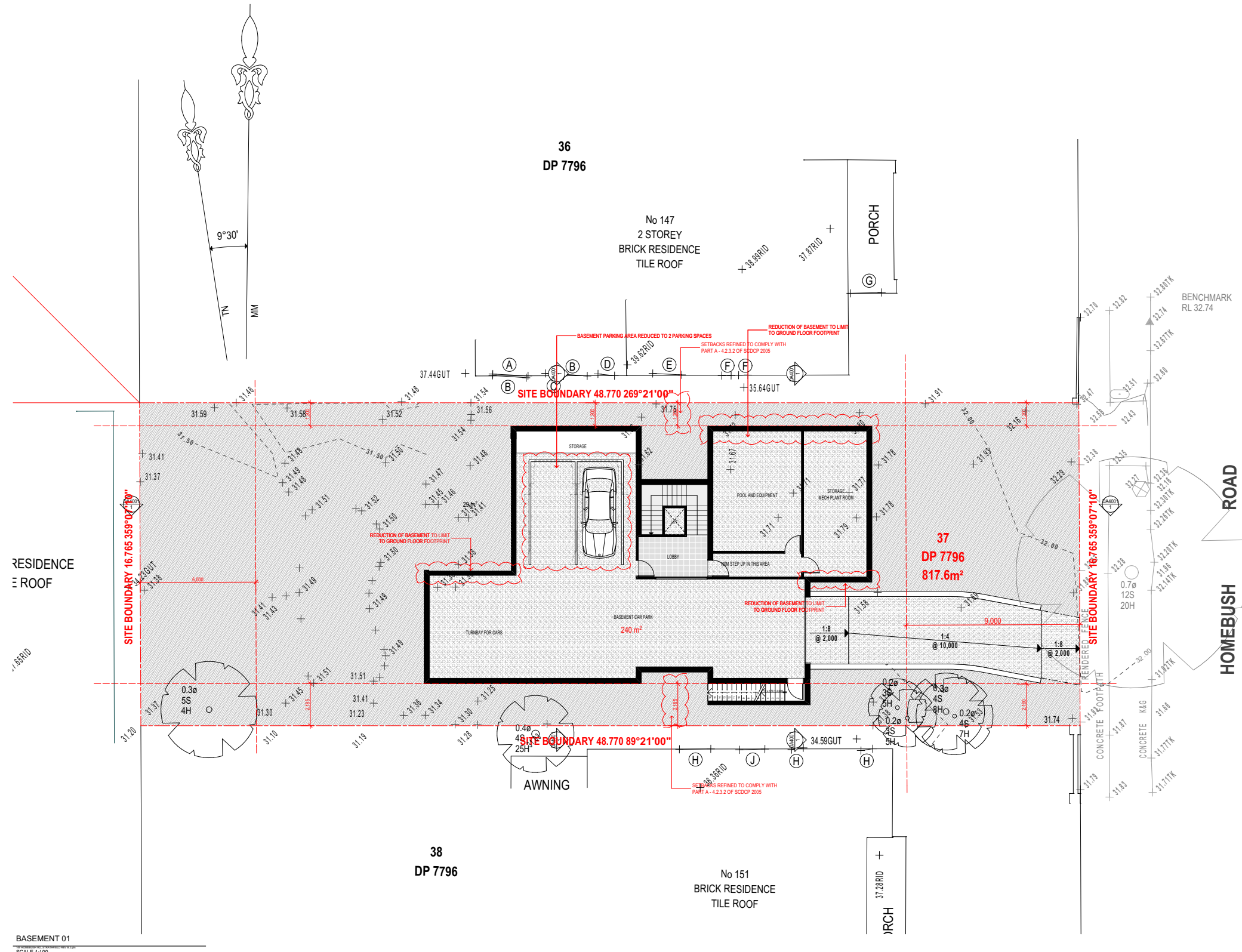
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Draining walls are required to be engineer designed and certified where required.
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 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
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149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

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C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE:
BASEMENT

PROJECT NUMBER:
20-059

DRAWING NUMBER: **DA2001**

DATE OF ISSUE: **19/11/2021** **E01** **N**

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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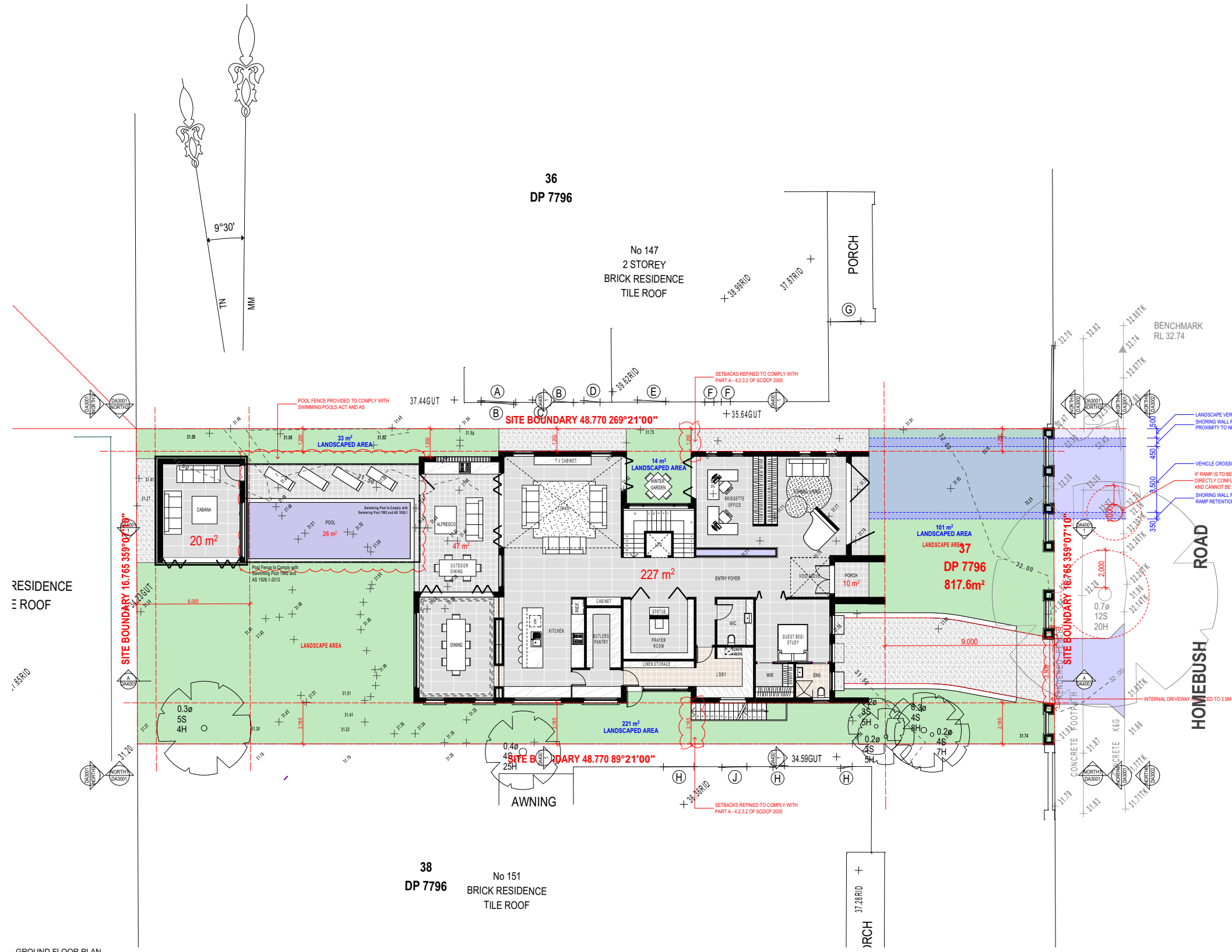
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LEGEND

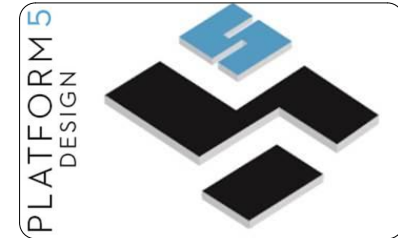
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- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

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7. Retaining walls are required to be engineer designed and certified where required.
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10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
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19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



GROUND FLOOR PLAN
SCALE: 1:100



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149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

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A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **GROUND FLOOR** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA2002**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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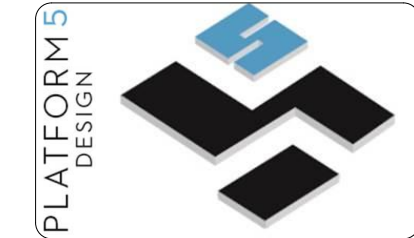
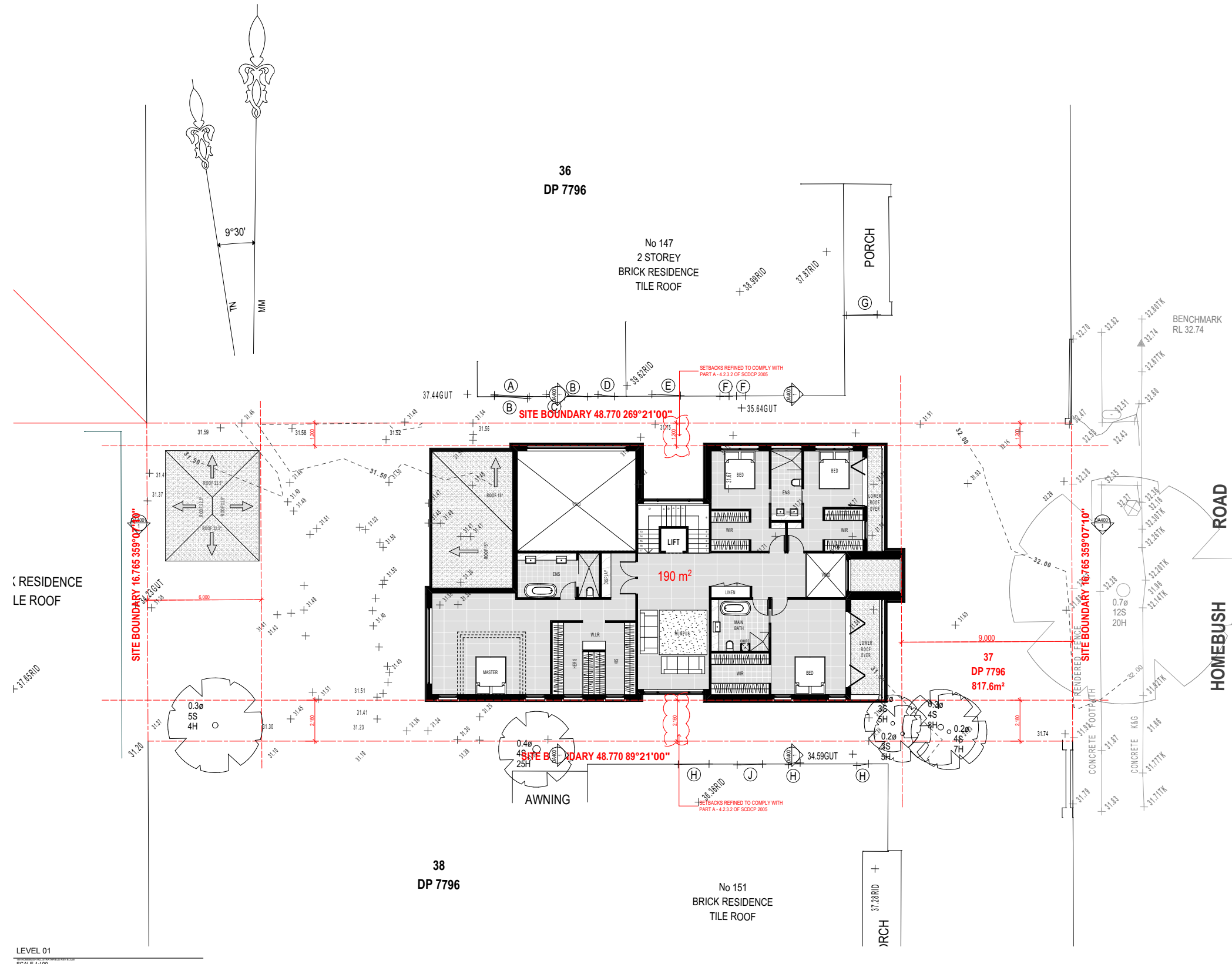
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LEGEND

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- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

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PROJECT TITLE
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E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **LEVEL 01** PROJECT NUMBER: **20-059**

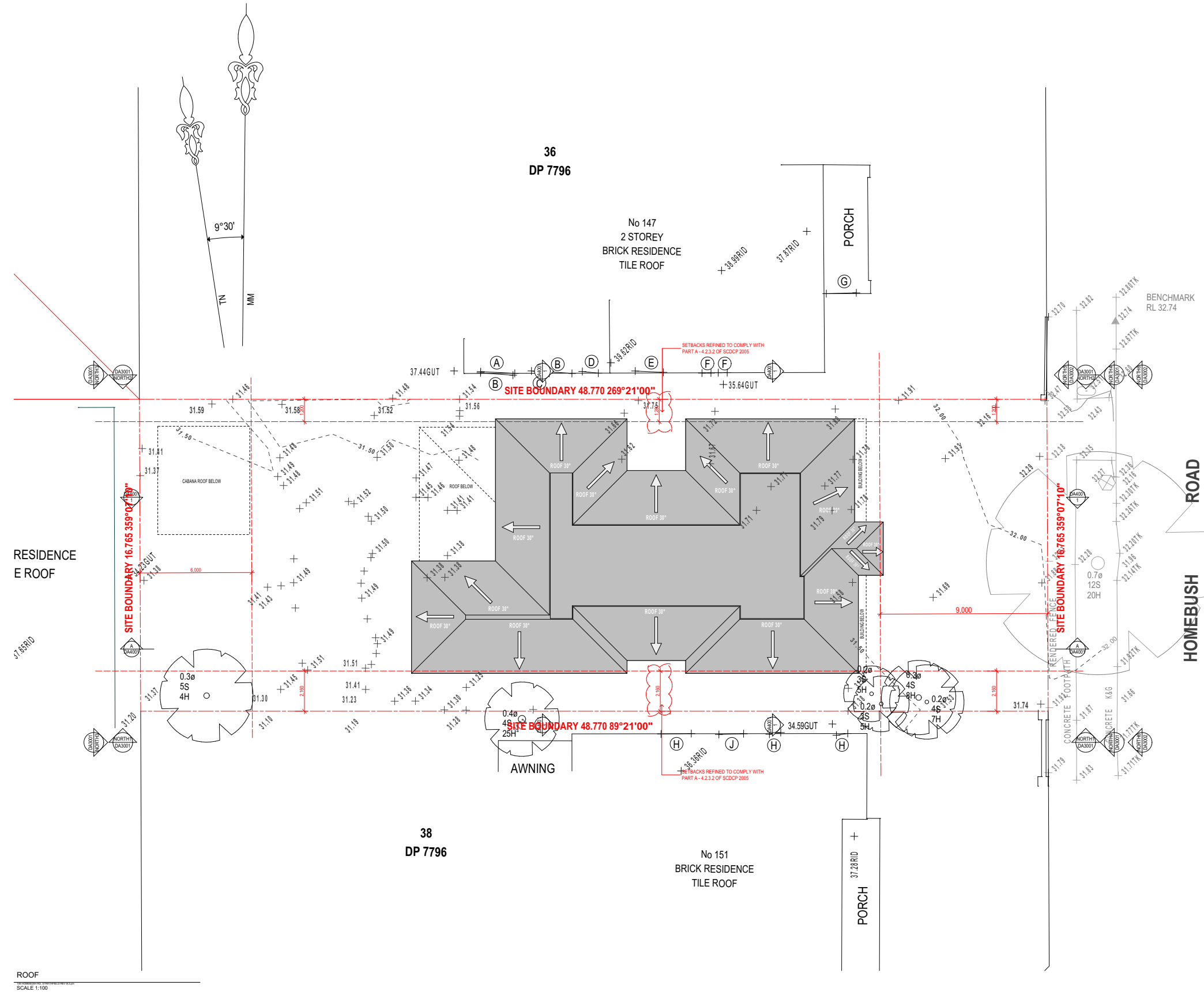
DRAWING NUMBER: **DA2003**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

LEVEL 01
SCALE 1:100



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- LEGEND**
- 200MM DINCEL WALL
 - 250MM BRICK VENEER CONSTRUCTION
 - 270MM DOUBLE BRICK CONSTRUCTION
 - 110MM SINGLE BRICK CONSTRUCTION
 - 110MM STUD WALL
 - 200MM BLOCK WALL CONSTRUCTION
 - EX XXXX EXISTING NATURAL GROUND LEVELS
 - 30 SET DOWN IN BATHROOMS
 - ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
 - - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:**
1. Written dimensions to take precedence over scale
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 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & go to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

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 EMAIL: INFO@PLATFORMFIVE.COM.AU
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PROJECT TITLE

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E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: ROOF	PROJECT NUMBER: 20-059
DRAWING NUMBER: DA2004	
DATE OF ISSUE: 19/11/2021	E01
SCALE: AS SHOWN	

DEVELOPMENT APPLICATION



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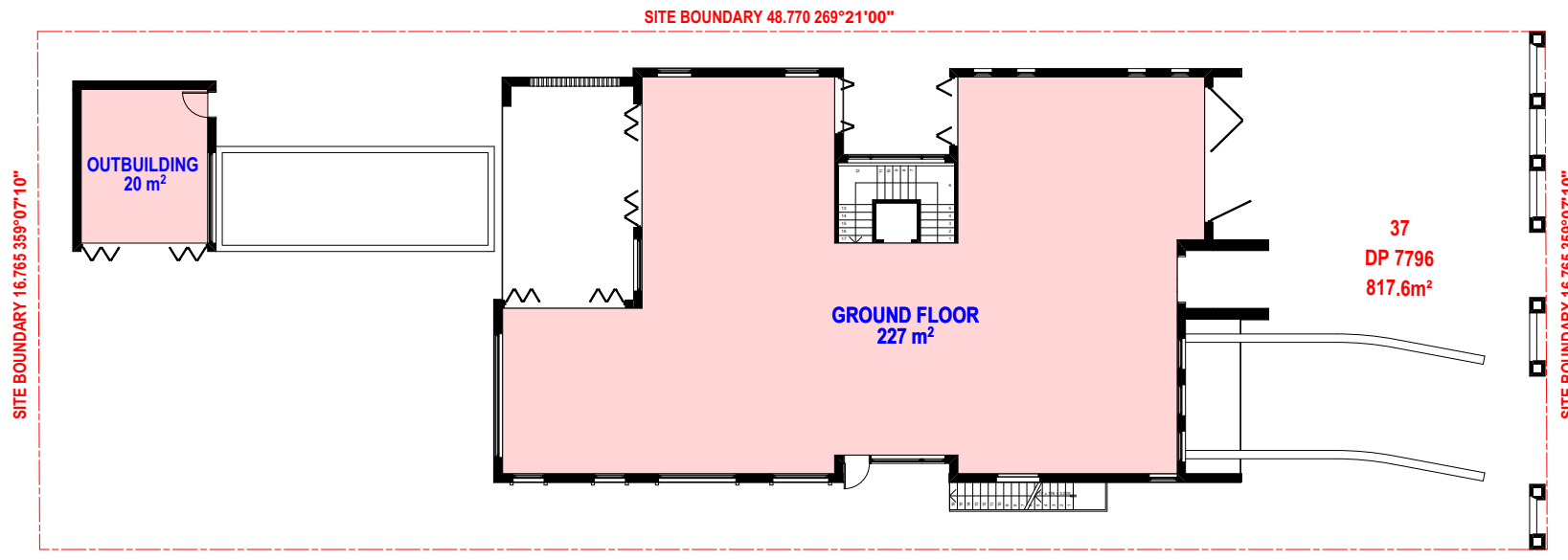
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DETAILED CALCULATION SCHEDULE			
SITE AREA	REQUIREMENT	PROPOSED	COMPLIES
SITE CALCULATIONS			
LOT SIZE	MIN 960.0m ²	MIN 817.6m ²	YES
FRONTAGE	N/A	16.765M	YES
STRATHFIELD LEP 2012			
FLOOR SPACE RATIO	≤ 0.051 or 488.0m ²	437 m ²	YES
<i>(Measured to the internal side of external wall)</i>			
		GF = 227.00m ²	
		LVL 1 = 190.00m ²	
		OUTBUILDING = 20.00m ²	
MAXIMUM H.O.B	MAX. 9.5m	< 9.5m	YES
SETBACKS			
FRONT SETBACK	≥ 8000 mm	≥ 8000 mm	YES
SIDE SETBACK	20% of the width of the block (evenly or unevenly distributed) Minimum 1.2m	North Setback = 1200 mm South Setback = 2180 mm	YES
REAR SETBACK	≥ 8000 mm	≥ 8000 mm	YES
LANDSCAPING			
CUT AND FILL	≤ 40% or 307.0m ²	≤ 386.0m ²	YES
	MAX 1000mm	< 1000mm	YES

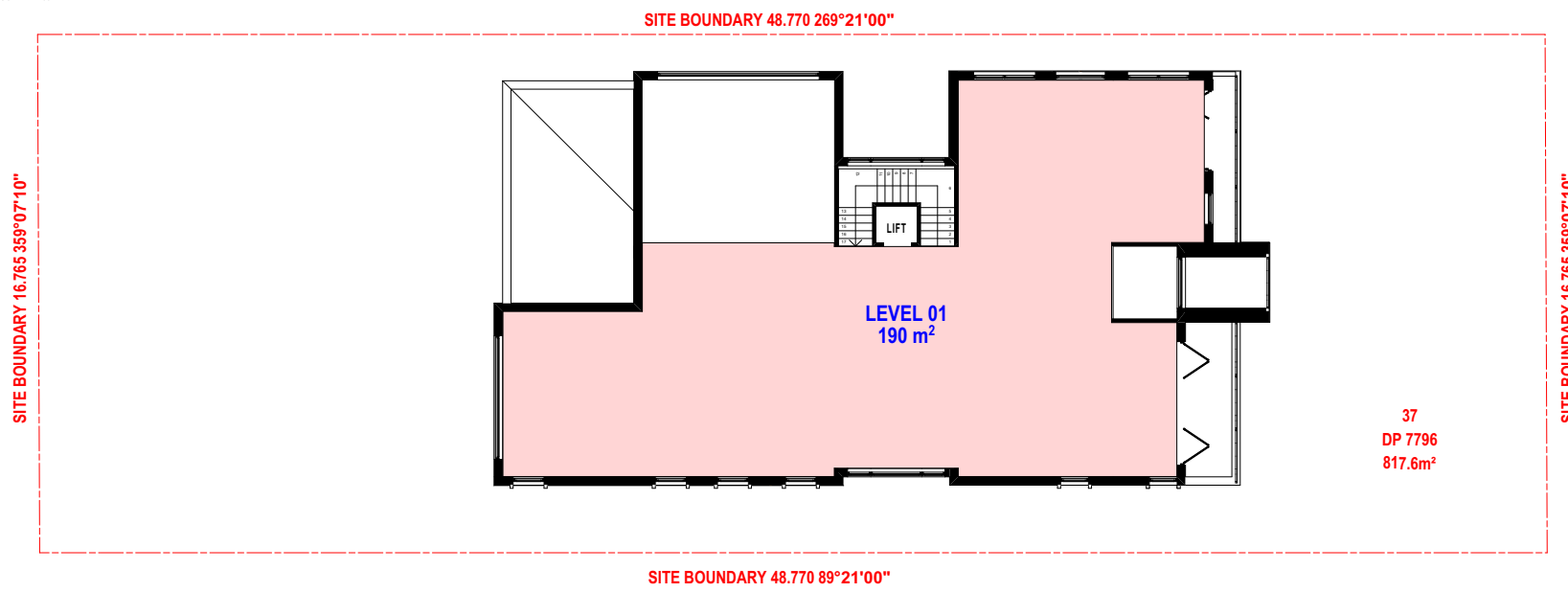
LEGEND

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- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
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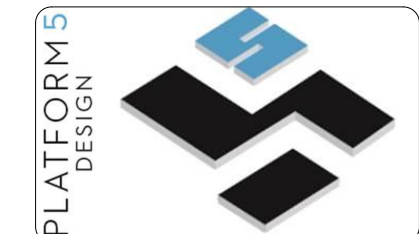
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 - Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 - Drainage walls are required to be engineer designed and certified where required.
 - All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 - All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 - All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 - Doors to comply with appropriate exit classification described in Table 3.1.1.1 BCA Vol 2
 - Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 - Mechanical crossover to be constructed as per Council requirements.
 - Articulated joints in accordance with BCA 3.3.1.6 (V02)
 - Ventilation to be to an exhaust fan in accordance with BCA-44.5 & A-1668.2
 - Provide cold water connection & go to dishwasher space
 - Hotwater system to comply with A.S.2000
 - Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 - Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement



GROUND - GFA
SCALE 1:100



LEVEL 01 - GFA
SCALE 1:100



SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **GFA DIAGRAMS** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA2901**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



SHADOW PERSPECTIVE 9AM- 21 JUNE
SCALE



SHADOW PERSPECTIVE 10AM- 21 JUNE
SCALE 1:200



SHADOW PERSPECTIVE 11AM- 21 JUNE
SCALE 1:200

**151 HOMEBUSH ROAD,
STRATHFIELD**

 SHADOW CASTED ONTO NEIGHBOUR

*SHADOW IMPACT HAS BEEN REDUCED SIGNIFICANTLY AS LARGEST SETBACK HAS BEEN APPLIED TO THE SOUTHERN BOUNDARY OF THE ADJOINING NEIGHBOUR



SHADOW PERSPECTIVE 12PM- 21 JUNE
SCALE 1:200



SHADOW PERSPECTIVE 1PM- 21 JUNE
SCALE 1:200



SHADOW PERSPECTIVE 2PM- 21 JUNE
SCALE 1:200











SHADOW PERSPECTIVE 3PM- 21 JUNE
SCALE 1:200



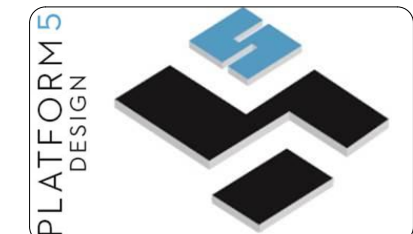
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LEGEND

-  200MM DINCEL WALL
-  250MM BRICK VENEER CONSTRUCTION
-  270MM DOUBLE BRICK CONSTRUCTION
-  110MM SINGLE BRICK CONSTRUCTION
-  110MM STUD WALL
-  200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
-  SET DOWN IN BATHROOMS
-  XXXX SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Retaining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
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PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: FRONT SOLAR ACCESS PROJECT NUMBER: 20-059

DRAWING NUMBER: DA2902

DATE OF ISSUE: 19/11/2021 E01 N

SCALE: AS SHOWN

DEVELOPMENT APPLICATION

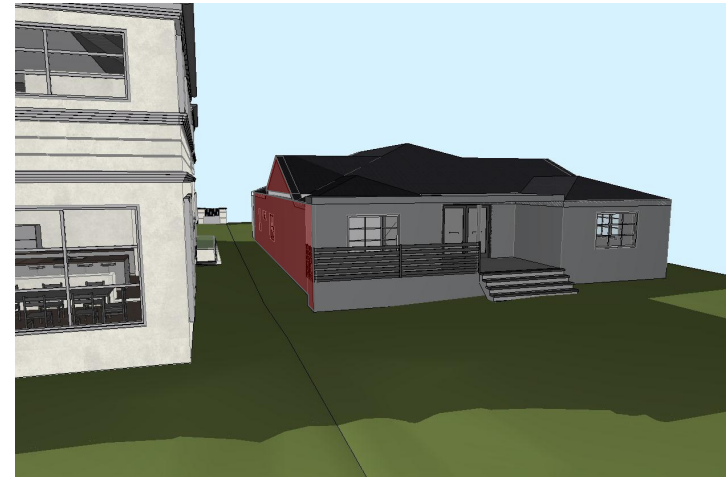


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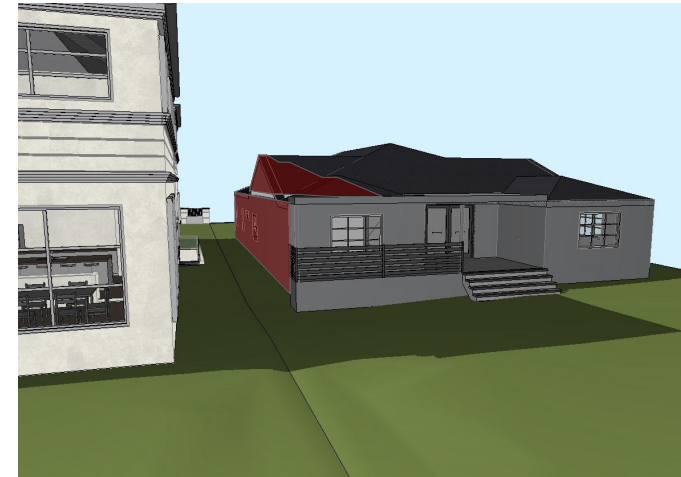
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SHADOW REAR PERSPECTIVE 9AM- 21 JUNE
SCALE 1:200



SHADOW REAR PERSPECTIVE 10AM- 21 JUNE
SCALE 1:200



SHADOW REAR PERSPECTIVE 11AM- 21 JUNE
SCALE 1:200

LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
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 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-44.5 & A-1688.2
 16. Provide cold water connection & go to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement

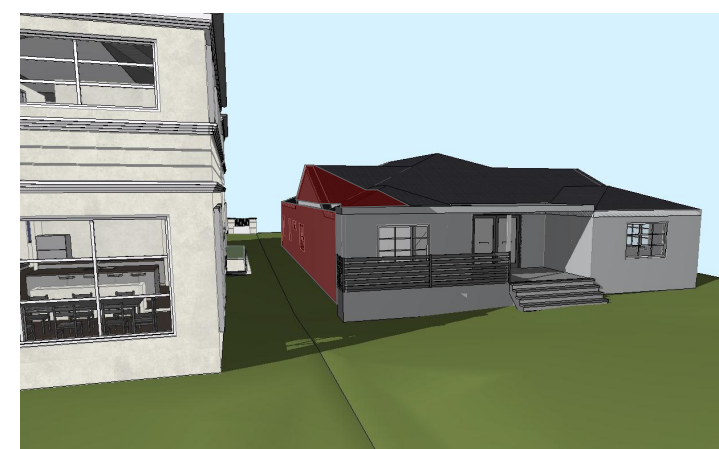
**151 HOMEBUSH ROAD,
STRATHFIELD**

SHADOW CASTED ONTO NEIGHBOUR

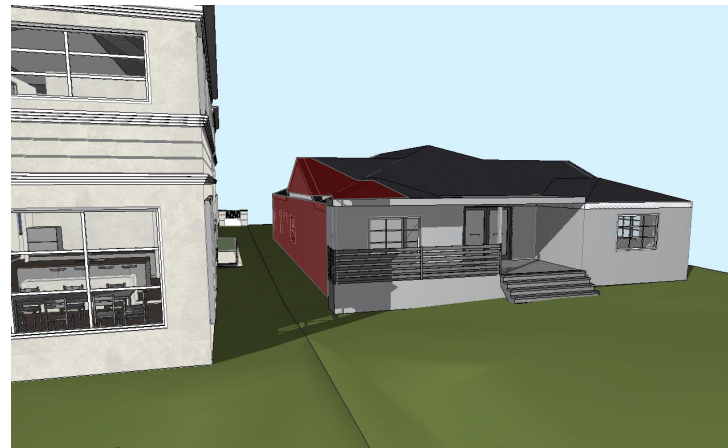
*SHADOW IMPACT HAS BEEN REDUCED SIGNIFICANTLY AS LARGEST SETBACK HAS BEEN APPLIED TO THE SOUTHERN BOUNDARY OF THE ADJOINING NEIGHBOUR



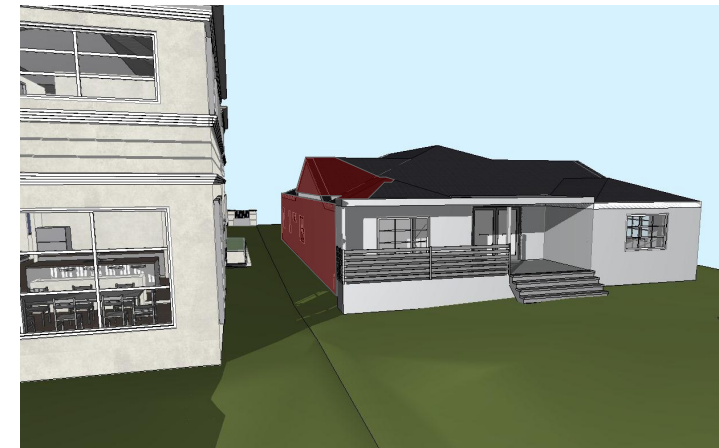
SHADOW REAR PERSPECTIVE 12PM- 21 JUNE
SCALE 1:200



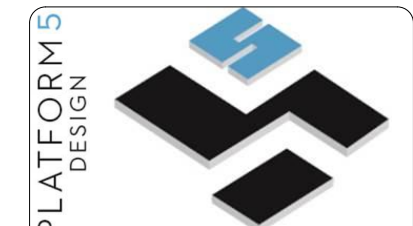
SHADOW REAR PERSPECTIVE 1PM- 21 JUNE
SCALE 1:200



SHADOW REAR PERSPECTIVE 2PM- 21 JUNE
SCALE 1:200



SHADOW REAR PERSPECTIVE 3PM- 21 JUNE
SCALE 1:200



SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **REAR SOLAR ACCESS** PROJECT NUMBER: **20-059**

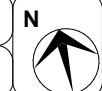
DRAWING NUMBER: **DA2903**

DATE OF ISSUE: **19/11/2021**

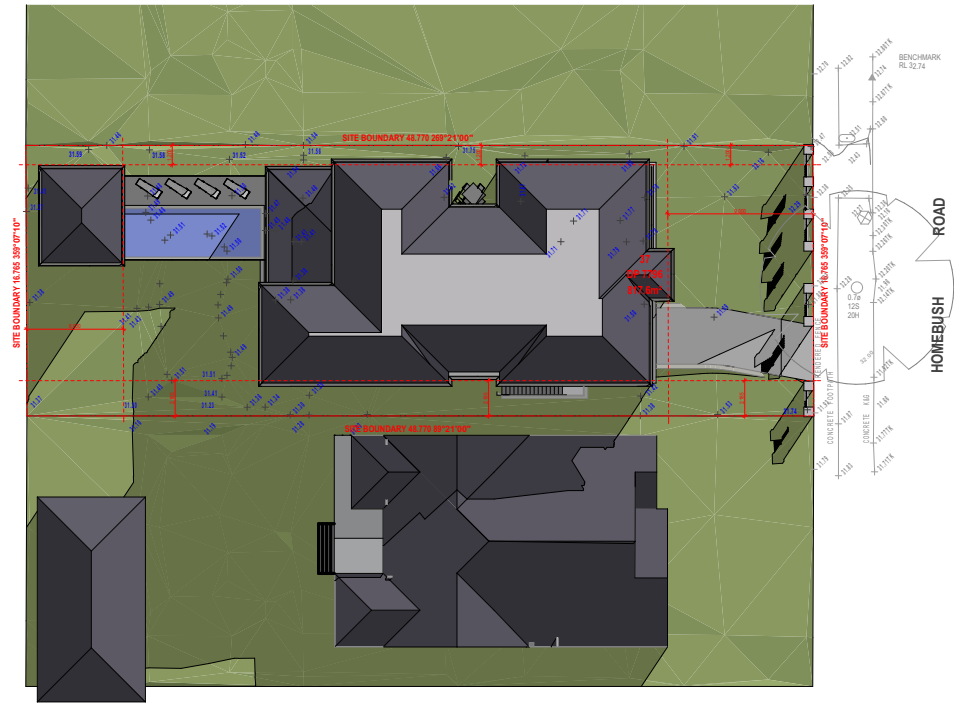
E01

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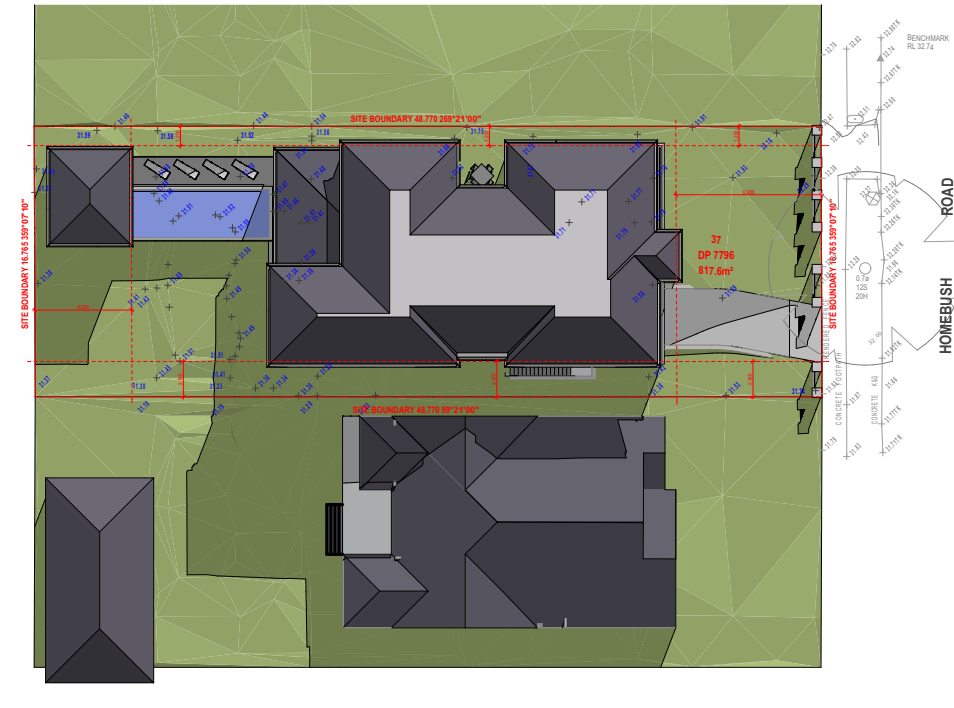
SCALE: **AS SHOWN**



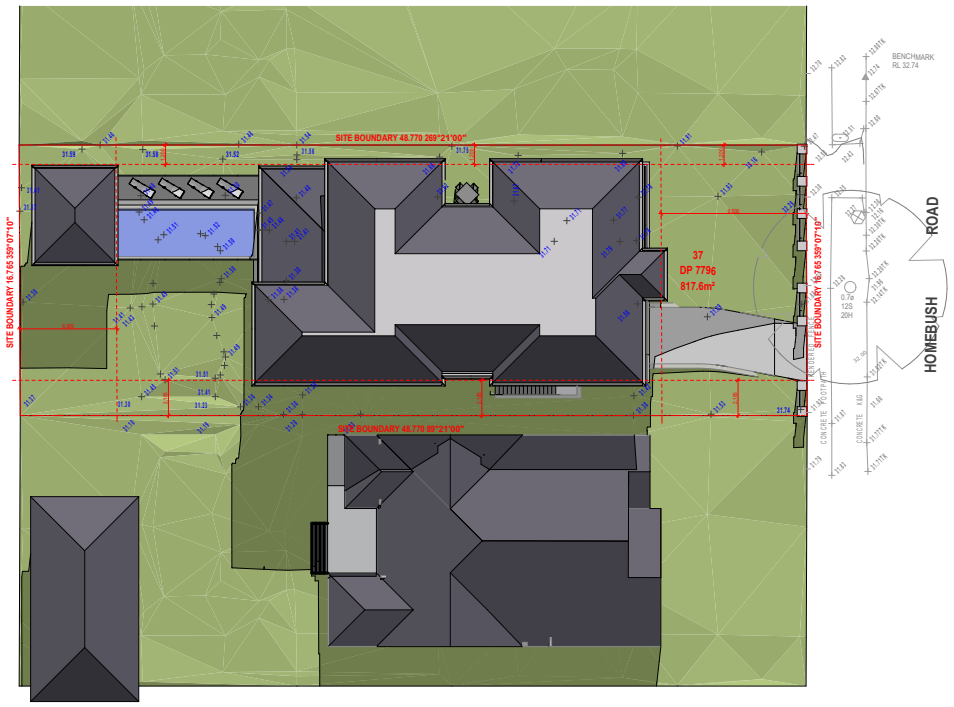
DEVELOPMENT APPLICATION



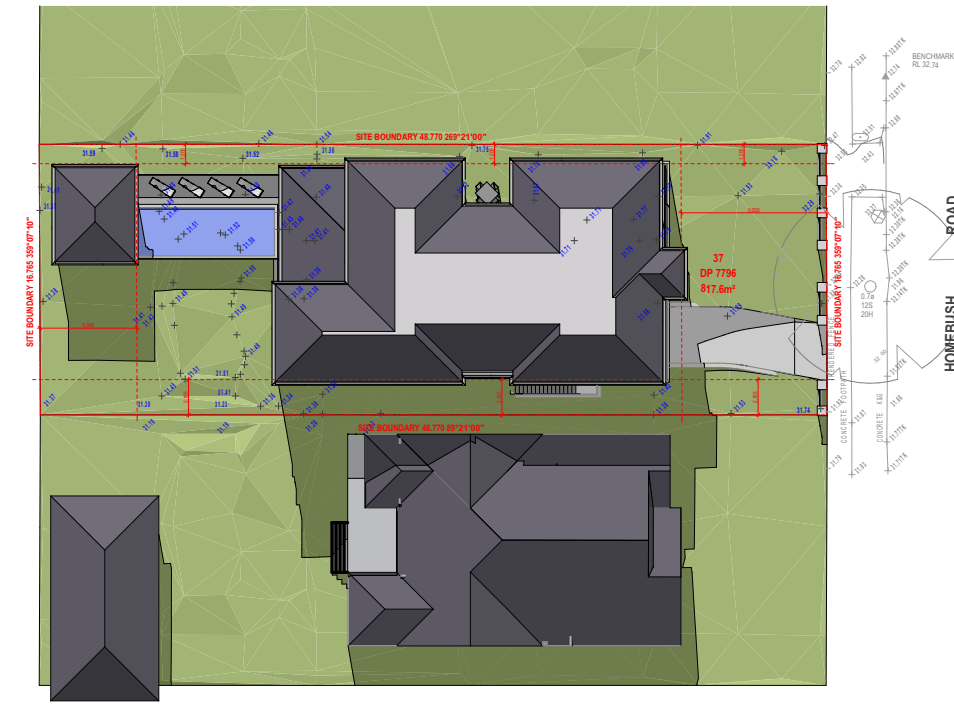
9AM
SCALE 1:200



10AM
SCALE 1:200



11AM
SCALE 1:200



12PM
SCALE 1:200

DIAL 1100 BEFORE YOU DIG
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- LEGEND**
- 200MM DINCEL WALL
 - 250MM BRICK VENEER CONSTRUCTION
 - 270MM DOUBLE BRICK CONSTRUCTION
 - 110MM SINGLE BRICK CONSTRUCTION
 - 110MM STUD WALL
 - 200MM BLOCK WALL CONSTRUCTION
 - EX XXXX EXISTING NATURAL GROUND LEVELS
 - 30 SET DOWN IN BATHROOMS
 - ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
 - - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:**
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & go to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
 EMAIL: INFO@PLATFORMFIVE.COM.AU
 WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

149 HOME BUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

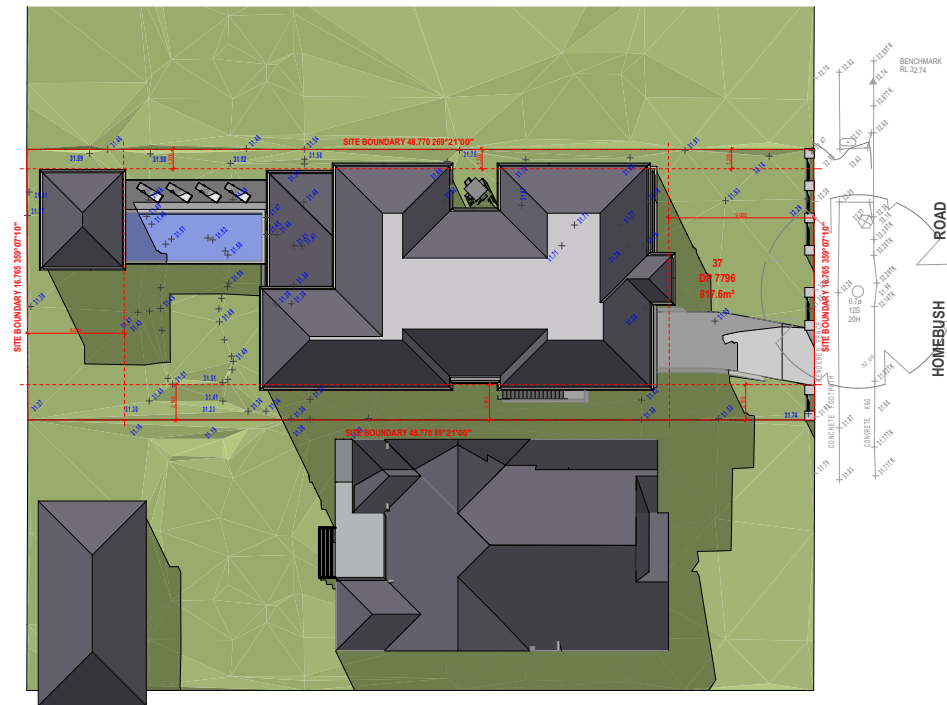
REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: SOLAR ACCESS	PROJECT NUMBER: 20-059
DRAWING NUMBER: DA2904	
DATE OF ISSUE: 19/11/2021	E01
SCALE: AS SHOWN	
DEVELOPMENT APPLICATION	

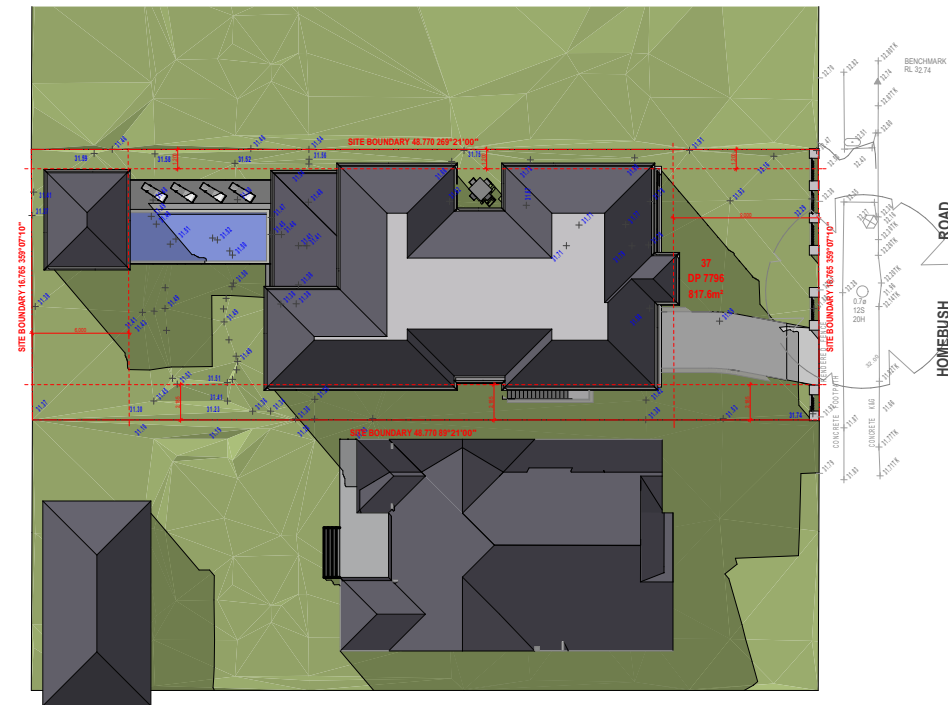


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1PM
SCALE 1:200



2PM
SCALE 1:200

LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Retaining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (VQ2)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & go to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



3PM
SCALE 1:200

PLATFORM 5 DESIGN

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PROJECT TITLE

149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE:
SOLAR ACCESS

PROJECT NUMBER:
20-059

DRAWING NUMBER: **DA2905**

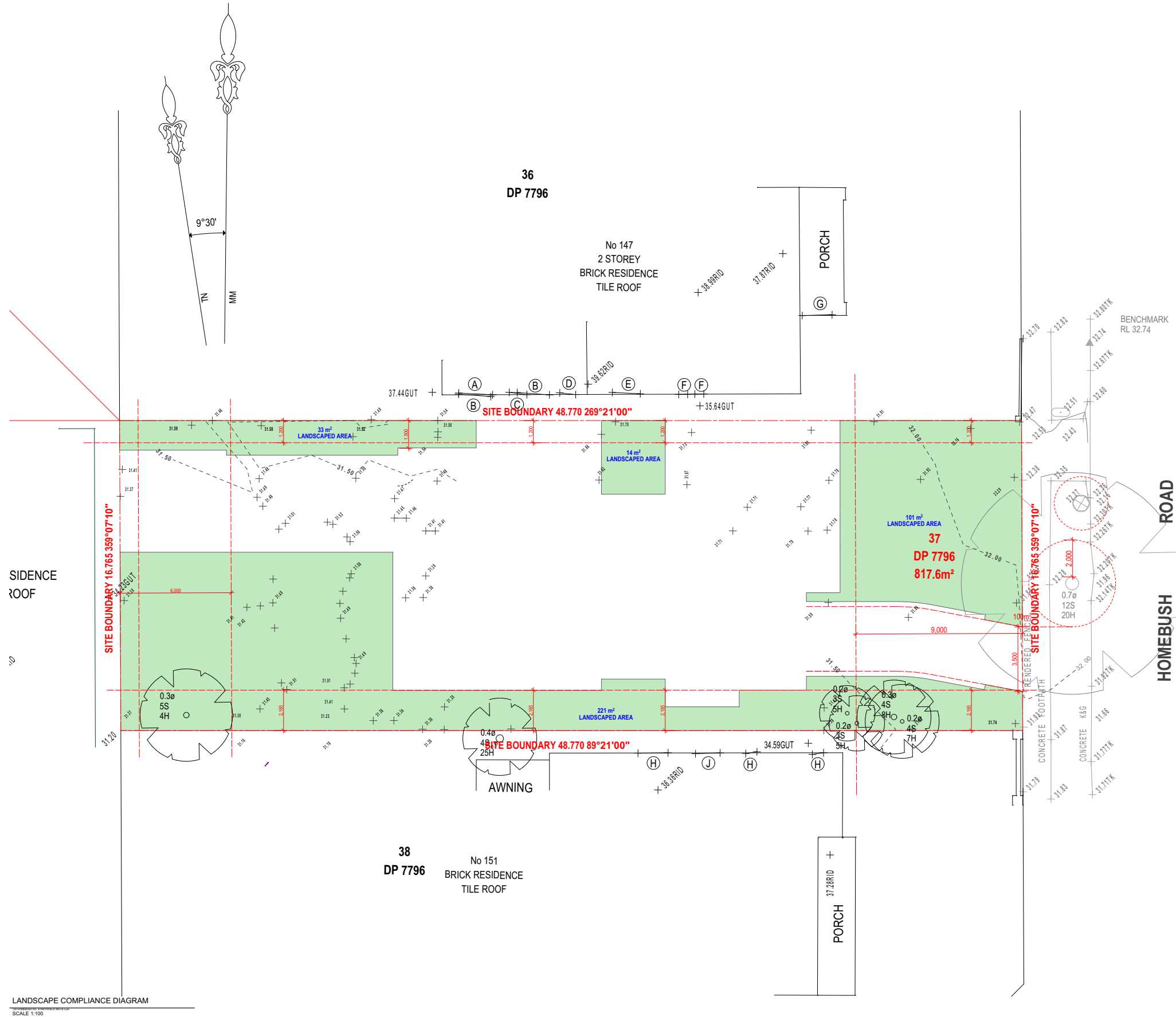
DATE OF ISSUE
19/11/2021

E01

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SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

1. Written dimensions to take precedence over scale.
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction.
3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.9.
7. Draining walls are required to be engineer designed and certified where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2.
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
13. Vehicular crossover to be constructed as per Council requirements.
14. Articulated joints in accordance with BCA 3.3.1.6 (V02).
15. Ventilation to be to an exhaust fan in accordance with BCA-44.5 & A-1668.2.
16. Provide cold water connection & gas to dishwasher space.
17. Hotwater system to comply with A.S.2000.
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections.
19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement.

PLATFORM 5 DESIGN

SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
EMAIL: INFO@PLATFORMFIVE.COM.AU
WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE

149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **LANDSCAPE COMPLIANCE DIAGRAM 059** PROJECT NUMBER:

DRAWING NUMBER: **DA2906**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

LANDSCAPE COMPLIANCE DIAGRAM
SCALE 1:100



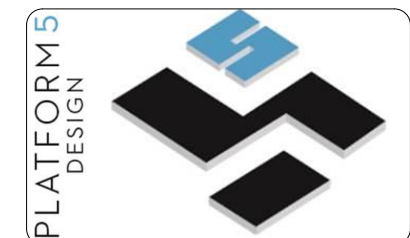
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- XXXX SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
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 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Finishing walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
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SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **SCHEDULE OF COLOURS AND MATERIALS**

DRAWING NUMBER: **DA2907**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION

<p>1 </p> <p>GROVED RENDER - LEXICON WHITE OR SIMILIAR</p>	<p>3 </p> <p>DECO CLAD NARROW LINE RANGE- NATURAL CHESTNUT OR SIMILIAR</p>	<p>5 </p> <p>FINISHED STENCILLED CONCRETE OR SIMILIAR</p>
<p>2 </p> <p>RENDER AND PAINT FINISH DULUX - BEIGE OR SIMILIAR</p>	<p>4 </p> <p>ALUMINIUM FRAMED WINDOWS & DOORS LEXICON WHITE OR SIMILIAR</p>	<p>6 </p> <p>SLATE TILE ROOF OR SIMILIAR</p>

COLOURS ARE INDICITATIVE ONLY AND MAY VARY DUE TO AVAILABILITY





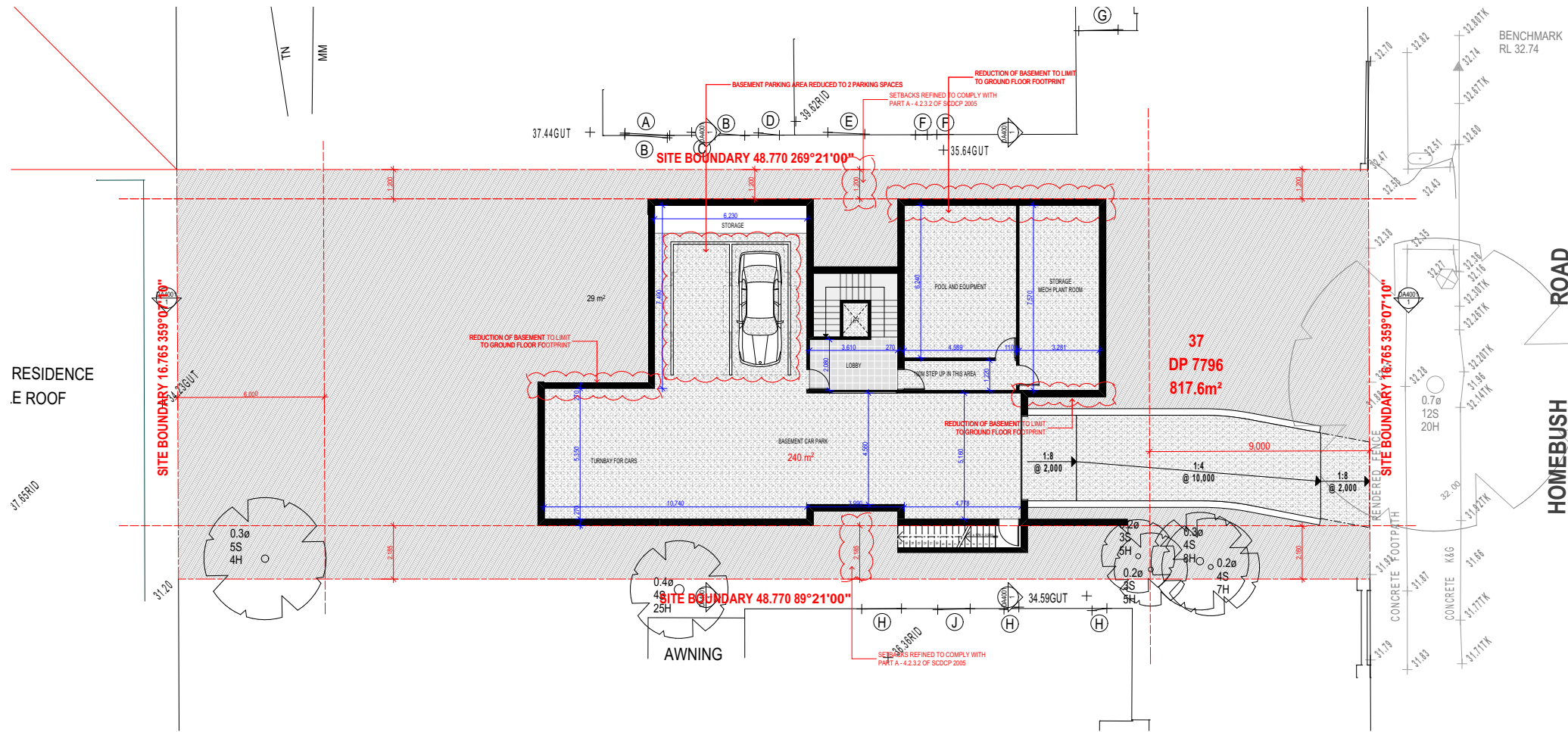
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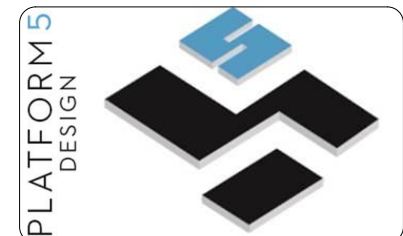
LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Retaining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S. 2600
 18. Downpipes to be a maximum 15m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



BASEMENT 01- DIMENSIONS
SCALE 1:100



SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134-
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WEBSITE: WWW.PLATFORMFIVE.COM.AU

PROJECT TITLE
149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **BASEMENT- DIMENSIONED** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA2908**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



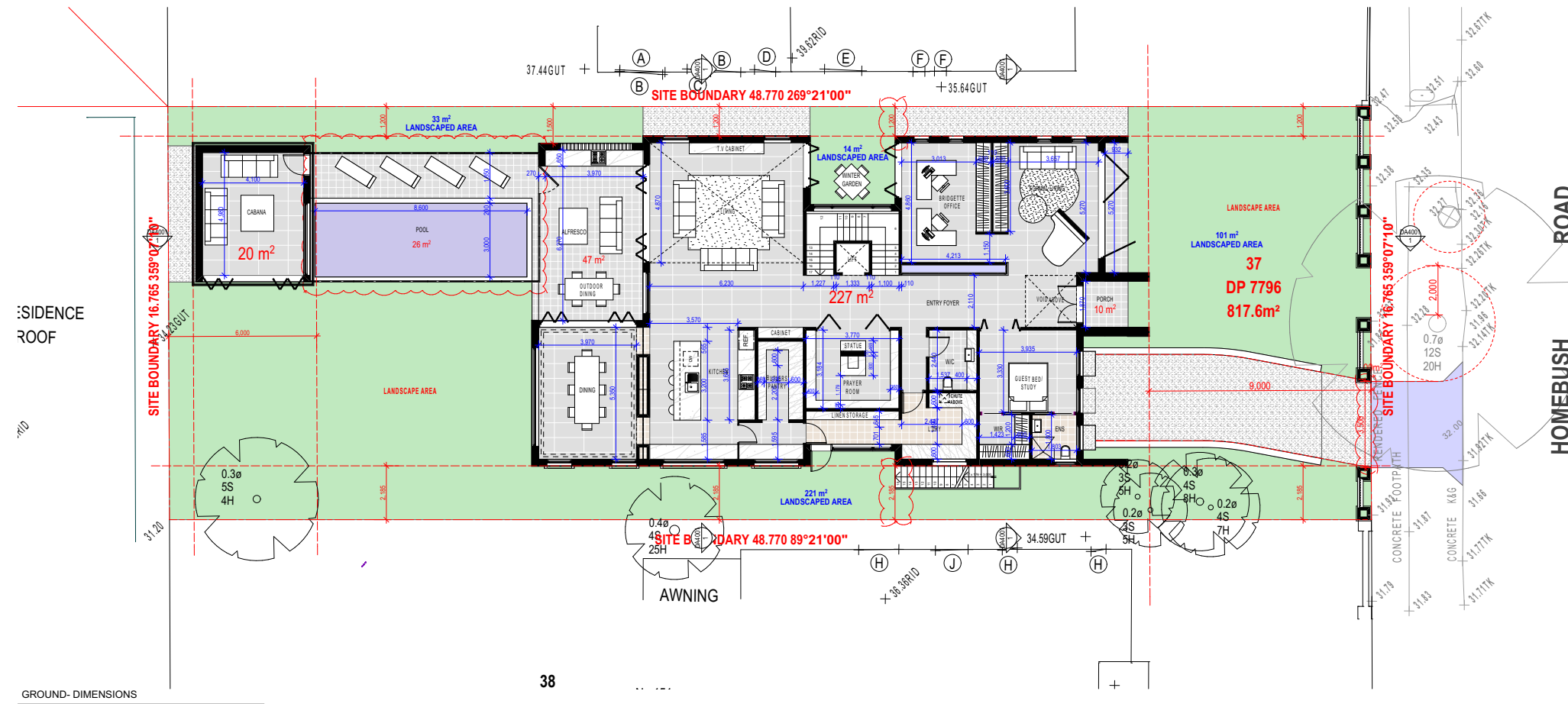
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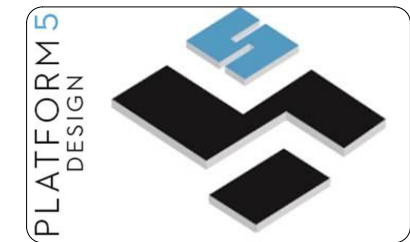
LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
- Written dimensions to take precedence over scale
 - Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 - Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 - All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 - All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 - Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 - Reinforcing walls are required to be engineer designed and certified where required.
 - All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 - All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 - All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 - Roofing to comply with appropriate wind classification described in Table 3.1.1.1 BCA Vol 2
 - Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 - Vehicle crossover to be constructed as per Council requirements.
 - Articulated joints in accordance with BCA 3.3.1.6 (V02)
 - Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 - Provide cold water connection & gas to dishwasher space
 - Hotwater system to comply with A.S.2000
 - Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 - Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



GROUND DIMENSIONS
SCALE 1:100



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PROJECT TITLE
149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **GROUND DIMENSIONS** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA2909**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



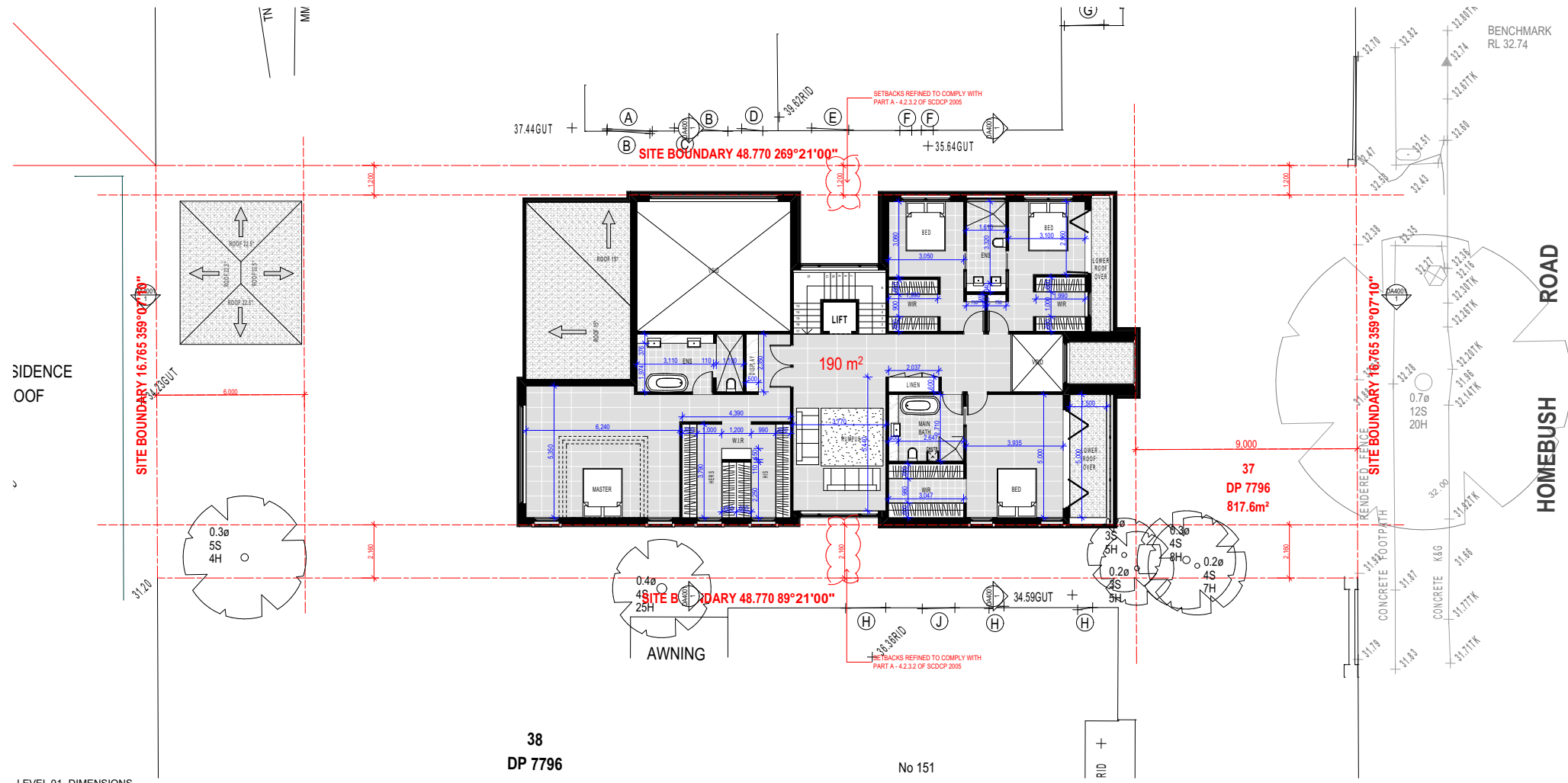
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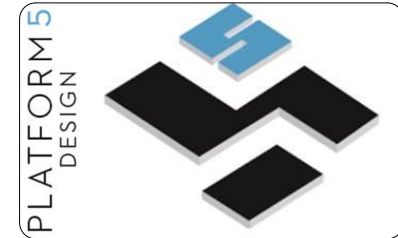
LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Finishing walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Balustrade to comply with appropriate fall classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-4.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.2000
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement



LEVEL 01- DIMENSIONS
SCALE: 1:100



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PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

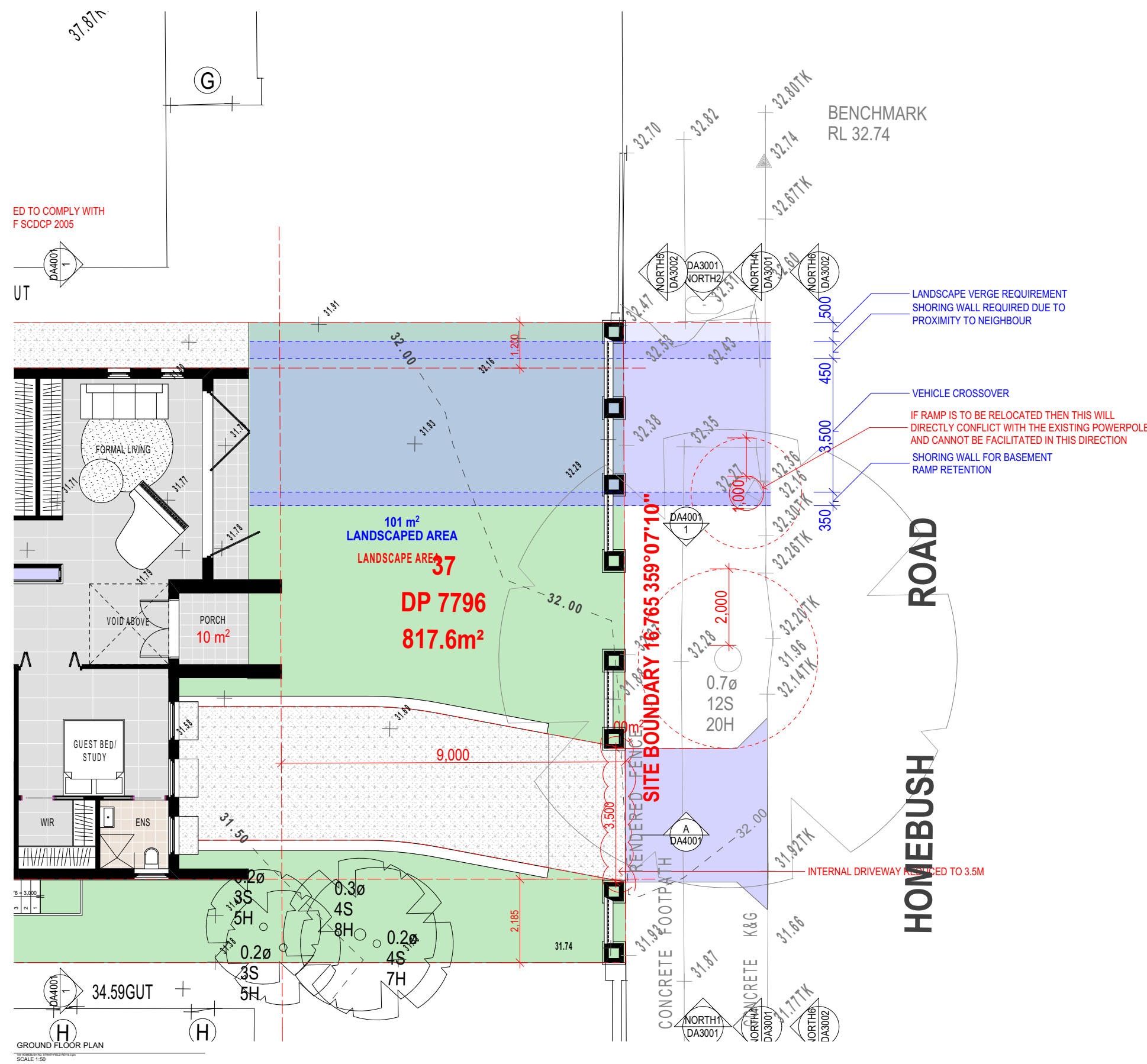
DRAWING TITLE: **LEVEL 01- DIMENSIONED** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA2910**

DATE OF ISSUE: **19/11/2021** E01 N

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DEVELOPMENT APPLICATION



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- LEGEND**
- 200MM DINCEL WALL
 - 250MM BRICK VENEER CONSTRUCTION
 - 270MM DOUBLE BRICK CONSTRUCTION
 - 110MM SINGLE BRICK CONSTRUCTION
 - 110MM STUD WALL
 - 200MM BLOCK WALL CONSTRUCTION
 - EX XXXX EXISTING NATURAL GROUND LEVELS
 - 30 SET DOWN IN BATHROOMS
 - ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
 - - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:**
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Retaining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Drains to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
 15. Ventilation to be to be an exhaust fan in accordance with BCA-44.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.3500
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement

PLATFORM 5 DESIGN

SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
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PROJECT TITLE

149 HOMEBUSH ROAD, STRARHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **BASEMENT RAMP JUSTIFICATION20-059** PROJECT NUMBER:

DRAWING NUMBER: **DA2911**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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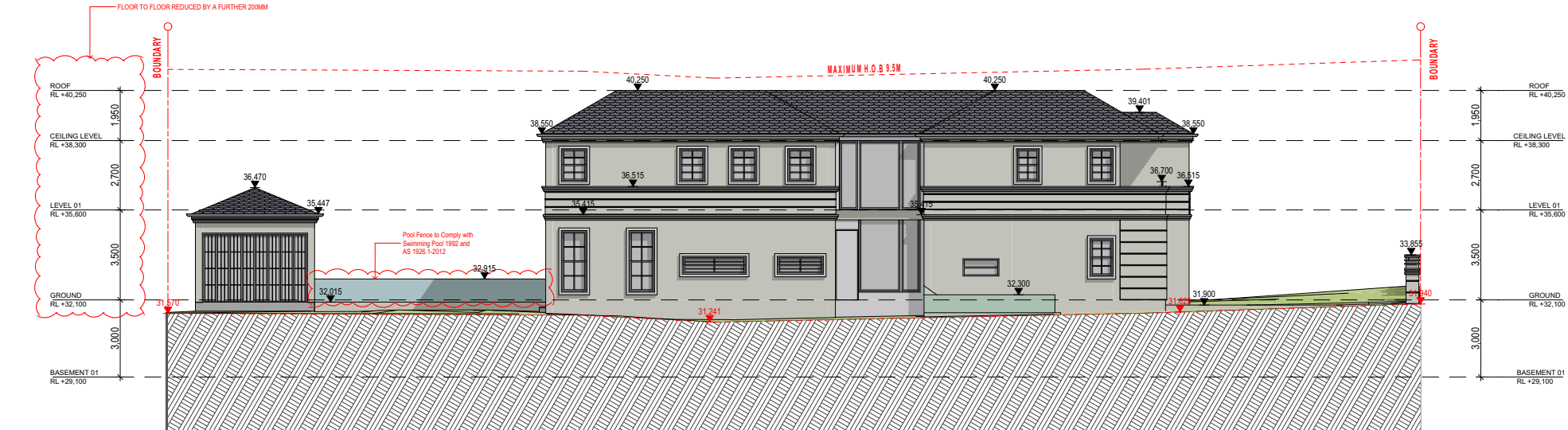
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LEGEND

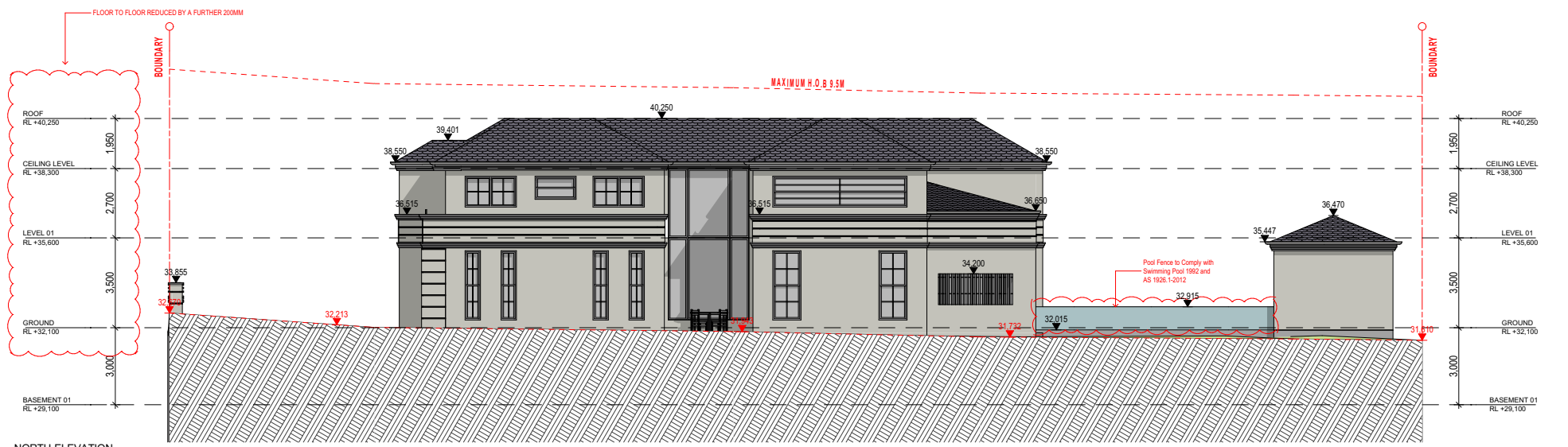
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- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

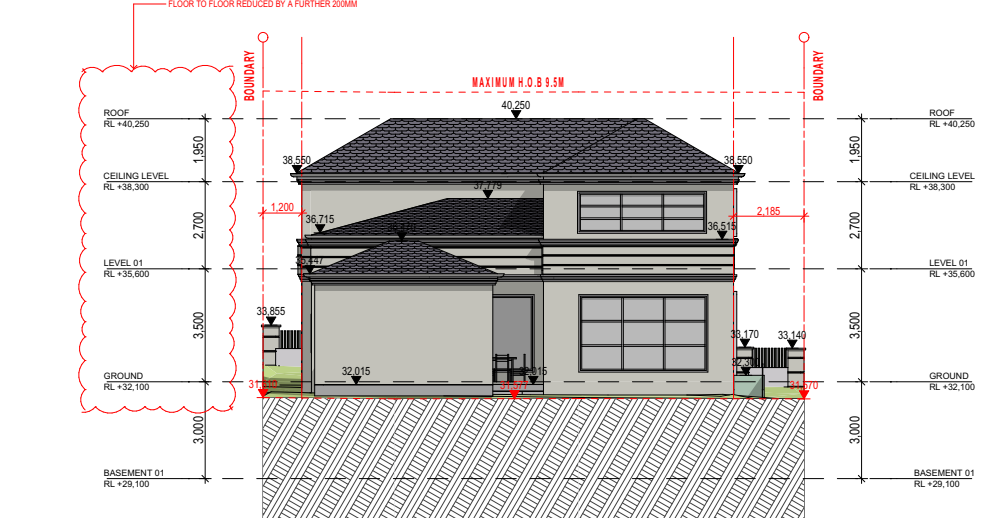
1. Written dimensions to take precedence over scale
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
3. Levels and contours are based on supplied datum. prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
7. Retaining walls are required to be engineer designed and certified where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Duties to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
13. Vehicular crossover to be constructed as per Council requirements.
14. Articulated joints in accordance with BCA 3.3.1.6 (V02)
15. Ventilation to be to an exhaust fan in accordance with BCA-4.5 & A-1668.2
16. Provide cold water connection & gas to dishwasher space
17. Hotwater system to comply with A.S. 3500
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



SOUTH ELEVATION
SCALE: 1:100



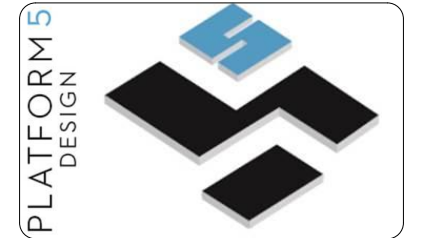
NORTH ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100



ELEVATION
SCALE: 1:100



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PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **ELEVATIONS** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA3001**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



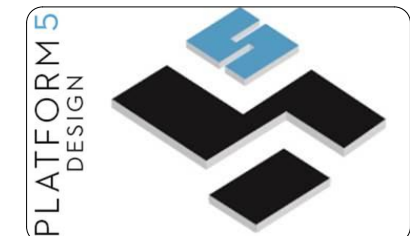
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LEGEND

- 200MM DINCEL WALL
- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- 30 SET DOWN IN BATHROOMS
- ⊕ XXXX SSL - STRUCTURAL SLAB LEVEL
- - - - EXISTING STRUCTURES TO BE DEMOLISHED.

- GENERAL NOTES:
1. Written dimensions to take precedence over scale
 2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
 3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information.
 4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
 5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
 6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
 7. Draining walls are required to be engineer designed and certified where required.
 8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
 9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
 10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
 11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
 12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
 13. Vehicular crossover to be constructed as per Council requirements.
 14. Articulated joints in accordance with BCA 3.3.1.6 (VQ2)
 15. Ventilation to be to an exhaust fan in accordance with BCA-44.5 & A-1668.2
 16. Provide cold water connection & gas to dishwasher space
 17. Hotwater system to comply with A.S.3500
 18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
 19. Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement



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PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
E01	ISSUE FOR DA SUBMISSION	06/08/2021

DRAWING TITLE: **STREETSCAPE** PROJECT NUMBER: **20-059**

DRAWING NUMBER: **DA3002**

DATE OF ISSUE: **19/11/2021** E01 N

SCALE: **AS SHOWN**

DEVELOPMENT APPLICATION



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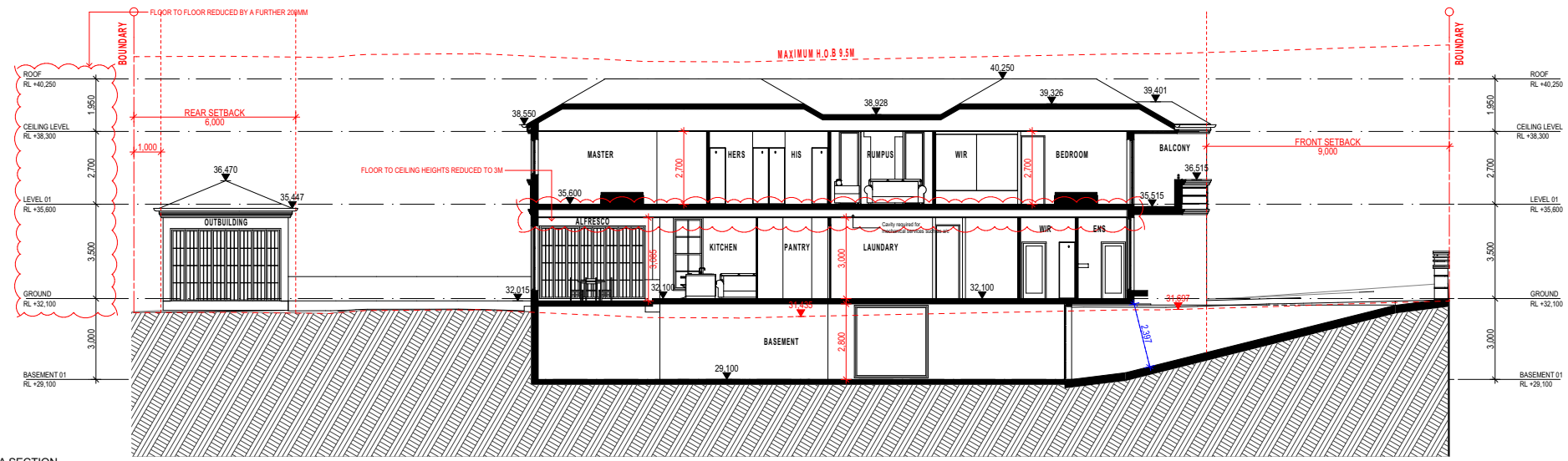
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LEGEND

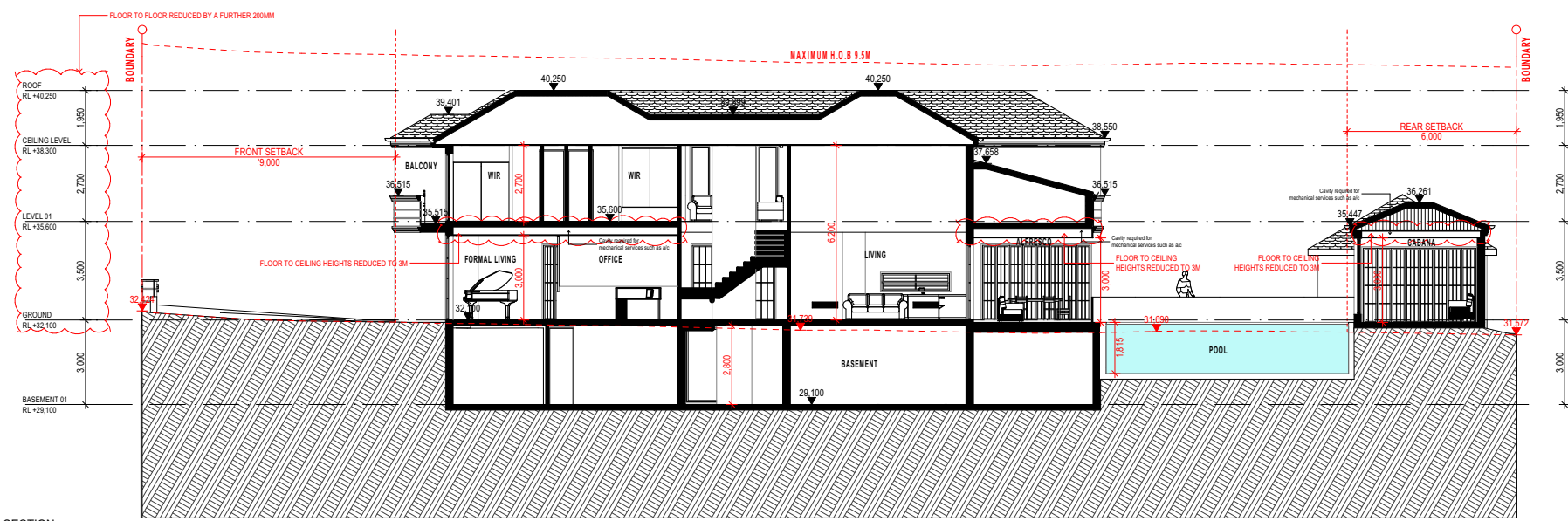
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- 250MM BRICK VENEER CONSTRUCTION
- 270MM DOUBLE BRICK CONSTRUCTION
- 110MM SINGLE BRICK CONSTRUCTION
- 110MM STUD WALL
- 200MM BLOCK WALL CONSTRUCTION
- EX XXXX EXISTING NATURAL GROUND LEVELS
- SET DOWN IN BATHROOMS
- SSL - STRUCTURAL SLAB LEVEL
- EXISTING STRUCTURES TO BE DEMOLISHED.

GENERAL NOTES:

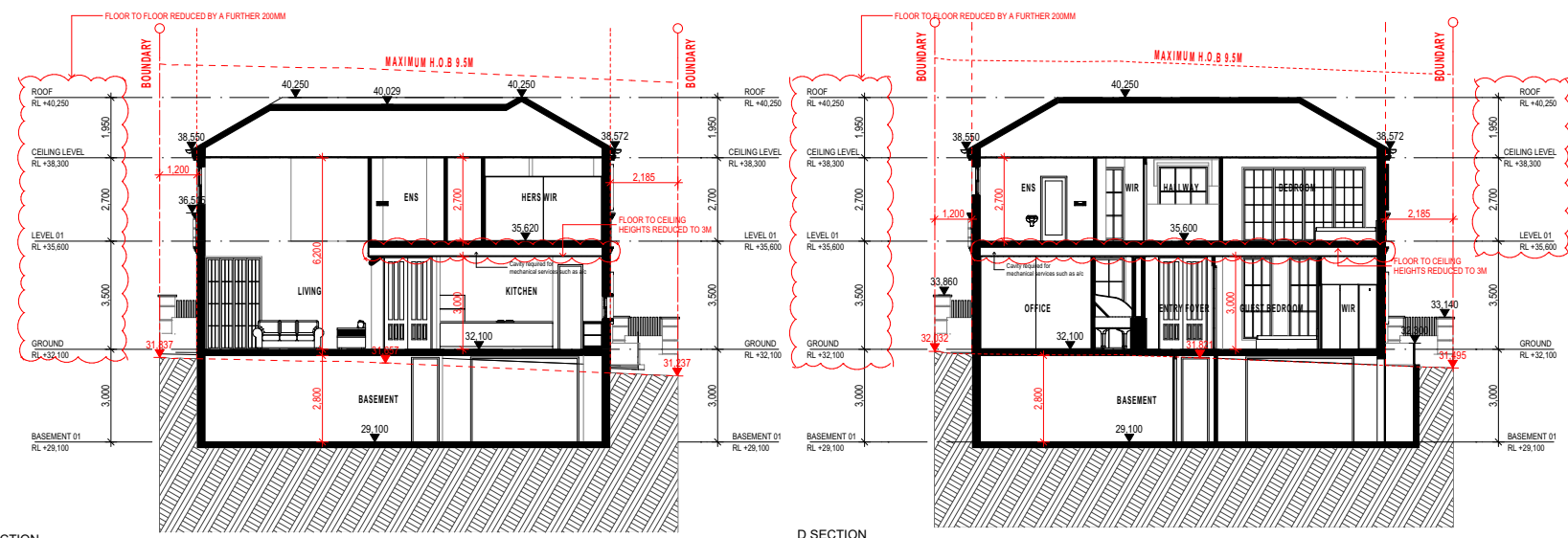
1. Written dimensions to take precedence over scale
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information
4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.6
7. Balancing walls are required to be engineer designed and certified where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Builders to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
13. Mechanical crossover to be constructed as per Council requirements.
14. Articulated joints in accordance with BCA 3.3.1.6 (P02)
15. Ventilation to be to an air without fan in accordance with BCA-4.5 & A-1668.2
16. Provide cold water connection & gas to dishwasher space
17. Hotwater system to comply with A.S.2000
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA point of discharge to meet local authority requirement



A SECTION
SCALE 1:100

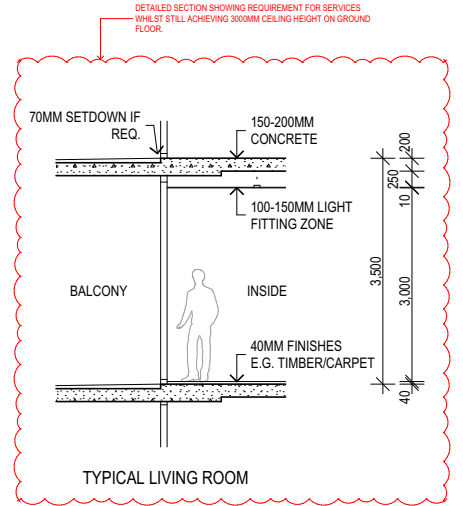


B SECTION
SCALE 1:100

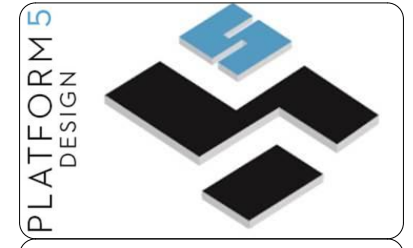


C SECTION
SCALE 1:100

D SECTION
SCALE 1:100



1 CEILING HEIGHT DETAIL 1:50



SUITE 403/LEVEL 04, 16 RAILWAY PDE BURWOOD, NSW, SYDNEY - 2134
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PROJECT TITLE
149 HOMEBUSH ROAD, STRATHFIELD - NSW - 2135

CLIENT

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	06/01/2021
B01	ISSUE FOR REVIEW	23/01/2021
C01	ISSUE FOR REVIEW	24/02/2021
D01	ISSUE FOR DA SUBMISSION	06/08/2021
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